

Montgomery County Historic Preservation

Staff Report

<p>ADDRESS: 23356 Frederick Road, Clarksburg</p> <p>RESOURCE: Clarksburg Historic District</p> <p>APPLICANT: Softick LLC (Brunson Designs, Architect)</p> <p>REVIEW: Preliminary Consultation</p> <p>CASE NO.: 1154772</p> <p>PROPOSAL: Partial demolition, construction of additions, site work and associated grading</p>	<p>MEETING DATE: 5/27/2026</p> <p>REPORT DATE: 5/20/2026</p> <p>PUBLIC NOTICE: 5/13/2026</p> <p>TAX CREDIT ELIGIBLE: No</p> <p>STAFF: Laura DiPasquale</p>
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Staff Recommendation

Staff recommends the applicant make any revisions to the proposal based on the HPC’s feedback and return for a second Preliminary Consultation or HAWP.

Architectural Description

Significance: Non-Contributing Resource within the Clarksburg Historic District

Date: c. 1940s

Style: Cape Cod

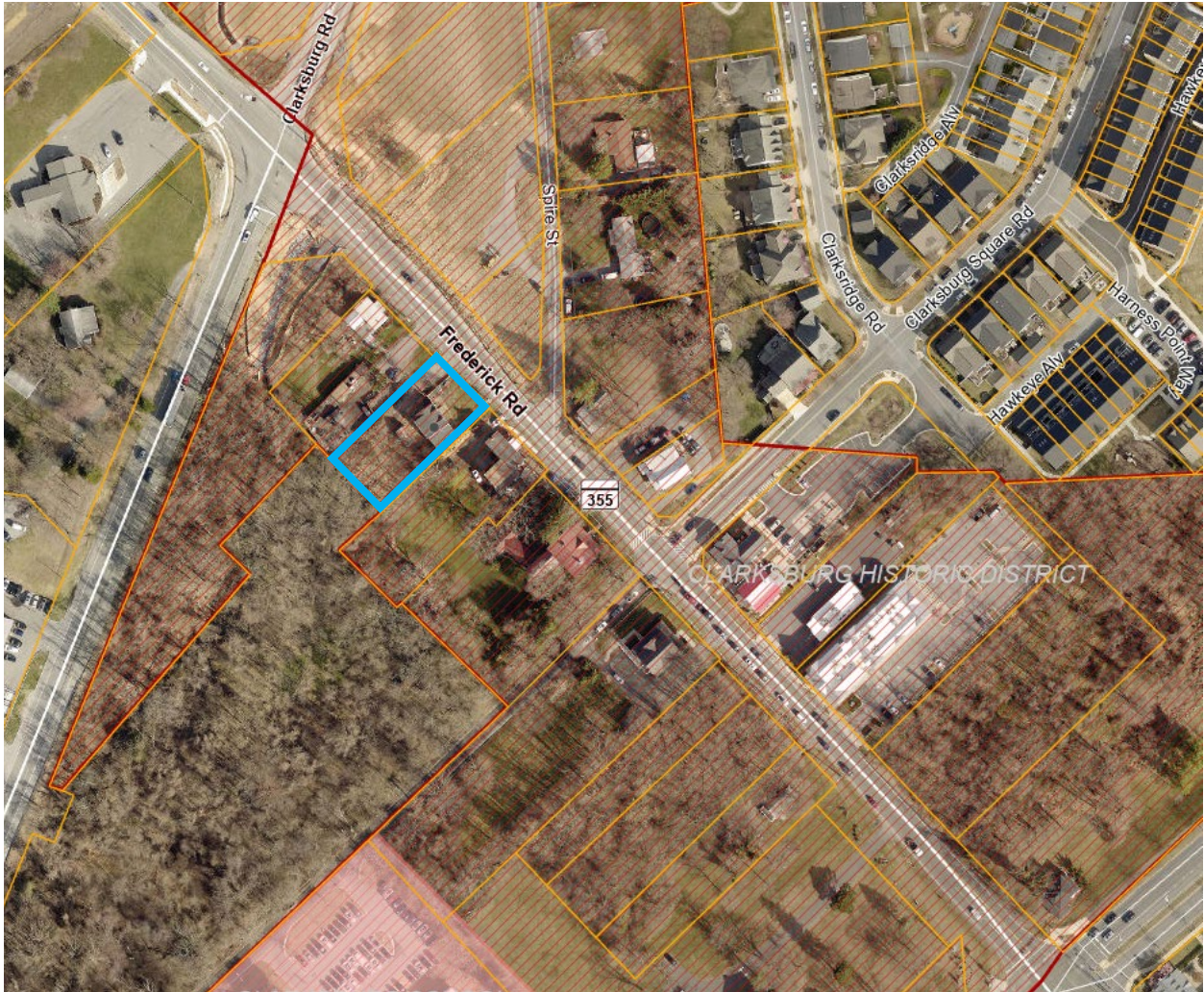


Figure 1: Location of the subject property (outlined in blue), within the Clarksburg Historic District (outlined and hatched in red).



