

Montgomery County Historic Preservation

Staff Report

<p>ADDRESS: 24 Columbia Avenue, Takoma Park</p> <p>RESOURCE: Takoma Park Historic District</p> <p>APPLICANT: Anna Mackler (Eric Saul, Architect)</p> <p>REVIEW: Preliminary Consultation</p> <p>CASE NO.: 1156848</p> <p>PROPOSAL: Partial demolition and construction of new rear addition and screened porch</p>	<p>MEETING DATE: 5/27/2026</p> <p>REPORT DATE: 5/20/2026</p> <p>PUBLIC NOTICE: 5/13/2026</p> <p>TAX CREDIT ELIGIBLE: No</p> <p>STAFF: Devon Murtha</p>
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Staff Recommendation

Staff recommends the applicants make any revisions required by the HPC and return for a second Preliminary Consultation.

Architectural Description

Significance: Contributing Resource within the Takoma Park Historic District

Date: c.1885-1900

Style: Folk Victorian

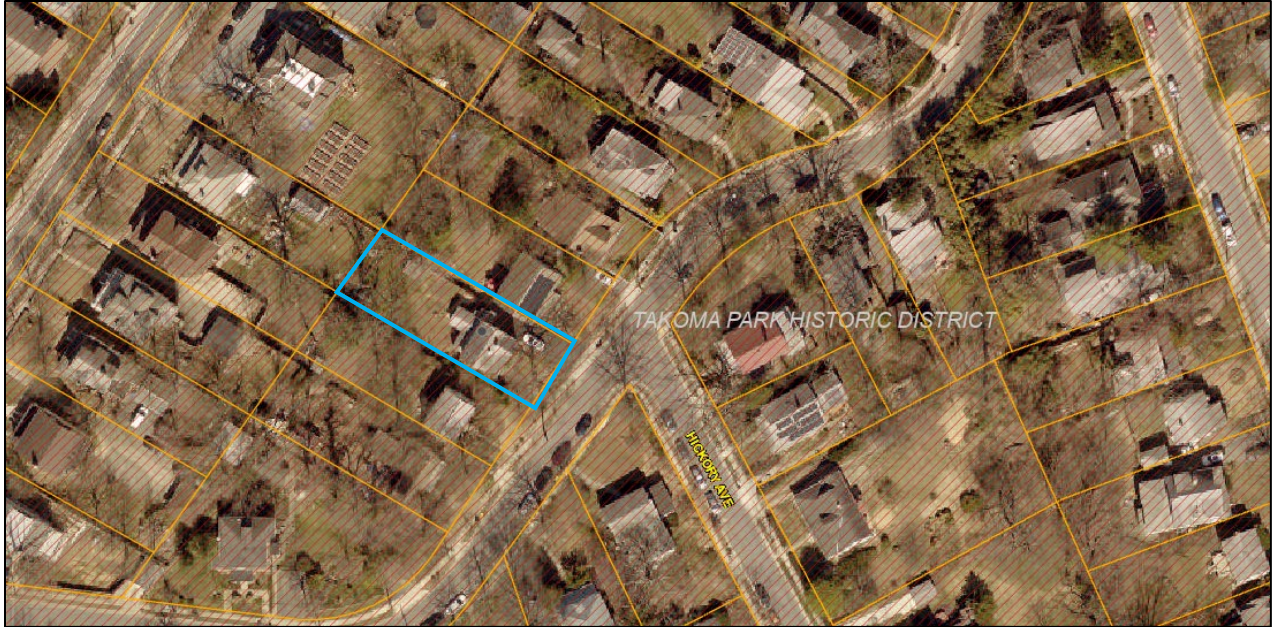


Figure 1: The location of the subject property (outlined in blue) within the Takoma Park Historic District (outlined and hatched in red).



Figure 2: View of the front elevation of property at 24 Columbia Avenue.

Proposal

The applicant proposes to demolish an existing non-historic one-story rear addition and screened porch, and to construct a new two-story rear addition and screened porch. The applicant is also proposing to add one (1) new window opening to the east elevation of the historic house.

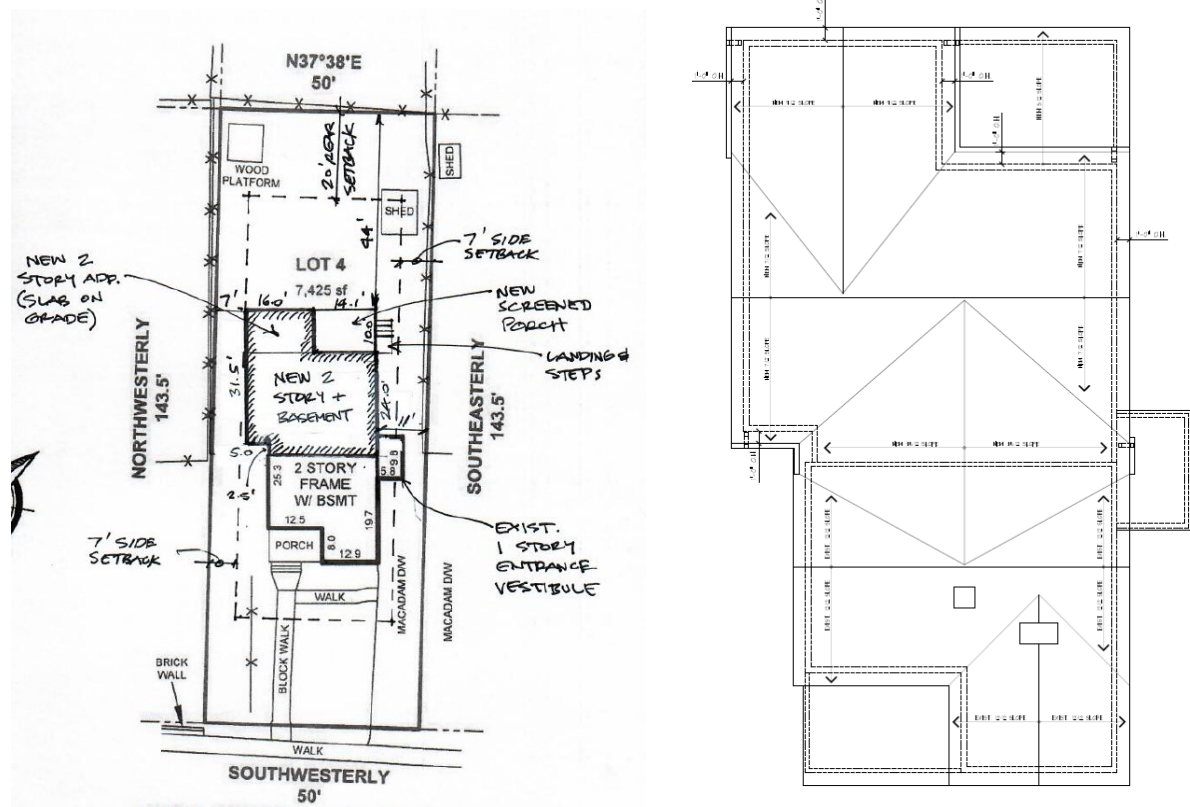


Figure 3: Site plan (left) and proposed roof plan (right).

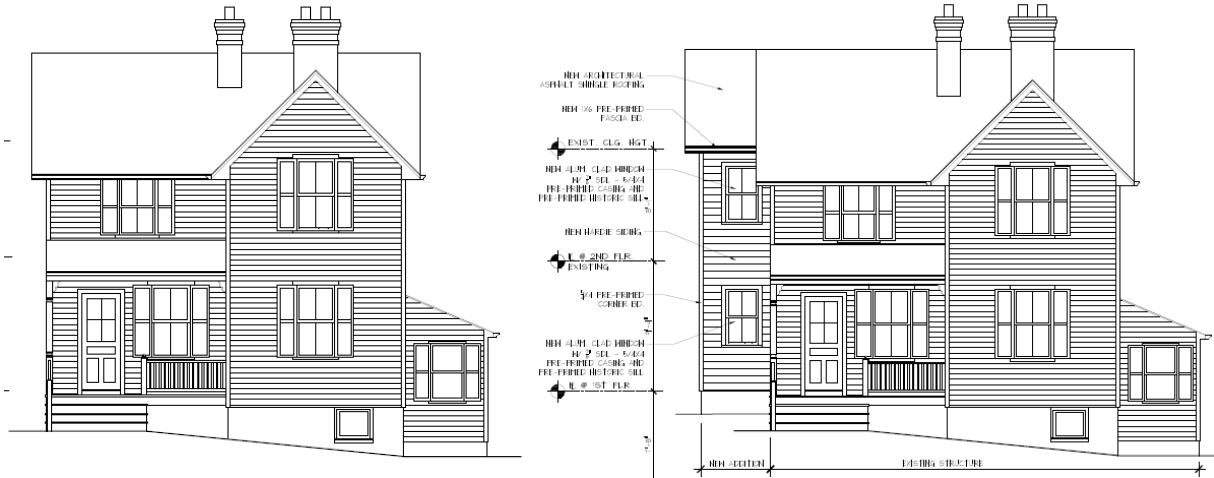


Figure 4: Existing (left) and proposed (right) front elevation.

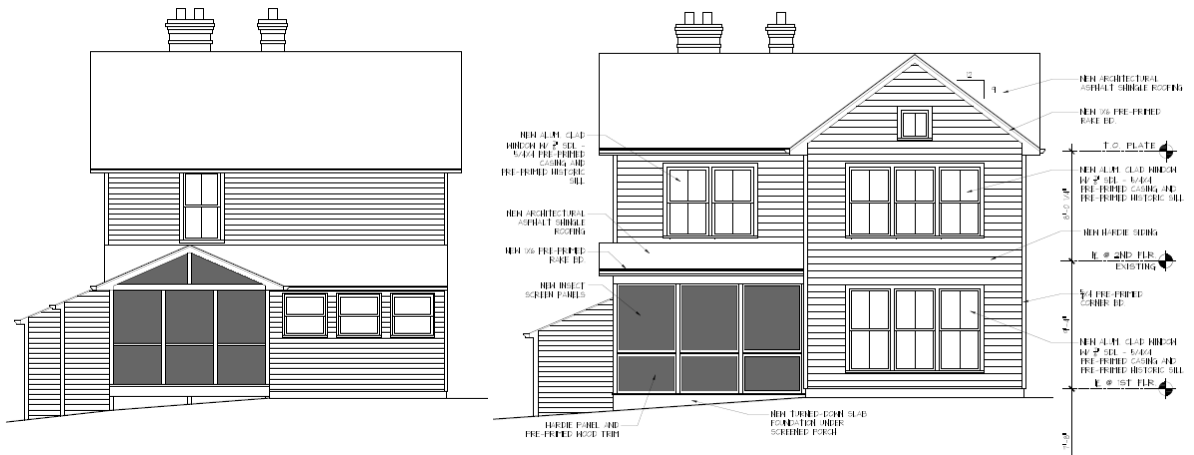


Figure 5: Existing (left) and proposed (right) rear elevation.



Figure 6: Existing west elevation.

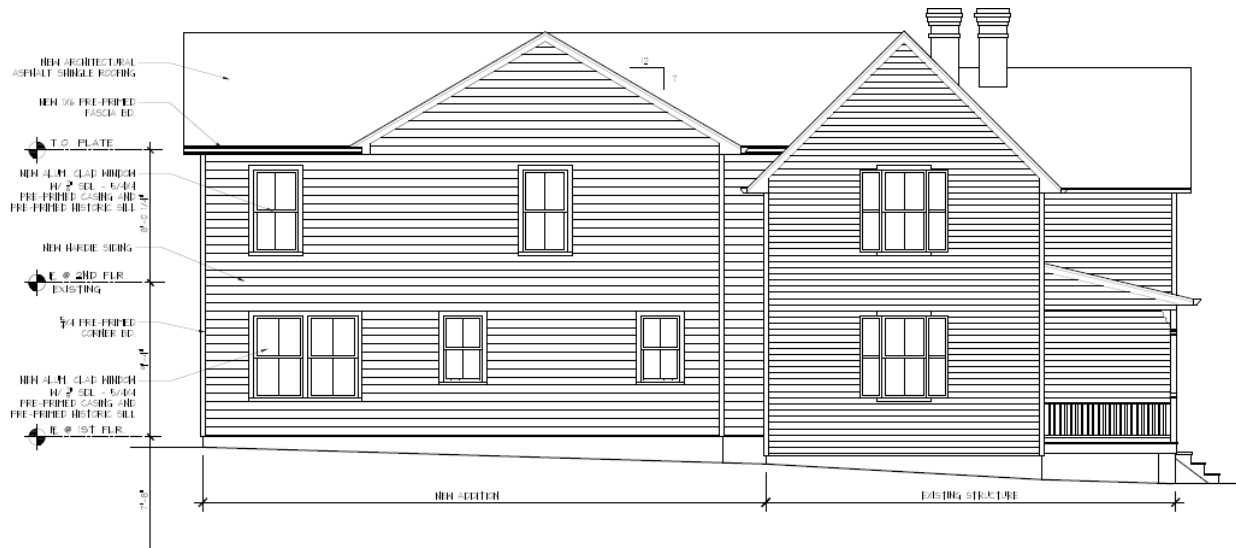


Figure 7: Proposed west elevation.



Figure 8: Existing east elevation.



Figure 9: Proposed east elevation.

Applicable Guidelines

When reviewing alterations and new construction within the Takoma Park Historic District, several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and adopted amendment for the Takoma Park Historic District (*Guidelines*), *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Montgomery County Code Chapter 24A-8

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to ensure conformity with the purposes and requirements of this chapter, if it finds that:
- (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter.

Takoma Park Historic District Guidelines

There are two broad planning and design concepts which apply to all categories. These are:

- The design review emphasis will be restricted to changes that are all visible from the public right-of-way, irrespective of landscaping or vegetation (it is expected that the majority of new additions will be reviewed for their impact on the overall district), and
- The importance of assuring that additions and other changes to existing structures act to reinforce and continue existing streetscape, landscape, and building patterns rather than to impair the character of the historic district.

Contributing Resources should receive a more lenient review than those structures that have been classified as Outstanding. This design review should emphasize the importance of the resource to the overall streetscape and its compatibility with existing patterns rather than focusing on a close scrutiny of architectural detailing. In general, however, changes to Contributing Resources should respect the predominant architectural style of the resource. As stated above, the design review emphasis will be restricted to changes that are at all visible from the public right-of-way, irrespective of landscaping or vegetation.

Relevant factors to be considered in reviewing HAWPs on Contributing Resources include:

- all exterior alterations, including those to architectural features and details, should be generally consistent with the predominant architectural style and period of the resource and should preserve the predominant architectural features of the resource; exact replication of existing details and features is, however, not required;
- minor alterations to areas that do not directly front on a public right-of-way -such as vents, metal stovepipes, air conditioners, fences, skylights, etc. -should be allowed as a matter of course;
- alterations to areas that do not directly front on a public right-of-way which involve the replacement of or damage to original ornamental or architectural features are discouraged but may be considered and approved on a case-by-case basis;
- major additions should, where feasible, be placed to the rear of existing structures so that they are less visible from the public right-of-way; additions and alterations to the first floor at the front of a structure are discouraged but not automatically prohibited
- while additions should be compatible, they are not required to be replicative of earlier architectural styles

- second story additions or expansions should be generally consistent with the predominant architectural style and period of the resource (although structures that have been historically single story can be expanded) and should be appropriate to the surrounding streetscape in terms of scale and massing
- original size and shape of window and door openings should be maintained, where feasible; some non-original building materials may be acceptable on a case-by-case basis
- artificial siding on areas visible from the public right-of-way is discouraged where such materials would replace or damage original building materials that are in good condition
- alterations to features that are not visible at all from the public right-of-way should be allowed as a matter of course
- all changes and additions should respect existing environmental settings, landscaping, and patterns of open space

Secretary of the Interior's Standards for Rehabilitation

2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.
9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Staff Discussion

The subject property contains a two-story Folk Victorian house with a partial-width one-story front porch, situated on a narrow suburban lot. It features vinyl siding and two-over-two wood sash windows. Prior to 1963, the house had a rear porch and a one-story rear/side-projecting addition. The rear porch was later enclosed, and a new screened porch was constructed in c. 2008.¹

¹ Staff was not able to locate the HAWP for this work. Since the porch is proposed for demolition staff is not seeking a retroactive HAWP for its construction.



