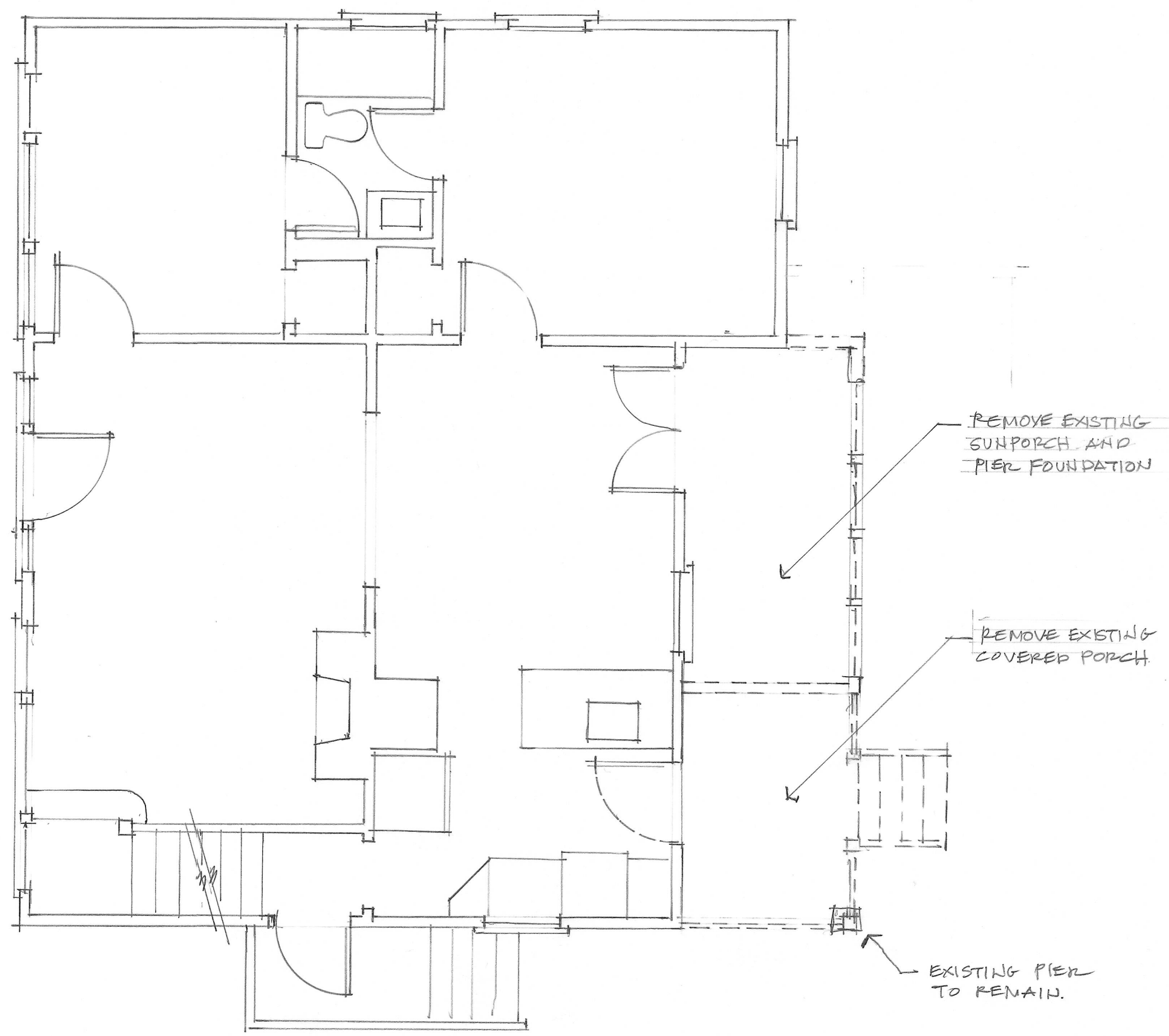


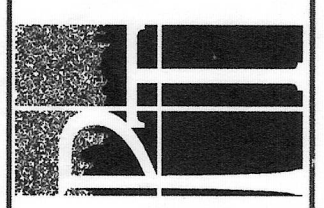
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EXISTING FIRST FLOOR PLAN
 AND DEMOLITION PLAN

- NOTES
1. SEE TREE PROTECTION PLAN FOR TREE PROTECTION DEVICES. ALL DEVICES SHALL BE INSTALLED BEFORE ANY DEMOLITION OCCURS.
 2. ALL DEMOLITION AND CONSTRUCTION STAGING SHALL OCCUR ON THE EXISTING PAVED AREAS.

ADDITION TO THE HASTY RESIDENCE
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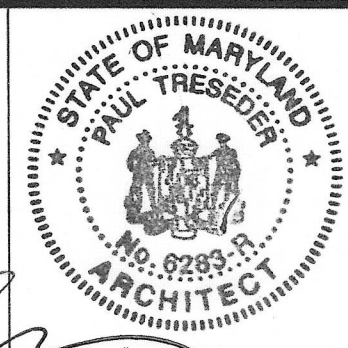


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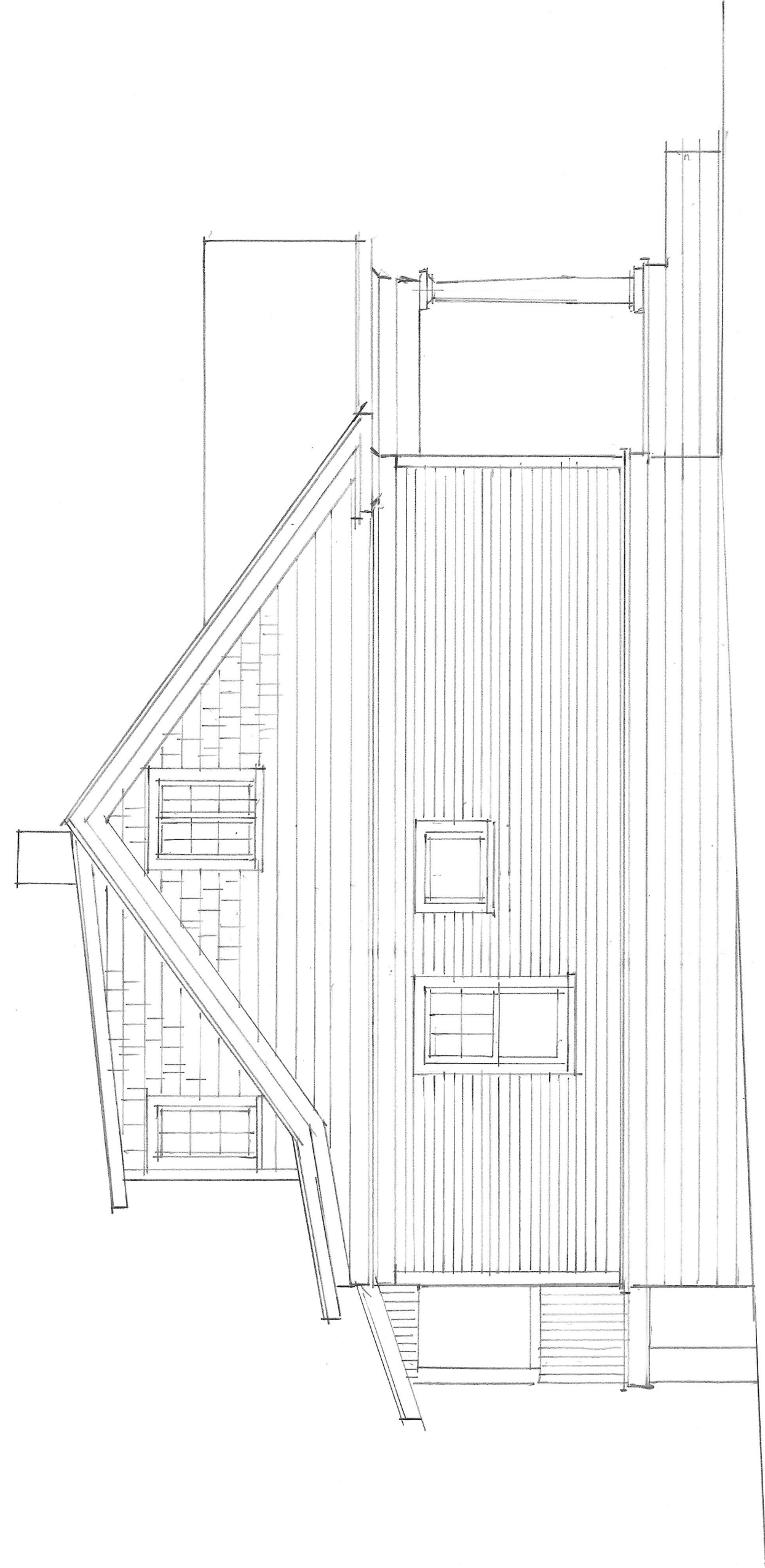
Paul Treseder
 Architect

DATE	1.07.2026
SCALE	1/4" = 1'-0"
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JOB	HASTY
SHEET	A.01
OF	SHEETS

