

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

Description of Work Proposed: Please give an overview of the work to be undertaken:

Work Item 1: _____	
Description of Current Condition:	Proposed Work:

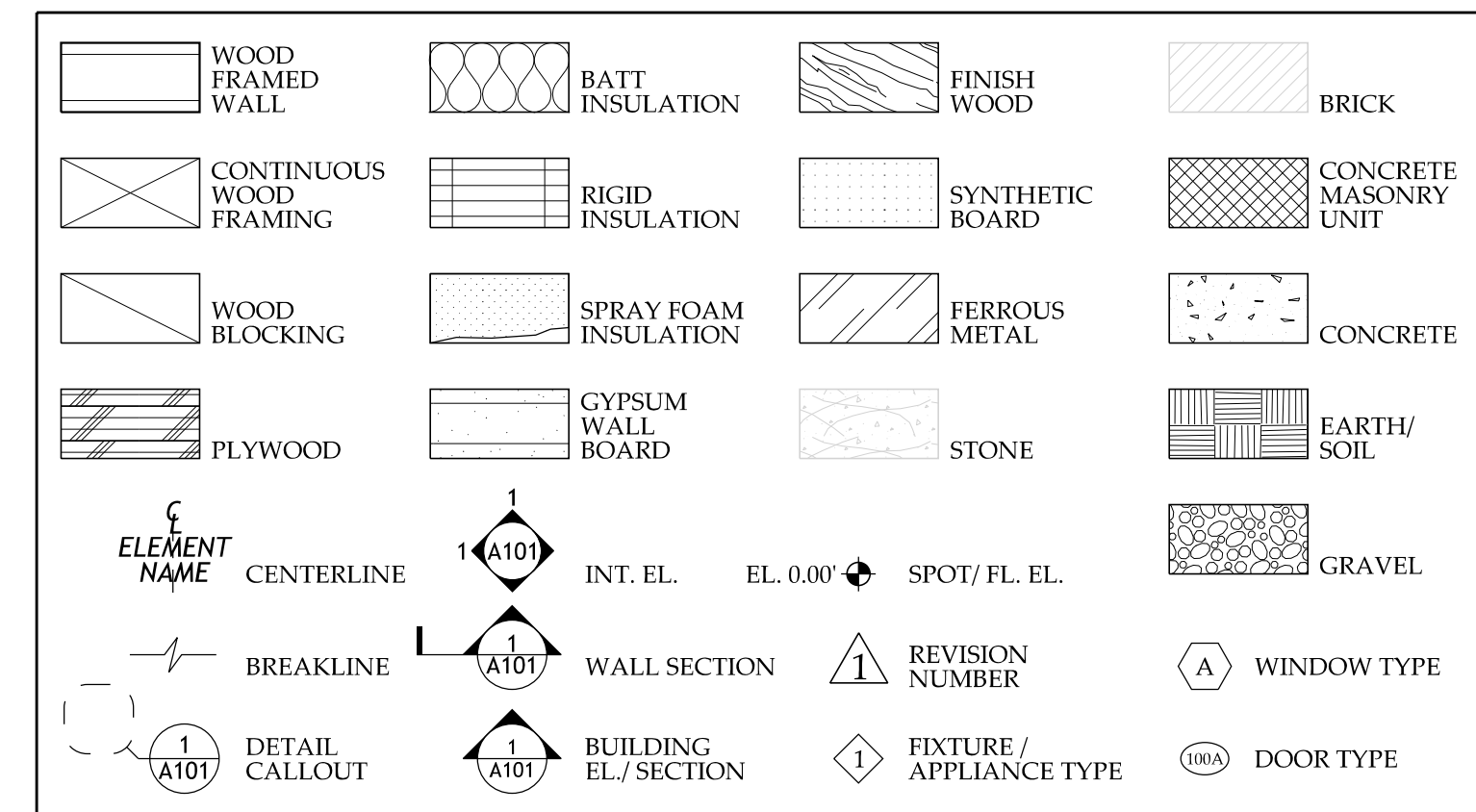
Work Item 2: _____	
Description of Current Condition:	Proposed Work:

Work Item 3: _____	
Description of Current Condition:	Proposed Work:

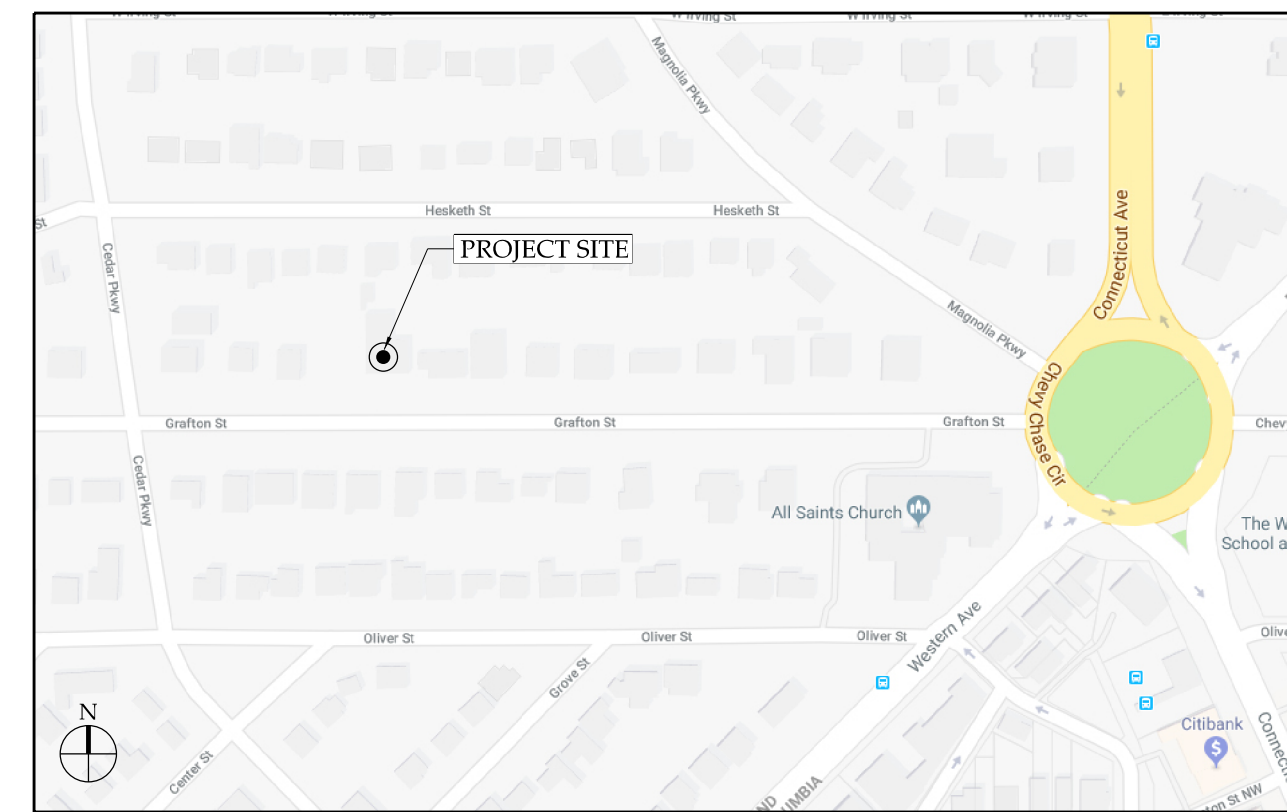
**HISTORIC AREA WORK PERMIT
CHECKLIST OF
APPLICATION REQUIREMENTS**

	Required Attachments						
Proposed Work	I. Written Description	2. Site Plan	3. Plans/ Elevations	4. Material Specifications	5. Photographs	6. Tree Survey	7. Property Owner Addresses
New Construction	*	*	*	*	*	*	*
Additions/ Alterations	*	*	*	*	*	*	*
Demolition	*	*	*		*		*
Deck/Porch	*	*	*	*	*	*	*
Fence/Wall	*	*	*	*	*	*	*
Driveway/ Parking Area	*	*		*	*	*	*
Grading/Excavation/ Landscaping	*	*		*	*	*	*
Tree Removal	*	*		*	*	*	*
Siding/ Roof Changes	*	*	*	*	*		*
Window/ Door Changes	*	*	*	*	*		*
Masonry Repair/ Repoint	*	*	*	*	*		*
Signs	*	*	*	*	*		*