Figure 10: Sanborn map showing the subject property (left; 1927-1963) and aerial photo of the subject property (right; 2021).

Selective Demolition

The applicants are proposing to demolish the one-story rear addition and the rear screened porch. The screened porch was constructed in c. 2008, and Staff finds that this is not historic construction. The rear addition was previously a porch that was heavily modified during its enclosure, and Staff finds that it no longer retains sufficient integrity of design and materials. Per the *Guidelines*, Staff finds that the proposed demolition will not impact the character of the site and Staff recommends that the HPC approve the partial demolition as part of HAWP application.



Figure 11: Rear view of subject property (Applicant).

The applicant also proposed to demolish areas of the existing rear wall to accommodate the new addition. Although this will result in the loss of some historic fabric, Staff finds that the rear of the property is not at

all visible from the public right-of-way, and the *Guidelines* dictate that alterations to features on Contributing resources that are not visible at all from the public right-of-way should be allowed as a matter of course.

Addition

The applicant proposes to construct a new two-story addition with a basement to the rear of the existing house. The historic house is approximately 25'5" wide and 25'5" deep with a footprint of approximately 646 ft² (excluding the shed roof addition on the east side and the one-story screened porch on the rear). The proposed addition will be approximately 30'1" wide and 34" deep, with some carveouts for the inset and the new screened porch. The total footprint of the new addition (not including the screened porch) will be approximately 869.5 ft², which is roughly 134 percent larger than the existing house. The addition will project five feet (5'0") beyond the historic wall plane on the left/west elevation and will be constructed flush with the historic wall plane on the right/east elevation. The new addition will feature a cross-gabled roof clad in asphalt shingles, two-over-two aluminum-clad windows, fiber cement lap siding, a one-story screened porch, and a new pressure treated wood deck.

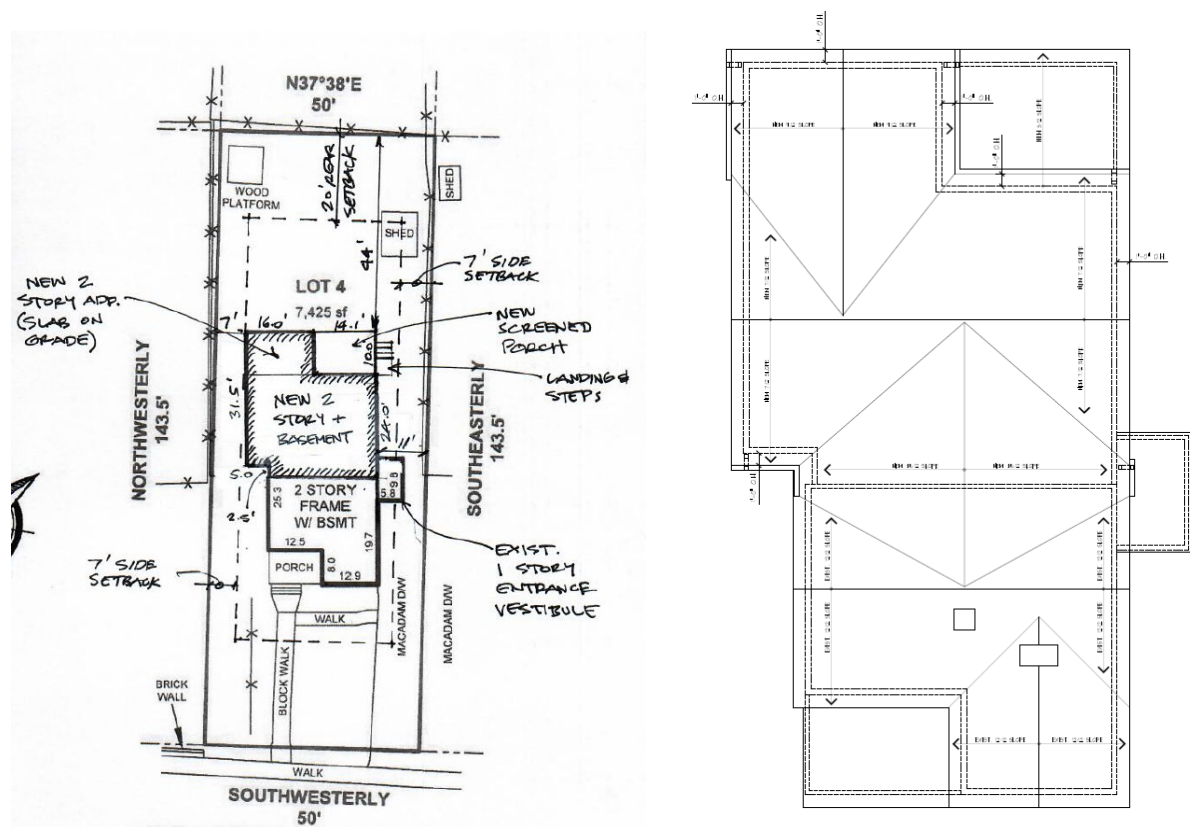


Figure 12: Site plan (left) and proposed roof plan (right).

Staff is conceptually supportive of the applicant’s proposal to construct a rear addition, but finds that the proposed massing will overwhelm the small historic house. Staff finds that the overall location of the addition at the rear is generally compatible with the character of the district, per the *Guidelines*, but that it will be highly visible from multiple vantage points due to its overall size and width, contra the *Guidelines*

(Figures 13 and 14). The addition will be larger than the historic house and does not read as subordinate, contra *Standard 9*. Additional guidelines in the National Park Service’s *Preservation Brief 14* states that “a new addition . . . should not compete in size, scale or design with the historic building.”² Staff finds that the large addition does compete with the historic structure in both its footprint and overall volume, and recommends that the applicant narrow the footprint of the addition.

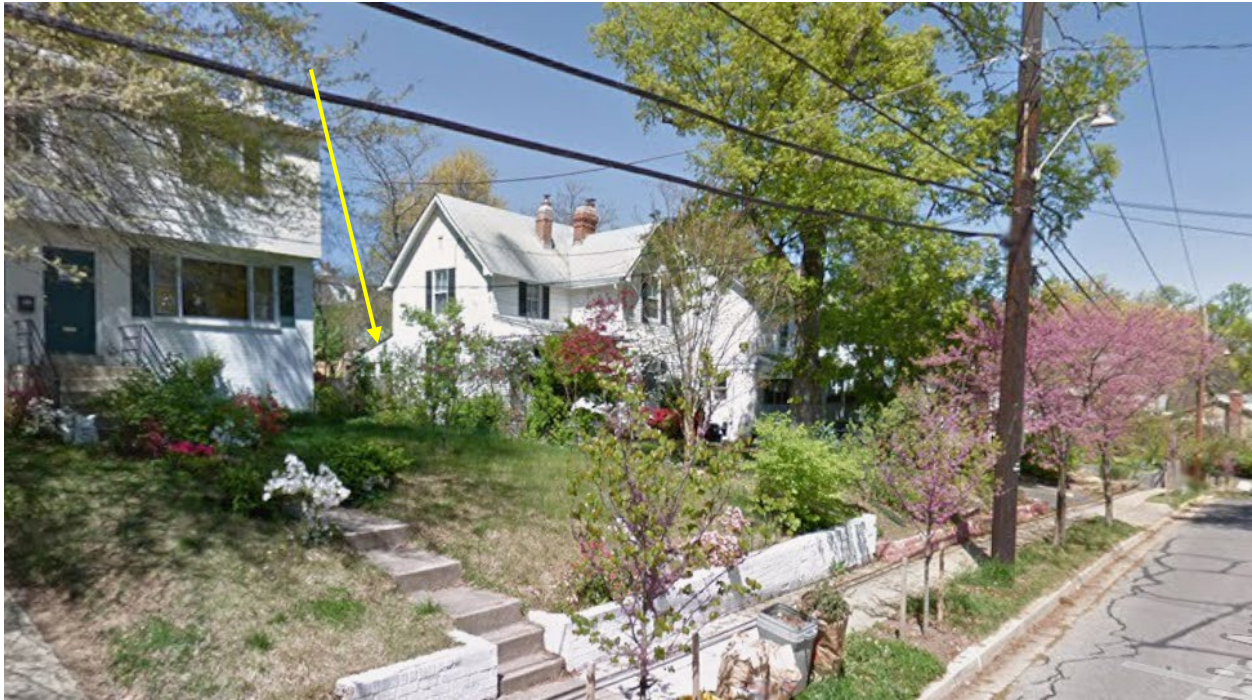


Figure 12: View of subject property from the right-of-way. The yellow arrow indicates the approximate location of the addition, which will extend five feet out from the historic wall plane of the existing house.

² See Preservation Brief 14: [New Additions to Historic Buildings](#).



Figure 13: View of subject property from the right-of-way. The yellow arrow indicates the approximate location of the addition, which will extend five feet out from the historic wall plane of the existing house.

Staff finds that the proposed width of the house, which extends five feet (5'0") beyond the historic wall plane on the left/south elevation, is particularly incompatible with the historic character of the resource. The HPC typically requires that rear additions be located completely behind the rear of the house to limit visibility, and to lessen the overall visual impact from the street.

The HPC has, in the past, allowed for additions to be constructed beyond the historic wall plane in certain cases. In 2025, the HPC approved the construction on a one-story addition at 30 Columbia Avenue, on the same block as the subject property. This addition projected seven feet and six inches (7'6") to the left of the historic house (*Figure 15*). According to the Staff report, Staff recommended leniency due to the limited visibility of the addition from the right-of-way on the steeply-sloped site, the desire to protect a mature tree in the rear yard, and the subordinate, one-story massing of the addition. That same year, the HPC approved the construction of a projecting addition at 7314 Maple Avenue with similar rationale. This addition was also one-story, located primarily off the rear, and attached to a non-historic addition (*Figure 16*).³

³See approval documents for [HAWP No. 1129183](#).

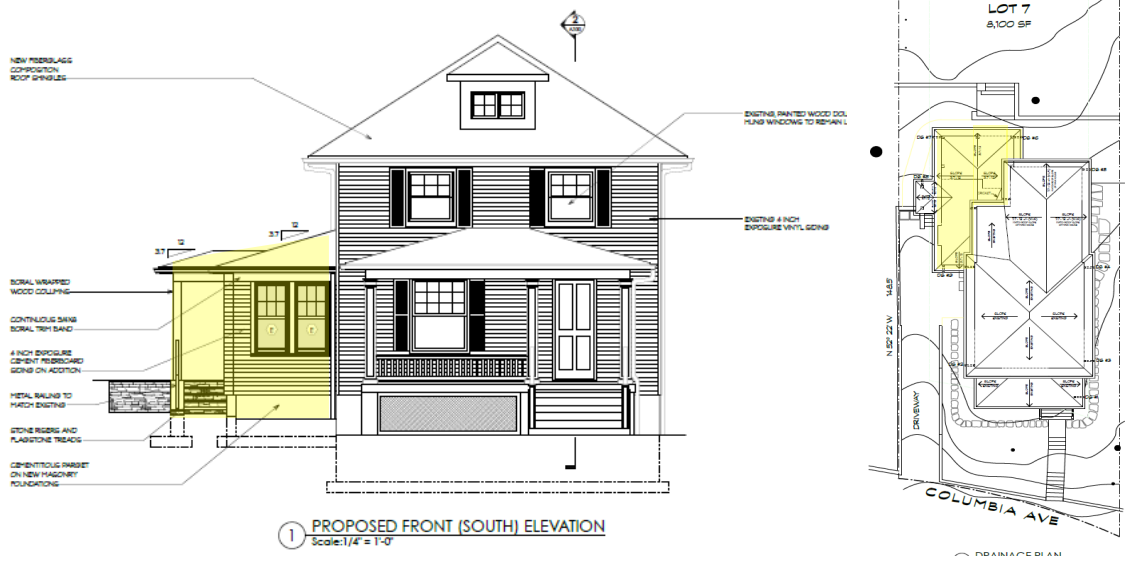


Figure 15: Approved facade of 30 Columbia Avenue with the addition highlighted in yellow.

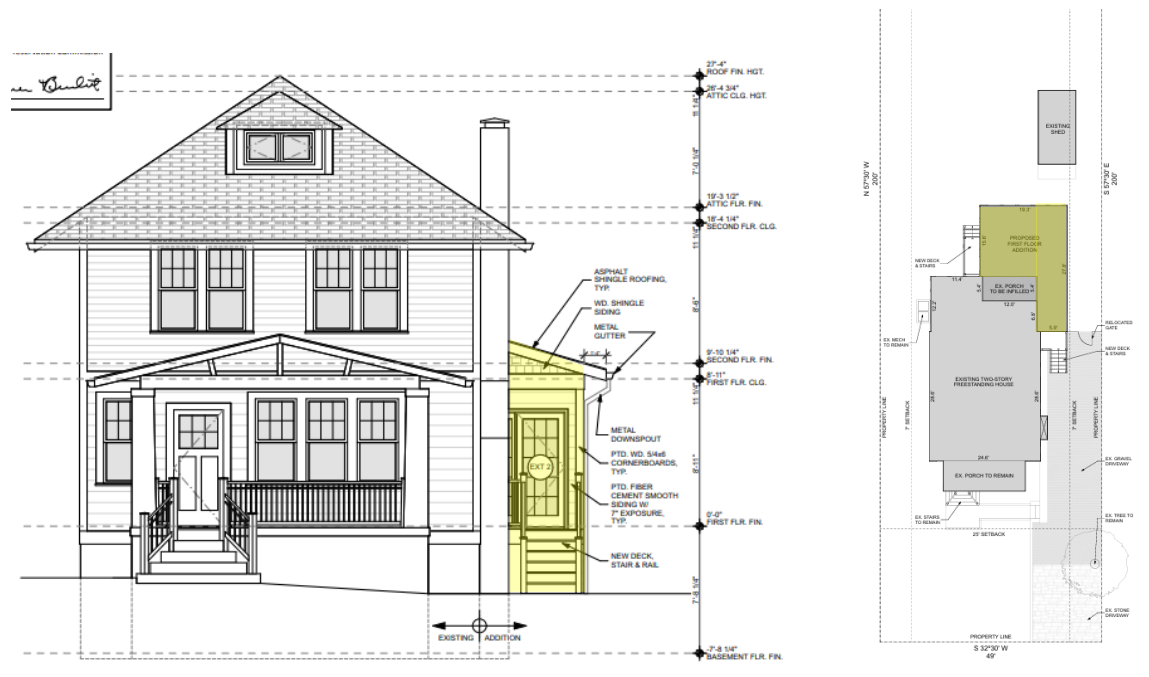


Figure 16: Approved facade of 7314 Maple Avenue with the addition highlighted in yellow.

Staff finds that the proposal for an addition on the subject property is markedly different than these two examples, and lacks both site conditions and design elements that allow for leniency. The proposed two-story addition will be the same height as the historic house, and will not read as a subordinate. Additionally, the house is located on a flat lot, and the addition will be exceptionally visible from the street.