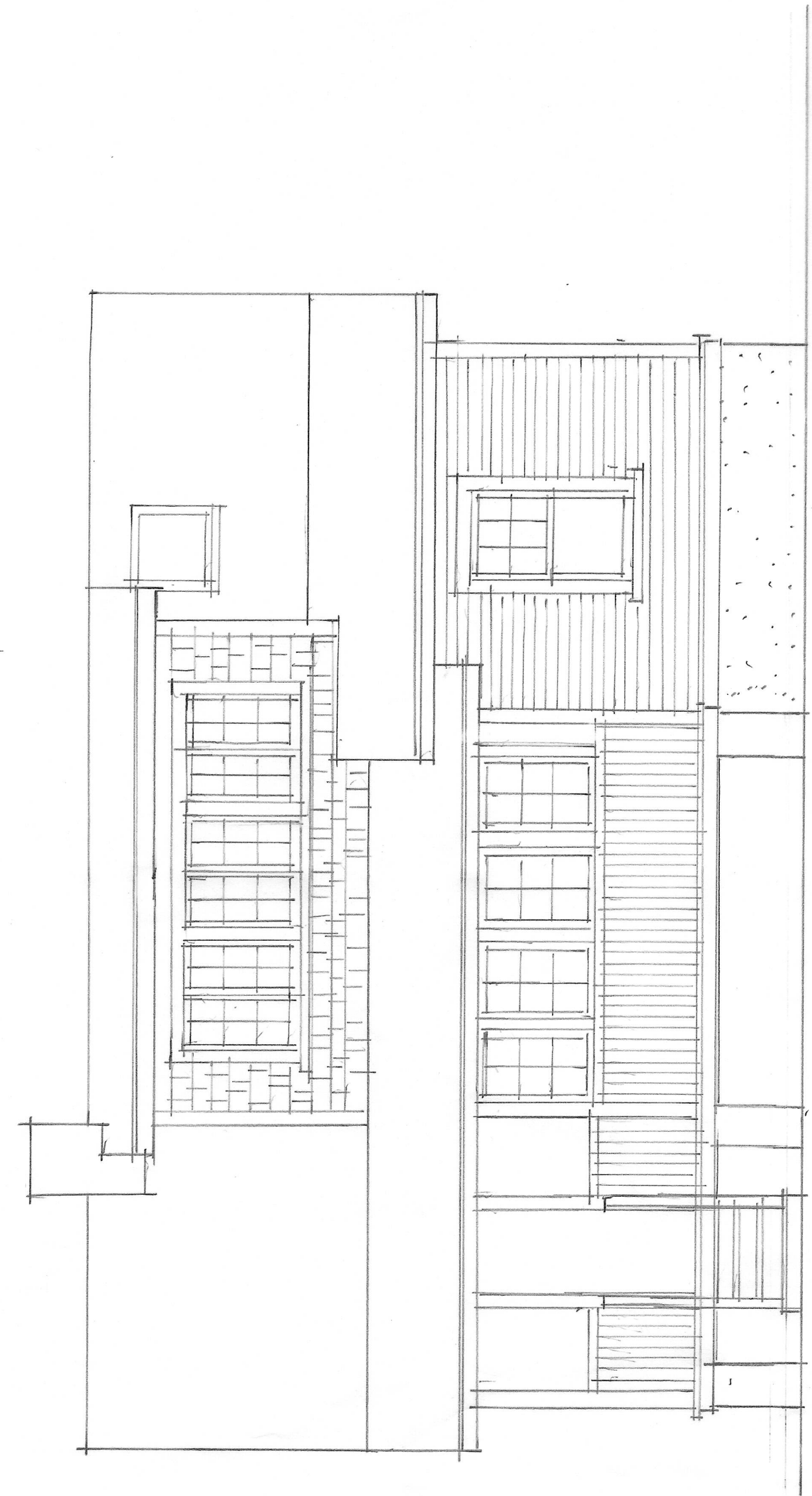
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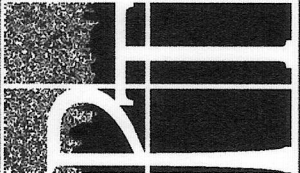


EXISTING LEFT SIDE ELEVATION



EXISTING REAR ELEVATION

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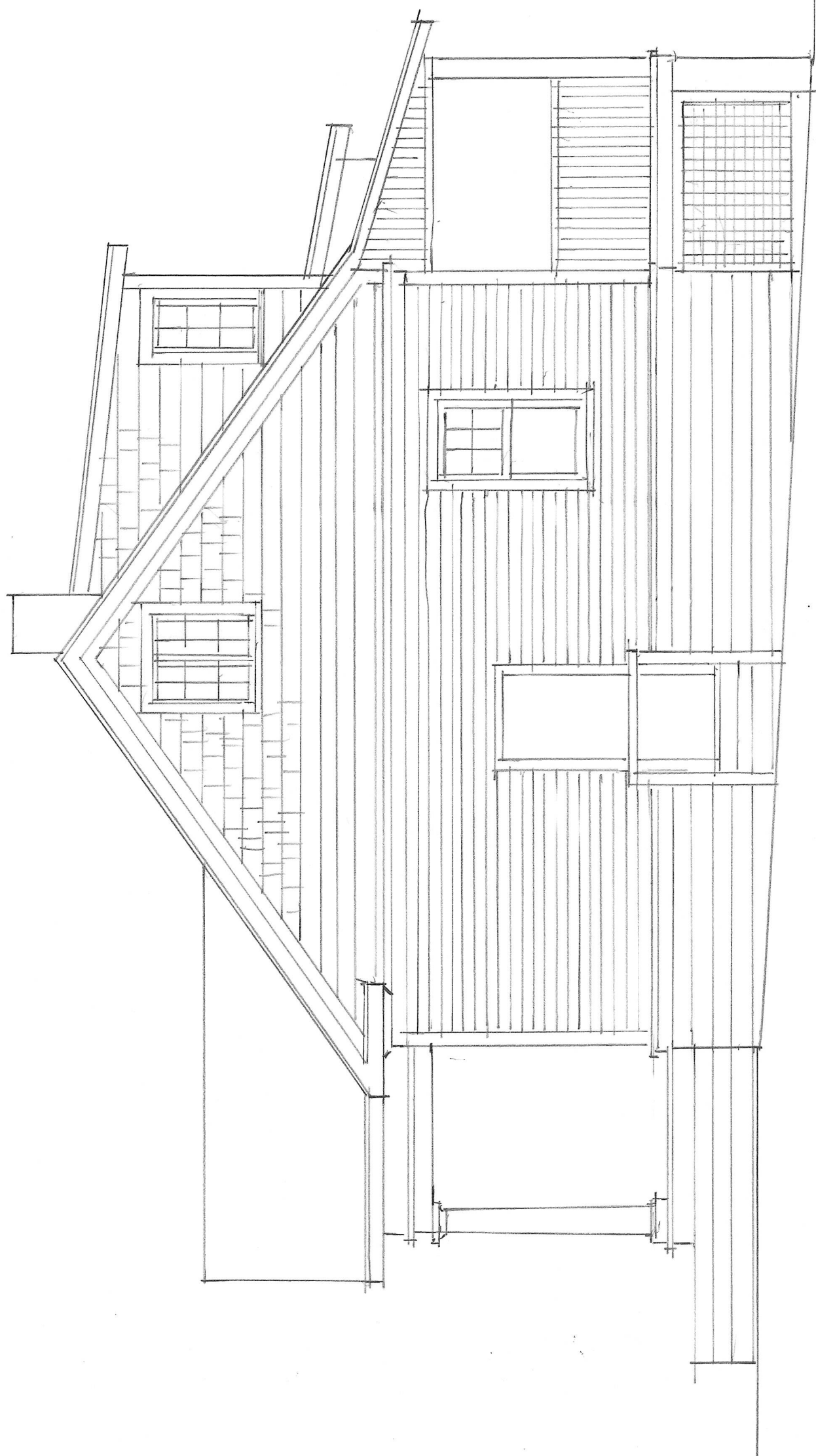


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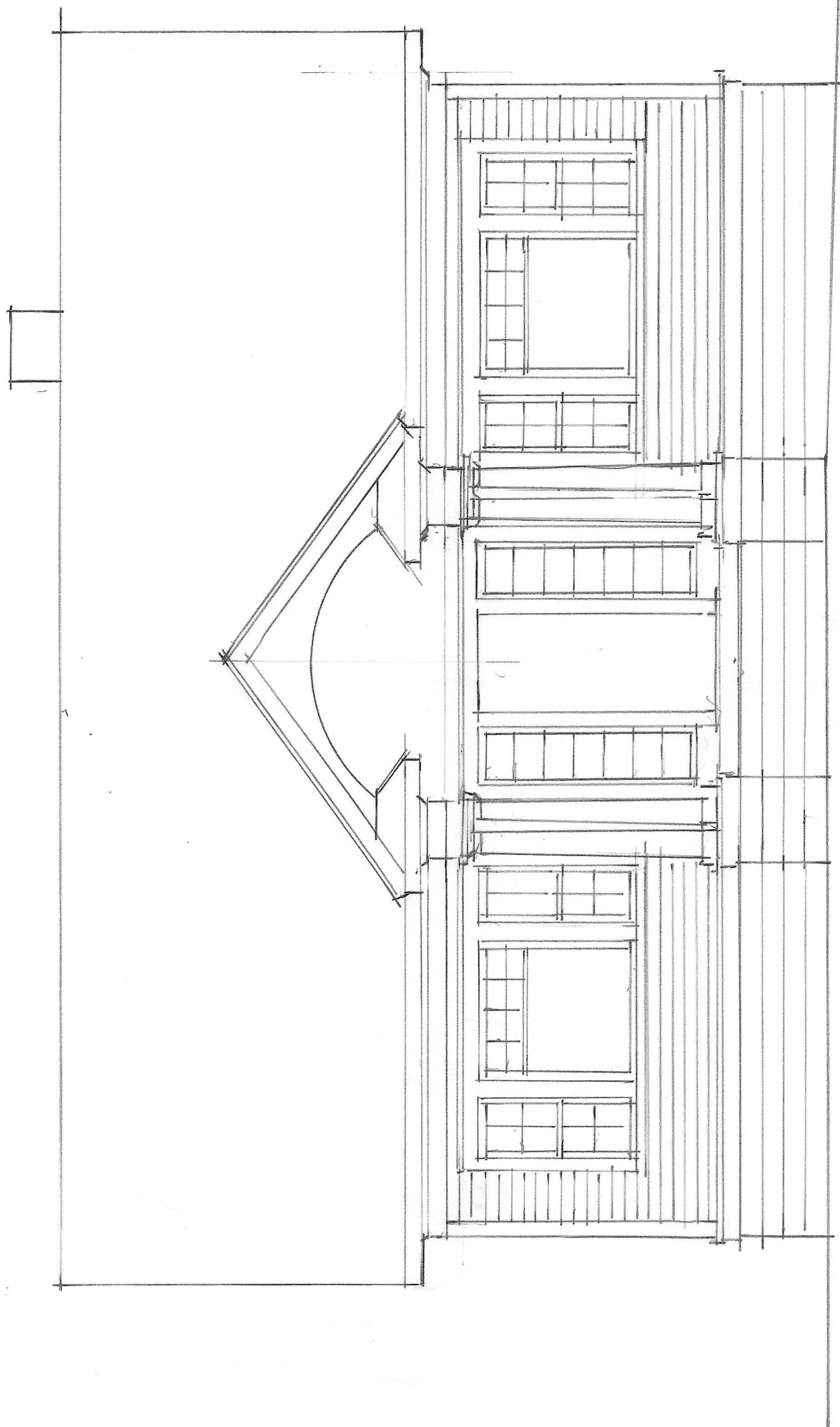
Paul Treseder
Architect

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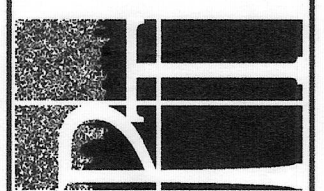


EXISTING RIGHT SIDE ELEVATION



EXISTING FRONT ELEVATION.