KEY TO MATERIALS & DRAWING SYMBOLS



VICINITY MAP



THE BONNIE RESIDENCE

19 GRAFTON STREET CHEVY CHASE, MD 20815

LIST OF ABBREVIATIONS

Abbreviation	Item	Abbreviation	Item	Abbreviation	Item
1X	One-inch nominal thickness	F.B.O.	Furnished By Owner	PART.	Partition
2X	Two-inch nominal thickness	F.D.	Floor Drain	PLMB.	Plumbing
@	At	F.F.	Finish Floor	PLYWD.	Plywood
AC	Air Conditioning	FDIN.	Foundation	PMVT.	Pavement
A.F.F.	Above Finish Floor	FGLAS.	Fiberglass	PREFAB.	Prefabricated
ABV.	Above	FIN.	Finish	PREFIN.	Prefinished
ADJ.	Adjustable	FIXT.	Fixture	PSF	Pound Per Square Foot
ALN.	Align	FLASFG.	Flashing	PSI	Pound Per Square Inch
ALT.	Alternate	FL.	Floor	P.T.	Pressure Treated
ALUM.	Aluminum	FLRG.	Flooring	PTD.	Painted
ANCH.	Anchor	FLUOR.	Fluorescent	PVC	Polyvinyl Chloride
APPROX.	Approximate	F.O.	Face of	QTY.	Quantity
ARCH.	Architect (or Architectural)	F.O.S.	Face of Structure (or Stud)	R.	Riser(s)
AVG.	Average	F.O.M.	Face of Masonry	RAD.	Radius
B.O.F.	Base of Footing	FRMG.	Framing	RCPT.	Reflected Ceiling Plan
BB	Board or Bead	F.P.	Fireplace	REF.	Refrigerator
BEDRM.	Bedroom	F.T.	Fest	REINFC.	Reinforcing
BETW.	Between	FTG.	Footing	REPL.	Replace
BLDG.	Building	FURG.	Furning	REQD.	Required
BLKG.	Blocking	FURN.	Furnace	REV.	Revision
BM.	Beam	GA.	Gauge	RH	Right Hand
B.T.	Bolt	GALV.	Galvanized	RM.	Room
BOT.	Bottom	G.C.	General Contractor	R.O.	Rough Opening
BRG.	Bearing	GFI	Ground Fault Interrupter	SCHED.	Schedule
BRK.	Brick	GL.	Glass	S.CONC.	Sealed Concrete
BSMT.	Basement	GWB	Gypsum Wall Board	SCR.	Screen
BYD.	Beyond	GYP.	Gypsum	SDG.	Siding
C.	Course	H.B.	Hose Bibb	SDL	Simulated Divided Lite
CAB.	Cabinet, Cabinetry	HD.	Head	SDL	Single
CEM.	Cement	HDR.	Header	SH.	Sheet
CER.	Ceramic	HDW.	Hardware	SHG.	Sheathing
C.J.	Control Joint	HDWD.	Hardwood	SHWR.	Shower
C.L.	Centerline	HORIZ.	Horizontal	SIM.	Similar
CLADG.	Cladding	HT.	Height	SPEC.	Specifications
CLG.	Ceiling	HTR.	Heater	SQ.	Square
CLOS.	Closet	HVAC	Heating/Ventilation/Air-Conditioning	S.S.	Stainless Steel
CLR.	Clear	H.W.	Hot Water	STD.	Standard
CMU	Concrete Masonry Unit	I.B.C.	International Building Code	STL.	Steel