Staff is also concerned with the treatment of the footprint of the historic house. In Takoma Park, the HPC has generally required that rear additions be inset from the wall plane of the historic house to differentiate

the historic house from the new massing. Best preservation practice dictates that, when possible, additions should employ hyphens or insets to preserve the corners of the historic buildings and ensure that the historic footprint remains legible and distinct (*Figure 17*). The HPC has directed that these insets should ideally be a minimum of one foot (1') in order to effectively distinguish the new from the old, although two feet (2") is often ideal.



Figure 17: Approved two-story addition at 7110 Sycamore Avenue, showing the preserved corners and inset on the addition.

In this proposal, the addition to the subject property is not inset at all on the right/east elevation, but is instead flush with the historic wall plane. Per *Preservation Brief 14*, the design of additions should not unify the two volumes into a single architectural whole.⁴ Although the new addition will be differentiated from the historic by the roofline and siding (*Figure 18*), Staff is concerned about the loss of the historic footprint and of the corner, and finds that the continuous wall plane reads too much like a single volume.

⁴ See Preservation Brief 14: [New Additions to Historic Buildings](#).



Figure 18: Right/east elevation with the proposed addition highlighted in yellow.

On the left/west elevation, the applicants are proposing a six-inch (6”) inset to create a small hyphen connector. Staff finds that this inset does retain the historic corner; however, it is not large enough to effectively differentiate the old from the new. Additionally, the inset is only a few feet deep, and does little to obfuscate the large massing of the addition.

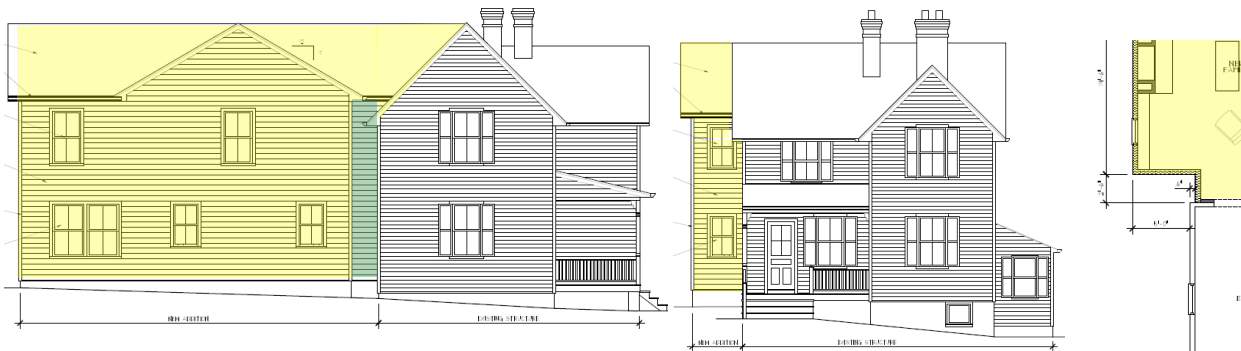


Figure 19: Left/west elevation (left) and façade (middle) with the proposed addition highlighted in yellow. The area of the inset hyphen is highlighted in blue. Plan detail showing 6” inset (right).

The HPC has, in select instances, allowed for additions to be constructed flush with the wall plane of the historic house. In 2025, the HPC approved a rear, second-story addition at 7204 Holly Avenue to be constructed in line with the historic wall plane (*Figure 20*).⁵ According to the Staff report, an inset was the preferred treatment for this addition; however, leniency was given because the steep slope of the site restricted visibility of the addition from the right-of-way. Additionally, the new addition was shorter than the historic house and read as subordinate.

⁵ Approval documents for [HAWP No: 1128484](#).



Figure 20: Proposed side elevation (left) and site plan (right) of 7204 Holly Avenue with addition highlighted in yellow.

Staff finds that the proposal for the addition on the subject property at 24 Columbia Avenue does not have any specific site conditions that allow for this additional leniency. The lot is relatively flat, and the addition will be highly visible from the right-of-way. Staff recommends that the applicant revise the design to incorporate more visible and effective insets.

Staff finds that the proposed fiber cement siding, aluminum-clad wood windows, and asphalt shingle roof are compatible with the historic resource, per Chapter 24A-8(b)(2) and *Standard 9*.

Fenestration Alterations

The applicant is proposing to add a new window opening with a new aluminum clad two-over-two aluminum-clad sash window to the second story of the east elevation (*Figure 21*). Staff finds that this alteration is consistent with the predominant architectural style and period of the resource, per the *Guidelines*. Staff finds this alteration to be compatible with the resource and recommends approval.



Figure21: East elevation of subject property, with the new window highlighted in yellow.

Staff notes that this applicant is missing a tree survey, and recommends that the applicant return with one for the HAWP proposal.

Staff Recommendation

Staff recommends that the applicant make any revisions based upon the HPC's comments and return for a second Preliminary Consultation.

Staff Requested HPC Feedback

- The appropriateness of the alterations to the historic building, including the rear demolition and the new fenestration;
- The appropriateness of the size and location of the proposed addition;
- The appropriateness of the height and massing of the proposed addition;
- The appropriateness of the design and fenestration of the proposed addition; and,
- Any other comments.

Staff-recommended materials to be submitted for a HAWP:

- A tree survey; and,
- Materials specifications.

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

Description of Work Proposed: Please give an overview of the work to be undertaken:

Work Item 1: _____	
Description of Current Condition:	Proposed Work:

Work Item 2: _____	
Description of Current Condition:	Proposed Work:

Work Item 3: _____	
Description of Current Condition:	Proposed Work:

**HISTORIC AREA WORK PERMIT
CHECKLIST OF
APPLICATION REQUIREMENTS**

	Required Attachments						
Proposed Work	I. Written Description	2. Site Plan	3. Plans/ Elevations	4. Material Specifications	5. Photographs	6. Tree Survey	7. Property Owner Addresses
New Construction	*	*	*	*	*	*	*
Additions/ Alterations	*	*	*	*	*	*	*
Demolition	*	*	*		*		*
Deck/Porch	*	*	*	*	*	*	*
Fence/Wall	*	*	*	*	*	*	*
Driveway/ Parking Area	*	*		*	*	*	*
Grading/Excavation/ Landscaping	*	*		*	*	*	*
Tree Removal	*	*		*	*	*	*
Siding/ Roof Changes	*	*	*	*	*		*
Window/ Door Changes	*	*	*	*	*		*
Masonry Repair/ Repoint	*	*	*	*	*		*
Signs	*	*	*	*	*		*

MUNICIPAL STAMPS

DEMOLITION KEYNOTES:

- 1 EXISTING WINDOW TO BE REMOVED
- 2 EXISTING BAY WINDOW TO BE REMOVED
- 3 BEARING WALL TO BE REMOVED - SEE FRAMING PLANS FOR NEW BEAM
- 4 EXISTING DOOR TO BE REMOVED
- 5 DEMO EXISTING BRICK WALL FOR NEW WINDOW
- 6 DEMO EXISTING EXTERIOR DECK AND STEPS
- 7 COMPLETE DEMO OF EXISTING ADDITION: DEMO EXISTING KITCHEN, DINING ROOM, SECOND FLOOR BEDROOM. SECOND FLOOR JOISTS TO BE REMOVED AND REPLACED WITH NEW JOISTS PER NEW FRAMING PLANS. EXISTING EXTERIOR MASONRY WALLS TO REMAIN INTACT
- 8 COMPLETE DEMO OF EXISTING BATHROOM: REMOVE ALL CABINETS, PLUMBING FIXTURES, HARDWARE, FINISHES AND FLOORING. CAP ALL PLUMBING AND EXPOSE ALL MECHANICAL AND ELECTRICAL.
- 9 DEMO NON-LOAD BEARING WALL
- 10 DEMO EXISTING FRONT PORCH INCLUDING FOUNDATION
- 11 EXISTING CLOSET TO BE DEMOLISHED
- 12 DEMO EXISTING ROOFING AND RAILING
- 13 DEMO EXISTING AREAWAY

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REVISIONS

**MACKLER RESIDENCE
 ADDITION AND RENOVATION**
 24 COLUMBIA AVENUE | TAKOMA PARK, MD 20912
DO NOT SCALE THESE DRAWINGS. THE DESIGN AND CONSTRUCTION SHALL BE AS SHOWN ON THESE SHEETS UNLESS OTHERWISE SPECIFIED. ANY USE OF THESE DRAWINGS FOR CONSTRUCTION SHALL BE AT THE USER'S RISK. SAUL ARCHITECTS, INC. IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS. BY ANY METHOD, IN WHOLE OR IN PART, WITHOUT WRITTEN CONSENT OF THE COPYRIGHT OWNER IS PROHIBITED.

GENERAL DEMO NOTES

1. DEMOLITION DRAWINGS ARE SCHEMATIC AND ARE INCLUDED TO DESCRIBE THE DEMOLITION WORK IN A GENERAL MANNER.
2. EXISTING CONSTRUCTION SHALL REMAIN UNLESS NOTED OTHERWISE AND SHALL BE PROTECTED FROM DAMAGE DUE TO DEMOLITION, CONSTRUCTION, THEFT, VANDALISM, MOISTURE, WEATHER, ETC. ALL DISTURBED EXISTING ITEMS SHALL BE RESTORED TO ORIGINAL CONDITION.
3. SEAL OFF UNDISTURBED AREAS OF THE BUILDING FROM DEMOLITION AREAS TO PREVENT THE INFILTRATION OF DUST AND DEBRIS. SECURE BUILDING TO PREVENT UNWANTED ENTRY THROUGH OPENINGS CREATED DURING CONSTRUCTION.
4. EXISTING CONCEALED ELEMENTS WERE NOT NECESSARILY VERIFIED PRIOR TO DEMOLITION. ALL DISCOVERIES OF UNIDENTIFIED OR INCORRECTLY LOCATED EXISTING ELEMENTS SHALL BE REPORTED TO THE ARCHITECT BEFORE REMOVAL FOR FINAL DISPOSAL.
5. ALL ITEMS DESIGNATED FOR RE-USE TO BE VERIFIED BY OWNER. PROTECT ANY STORED ITEMS TO BE RE-USED FROM DAMAGE DUE TO DEMOLITION, CONSTRUCTION, THEFT, VANDALISM, MOISTURE, WEATHER, ETC.
6. ALL DEBRIS BECOMES THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE PREMISES AT THE CONTRACTOR'S EXPENSE AND DISPOSED OF ACCORDING TO LOCAL CODES AND GOVERNING AUTHORITIES.



