

**Description of Property:** Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

**Description of Work Proposed:** Please give an overview of the work to be undertaken:

Work Item 1: _____	
Description of Current Condition:	Proposed Work:

Work Item 2: _____	
Description of Current Condition:	Proposed Work:

Work Item 3: _____	
Description of Current Condition:	Proposed Work:

**HISTORIC AREA WORK PERMIT  
CHECKLIST OF  
APPLICATION REQUIREMENTS**

	Required Attachments						
Proposed Work	I. Written Description	2. Site Plan	3. Plans/ Elevations	4. Material Specifications	5. Photographs	6. Tree Survey	7. Property Owner Addresses
New Construction	*	*	*	*	*	*	*
Additions/ Alterations	*	*	*	*	*	*	*
Demolition	*	*	*		*		*
Deck/Porch	*	*	*	*	*	*	*
Fence/Wall	*	*	*	*	*	*	*
Driveway/ Parking Area	*	*		*	*	*	*
Grading/Excavation/ Landscaping	*	*		*	*	*	*
Tree Removal	*	*		*	*	*	*
Siding/ Roof Changes	*	*	*	*	*		*
Window/ Door Changes	*	*	*	*	*		*
Masonry Repair/ Repoint	*	*	*	*	*		*
Signs	*	*	*	*	*		*

**ROOF REPLACEMENT, POWER WASH AND PAINT**

DG Exteriors LLC  
 211 Crabb Ave  
 Rockville, MD 20850  
 service@dgehomes.com  
 (240) 883-1265

For: Ronald Whalen  
 Job Address: 6912 Westmoreland Avenue  
 Takoma Park, MD 20912  
 Rondwhalen@gmail.com  
 (301) 593-3966

Job Id 2603-8366412-01    Job # 024-366    Estimate # 0160

**Estimate Amount    \$32,170.00**

Estimate Date 03/17/2026    Contractor license # 05-161407

#	Type	Name	(Price / Unit) x Qty	Line Total
1	ACTIVITY	Full Roof Replacement	(\$23,320.00 / EA) x 1.00	\$23,320.00
		Description: Remove and dispose existing asphalt shingles — 28 SQ @ \$80.00 — \$2,240.00		
		Install ½" OSB roof decking layover over existing plank decking — 28 SQ @ \$193.00 — \$5,404.00		
		Install GAF Timberline HDZ architectural shingles — 28 SQ @ \$305.00 — \$8,540.00		
		Install GAF FeltBuster synthetic underlayment — 28 SQ @ \$28.00 — \$784.00		
		Install Ice & Water Shield leak barrier — 6 SQ @ \$115.00 — \$690.00		
		Drip edge (eaves and rakes) — 248 LF @ \$4.50 — \$1,116.00		
		Starter strip shingles — 248 LF @ \$3.25 — \$806.00		
		GAF Cobra Snow Country ridge vent — 70 LF @ \$11.00 — \$770.00		
		Ridge cap shingles — 231 LF @ \$4.75 — \$1,097.25		
		Detach and reset existing gutter guards along eaves — 140 LF @ \$7.00 — \$980.00		
		Velux skylight Replacement CO6 — 1 EA — \$950		
		Replace plumbing pipe boots — 2 EA @ \$80.00 — \$160.00		
		Step flashing replacement — 23 LF @ \$7.50 — \$172.50		
		Valley metal flashing — 119 LF @ \$8.50 — \$1,011.50		
		Job site protection, tarping, magnetic nail sweep, and debris removal — 1 LS — \$1,050.00		
		Permit, delivery, logistics, and project management — 1 LS — \$558.75		
2	ACTIVITY	Exterior Power Wash - Full Home	(\$1,550.00 / EA) x 1.00	\$1,550.00
		Description: Complete exterior cleaning of the home including soft washing of all siding to remove algae, mildew, and organic buildup. This includes cleaning of all soffit, fascia, exterior window frames and glass (approximately 15 windows), front porch area including ceiling, railings, and steps, as well as pressure washing of all concrete surfaces including the front porch slab, steps, and base perimeter around the home. All gutters and gutter faces will be cleaned, with gutter guards carefully detached and reset as needed to ensure proper cleaning. Includes site setup, protection of landscaping, and full cleanup upon completion.		