C.O.	Cased Opening	I.G.	Insulated Glass	STOR.	Storage
COL.	Column	IN.	Inch	STRUC.	Structure(-al)
COORD.	Coordinate, Coordination	INCL.	Include(d)	SUBFL.	Subfloor
CONC.	Concrete	INSUL.	Insulation	SURF.	Surface
CONST.	Construction	INT.	Interior	SW.	Switch
CONT.	Continuous	IRC	International Residential Code	S.W.M.	Storm Water Management
CPT.	Carpet	JST.	Joist	SYM.	Symbol
CPR.	Copper	JL.	Joint	SYN.	Synthetic
CRIT.	Critical	KIT	Kitchen	T	Treads
CRS.	Course	LAM.	Laminate	T&G	Tongue and Groove
CSK.	Countersink	LAV.	Laboratory	T.B.S.	To Be Specified
CSMT.	Casement	LEV.	Level	T.D.L.	True Divided Lite
C.T.	Ceramic Tile	LH	Left Hand	TEMP.	Temperature
C.TOP.	Countertop	LT.	Light	THK.	Thick
CTR.	Center	LTG.	Lighting	T.J.	Truss Joists
CTRD.	Centered	LVL.	Laminated Veneer Lumber	T.O.	Top of
C.W.	Cold Water	M.	Master	T.O.F.	Top of Footing
D	Dryer	MAS.	Masonry	T.O.S.	Top of Slab
DBL.	Double	MAT.	Material	T.O.ST.	Top of Structure
DEMO.	Demolish, Demolition	MAX.	Maximum	T.O.W.	Top of Wall
DET., DETL.	Detail	MDO	Medium Density Overlay	TOIL.	Toilet
DI.	Diameter	MDF	Medium Density Fiberboard	TPO	Thermoplastic Polyolefin
DM.	Dimension	MECH.	Mechanical	TRTD.	Treated
DSP.	Disposal	MED. CAB.	Medicine Cabinet	TYP.	Typical
DN.	Down	MEM.	Membrane	U.C.	Under-counter
DR.	Door	MFR.	Manufacturer(s)	UNFIN.	Unfinished
D.S.	Downspout	M.O.	Masonry Opening	U.N.O.	Unless Noted Otherwise
D.W.	Dishwasher	MIN.	Minimum	UTIL.	Utility
DWG.	Drawing	MISC.	Miscellaneous	V.B.	Vapor Barrier
EA.	Each	MLDG.	Molding	VENT.	Ventilate(-or)
E.J.	Expansion Joint	MTL.	Metal	VEST.	Vestibule
EL.	Elevation	MTD.	Mounted	V.F.	Verify in Field
ELEC.	Electrical	M.W.	Microwave	W.	Washer
ELEV.	Elevator	N.E.C.	National Electric Code	W/	With
EPS	Expanded Polystyrene	N.I.C.	Not In Contract	W/O	Without
EPXY	Epoxy	NO.	Number	W.C.	Water Closet
EQ.	Equal	N.T.S.	Not To Scale	WD.	Wood
EQUIP.	Equipment	O.A.	Overall	WDW.	Window
EST.	Established	O.C.	On Center	W.H.	Water Heater
E.T.R.	Existing to Remain	OFF.	Office	W.P.	Waterproof
EX., EXIST.	Existing	O.H.	Overhang	W.P.F.G.	Waterproofing
EXH.	Exhaust	OPNG.	Opening	W.S.	Weather Stripping
EXT.	Exterior	OPP.	Opposite	WT.	Weight
		YD.	Yard		