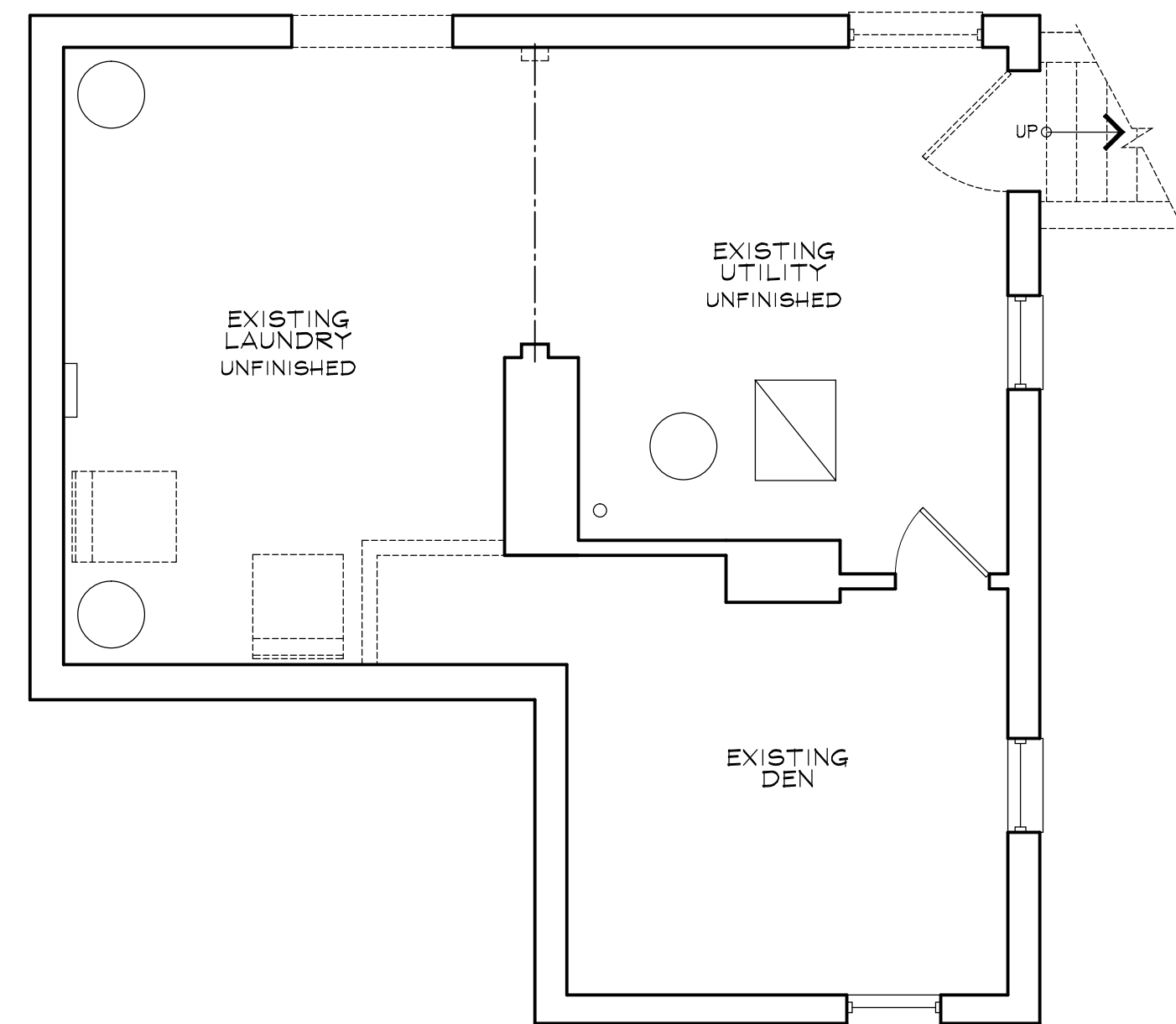
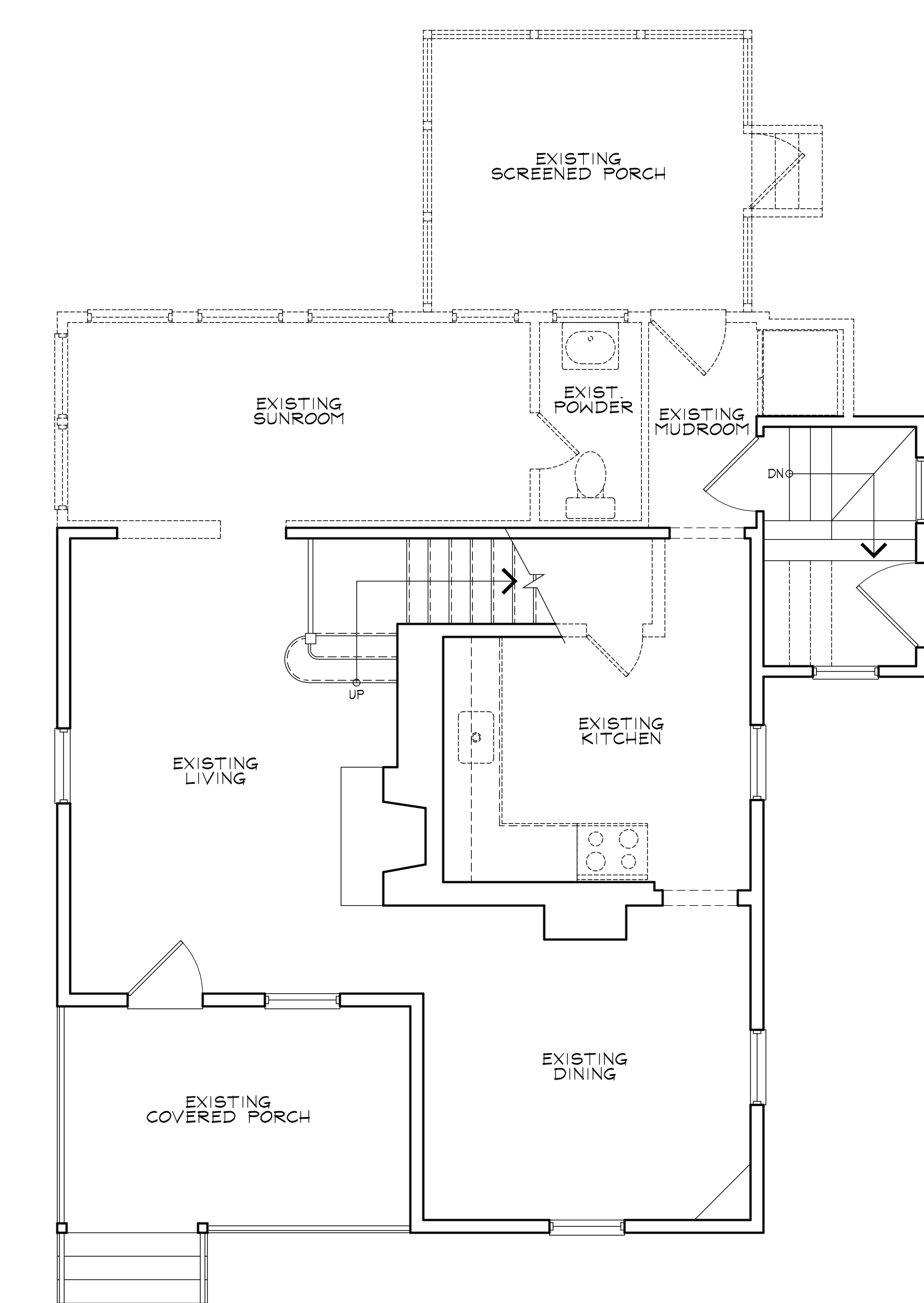
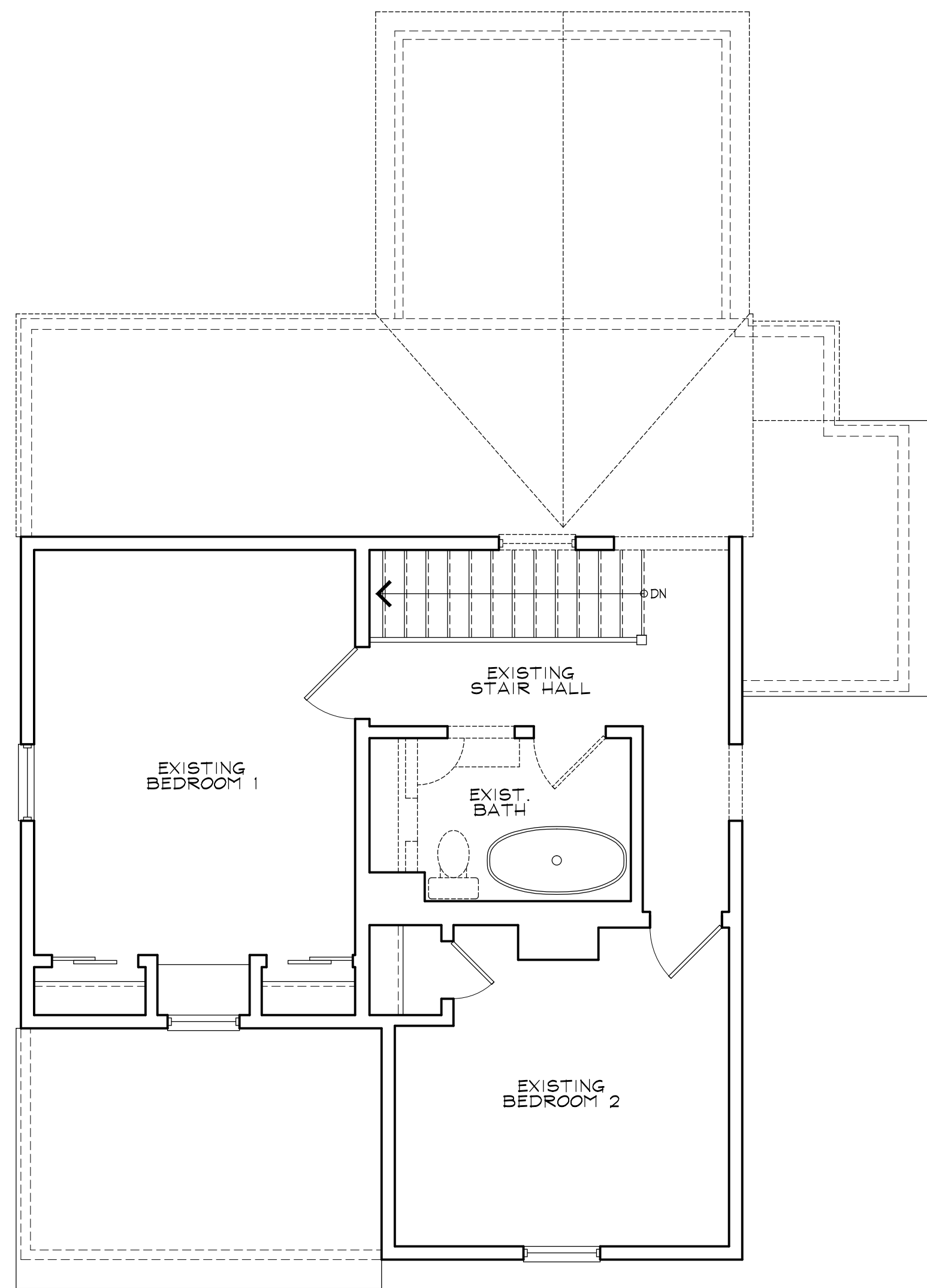
PROFESSIONAL CERTIFICATION:
 I, ERIC SAUL, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 14248, EXPIRATION DATE JUNE 30, 2027.

PROJECT NUMBER: 26008

PRINTING LOG	
DATE	PURPOSE
03.31.26	PRE-DESIGN

EXISTING/DEMO FLOOR PLANS

A1



3 EXISTING/DEMO SECOND FLOOR PLAN
 A1 1/4" = 1'-0"

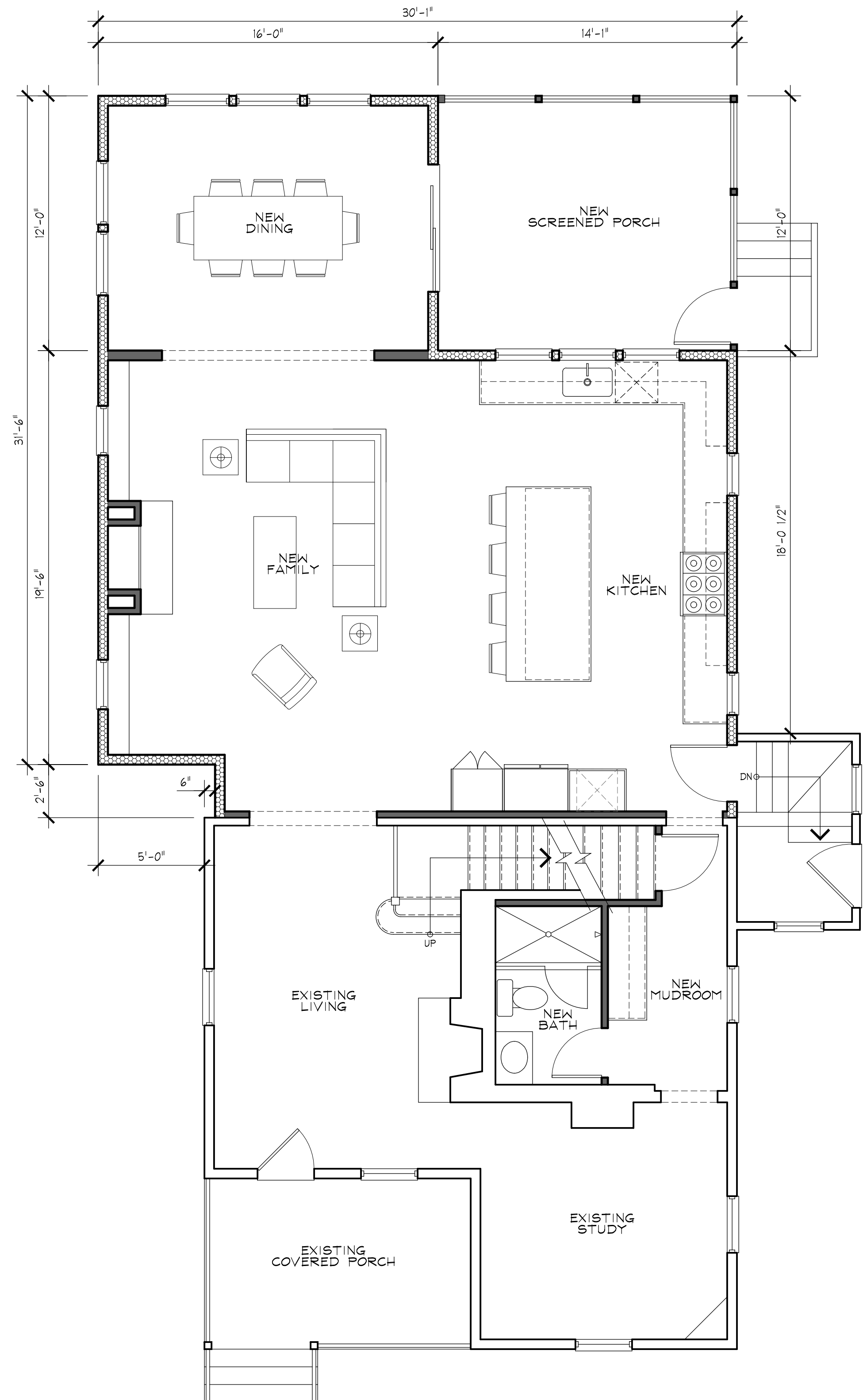
2 EXISTING/DEMO FIRST FLOOR PLAN
 A1 1/4" = 1'-0"

1 EXISTING/DEMO BASEMENT PLAN
 A1 1/4" = 1'-0"

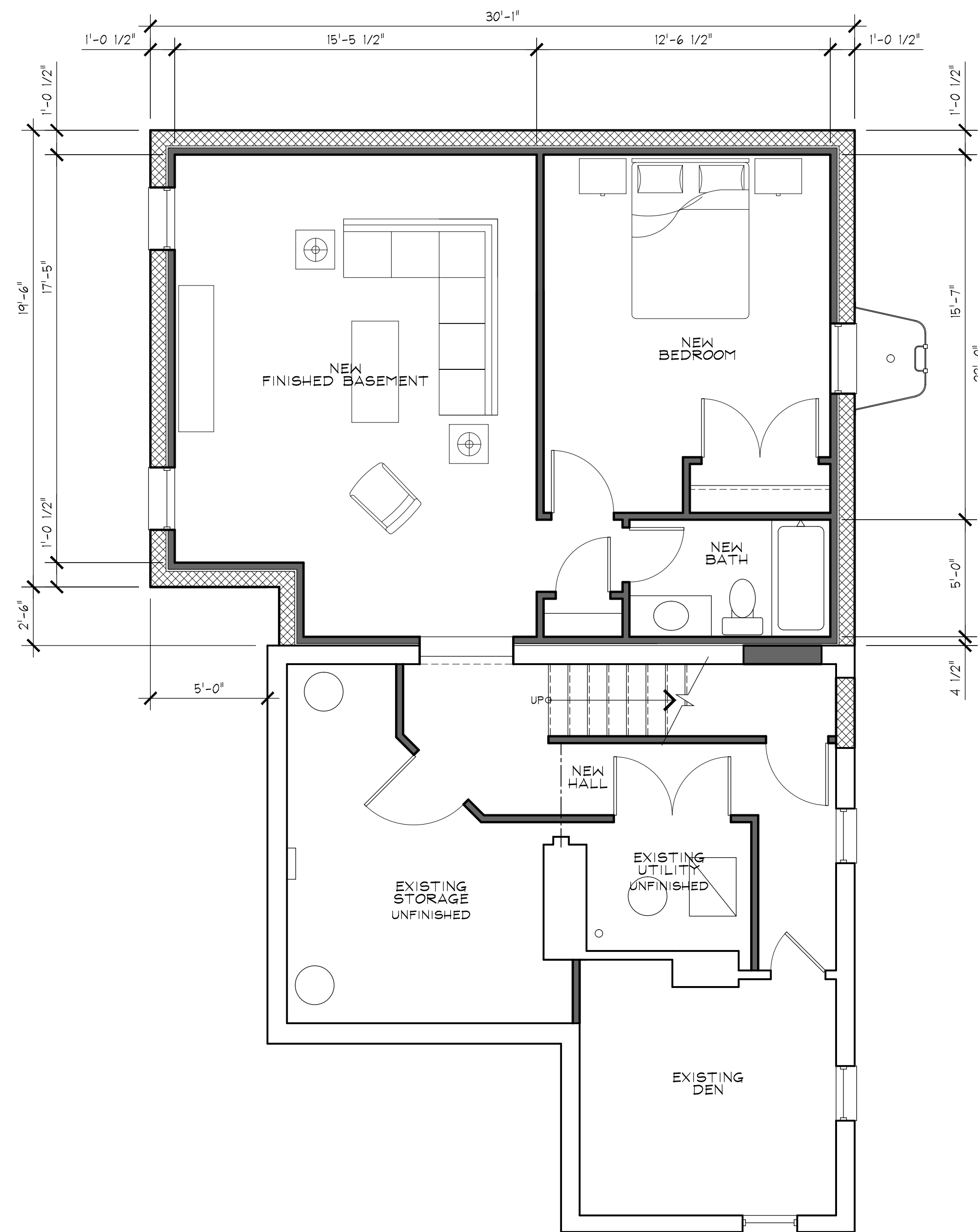
FLOOR PLAN LEGEND

- EXISTING WALL TO REMAIN
- NEW INT. 2X4 STUD WALL, U.N.O.
- NEW EXT. 2X4 STUD FURRED WALL R-13 MIN. INSULATION
- NEW EXTERIOR 2X6 STUD WALL; R-30 MIN. INSULATION
- NEW 8" CONC. MASONRY WALL
- NEW BRICK MASONRY WALL OR PIER
- EXISTING WALL TO BE REMOVED
- EXISTING ITEM TO BE REMOVED
- 8'-0" CEILING HEIGHT INDICATOR

MUNICIPAL STAMPS



1 PROPOSED FIRST FLOOR PLAN
A1.2 1/4" = 1'-0"



1 PROPOSED BASEMENT PLAN
A1.1 1/4" = 1'-0"

FLOOR PLAN KEYNOTES:

- 1 NEW TOILET
- 2 NEW 84" VANITY SINK
- 3 NEW CUSTOM TILED SHOWER w/ GLASS ENCLOSURE AND TILED SOAP NICHE
- 4 NEW 36" VANITY
- 5 NEW TILE FLOORING - SELECTED BY OWNER
- 6 NEW CASER OPENING
- 7 NEW HARDWOOD FLOORING TO MATCH DIRECTION OF EXISTING - ADD BLOCKING UNDER FLOOR AS NEEDED
- 8 NEW KITCHEN CABINETS PER SEPARATE KITCHEN DESIGN DRAWINGS
- 9 NEW 36" HIGH DECK GUARDRAIL
- 10 PT DECKING BOARDS
- 11 5" PRE-FINISHED GUTTER TO MATCH EXISTING HOUSE
- 12 DOWNSPOUT - MATCH EXISTING HOUSE
- 13 NEW 30 YEAR ARCHITECTURAL ROOF SHINGLE - COLOR SELECTED BY OWNER
- 14 NEW BUILT-IN
- 15 CUSTOM CLOSET ORGANIZING
- 16 NEW RIDGE VENT
- 17 NEW 6x6 PT POST (TYP.)
- 18 NEW 9.5" SQ. COLUMN WRAP (6x6 PT POST INSIDE)
- 19 POURED CONCRETE PORCH. OPTION TO COVER IN STONE
- 20 CLOSET/PANTRY SHELVING TO BE DESIGNED OR SELECTED BY OWNER
- 21 NEW PEDESTAL SINK

GENERAL NOTES:

1. ALL DIMENSIONS ARE TO FACE OF STUD, CONCRETE OR MASONRY ON NEW WALLS, AND TO FACE OF FINISH OF EXISTING WALLS.
2. ANGLED WALLS ARE 45° TO ADJACENT WALLS, U.N.O.
3. DOORS TO BE LOCATED 4" FROM WALL ON HINGE SIDE OR CENTER OF THE SPACE, U.N.O.