3	ACTIVITY	Exterior Painting - Windows, Soffit, Porch, & Trim	(\$7,300.00 / EA) x 1.00	\$7,300.00
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Description: EXTERIOR PAINTING – WINDOWS, SOFFIT, PORCH & TRIM

Complete preparation and painting of all exterior wood trim including window trim (approximately 15 windows), soffit, fascia, and front porch areas. Work includes scraping, sanding, caulking, sealing joints, and priming all exposed or repaired surfaces. Finish includes application of high-quality exterior paint with two coats to ensure durability and uniform appearance. Front porch trim, railings, and steps will be painted with a color matched to the existing porch finish. Includes front entry door and surrounding trim, as well as final detail work, touch-ups, and cleanup.

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<b>Total</b>	<b>\$32,170.00</b>
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**Note:**

All work included in this proposal is intended to preserve the existing historical character and appearance of the property in accordance with Takoma Park Historic Preservation guidelines. No changes are being made that would alter the architectural style, visible design, or historical nature of the home. The existing asphalt roofing system will be removed and replaced with new architectural asphalt shingles in a similar style and color, and the existing skylight will be removed and replaced with the same brand and comparable model to maintain the original appearance and roofline consistency.

Attached Images

IMG\_1090.jpeg

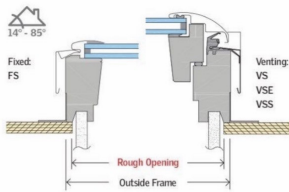
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Deck-Mounted Skylights

Size Chart and Codes

Model Size	A06	C01	C04	C06	C08	C12	D26	D06	M02	M04	M06	M08	S01	S06
Previous Model Size	056	J01	J04	J06	J08	J12	J50	J56	302	304	306	308	602	606
Rough Opening (W"xH")	34 1/4 x 45 1/4	21 x 26 3/4	21 x 37 3/4	21 x 45 1/4	21 x 54 1/4	21 x 70 1/4	22 1/4 x 22 1/4	22 1/4 x 45 1/4	30 1/4 x 30	30 1/4 x 37 1/4	30 1/4 x 45 1/4	30 1/4 x 54 1/4	44 1/4 x 26 1/4	44 1/4 x 45 1/4
Outside Frame (W"xH")	15 1/4 x 46 1/4	21 1/4 x 27 1/4	21 1/4 x 38 1/4	21 1/4 x 46 1/4	21 1/4 x 54 1/4	21 1/4 x 70 1/4	23 1/4 x 23 1/4	23 1/4 x 46 1/4	30 1/4 x 30 1/4	30 1/4 x 38 1/4	30 1/4 x 46 1/4	30 1/4 x 54 1/4	44 1/4 x 27 1/4	44 1/4 x 46 1/4
Daylight Square Feet	Fixed: 356	356	443	543	652	852	278	594	515	664	813	977	692	1236
Ventalt	—	227	350	438	534	—	—	—	411	548	686	836	557	1073
Fits On Center	36"	24"	24"	24"	24"	24"	24"	24"	36"	36"	36"	36"	36" or 24"	36" or 24"

<sup>1</sup> FS Fixed skylight only. <sup>2</sup> Not available for VSE Electric ventin skylight.