PROJECT NARRATIVE

- The project scope includes the enclosure of an existing second floor deck to create an insulated sunroom.

GENERAL NOTES

- The following notes shall apply to all drawings made as part of the Contract for construction for this project, including those drawings listed in the INDEX OF DRAWINGS on this sheet:
- The Contractor shall field verify all dimensions.
 - DO NOT SCALE THE DRAWINGS to obtain dimensions.
 - Dimensions shown are to face of structure (i.e. face of stud, masonry, concrete) unless noted otherwise on the drawings.
 - All construction resulting from the execution of this work shall conform to the current 2018 International Residential Code (IRC) with amendments, and the Maryland Building Performance Standards (MBPS); and with any other requirements established by Montgomery County and the state of Maryland.
 - All work represented in the drawings for this project shall be considered part of the work required by the Contract Documents for the project and shall be executed in a manner consistent with the provisions described in the Specifications and General Notes.
 - The construction work described in these drawings is applicable only to this project. The Architect accepts no liability whatsoever for any construction work performed on the basis of these drawings if such work is not executed under a general Contract.
 - The Contractor shall comply with current requirements for Montgomery County & the state of Maryland for radon mitigation.

DESIGN PARAMETERS

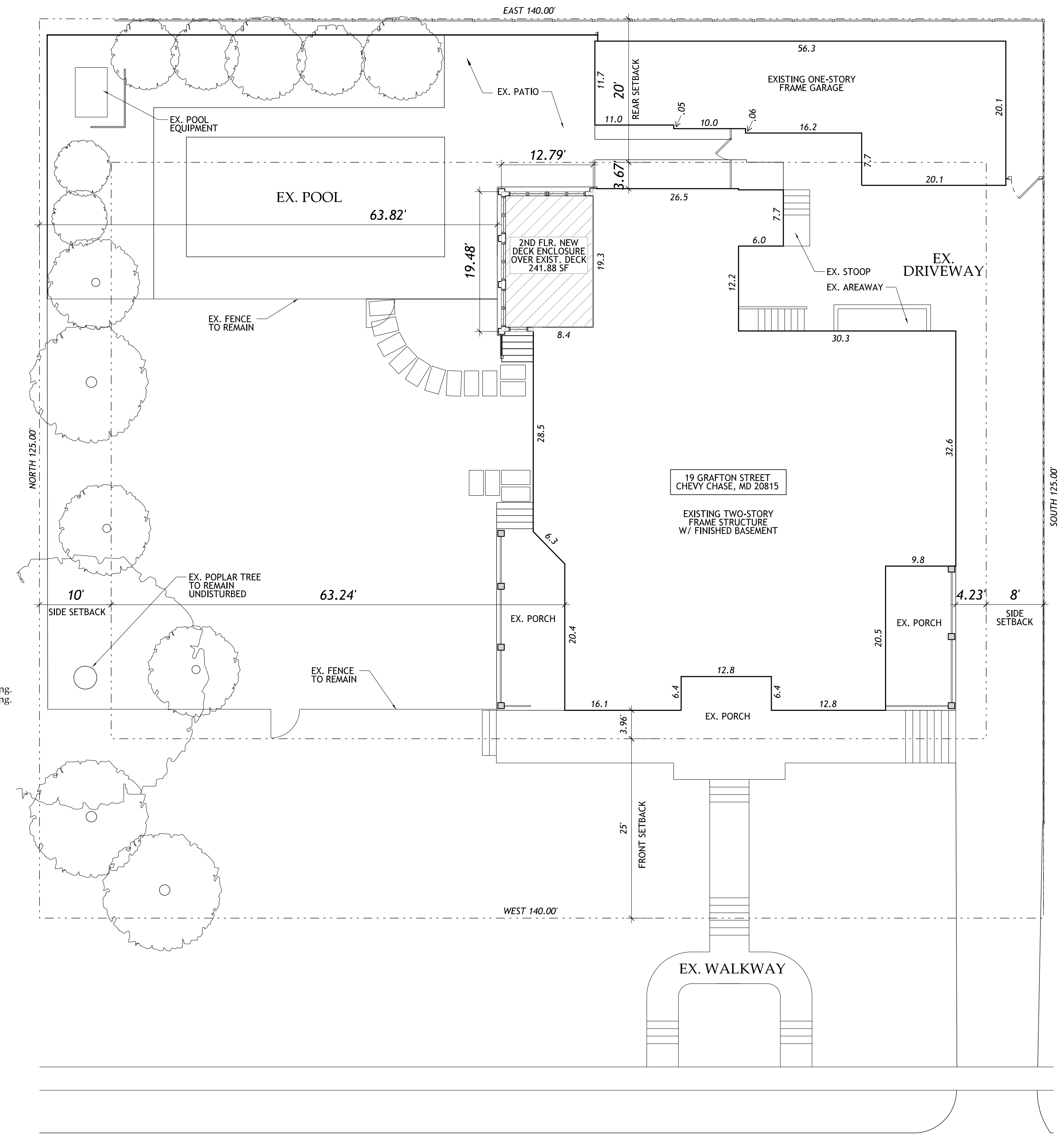
- MONTGOMERY COUNTY
- GROUND SNOW LOAD: 30 PSF
 WIND SPEED: 115 mph
 SEISMIC DESIGN CATEGORY: B
 WEATHERING: Severe
 FROST LINE DEPTH: 30 inches
 TERMITE: Moderate to Heavy
 DECAY: Slight to Moderate
 WINTER DESIGN TEMP.: 13 deg. Fahrenheit
 ICE SHIELD UNDERLAYMENT REQ'D: Yes
 FLOOD HAZARDS: July 2, 1979
 AIR FREEZING INDEX: 300
 MEAN ANNUAL TEMP.: 55 deg. Fahrenheit