FLOOR PLAN LEGEND

	EXISTING WALL TO REMAIN
	NEW INT. 2X4 STUD WALL, U.N.O.
	NEW EXT. 2X4 STUD FURRED WALL R-13 MIN. INSULATION
	NEW EXTERIOR 2X6 STUD WALL; R-30 MIN. INSULATION
	NEW 8" CONC. MASONRY WALL
	NEW BRICK MASONRY WALL OR PIER
	EXISTING WALL TO BE REMOVED
	EXISTING ITEM TO BE REMOVED
	CEILING HEIGHT INDICATOR

SAUL ARCHITECTS
8114 CARROLL AVENUE | TAKOMA PARK, MD 20912
P: 301.270.0395
info@saularchitects.com
www.saularchitects.com

REVISIONS

NO.	DESCRIPTION

**MACKLER RESIDENCE
ADDITION AND RENOVATION**
24 COLUMBIA AVENUE | TAKOMA PARK, MD 20912
DO NOT SCALE DRAWINGS. THE ORIGINAL SET OF PLANS IS A COPY OF THESE SHEETS SCALE. ANY CHANGES TO THESE SHEETS ARE THE PROPERTY OF SAUL ARCHITECTS. ANY REVISIONS TO THESE SHEETS ARE THE PROPERTY OF SAUL ARCHITECTS. BY ANY METHOD, IN WHOLE OR IN PART, WITHOUT WRITTEN CONSENT OF THE COPYRIGHT OWNER IS PROHIBITED.



PROFESSIONAL CERTIFICATION:
I, ERIC SAUL, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 14248, EXPIRATION DATE: JUNE 30, 2027.

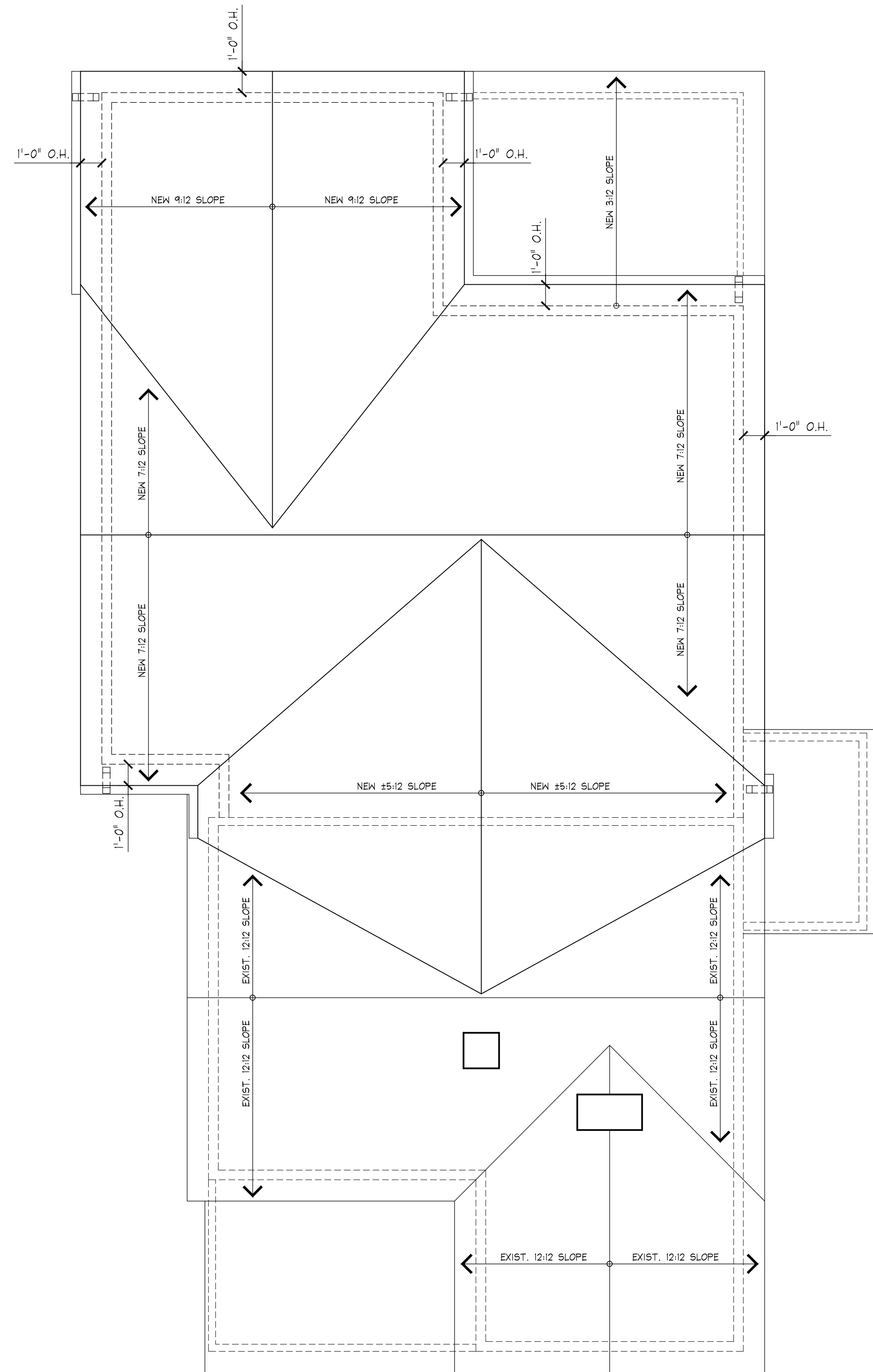
PROJECT NUMBER: 26008

DATE	PURPOSE
03.31.26	PRE-DESIGN

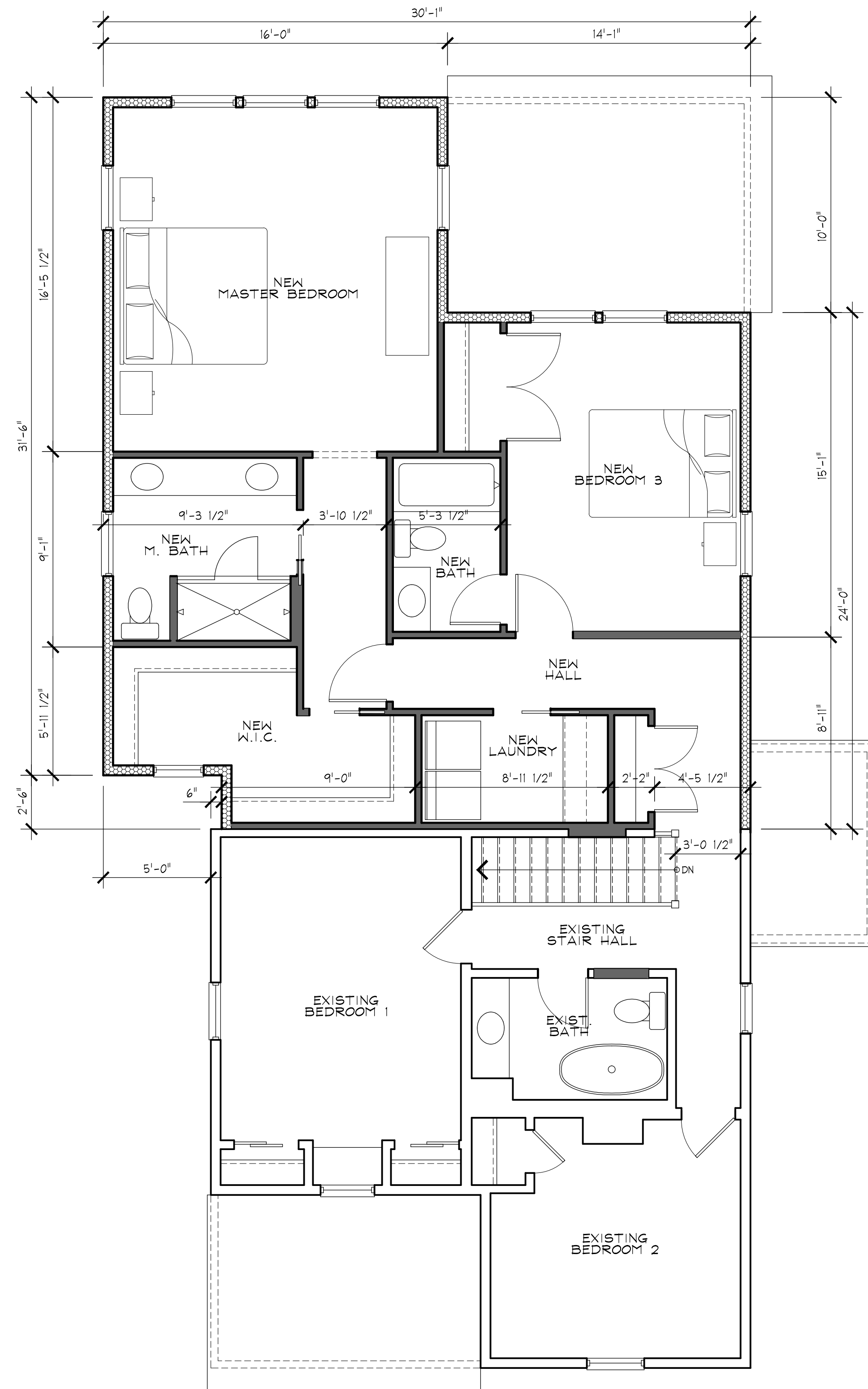
PROPOSED BASEMENT AND FIRST FLOOR PLANS

A1.1

MUNICIPAL STAMPS



2 PROPOSED ROOF PLAN
A1.2 1/4" = 1'-0"



1 PROPOSED SECOND FLOOR PLAN
A1.2 1/4" = 1'-0"

FLOOR PLAN KEYNOTES:

- 1 NEW TOILET
- 2 NEW 84" VANITY SINK
- 3 NEW CUSTOM TILED SHOWER W/ GLASS ENCLOSURE AND TILED SOAP NICHE
- 4 NEW 36" VANITY
- 5 NEW TILE FLOORING - SELECTED BY OWNER
- 6 NEW CASSED OPENING
- 7 NEW HARDWOOD FLOORING TO MATCH DIRECTION OF EXISTING - ADD BLOCKING UNDER FLOOR AS NEEDED
- 8 NEW KITCHEN CABINETS PER SEPARATE KITCHEN DESIGN DRAWINGS
- 9 NEW 36" HIGH DECK GUARDRAIL
- 10 PT DECKING BOARDS
- 11 5" PRE-FINISHED GUTTER TO MATCH EXISTING HOUSE
- 12 DOWNSPOUT - MATCH EXISTING HOUSE
- 13 NEW 30 YEAR ARCHITECTURAL ROOF SHINGLE - COLOR SELECTED BY OWNER
- 14 NEW BUILT-IN
- 15 CUSTOM CLOSET ORGANIZING
- 16 NEW RIDGE VENT
- 17 NEW 6X6 PT POST (TYP.)
- 18 NEW 9.5" SQ. COLUMN WRAP (6X6 PT POST INSIDE)
- 19 POURED CONCRETE PORCH. OPTION TO COVER IN STONE
- 20 CLOSET/PANTRY SHELVING TO BE DESIGNED OR SELECTED BY OWNER
- 21 NEW PEDESTAL SINK

GENERAL NOTES:

1. ALL DIMENSIONS ARE TO FACE OF STUD, CONCRETE OR MASONRY ON NEW WALLS, AND TO FACE OF FINISH OF EXISTING WALLS.
2. ANGLED WALLS ARE 45° TO ADJACENT WALLS, U.N.O.
3. DOORS TO BE LOCATED 4" FROM WALL ON HINGE SIDE OR CENTER OF THE SPACE, U.N.O.

FLOOR PLAN LEGEND

- EXISTING WALL TO REMAIN
- NEW INT. 2X4 STUD WALL, U.N.O.
- NEW EXT. 2X4 STUD FURRED WALL R-13 MIN. INSULATION
- NEW EXTERIOR 2X6 STUD WALL; R-30 MIN. INSULATION
- NEW 8" CONC. MASONRY WALL
- NEW BRICK MASONRY WALL OR PIER
- EXISTING WALL TO BE REMOVED
- EXISTING ITEM TO BE REMOVED
- CEILING HEIGHT INDICATOR

REVISIONS

MACKLER RESIDENCE
ADDITION AND RENOVATION
24 COLUMBIA AVENUE | TAKOMA PARK, MD 20912



PROFESSIONAL CERTIFICATION:
I, ERIC SAUL, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 14248, EXPIRATION DATE JUNE 30, 2027.