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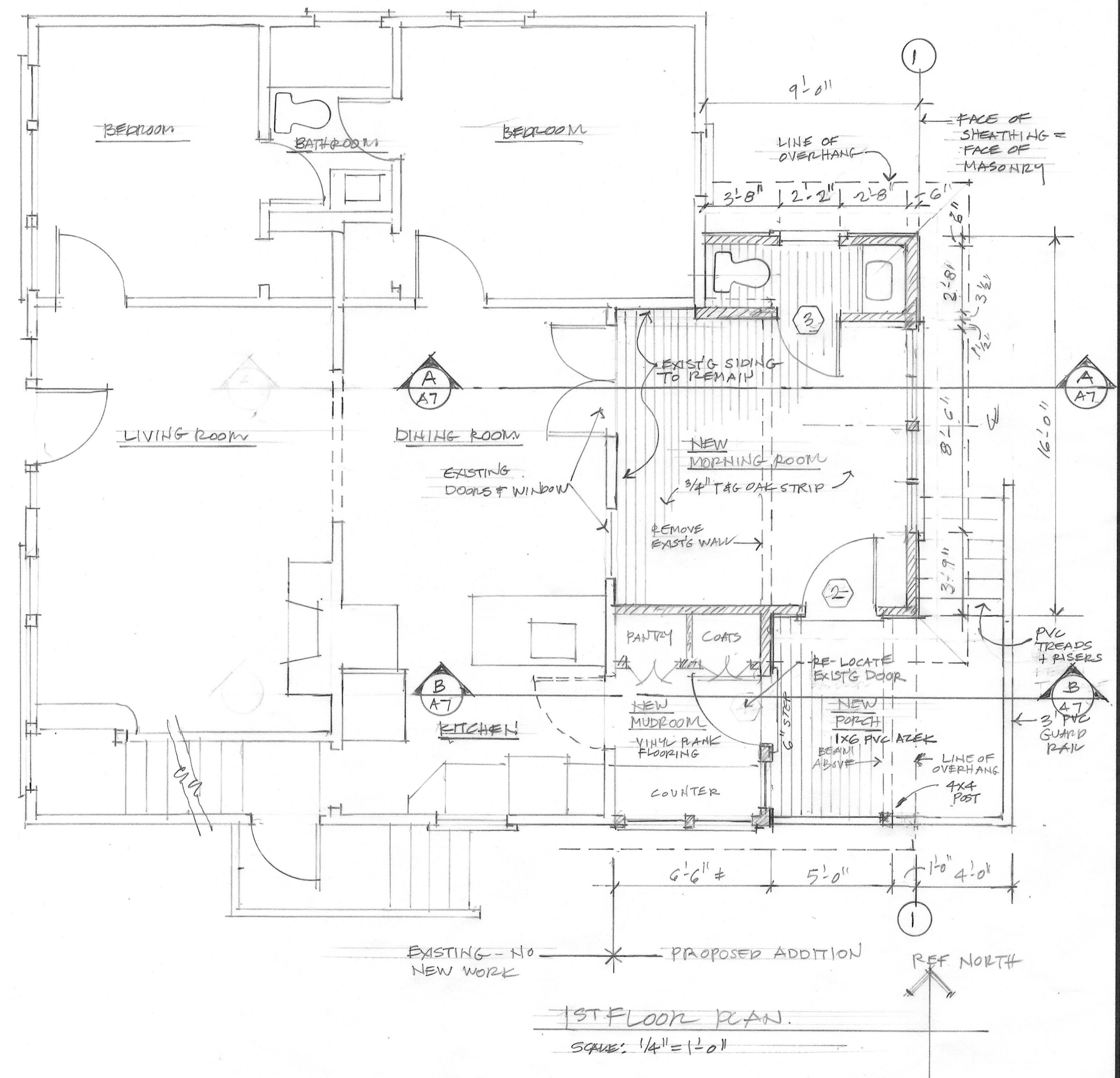
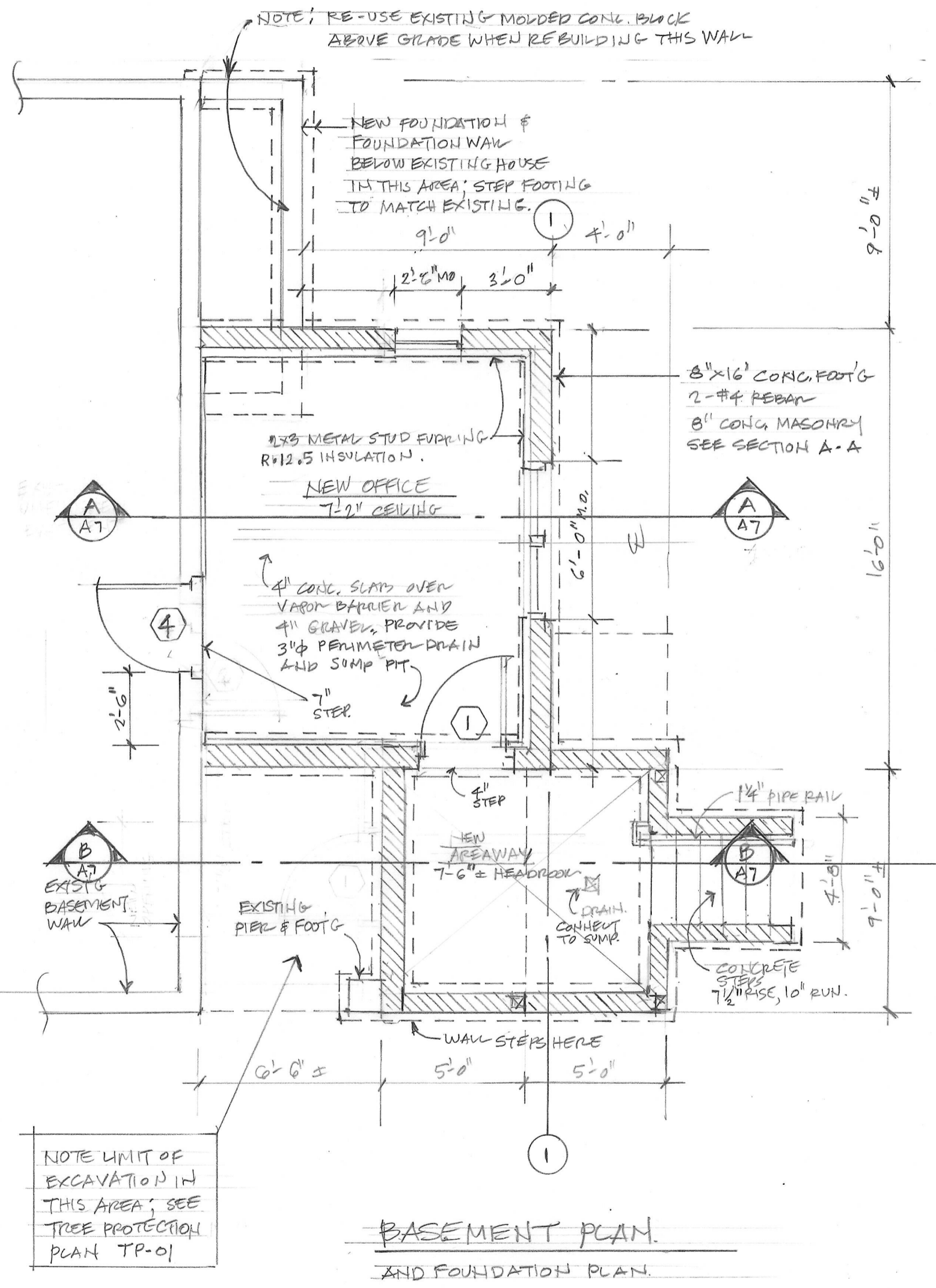
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GENERAL NOTES

- VENT SUB-SLAB GRAVEL WITH 3" P.V.C PIPE THROUGH THE ROOF FOR RADON MITIGATION.
-

DOOR SCHEDULE

SIZE	TYPE
1 3'-0" x 6'-8" x 1 3/4"	FIBERGLAS
2 3'-0" x 7'-0" x 1 3/4"	FIBERGLAS & GLASS
3 2'-6" x 6'-8" x 1 3/8"	4 PANEL FIR
4 3'-0" x 6'-8" x 1 3/4"	SOLID CORE FLOST