FS - Fixed skylight  
 VS - Manual venting skylight  
 VSE - Electric venting skylight  
 VSS - Solar Covered "Fresh Air" skylight

FS C06 2 0 0 4


Model	Sizes	Interior finish	Cladding	Glazings
FS VS VSE VSS	A06 C01 C04 C06 C08 C12 D26 D06 M02 M04 M06 M08 S01 S06	0 Stain grade wood 2 White 9 Special	0 Aluminum 1 Copper 9 Special	04 Clean, Quiet & Safe glass 05 Low E7 Temp 06 Impact 08 White lami 10 Snowload 99 Special




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## Color Collections

High Definition® Colors      Bold Definition Colors



Pewter Gray



Barkwood

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GAF

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★★★★★ 4.8 (19260) [WRITE A REVIEW](#)

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Attached Images

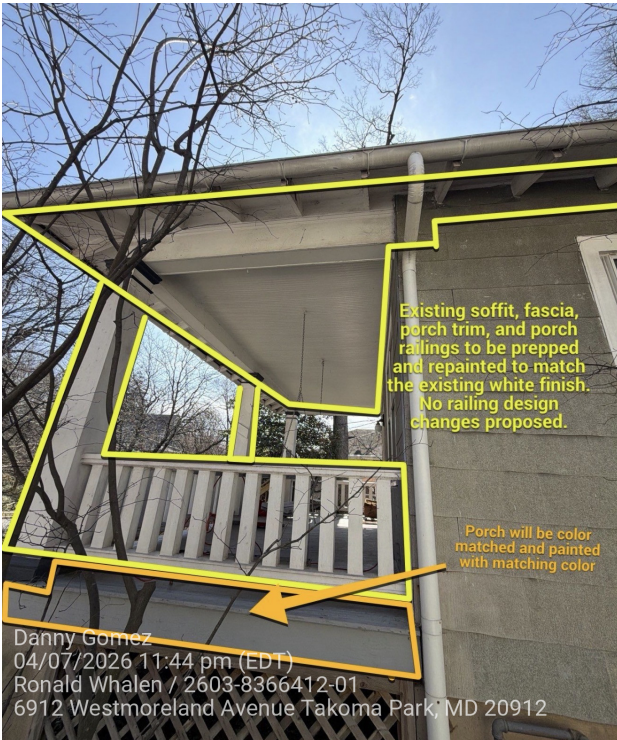
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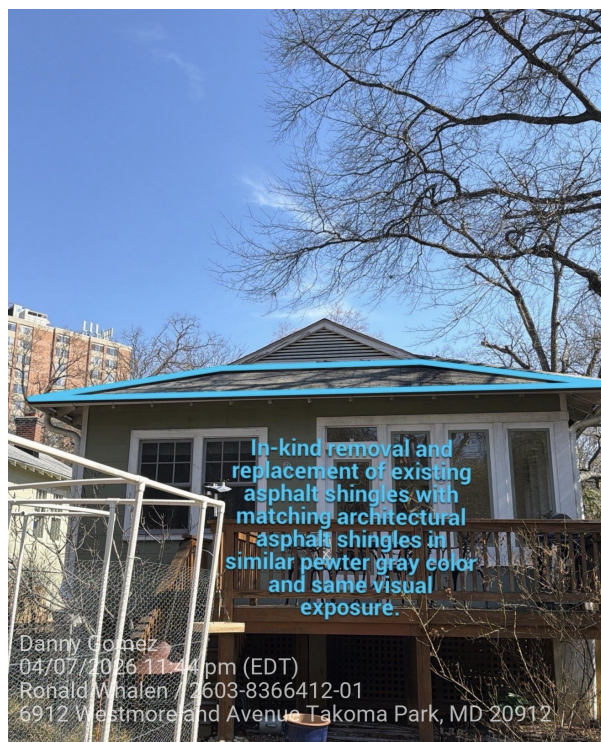
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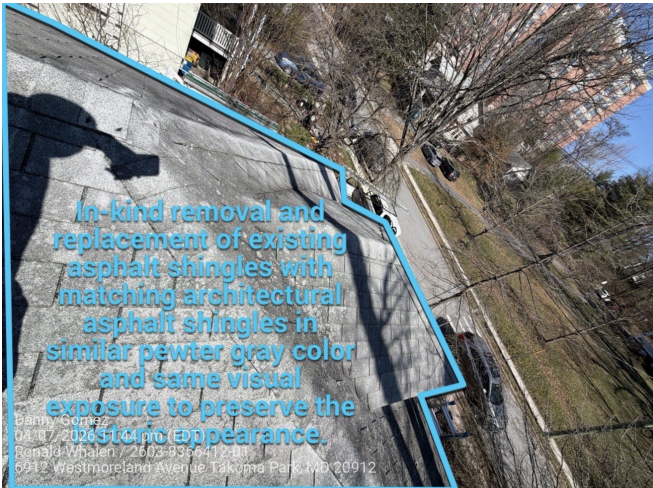
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## Attached Images