PROJECT NUMBER: 26008

PRINTING LOG	
DATE	PURPOSE
03.31.26	PRE-DESIGN

PROPOSED 2ND FLOOR AND ROOF PLANS

A1.2

MUNICIPAL STAMPS



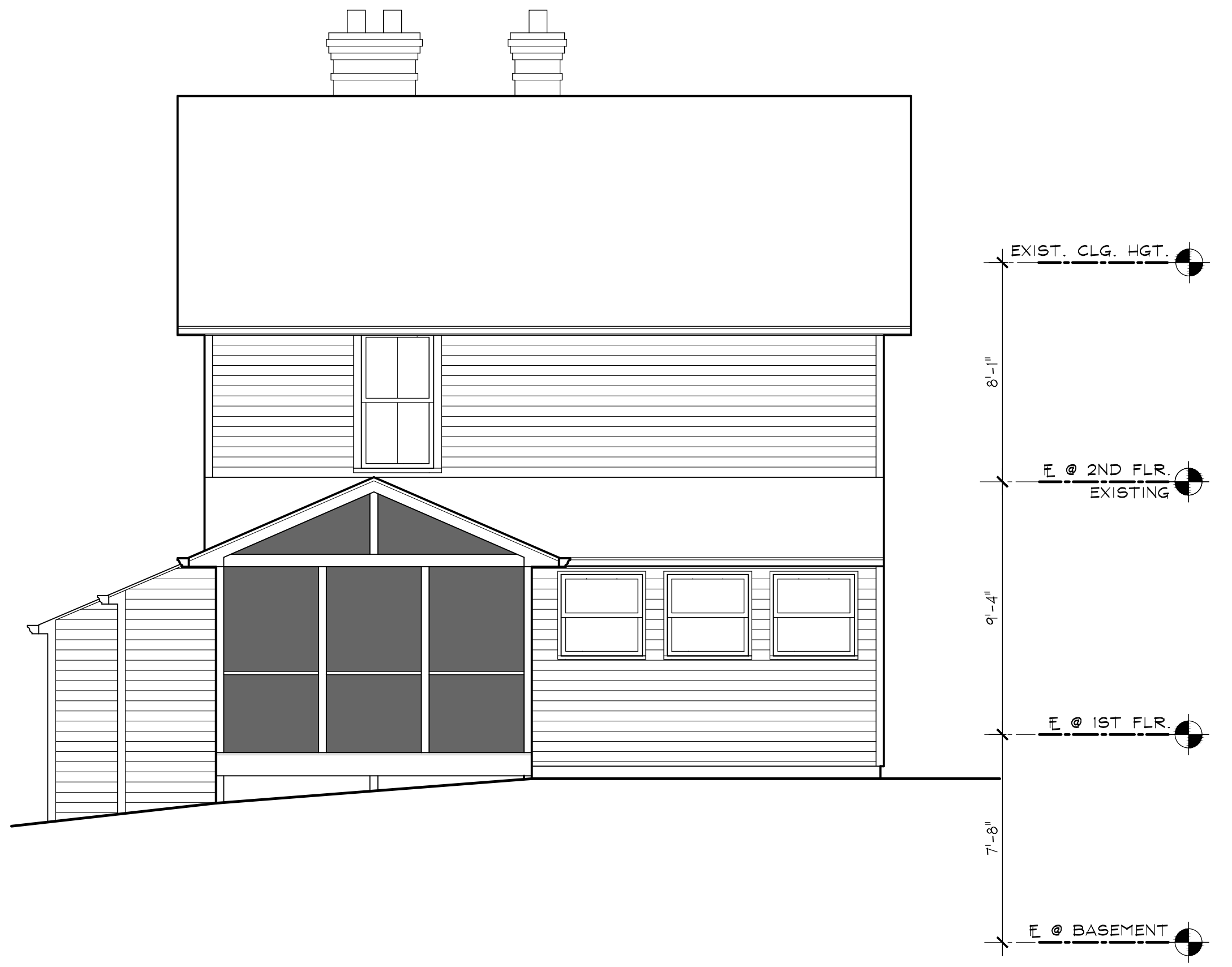
4 EXISTING FRONT ELEVATION
A2 1/4" = 1'-0"



3 EXISTING SIDE (WEST) ELEVATION
A2 1/4" = 1'-0"



2 EXISTING SIDE (EAST) ELEVATION
A2 1/4" = 1'-0"



1 EXISTING REAR ELEVATION
A2 1/4" = 1'-0"

REVISIONS

NO.	DATE	DESCRIPTION

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PROJECT NUMBER: 26008

PRINTING LOG

DATE	PURPOSE
03.31.26	PRE-DESIGN

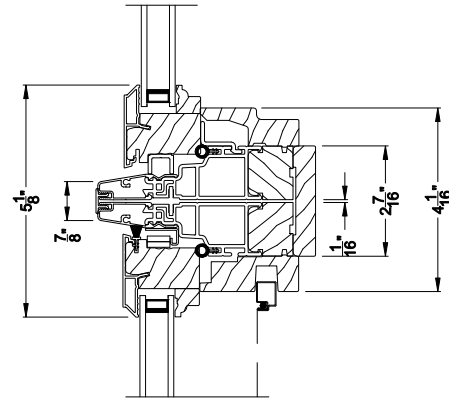
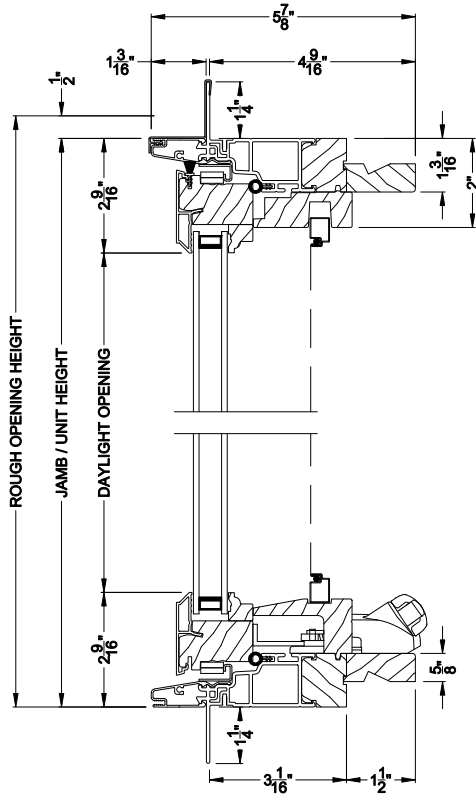
EXTERIOR ELEVATIONS

Weather Shield®

Signature Series™

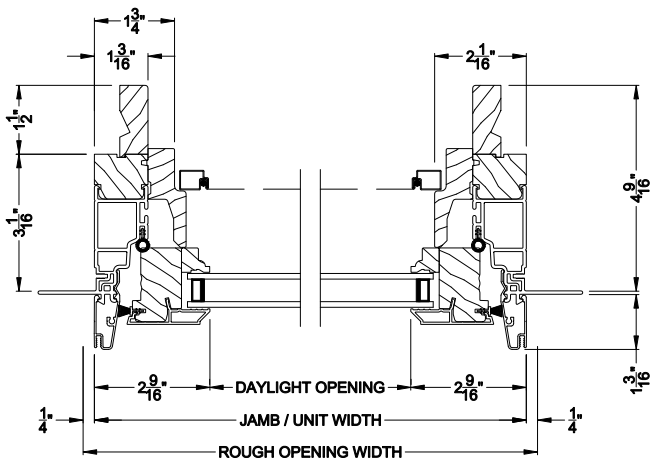
Casement Windows

CROSS SECTION DETAILS

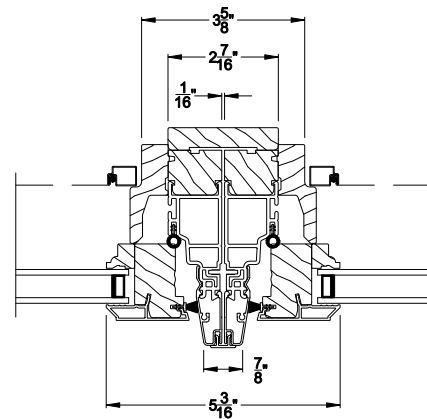


SIGNATURE CASEMENT WINDOW
Horizontal Stack Section - Transom Stack over Casement

SIGNATURE CASEMENT WINDOW (8219)
Vertical Section



SIGNATURE CASEMENT WINDOW (8219)
Horizontal Section



SIGNATURE CASEMENT WINDOW
Vertical Mull Section

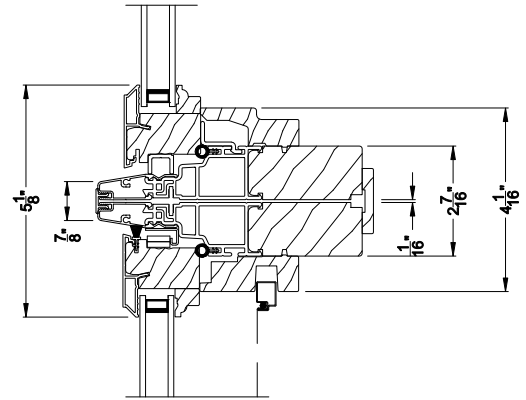
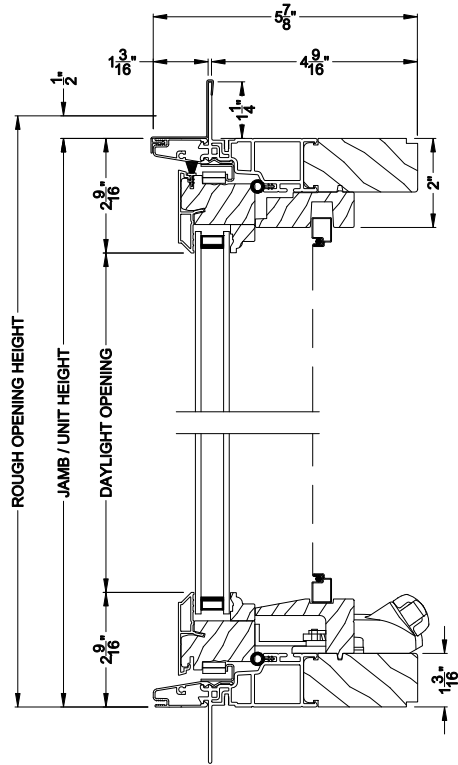
Note: All dimensions are approximate. Weather Shield reserves the right to change specifications without notice.

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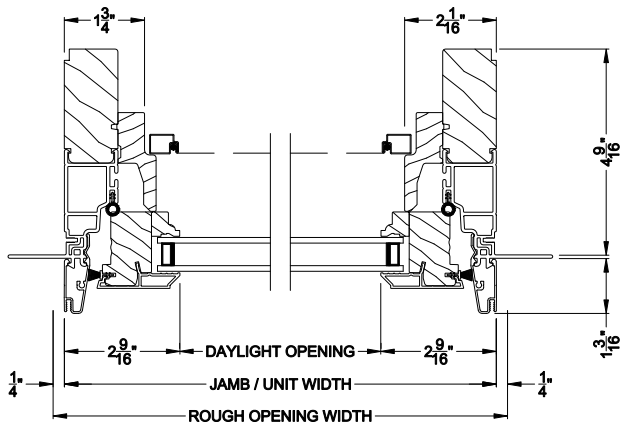
Casement Windows

CROSS SECTION DETAILS

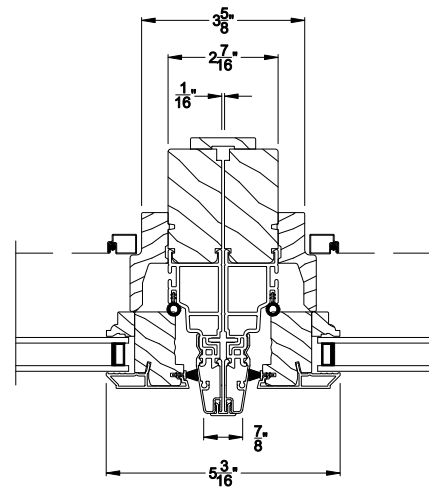


SIGNATURE CASEMENT WINDOW
Horizontal Stack Section - Transom Stack over Casement

SIGNATURE CASEMENT WINDOW (8219)
Vertical Section - 5/4 Jamb



SIGNATURE CASEMENT WINDOW (8219)
Horizontal Section - 5/4 Jamb



SIGNATURE CASEMENT WINDOW
Vertical Mull Section

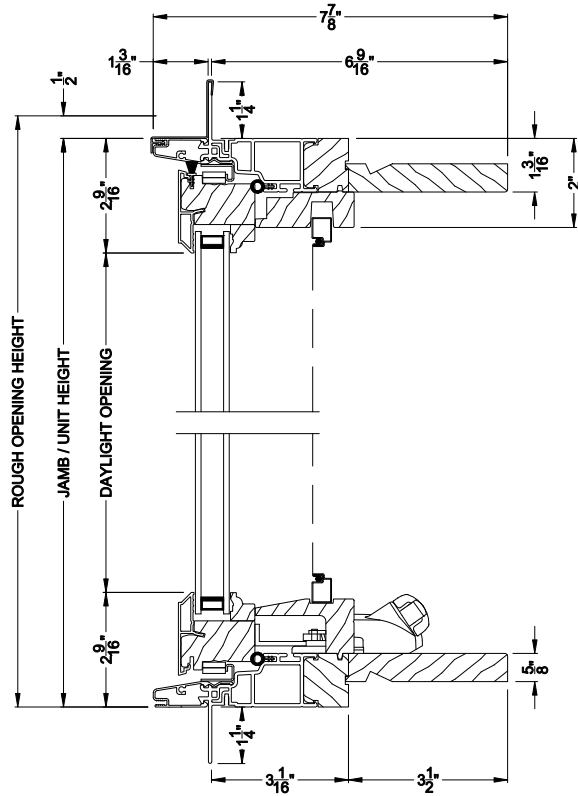
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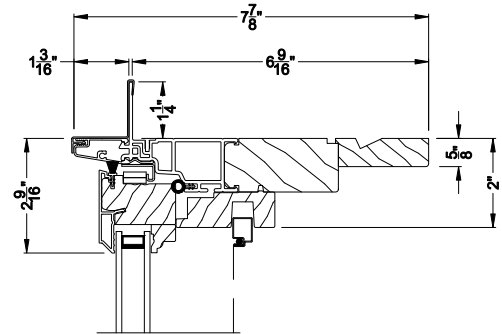
Signature Series™

Casement Windows

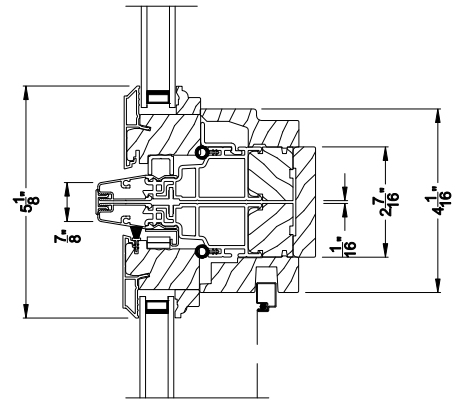
CROSS SECTION DETAILS



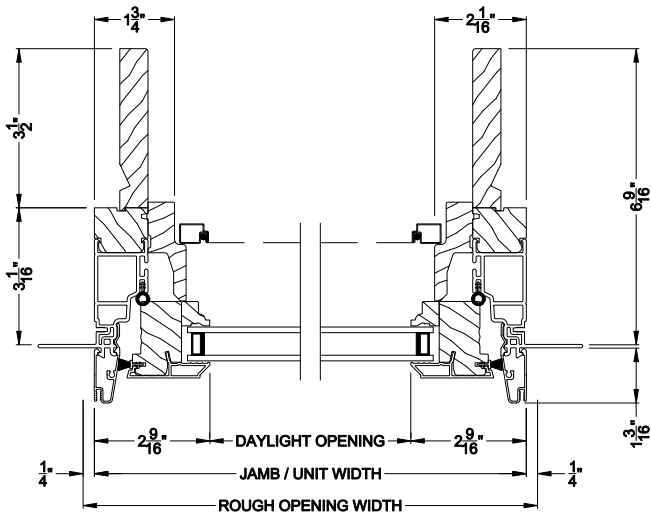
SIGNATURE CASEMENT WINDOW (8219)
Vertical Section - 6-9/16" jamb



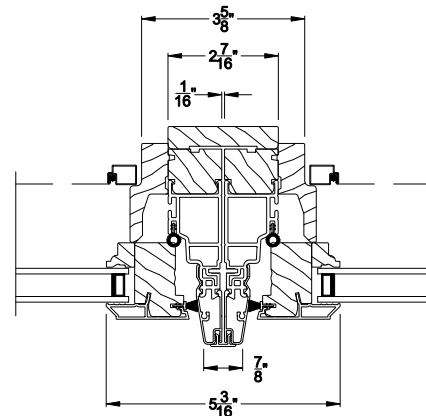
SIGNATURE CASEMENT WINDOW
Vertical Section - 5/4 jamb option with extension



SIGNATURE CASEMENT WINDOW
Horizontal Stack Section - Transom Stack over Casement



SIGNATURE CASEMENT WINDOW (8219)
Horizontal Section - 6-9/16" jamb



SIGNATURE CASEMENT WINDOW
Vertical Mull Section

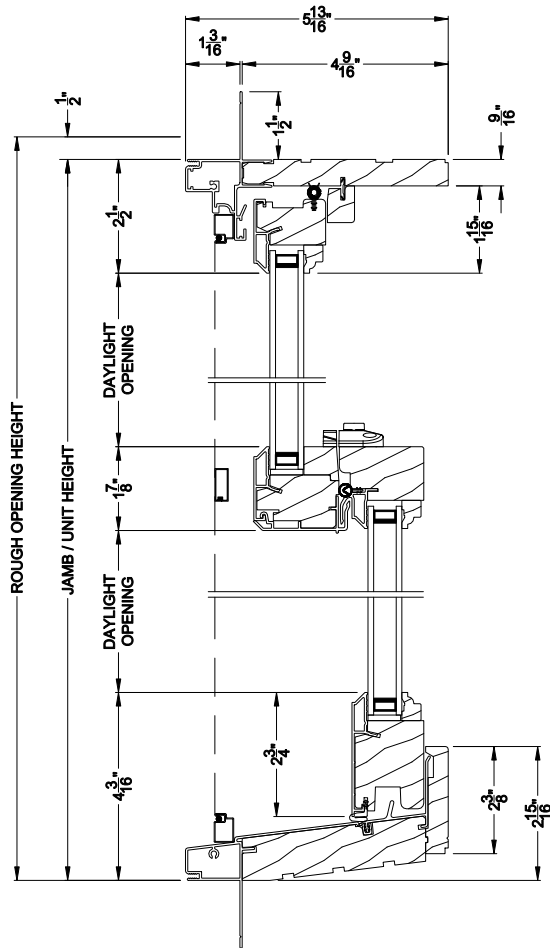
Note: All dimensions are approximate. Weather Shield reserves the right to change specifications without notice.