KEY TO SYMBOLS

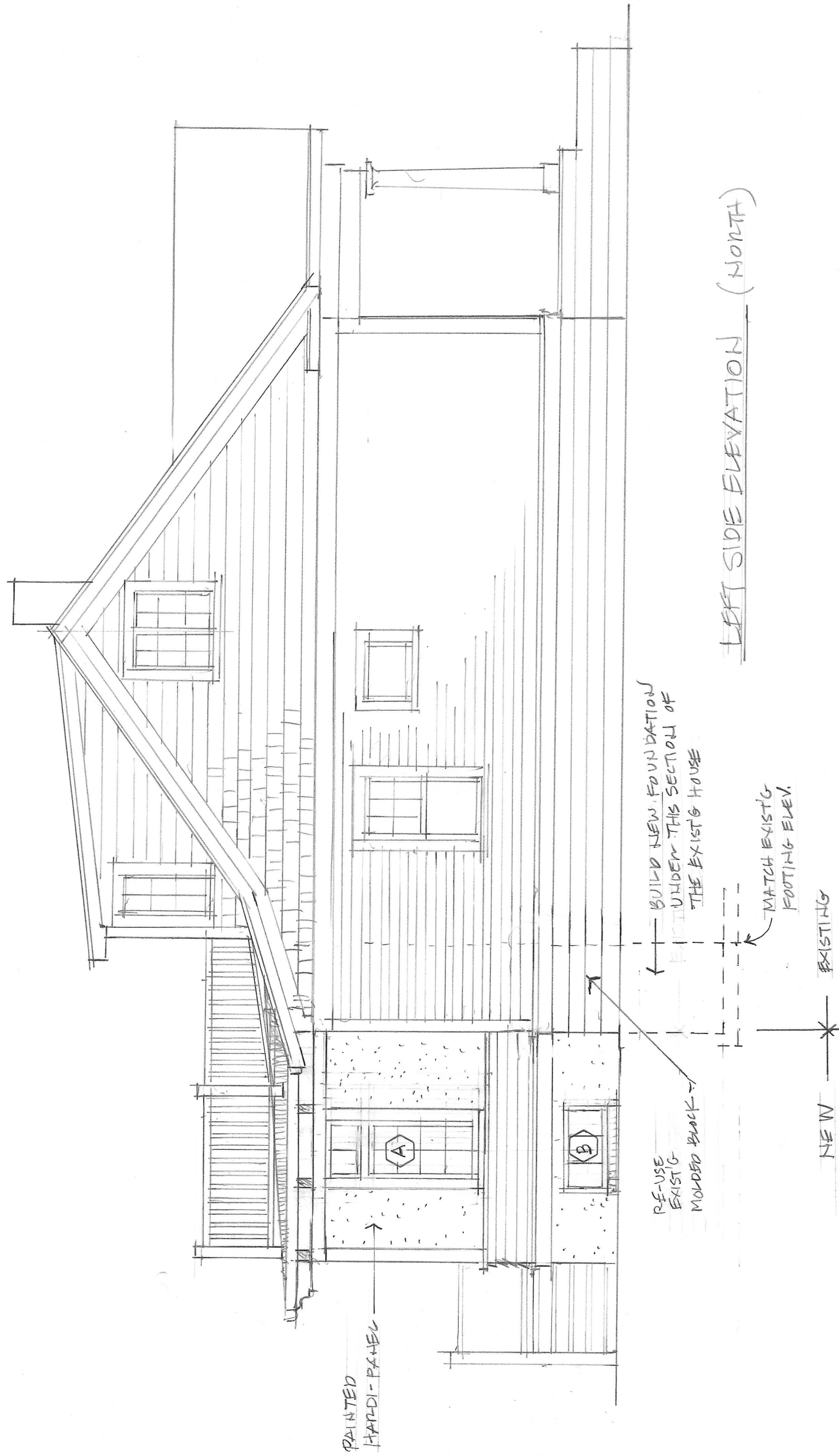
- NEW 2X4 STUD WALLS
- EXIST'G 2X4 STUD WALLS
- NEW 8" MASONRY WALL
- EXIST'G 8" MASONRY WALL

DATE 1-07-2026
 SCALE 1/4" = 1'-0"
 DRAWN PT.
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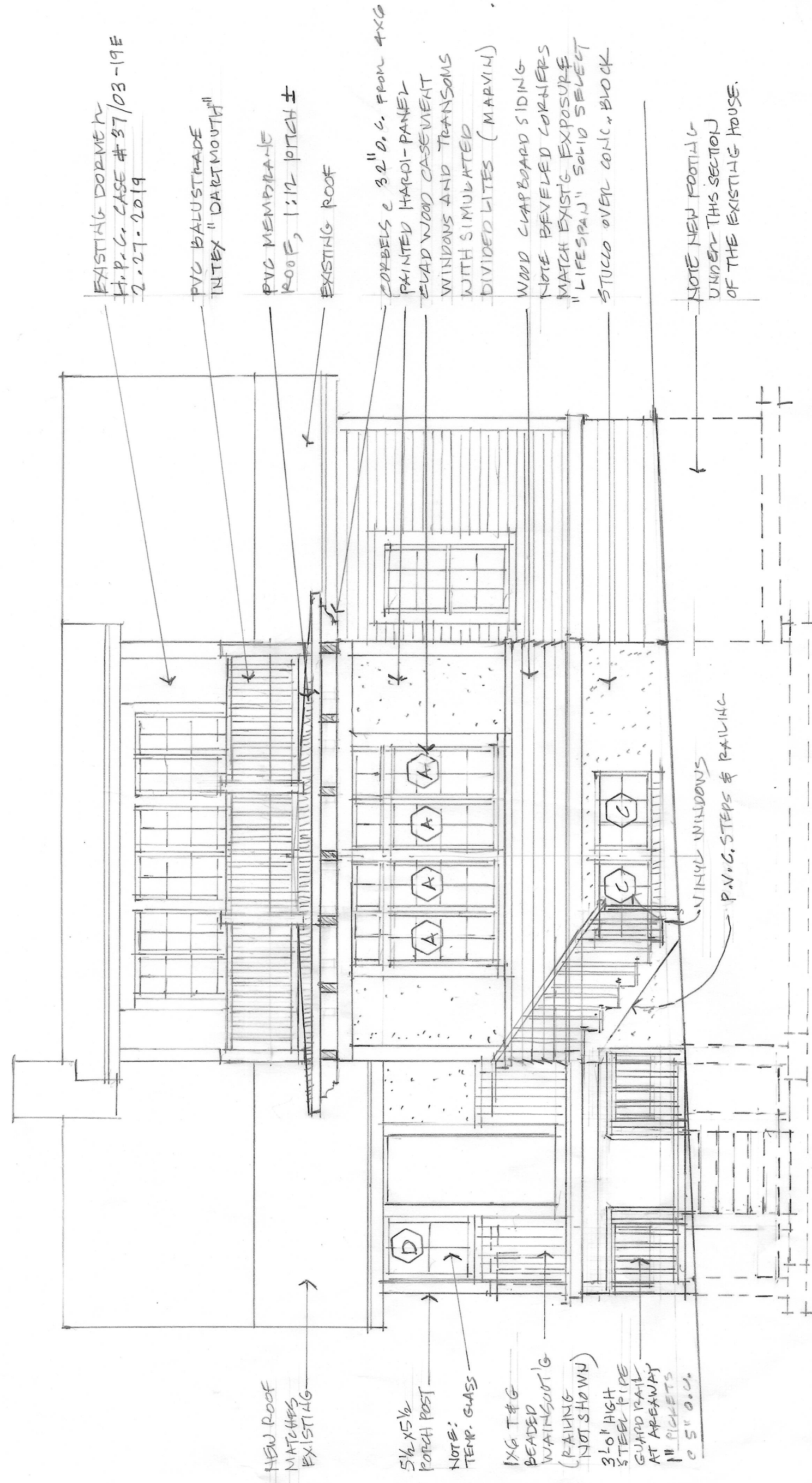
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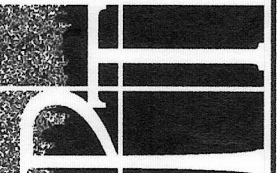
LEFT SIDE ELEVATION (NORTH)



REAR ELEVATION (EAST)

16 CORBELS TOTAL

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Paul Treseder
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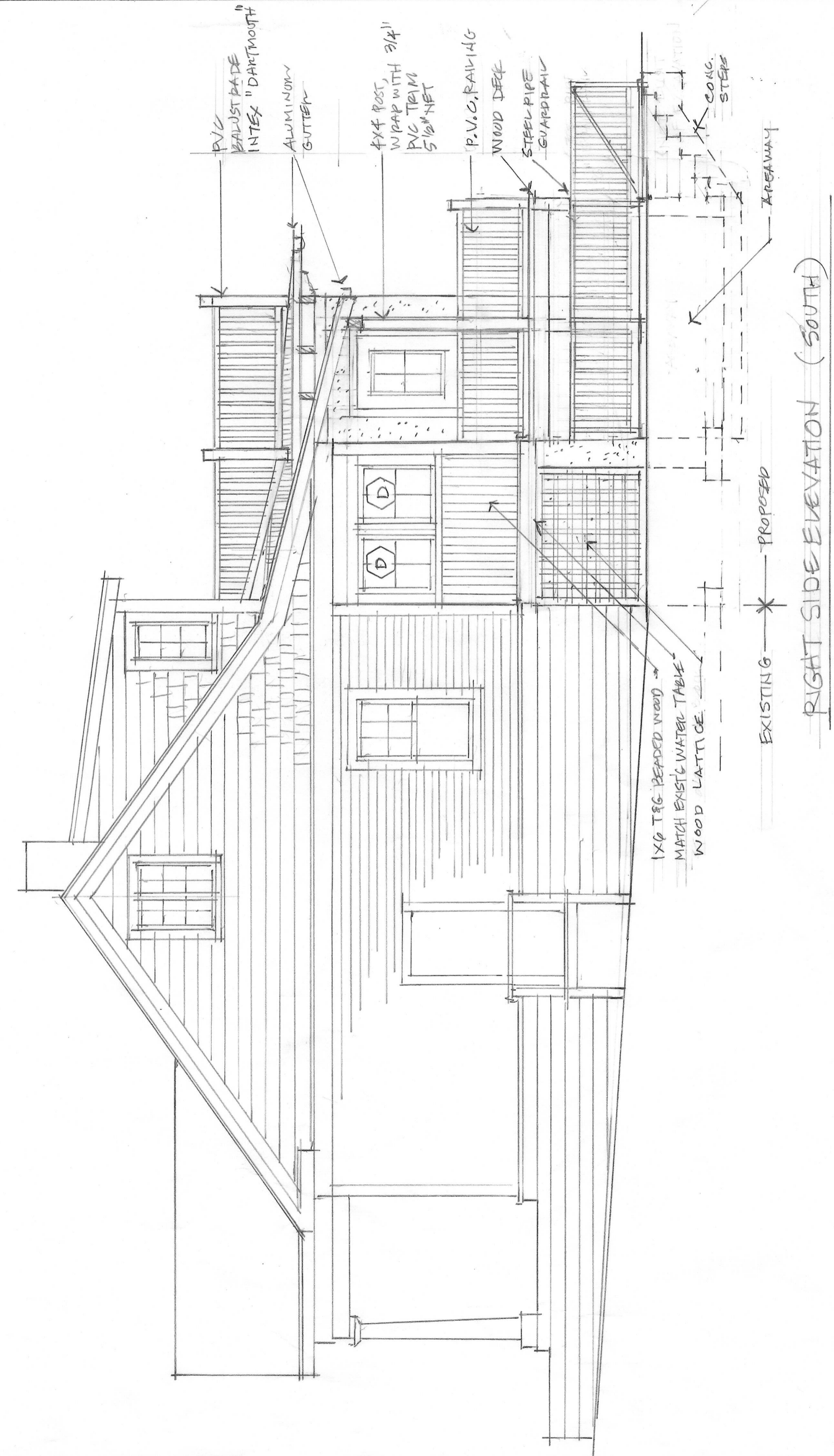