ZONING SUMMARY

- Zone R-60 Total Assessed Area: 17,500 sqft.
 Lot 4 Exist. Lot Coverage: No change to existing.
 Block 24 Prop. Lot Coverage: No change to existing.
 Plat#: 106
 Maximum Building Height: No change to existing.
 Building Setbacks: No change to existing.
 Structure built in 1908.

INDEX OF DRAWINGS

Sheet	Drawing Title
0000	COVER SHEET & SITE PLAN
EX101	EXISTING FLOOR PLAN
A101	FLOOR PLAN
EX201	EXISTING SOUTH ELEVATION
A201	SOUTH ELEVATION
EX202	EXISTING WEST ELEVATION
A202	WEST ELEVATION
EX203	EXISTING NORTH ELEVATION
A203	NORTH ELEVATION
A501	EXISTING CONDITION PHOTO
A502	PROPOSED DESIGN SKETCH
A503	EXISTING CONDITION PHOTO



GRAFTON STREET

N

1
0000 **SITE PLAN**
SCALE: 1" = 10'-0"

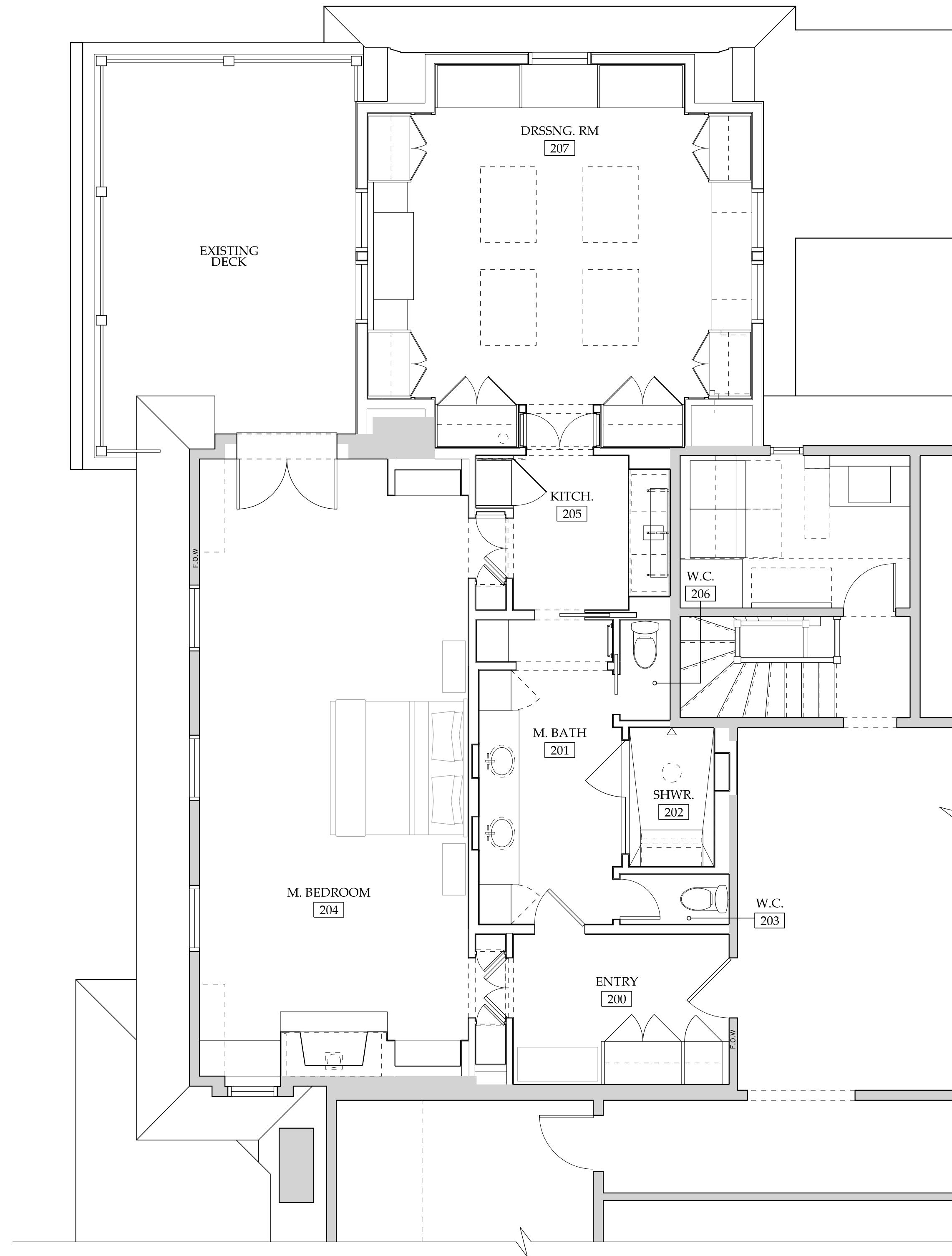
MUSE ARCHITECTS, PC
 Architecture and Interior Design
 Bethesda, MD 20814
 Phone 301.718.8118
 Fax 301.718.8112