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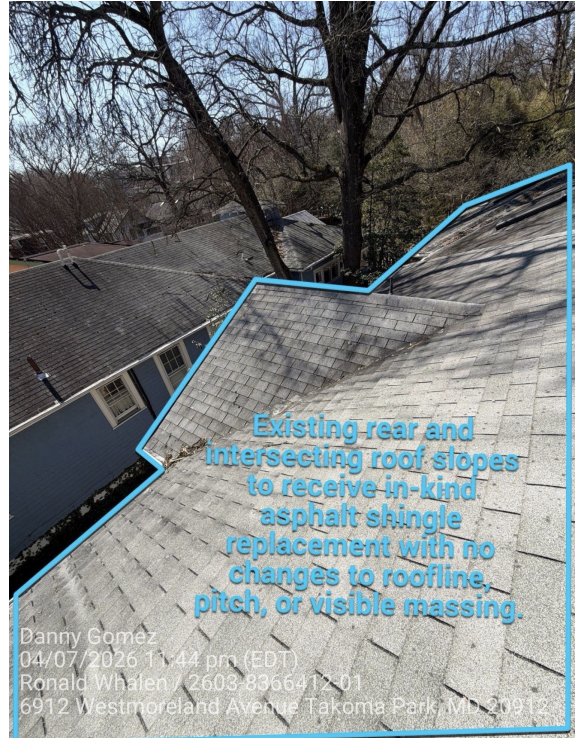
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# DG Exteriors – Historic Area Work Permit Exhibit Packet (Renewed)

**Property: 6912 Westmoreland Ave, Takoma Park, MD 20912**

Exhibit A	Front Elevation
Exhibit B	Main Roof Plane
Exhibit C	Dormer Roof + Trim
Exhibit D	Dormer Returns / Fascia
Exhibit E	Porch Columns + Railings
Exhibit F	Side Elevations

**Exhibit A** – Existing front elevation to remain unchanged. Proposed work consists of in-kind asphalt roof replacement and repainting only.

**Exhibit B** – Main roof planes to receive in-kind asphalt shingle replacement in matching Pewter Gray.

**Exhibit C** – Dormer roof slope, trim, and fascia to remain unchanged and be repainted to match.

**Exhibit D** – Dormer returns, soffit, and fascia to remain in place with no profile changes.

**Exhibit E** – Existing porch columns, railings, trim, and skirt lattice to remain and be repainted.

**Exhibit F** – Side elevation trim, soffit, fascia, and window surrounds to remain unchanged.



DEPARTMENT OF PERMITTING SERVICES

Marc Elrich  
*County Executive*

Rabbiah Sabbakhan  
*Director*

# HISTORIC AREA WORK PERMIT APPLICATION

Application Date: 4/8/2026

Application No: 1153935  
AP Type: HISTORIC  
Customer No: 1550875

## Comments

Supporting documents, including the completed HAWP application, proposal, exhibit packet, photo report, and material references, have been emailed to the Historic Preservation staff email provided for review and coordination.

## Affidavit Acknowledgement

The Contractor is the Primary applicant authorized by the property owner  
This application does not violate any covenants and deed restrictions

## Primary Applicant Information

Location Systems would not identify the address below: 6912 Westmoreland Avenue, Takoma Park, MD 20912  
Othercontact Gomez (Primary)

## Historic Area Work Permit Details

Work Type RESREP  
Scope of Work In-kind roof replacement with similar matching asphalt shingles in similar Pewter Gray, same skylight replacement in existing opening, and repainting of existing trim, soffit, fascia, porch railings, and skirt boards to match existing white finish. No changes to roofline or historic character.