WINDOW SCHEDULE

MARK	SIZE	TYPE	ROUGH OPENING
A	ELCA 2555 + ELCATR 2516	CLAD CASEMENT + TRANSOM	2'-1" W. X 5'-11 5/8" H
B	3'-0" x 1'-8"	VINYL AWNING	3'-2" W X 1'-9" H
C	3'-0" x 2'-0"	VINYL AWNING	3'-2" W X 2'-1" H
D	ELCA 2939	CLAD CASEMENT	2'-5" W X 3'-3 5/8" H

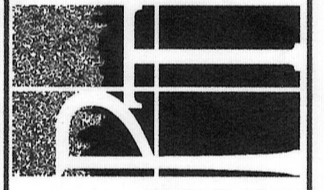
WINDOW NOTES

1. WINDOWS ARE MARYLH "ELEVATE" SERIES, CLAD WOOD, WITH SIMULATED DIVIDED LITES AS SHOWN ON THE ELEVATIONS.
 2. GLASS SHALL HAVE A U-VALUE OF 0.27, EXCEPT FOR BASEMENT WINDOWS, WHICH SHALL HAVE A U-VALUE OF 0.30



RIGHT SIDE ELEVATION (SOUTH)

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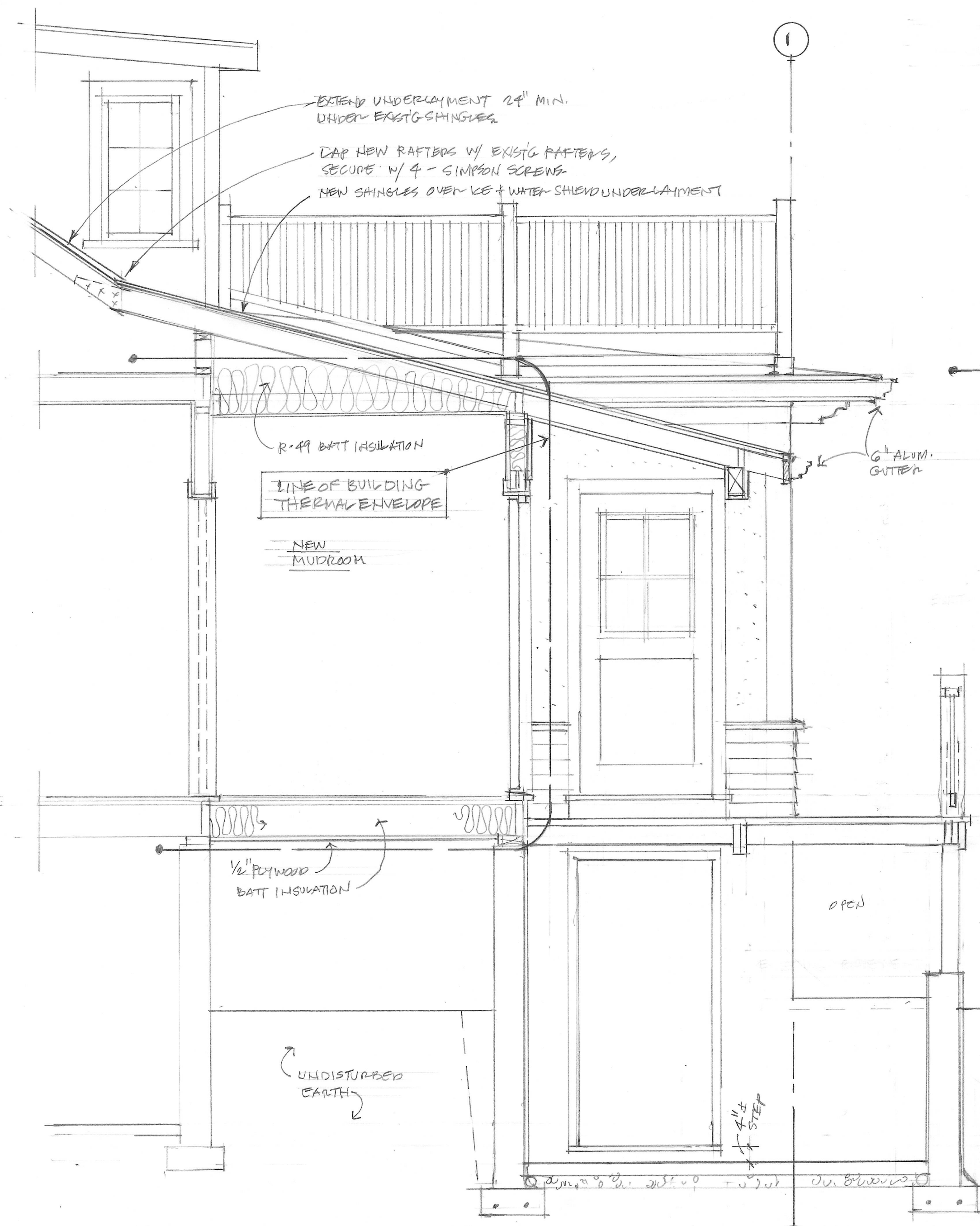


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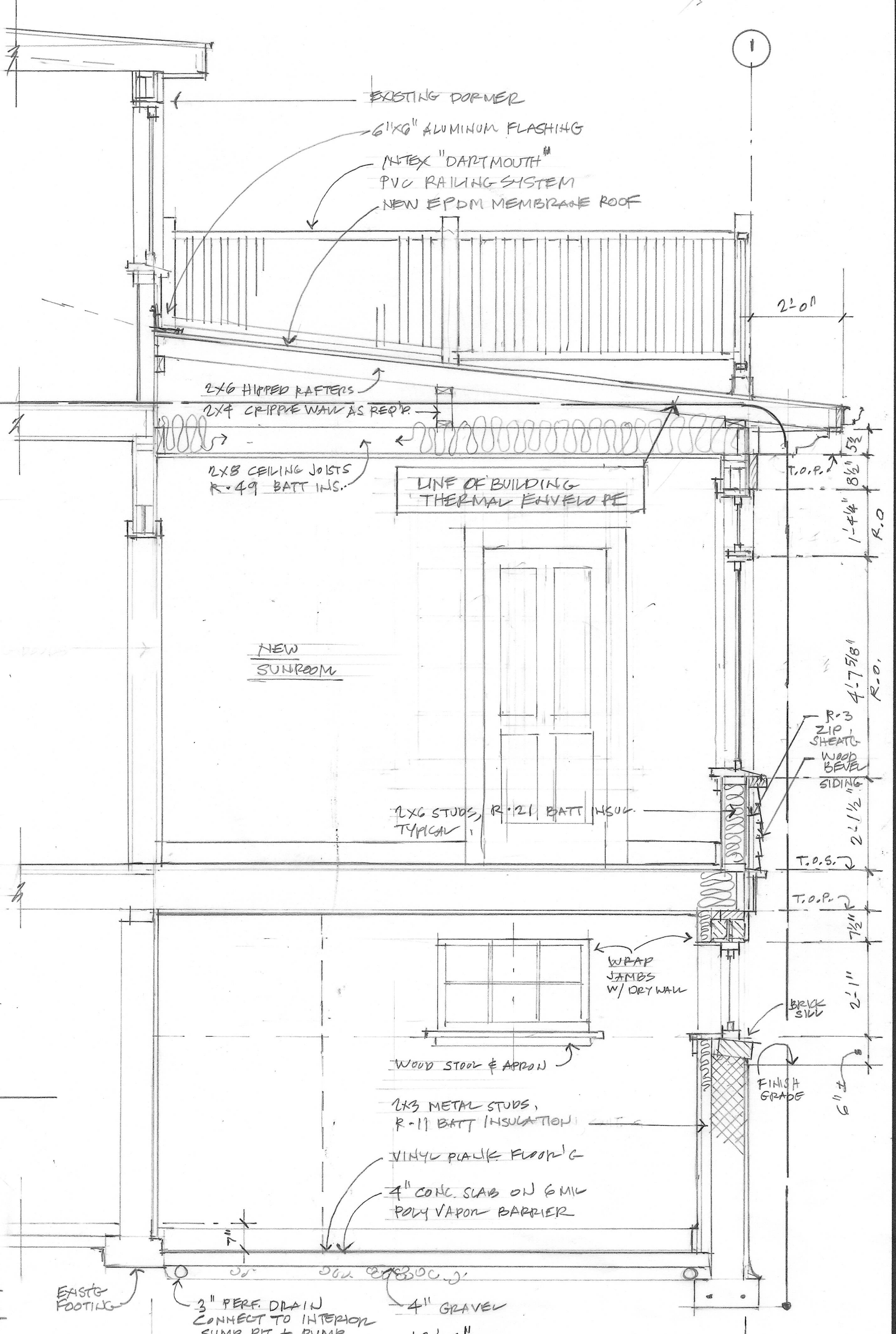
Paul Treseder
 Architect

DATE 1.07.2026
 SCALE 1/4" = 1'-0"
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 JOB HASTY
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A-06
 OF SHEETS

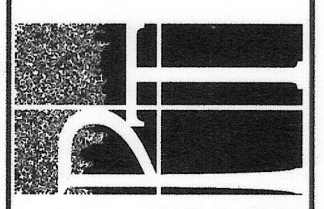
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BUILDING SECTION B-B