RENOVATION OF THE
BONNIE RESIDENCE
 19 GRAFTON STREET, CHEVY CHASE, MD 20815

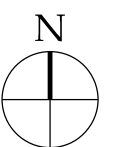
17.15
 HAWP
 17 APRIL 2026

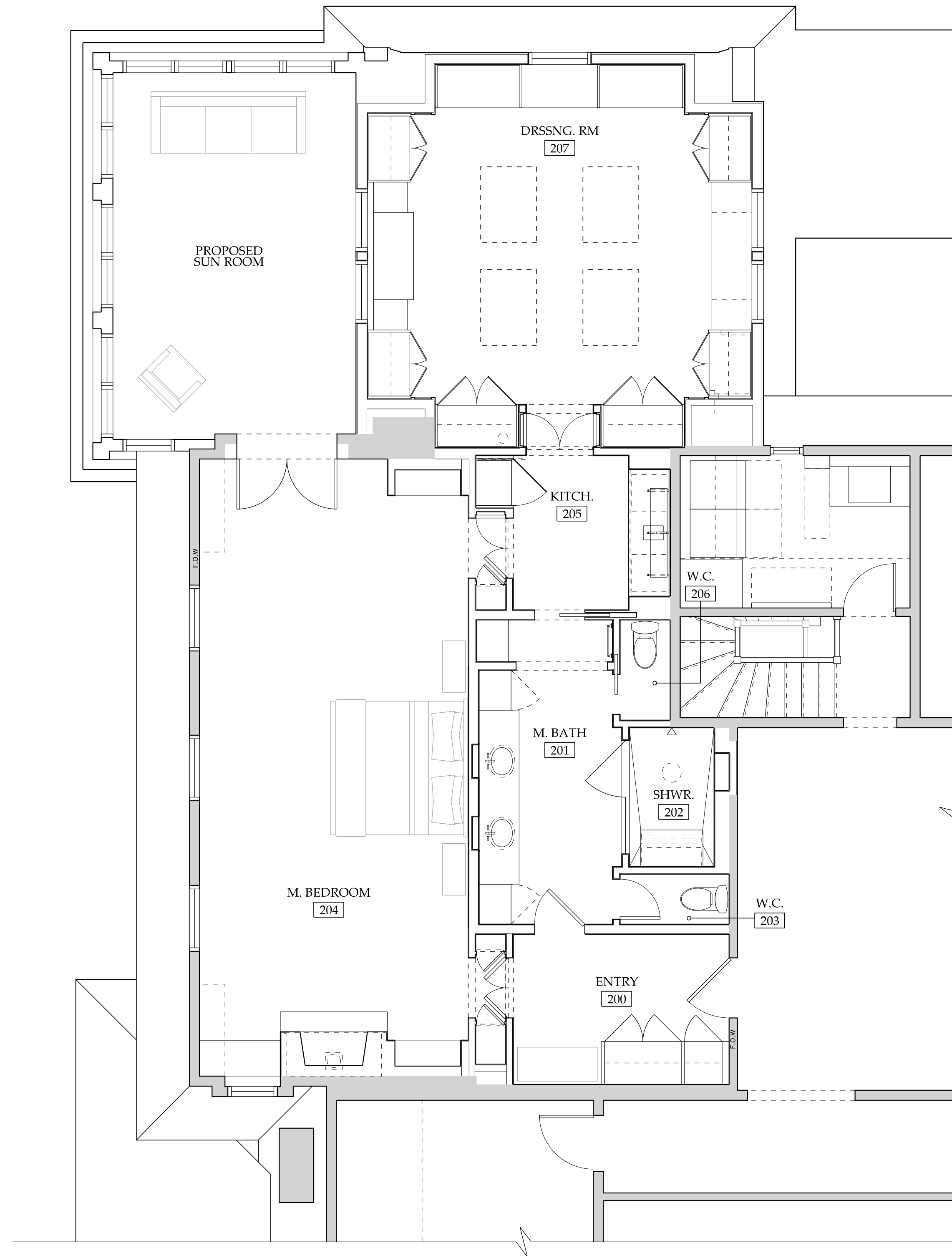
COVER SHEET
 SCALE: AS NOTED

SHEET NO.
0000

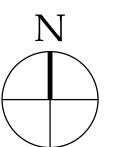


1 EXISTING SECOND FLOOR PLAN
 EX101 SCALE: 1/4" = 1'-0"





1
A101 PROPOSED SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



17.15

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 17 APRIL 2026

SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"



1
EX201 EXISTING SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



1
A201 PROPOSED SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

EL. +29.53'
 BLDG. HT.
 1'-9 1/2"
 EL. +27.73'
 MAX. HEIGHT
 NEW ROOF
 4'-1"
 EL. +23.63'
 2ND FLR. FIN. CLG.
 9'-0 1/2"
 EL. +14.58'
 2ND FIN. FLOOR
 11'-6"
 EL. +3.08'
 1ST FIN. FLOOR
 3'-1"
 EL. 0.00'
 AVERAGE GRADE



1
 EX202
 EXISTING WEST ELEVATION
 SCALE: 1/4" = 1'-0"