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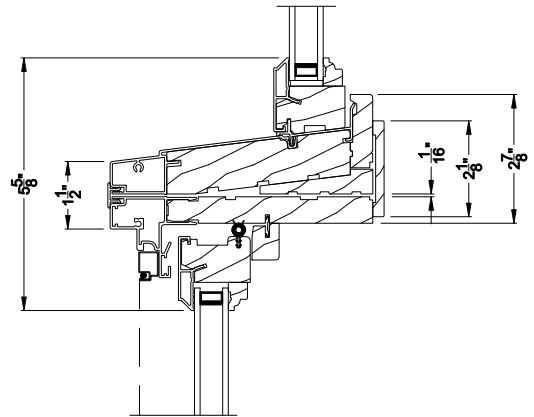
Signature Series™

Double Hung Windows

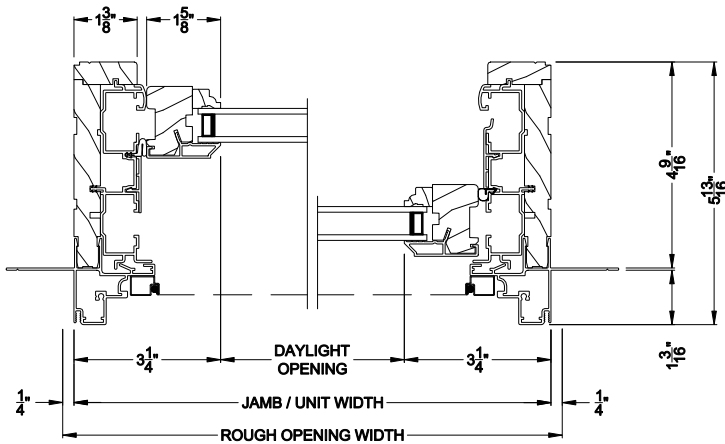
CROSS SECTION DETAILS



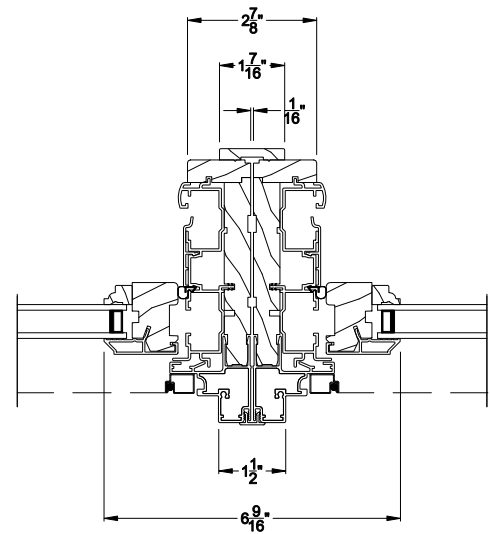
SIGNATURE DOUBLE HUNG WINDOW (8122)
Vertical Section



SIGNATURE DOUBLE HUNG WINDOW
Horizontal Stack Section - Transom Stack over DH



SIGNATURE DOUBLE HUNG WINDOW (8122)
Horizontal Section



SIGNATURE DOUBLE HUNG WINDOW
Vertical Mull Section - DH / DH

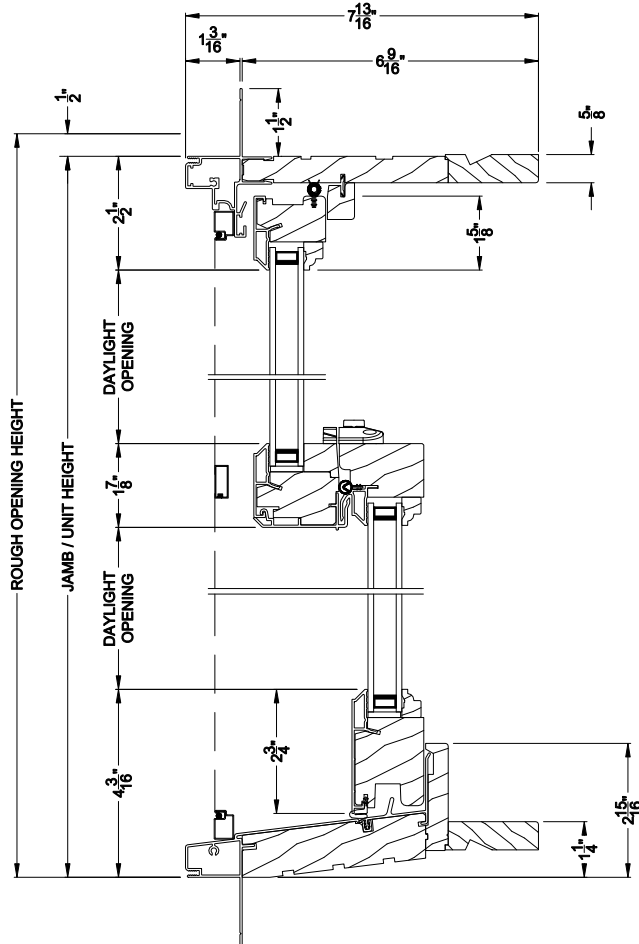
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Weather Shield®

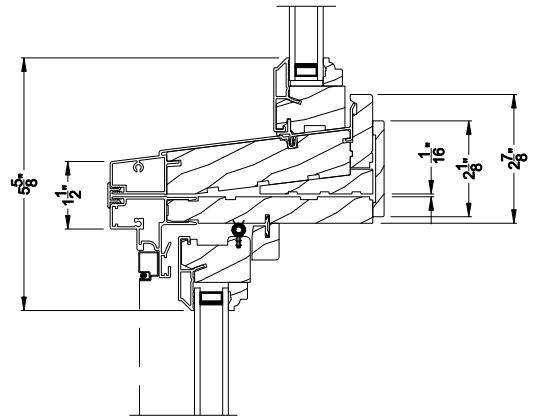
Signature Series™

Double Hung Windows

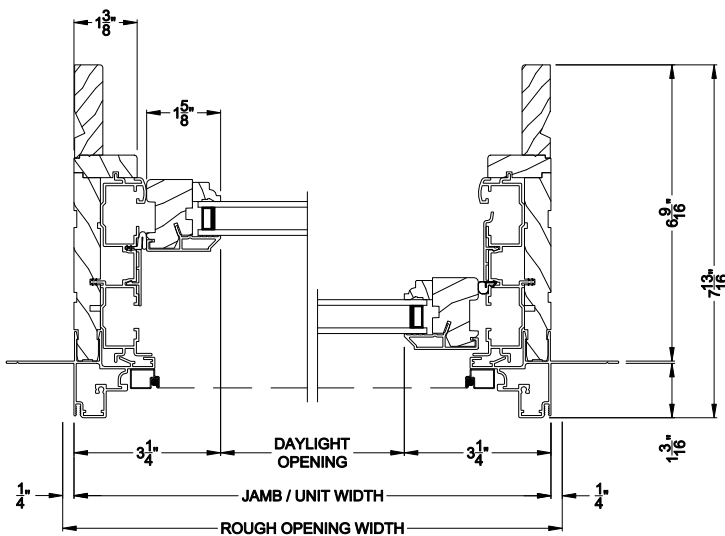
CROSS SECTION DETAILS



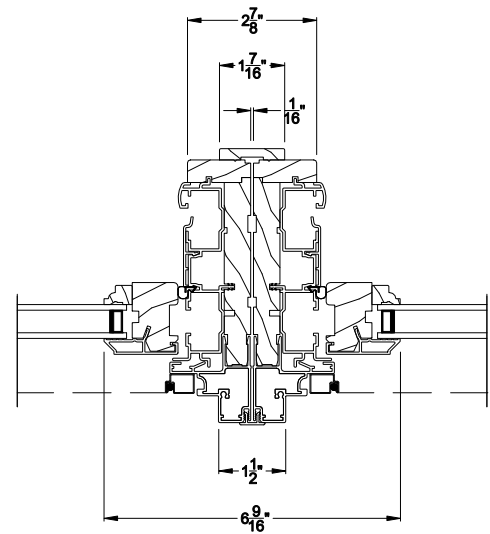
SIGNATURE DOUBLE HUNG WINDOW (8122)
Vertical Section - 6-9/16" jamb



SIGNATURE DOUBLE HUNG WINDOW
Horizontal Stack Section - Transom Stack over DH



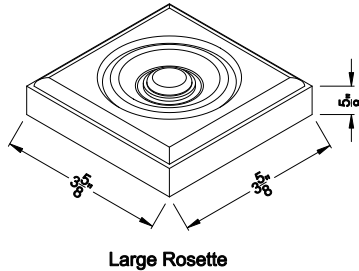
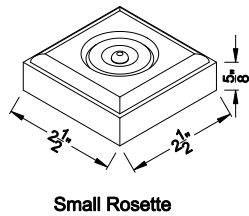
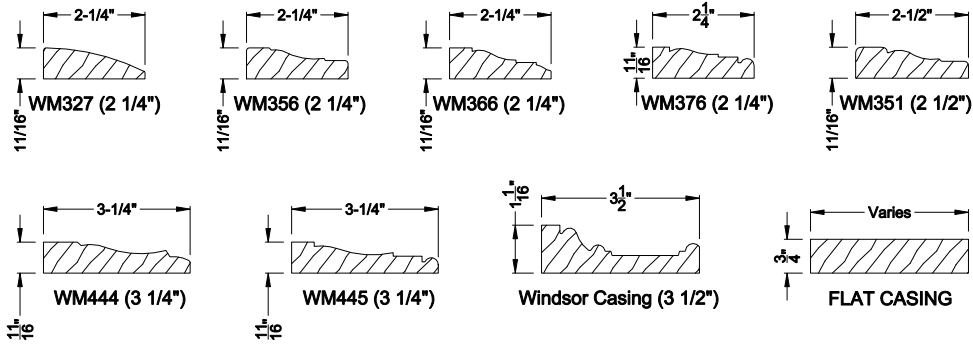
SIGNATURE DOUBLE HUNG WINDOW (8122)
Horizontal Section - 6-9/16" jamb



SIGNATURE DOUBLE HUNG WINDOW
Vertical Mull Section - DH / DH

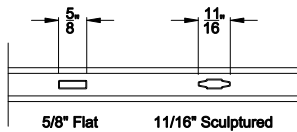
Note: All dimensions are approximate. Weather Shield reserves the right to change specifications without notice.

Interior Wood Trim Options

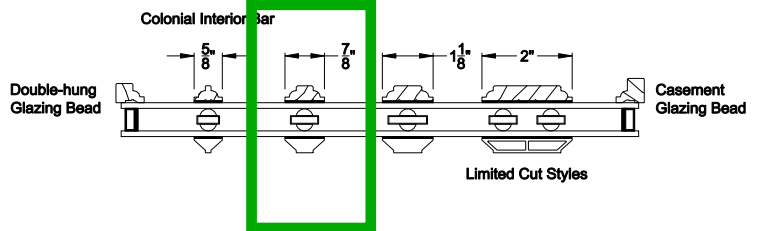


Divided Lite Options

Grilles Between the Glass

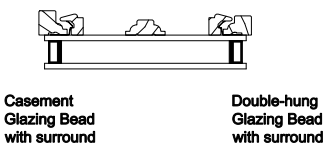


Simulated Divided Lites

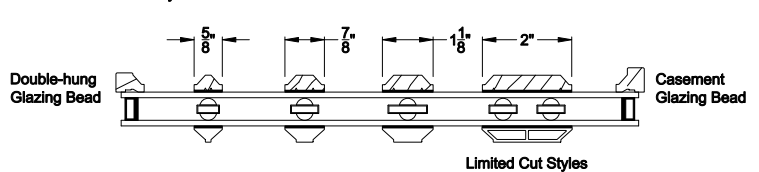


Wood Perimeter Grill

Colonial Bar



Putty Interior Bar




Note: All dimensions are approximate. Weather Shield reserves the right to change specifications without notice.

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Internet # 100658133 Model # 0601900 Store SKU # 775940

Customers Also Viewed


Best Seller



GAF
Timberline HDZ Charcoal Algae Resistant Laminated High Definition Shingles (33.33 sq. ft. per Bundle)

★★★★★ (4.8 / 10146)

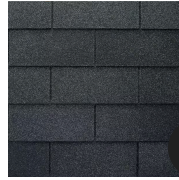
BULK PRICE \$43.47 /bundle (\$1.30/piece)
Buy 36 or more \$39.12



GAF
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\$54.97 /bundle (92¢/piece)



GAF
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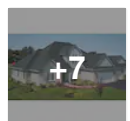
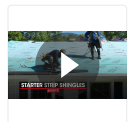
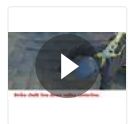
Feedback

BULK PRICE \$
Buy 4:

446

GAF Timberline Natural Shadow Weathered Wood Algae Resistant Architectural Shingles (33.3 sq. ft. per Bundle)

★★★★★ (1240) Questions & Answers (416)





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Covers 33.33 pieces

BULK PRICE ELIGIBLE **\$45.97 /bundle** (\$1.38 /piece)

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Feedback


Color/Finish: **Weathered Wood**



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Calculate by:

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- Square Footage

Area

Length:

Width:

ft.

ft.

+ Add Area






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< 1/1 >

Subtotal: **\$262**³⁵

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Product Details

Specifications

Questions & Answers

416 Questions

Customer Reviews

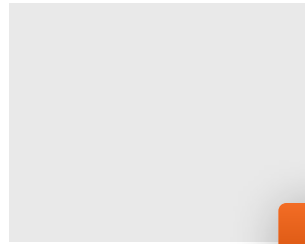
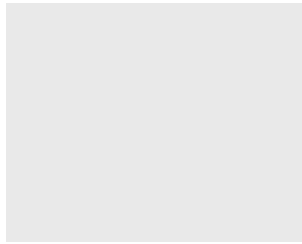
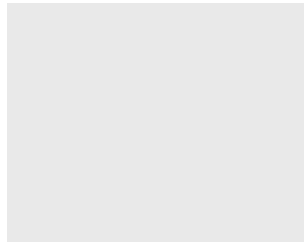
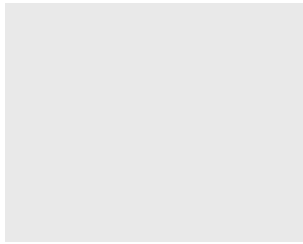
4.7 out of 5 ★★★★★ (1,240)

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Placeholder text for the fourth column, consisting of eight horizontal bars of varying lengths.