BUILDING SECTION A-A



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Paul Treseder, Architect

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STRUCTURAL NOTES

- Footings and slabs are designed to bear on native soil with an allowable bearing pressure of 1500PSF.
- Concrete for slabs and footings shall have a minimum compressive strength at 28 days of 3000 PSI. Install slabs over a 4" gravel base and a 10 mil poly vapor barrier. Gravel shall have a minimum size of 1/2".
- Reinforcing steel shall be grade 60 (Fy = 60 ksi). Welded wire mesh shall conform to ASTM A185.
- Minimum cover for reinforcement shall be 3" for footings, 1-1/2" for slabs.
- Lumber:
 - Studs and joists are Douglas Fir #2 and better, Fb = 1250 psi minimum, Fy = 95psi minimum, and E = 1,700,00. All lumber in contact with concrete or within 8" of soil shall be pressure-treated.
 - LVL and PSL lumber shall have a minimum of Fb = 2850 psi, Fv = 285 psi, and E = 2,000,000.
 - Nail all multiple members together as per the manufacturer's recommendations and at a minimum use 2-10d nails at 6" o.c. staggered.
 - Provide bridging at the center of all joist spans over 8'-0". Provide solid blocking at all bearing points on top of walls and beams.
 - Exterior load bearing walls shall be 2x6 studs at 16" o.c. and interior load bearing walls shall be 2x4 studs at 16" o.c.. Walls shall have a double top plate and a single bottom plate of the same size. Provide blocking at the midpoint of walls exceeding 10' high.
 - Exterior wall sheathing is 7/16" APOA rated structural sheathing. Block all horizontal joints. Nail with 8d nails at 6" o.c. at the edges and 12" o.c. in the field.
 - Roof sheathing is 5/8" APA rated roof sheathing above with a panel index of 40/20.
 - Place a double stud below the bearing end of all beams, headers, and double joists. For all beams and headers with a span greater than 10' use a triple stud.
 - Wood headers shall be as noted on the plans or as follows:

Openings < 3'-0"	2-2x6
3'-0" < opening < 4'-6"	
4'-6" < opening < 6'-0"	2-2x10
6'-0" < opening < 8'-0"	2-1-3/4" x 9-1/4" LVL
8'-0" < opening < 12'-0"	2-1-3/4" x 11-7/8" LV
 - Fasteners: Nail all sheathing and framing members as noted above and as per table 602.3(1) of the IRC. All fasteners in contact with pressure treated wood shall be galvanized. All joists shall have Simpson hangers where applicable.

DESIGN DATA

Live Loads.

Floor: 40 PSF
 Roof: 30 PSF

Dead Loads

Floor: 10PSF
 Roof at flat ceilings: 6 PSF

Wind Design Data

Basic wind speed: 115 MPH
 Wind design pressure: 13.5 PSF
 Exposure factor: B (suburban setting, other 2 story houses nearby)
 Importance factor: 1.0
 Risk category: II

DRAINAGE & GRADING NOTES

- NEW ROOF AREA CREATED BY THIS WORK = 191 S.F.
- NOTE NEW DOWNSPOUTS & DRAINAGE LOCATIONS ON SITE PLAN
- SOIL DISTURBANCE IN THIS WORK = 75 CU.YDS.
- ALL SOIL NOT REQUIRED FOR BACKFILL SHALL BE REMOVED FROM THE SITE. PROVIDE SEDIMENT CONTROL DEVICES AS REQUIRED BY MONTGOMERY COUNTY.

ENERGY NOTES

- The building thermal envelope and insulation levels are indicated on the building section, Sheet # A8. All exposed exterior walls, including basement walls, shall be fully insulated with spray foam, R=7 per inch, and sealed durably to limit infiltration. Sealing methods between dissimilar materials shall allow for differential expansion and contraction. The following shall be sealed, caulked, weather stripped, gasketed or otherwise sealed with an air barrier material:
 - All joints, seams and penetrations
 - Openings between window and door assemblies and their jabs and framing
 - Utility penetrations
 - Dropped ceilings or chases adjacent to the building envelope.
 - Knee walls
 - Behind tubs and showers on exterior walls
 - Attic access openings
 - Rim joist junctions
 - Other sources of infiltration
- No recessed lighting will be in the building thermal envelope.
- The maximum weighted U value of the new vertical fenestration shall be 0.32, max. SHGC shall be 0.55
- The additional first floor area will be served by a mini split style heat pump, SEER = 18 minimum, and which will be sized based on building loads calculated in accordance with ACCA Manual-J.

INDEX TO DRAWINGS

- C-01 COVER SHEET, SITE PLAN, NOTES
- A-01 EXISTING CONDITIONS, DEMOLITION PLAN.
- A-02 EXISTING REAR & LEFT SIDE ELEVATIONS
- A-03 EXISTING FRONT & RIGHT SIDE ELEVATIONS
- A-04 NEW BASEMENT & FIRST FLOOR PLANS
- A-05 NEW REAR & LEFT SIDE ELEVATIONS
- A-06 NEW RIGHT SIDE ELEVATION, WINDOW SCHEDULE
- A-07 BUILDING SECTIONS A-A AND B-B
- S-01 FLOOR & ROOF FRAMING PLANS
- T-01 TREE PROTECTION PLAN.

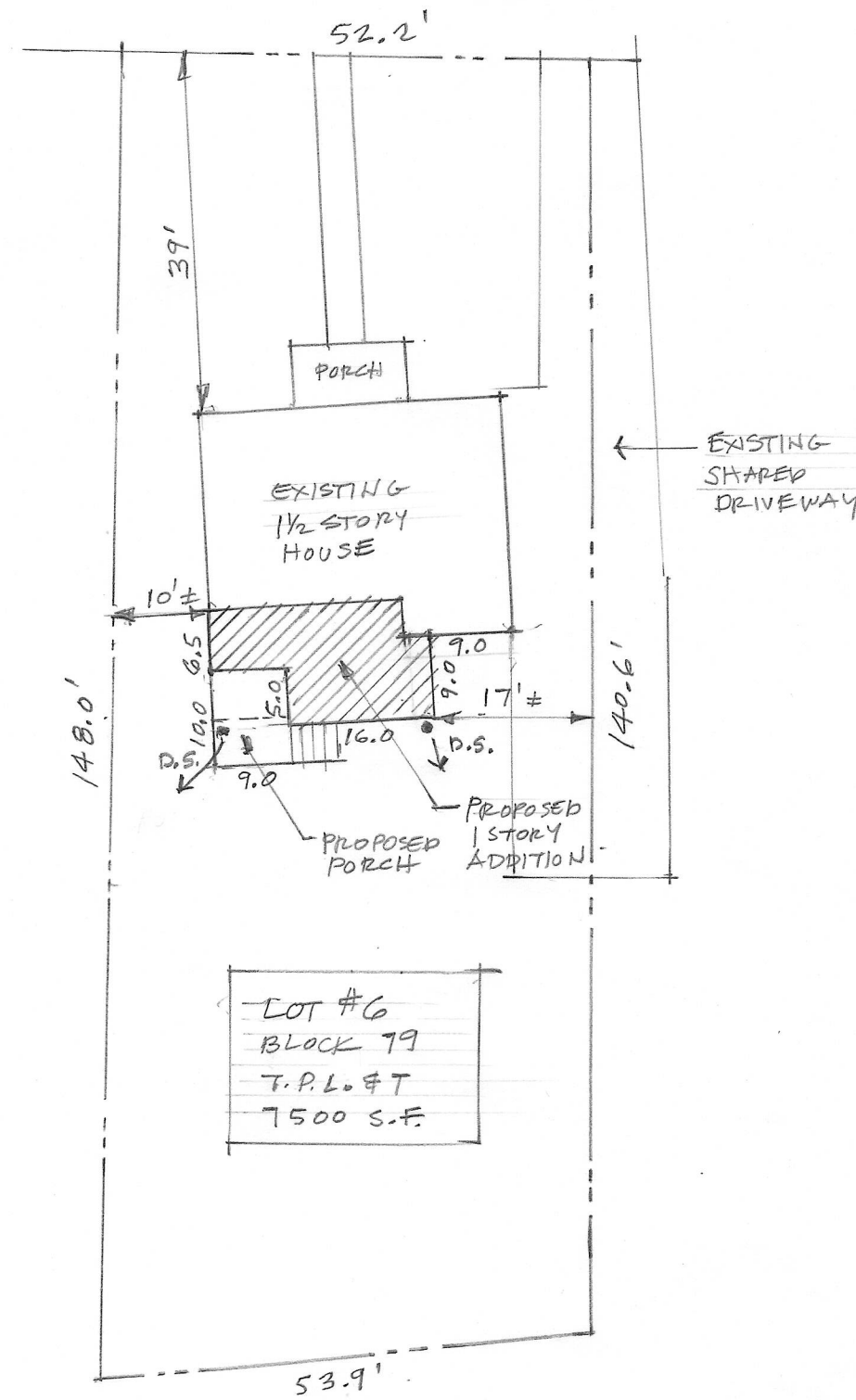
SCOPE OF THIS WORK

- REMOVE EXISTING REAR ADDITION AND PORCH
- BUILD NEW 1 STORY ADDITION AND PORCH OVER NEW BASEMENT.

CODE NOTE

ALL NEW WORK SHALL CONFORM TO THE I.R.C. AND THE I.E.E.C., 2021 EDITION, AS AMENDED BY MONTGOMERY COUNTY, MD.

BALTIMORE AVENUE



SITE PLAN

SCALE: 1" = 20'-0"

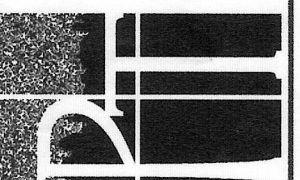
ZONING NOTES

ZONE: R-60
 SETBACKS: SIDE, 7.0' REAR, 30.0'
 EXISTING LOT COVERAGE: 1018.75 S.F.
 COVERAGE BEING REMOVED: 156 S.F.
 COVERAGE BEING ADDED: 288.5 S.F.
 TOTAL PROPOSED LOT COVERAGE: 1151.25 S.F. = 15.35 S.F.

TREE NOTES

NO TREES ARE BEING REMOVED FOR THIS WORK. SEE TREE PROTECTION PLAN FOR EXISTING TREE LOCATIONS AND PROTECTION MEASURES.