EL. +29.53'
 BLDG. HT.
 1'-9 1/2"
 EL. +27.73'
 MAX. HEIGHT
 NEW ROOF
 4'-1"
 EL. +23.63'
 2ND FLR. FIN. CLG.
 9'-0 1/2"
 EL. +14.58'
 2ND FIN. FLOOR
 11'-6"
 EL. +3.08'
 1ST FIN. FLOOR
 3'-1"
 EL. 0.00'
 AVERAGE GRADE



1
 A202
 PROPOSED WEST ELEVATION
 SCALE: 1/4" = 1'-0"



1 EXISTING NORTH ELEVATION
 EX203 SCALE: 1/4" = 1'-0"



1 PROPOSED NORTH ELEVATION
 A203 SCALE: 1/4" = 1'-0"



1 VIEW OF WEST SIDE OF RESIDENCE
A501 SCALE: N/A

17.15

HAWP
17 APRIL 2026

EXISTING CONDITION PHOTO



1 PROPOSED DESIGN - WEST SIDE VIEW
A502 SCALE: N/A

17.15

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17 APRIL 2026

DESIGN SKETCH



1 VIEW OF EXISTING RESIDENCE LOOKING NORTH
A503 SCALE: N/A



2 VIEW OF EXISTING RESIDENCE FROM SOUTH AT SIDEWALK
A503 SCALE: N/A



3 VIEW OF EXISTING RESIDENCE FROM SOUTHWEST
A503 SCALE: N/A



4 VIEW OF EXISTING RESIDENCE FROM WEST
A503 SCALE: N/A



5 VIEW OF EXISTING SCREEN PORCH W/ DECK ABOVE
A503 SCALE: N/A