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 Feedback



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Internet # 100013979 Model # 2600200192 Store SKU # 576902

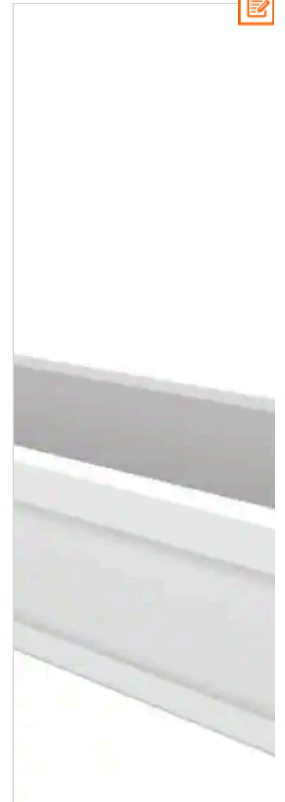
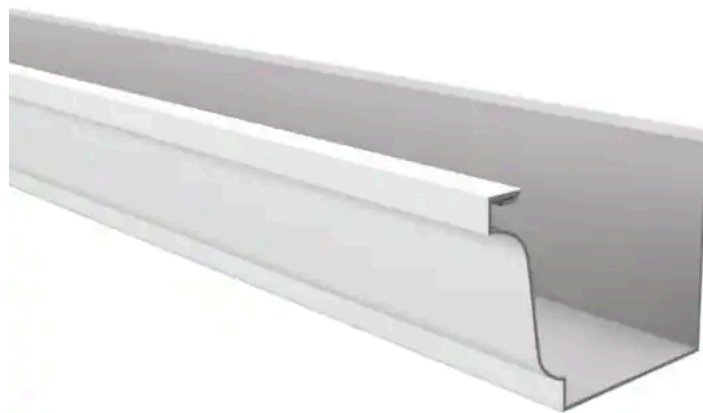
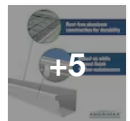
Top Rated

1.6k

Amerimax Home Products

5 in. x 16 ft. White Aluminum K-Style Gutter

★★★★★ (200) Questions & Answers (75)



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\$28⁹⁸

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- Helps protect your foundation and landscaping from roof run-off
- Rust-free aluminum construction allows for easy maintenance
- Compatible with 5 in. gutter systems and 16 ft. in length
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Hyattsville Store

✓ 15 in stock Aisle 20, Bay 009

Color: White



Product Depth (in.): 5 in



Product Length (in.): 192 in



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Delivering to [20782](#)

<p>Pickup ✓</p> <p>Today</p> <p>15 in stock</p> <p>FREE</p>	<p>Delivery</p> <p>Tomorrow</p> <p>772 available</p>
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Subtotal: \$70⁹⁵

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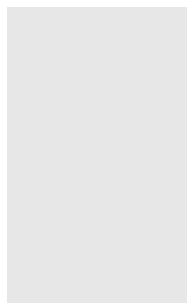
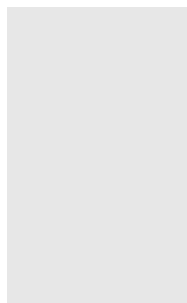
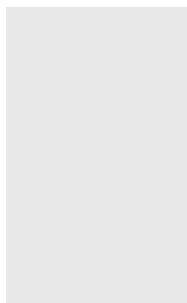
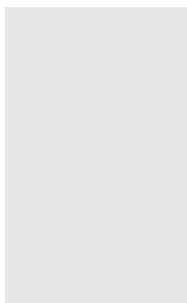
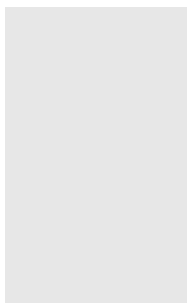
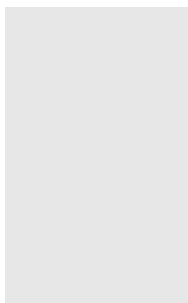
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Loading Recommendations



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Placeholder text consisting of multiple lines of gray bars representing content in a header or introductory section.



Loading Recommendations

A grid of six placeholder items, each consisting of a large gray rectangular image at the top and several lines of gray text bars below it, representing a list of recommendations.

Feedback

A grid of four placeholder items, each consisting of a large gray rectangular image at the top and several lines of gray text bars below it, representing a list of recommendations.



Feedback

Main body of the page containing multiple paragraphs of text, all of which are redacted with grey bars.



 Feedback

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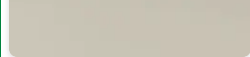



Hardie® Plank

Find your style

Your home is a blank canvas. Experiment with a variety of Hardie® Plank siding styles, textures, and stunning colors featuring our ColorPlus® Technology finishes to create your masterpiece.



Individual colors may vary depending on display settings. Samples only available in Select Cedarmill® texture. Please check with your contractor or local dealer for availability in your area.

				
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Why Choose Hardie® Plank?

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Hardie® siding is noncombustible—it will not burn.** It resists damage from moisture and holds no appeal for pests like woodpeckers or termites.



Engineered for Climate®

Our fiber cement siding and trim products are formulated to offer superior performance based on your region's unique climate needs, and help protect against damage from weather extremes, hurricanes, winter storms and more.



Lasting value

Enjoy a low-maintenance exterior with a 30-year non-prorated limited, transferrable substrate warranty for lasting peace of mind and quality you can trust.



Create unmatched curb appeal

ColorPlus® Technology finishes provide countless color options, such as Hardie's 2025 Color of the Year: Evening Blue, in an ultra-durable finish. Our factory-applied, baked-on color is cured between coats for superior color consistency, adhesion and durability.

Tech specs and documents

Learn everything you need to know about installing and caring for Hardie® Plank.

Specs: Select Cedarmill®



Specs: Smooth



Specs: Beaded Select Cedarmill®




Specs: Beaded Smooth



Quick Start Installation Guide

Get an overview of the installation process for Hardie® Plank. In English and Spanish.

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How to Install Hardie® Plank

From starter strips to correct gap length, it's important to know the basics for siding installation.

Watch video [→](#)



Browse Tech Docs Library

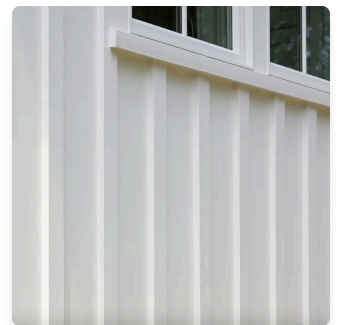
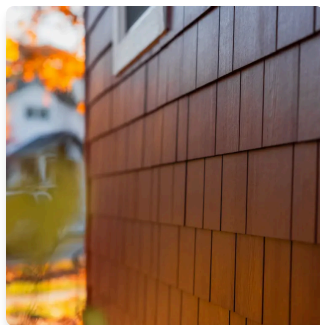
Quickly browse and gather all the docs you need for a successful install project, from CAD files to install instructions to safety sheets.

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Explore more products

See how Hardie® products can help your home look beautiful for years to come!





Start your renovation

Ready to take the next step? Find a local pro to help you execute your design vision with Hardie® siding.

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**Based on Freedonia 2022 Global Siding (Cladding) demand estimates and James Hardie sales in North America.*

***Hardie® siding complies with ASTM E136 as a noncombustible cladding and is recognized by firefighters and fire departments across the U.S. including Chicago IL, St. Paul MN, Flagstaff, AZ and Wayne County, OH. Fiber cement fire resistance does not extend to applied paints or coatings, which may be damaged or char when exposed to flames.*

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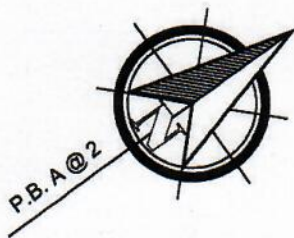
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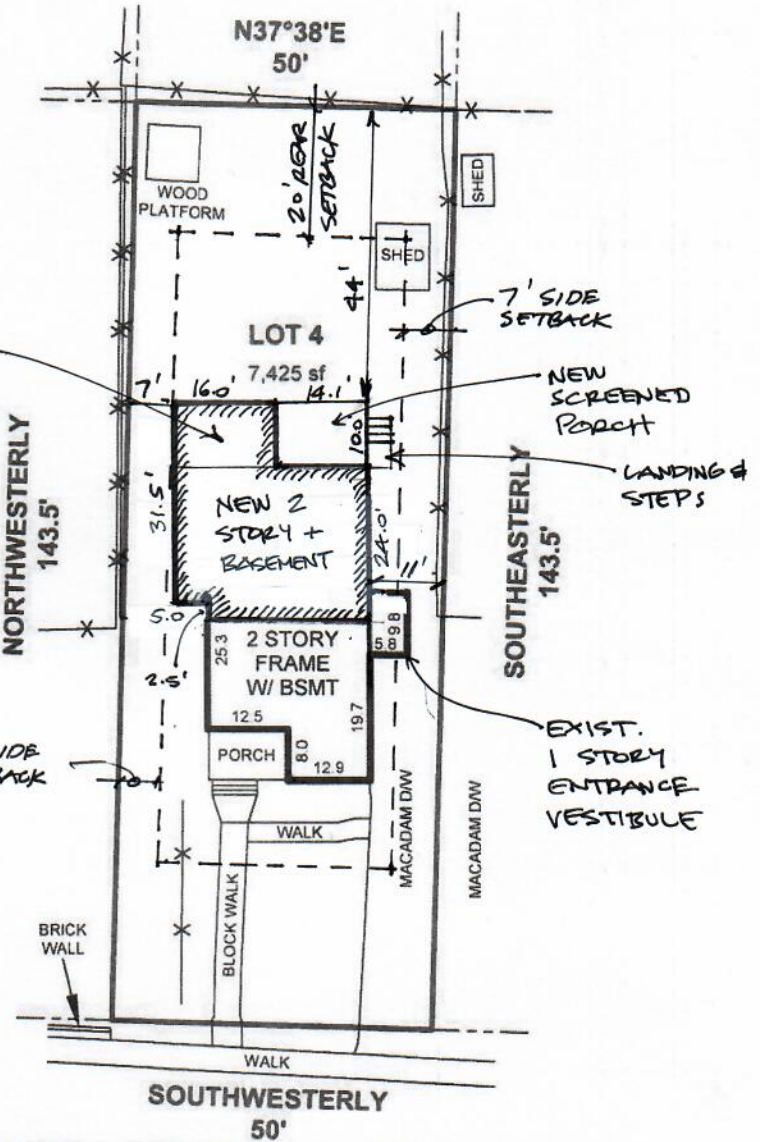
THE LEVEL OF ACCURACY OF DISTANCES TO APPARENT PROPERTY LINES IS: **2±**



LEGEND:
 * - FENCE
 BSMT - BASEMENT
 DAW - DRIVEWAY
 FR - FRAME
 MAC - MACADAM

COLOR KEY:
 (RED) - RECORD INFORMATION
 (BLUE) - IMPROVEMENTS
 (GREEN) - ESMTS & RESTRICTION LINES

LOCATION DRAWING OF:
#24 COLUMBIA AVENUE
LOT 4 BLOCK 19
TAKOMA PARK
 PLAT BOOK A, PLAT 2
 MONTGOMERY COUNTY, MARYLAND
 SCALE: 1"=30' DATE: 04-13-2026
 DRAWN BY: MM FILE #: 262750-745



COLUMBIA AVENUE

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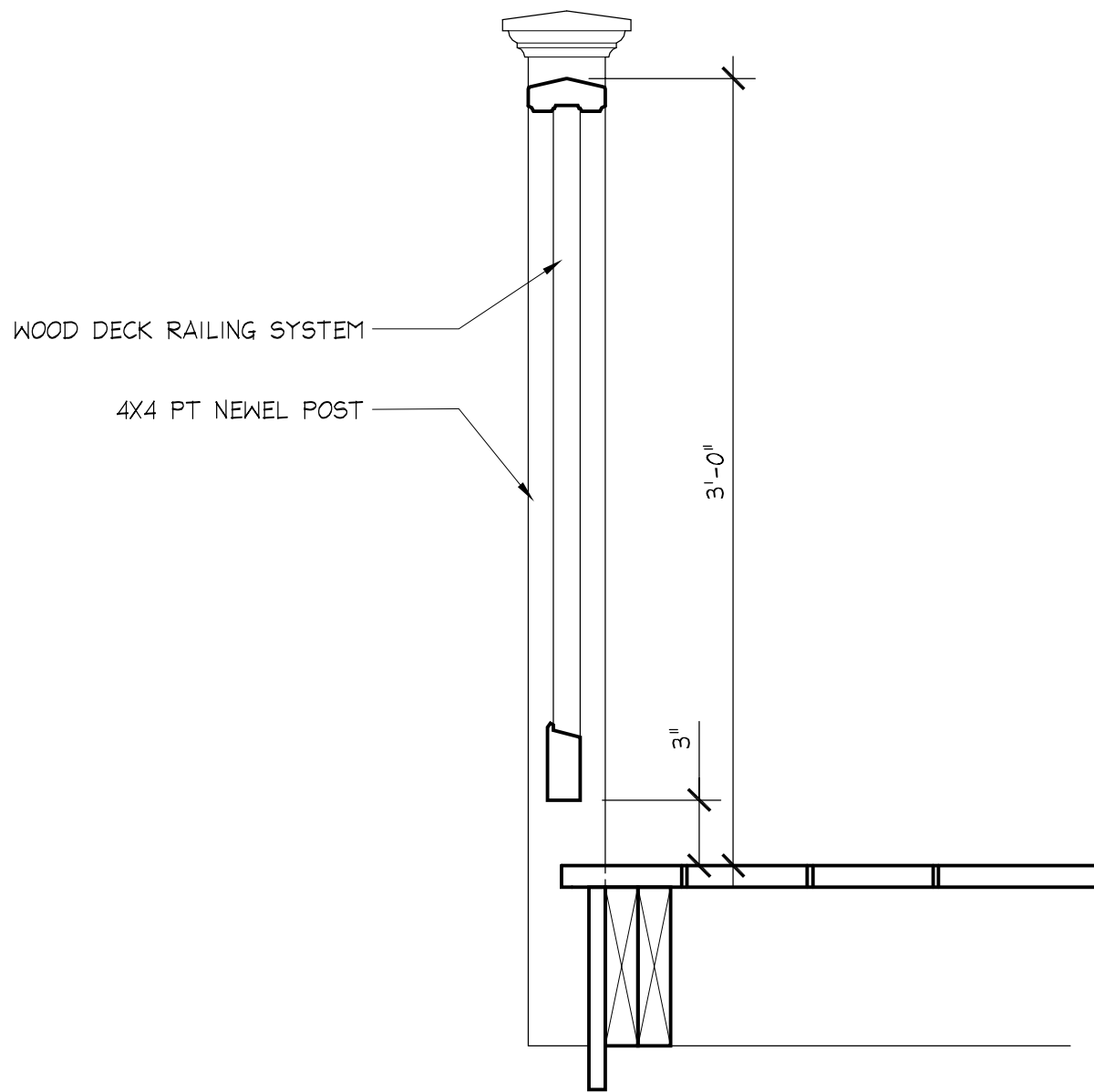
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3 TYP. DECK RAILING DETAIL
 A3.2 1 1/2" = 1'-0"





RECYCLE