ADDITION TO THE HASTY RESIDENCE
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Paul Treseder
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DATE 1-07-2026

SCALE

DRAWN PT

JOB HASTY

SHEET

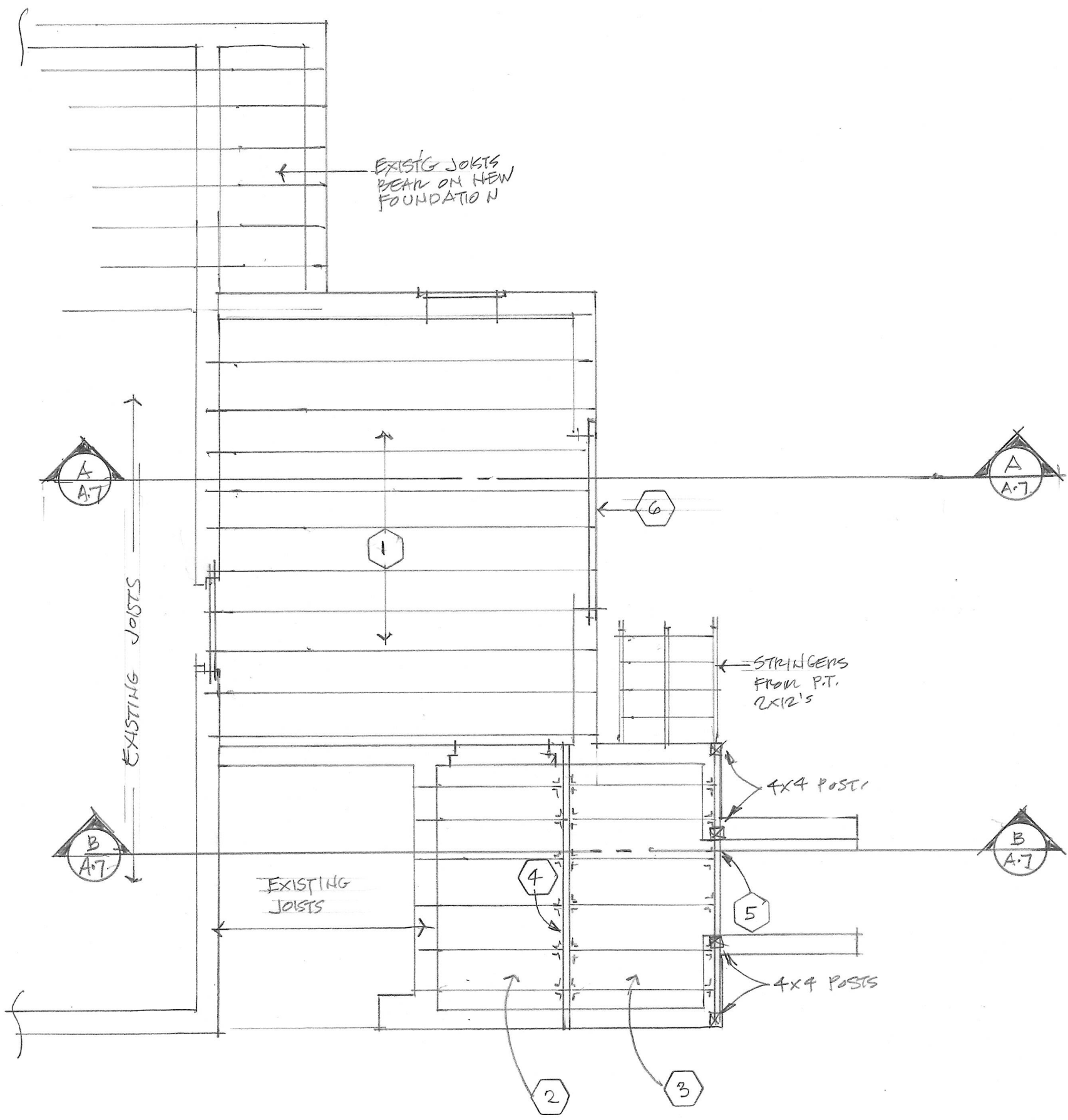
C-01

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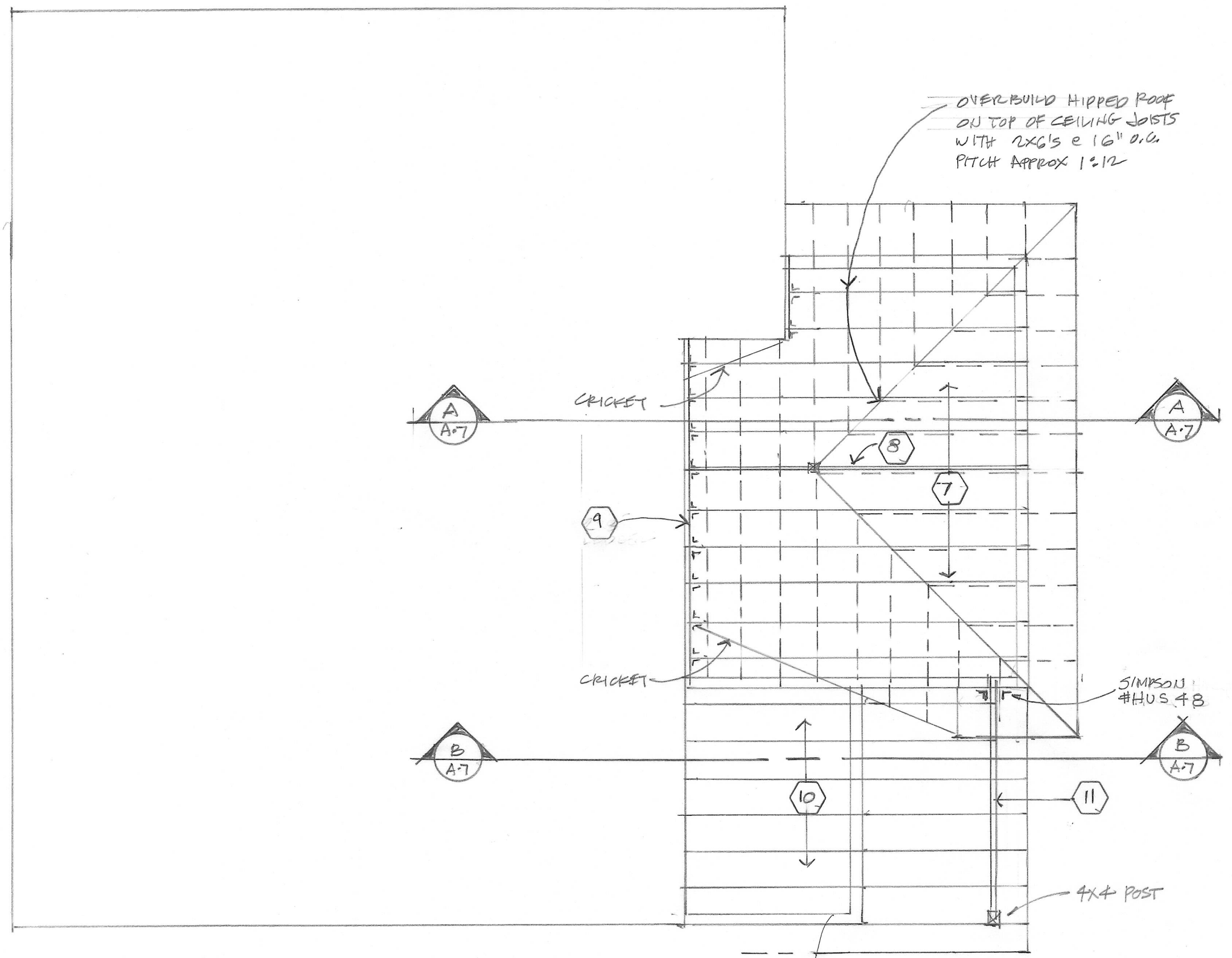
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FLOOR FRAMING PLAN



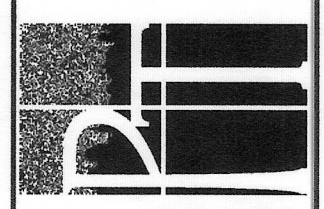
ROOF FRAMING PLAN

KEYED NOTES

- ① 2x10 JOISTS @ 16" O.C. - BEAR ON TOP OF MASONRY WALLS
- ② 2x6 JOISTS, PRESSURE TREATED, @ 16" O.C.
- ③ 2x6 JOISTS, PRESSURE-TREATED, @ 16" O.C.
- ④ DOUBLE 2x10, PRESSURE TREATED. - TOP FLUSH WITH 2x6 JOISTS
- ⑤ DOUBLE 2x6, PRESSURE TREATED - TOP FLUSH WITH 2x6 JOISTS

- ⑥ LINTEL OVER WINDOW OPEN'G - 2- 4"x6" STEEL ANGLES
- ⑦ CEILING JOISTS: 2x6'S @ 16" O.C.
- ⑧ CEILING JOIST AT POINT LOAD: 1 3/4" x 9 1/2" PARALAM
- ⑨ LEDGER AT EXISTING HOUSE: 2x8, FASTENED TO EXIST'G STUDS W/ LEDGER-LOK SCREWS @ 16" O.C. FASTEN CEILING JOISTS TO LEDGER WITH SIMPSON HANGERS.

- ⑩ 2x6 CEILING JOISTS AND 2x6 RAFTERS @ 16" O.C. NOTE THAT RAFTERS TIE INTO THE RAFTERS OF THE EXISTING ROOF (SEE SECTION B-B)
- ⑪ PORCH BEAM - 4x8 DOUG. FIR



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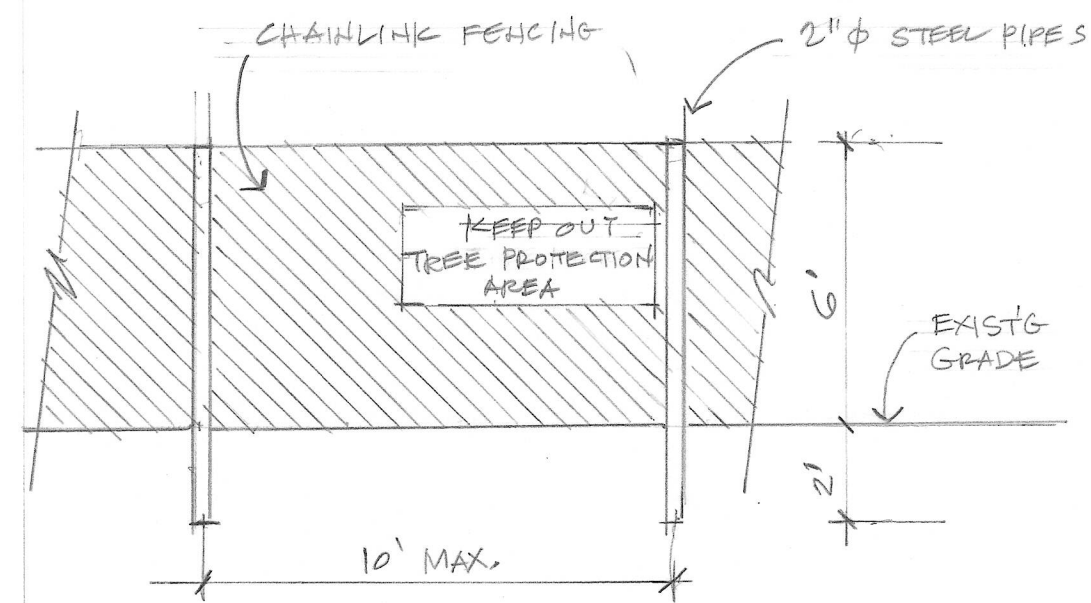
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SHEET	S.01
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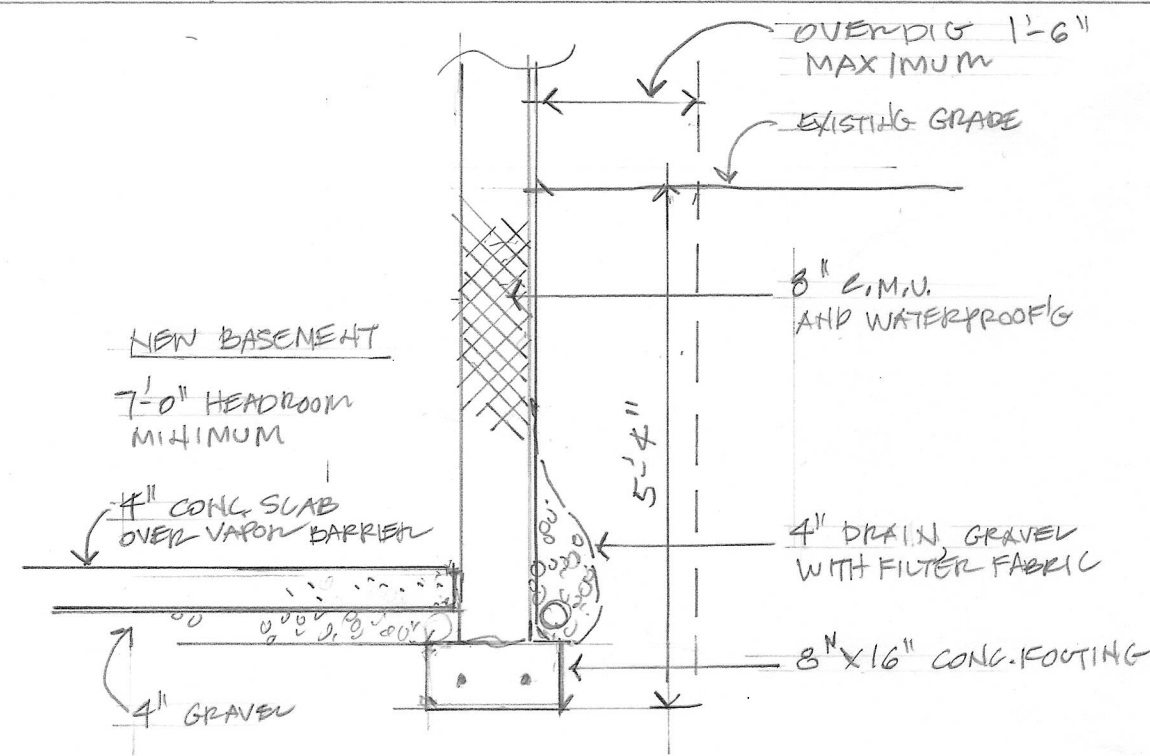


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TREE PROTECTION FENCE DETAIL Scale: 1/4" = 1'-0"



TYPICAL FOUNDATION DETAIL Scale: 1/2" = 1'-0"



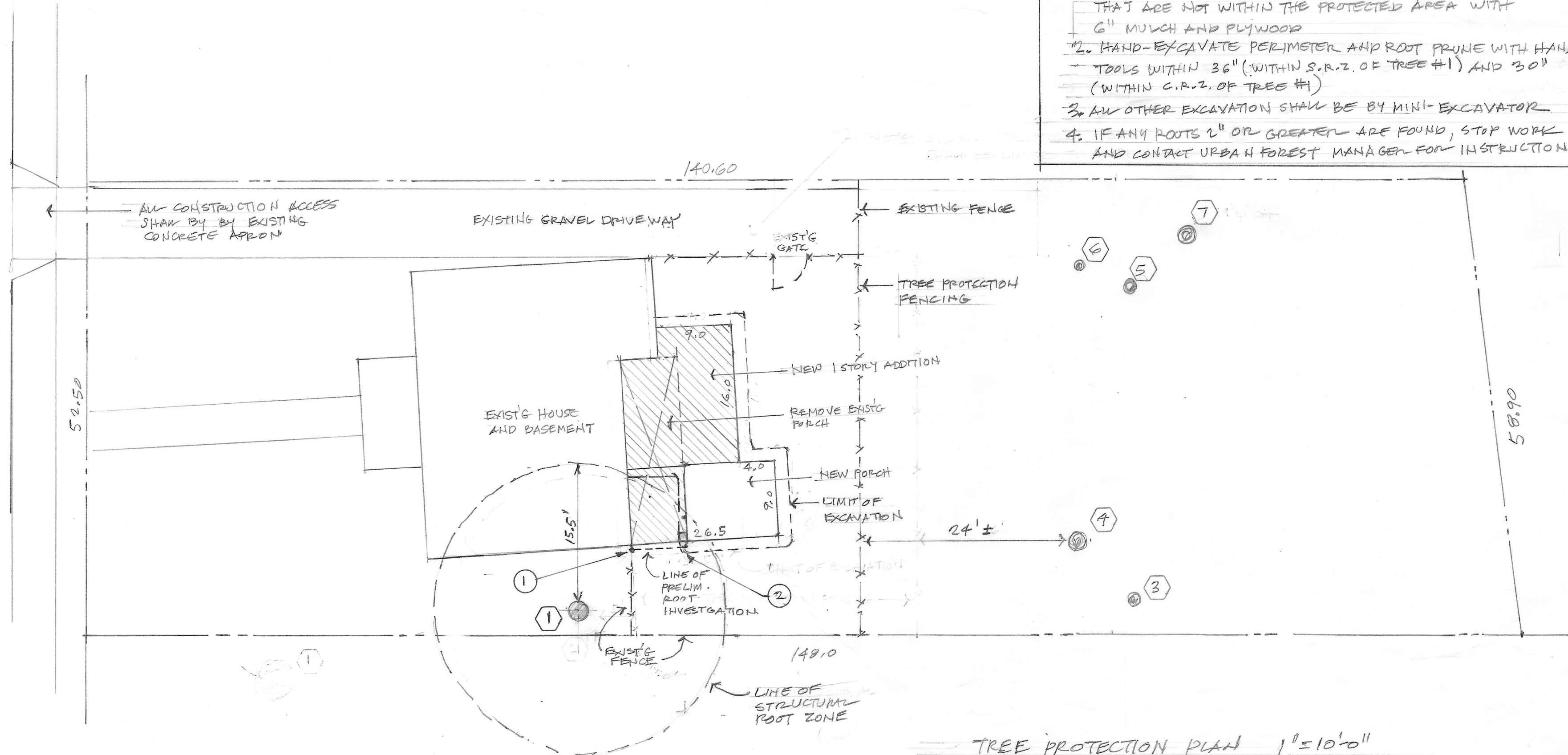
TREE SCHEDULE

DIAMETER @ 42"	TYPE	AREA OF STRUCTURAL ROOT ZONE AFFECTED BY THE WORK
1 3 1/2"	OAK	10 SF - SEE PLAN
2 NOT USED	SALICIF	50 SF
3 8"	HOLLY	NONE
4 20"	OAK	NONE
5 10"		NONE
6 8"		NONE
7 19"	OAK	NONE

TREE PROTECTION GENERAL NOTES

1. PROVIDE ROOT PROTECTION AT ALL CRITICAL ROOT ZONES THAT ARE NOT WITHIN THE PROTECTED AREA WITH 6" MULCH AND PLYWOOD
2. HAND-EXCAVATE PERIMETER AND ROOT PRUNE WITH HAND TOOLS WITHIN 36" (WITHIN S.R.Z. OF TREE #1) AND 30" (WITHIN C.R.Z. OF TREE #1)
3. ALL OTHER EXCAVATION SHALL BE BY MINI-EXCAVATOR
4. IF ANY ROOTS 2" OR GREATER ARE FOUND, STOP WORK AND CONTACT URBAN FOREST MANAGER FOR INSTRUCTIONS.

BALTIMORE AVENUE

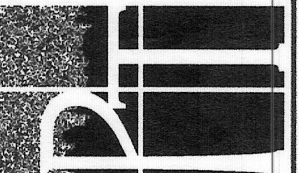


TREE PROTECTION PLAN 1" = 10'-0"

KEYED NOTES

- 1 CLUSTER OF 3-6" Ø # ROOTS - DO NOT CUT
- 2 3 SMALL ROOTS, 1.2" Ø, 1.8" Ø, 2.2" Ø MAY BE CUT.

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Paul Treseder
 Architect

DATE 1-07-2026

SCALE 1" = 10'-0"

DRAWN P.T.

JOB HASTY

SHEET

T-01

OF 12 SHEETS





7411











7411