Figure 2: View of the subject property from Frederick Road (May 2026, Historic Preservation Division).

Proposal

The applicant proposes to substantially demolish the existing 1.5-story structure, maintaining portions of the rear and side walls, extend the foundation and building footprint forward approximately 12 feet, and construct a 2-story addition with an elevated and occupied basement level. This would result in a building that is 44-ft 9-in wide by 40-ft deep with an overall height of 37-ft 10-inches. The upper floors of the building would provide multi-family housing while the lower level would be occupied by a commercial space. As part of the redevelopment of the site, the applicants also propose to demolish an existing garage/shed building and to create a 20-ft wide paved driveway leading to a rear parking area, behind which would be located a new bioretention pond and associated stormwater management facilities.

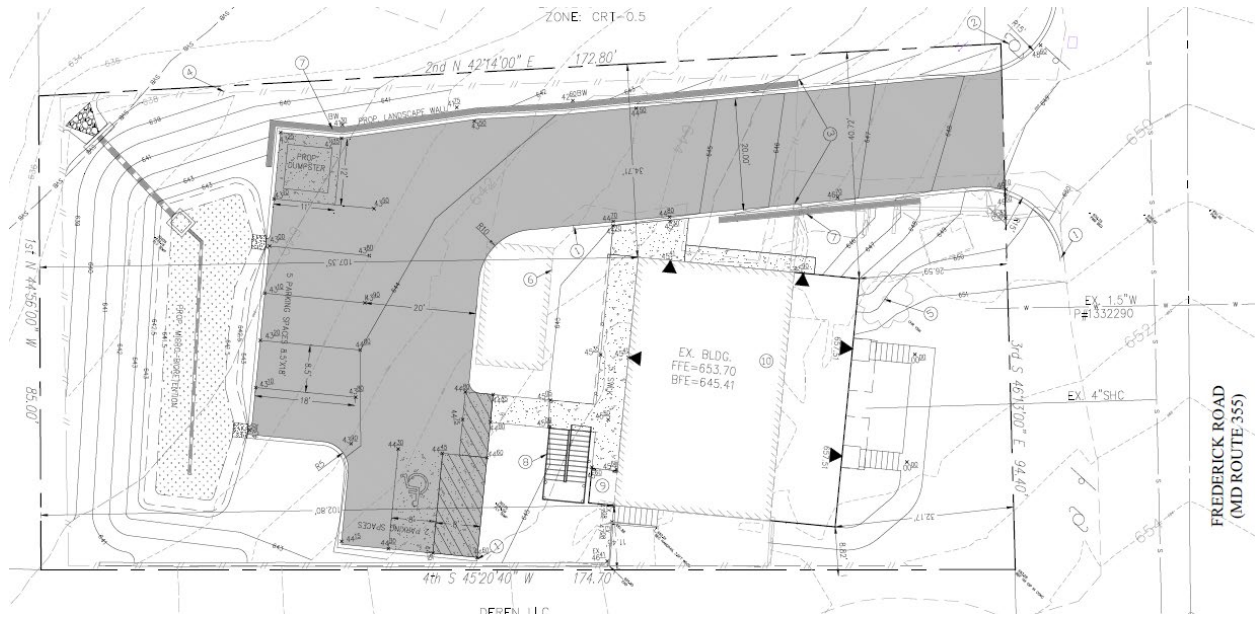


Figure 3: Proposed site plan.



Figure 4: Left, proposed front elevation rendering. Right, proposed southeast side elevation rendering.

Applicable Guidelines

The Historic Preservation Office and HPC consult several documents when reviewing alterations and new construction within the Clarksburg Historic District. These documents include the historic preservation review guidelines in the approved and adopted amendment for the [Vision of Clarksburg: A Long-Range Preservation Plan](#) (*Vision*), Montgomery County Code Chapter 24A (Chapter 24A), and the Secretary of the Interior’s Standards for Rehabilitation (*Standards*). The pertinent information is outlined below.

Vision of Clarksburg

The document, published in 1992, provides guidance in evaluating proposals in the historic district by identifying character-defining features of the historic district. The *Vision* notes that Clarksburg is an important and historic crossroads in northern Montgomery County. Defined by the linear passage of Frederick Road, Clarksburg boasts an important collection of early 19th century residential and commercial architecture. Clarksburg evolved from its early settlement into a prosperous town: an important trade and transport hub as well as a thriving residential community.

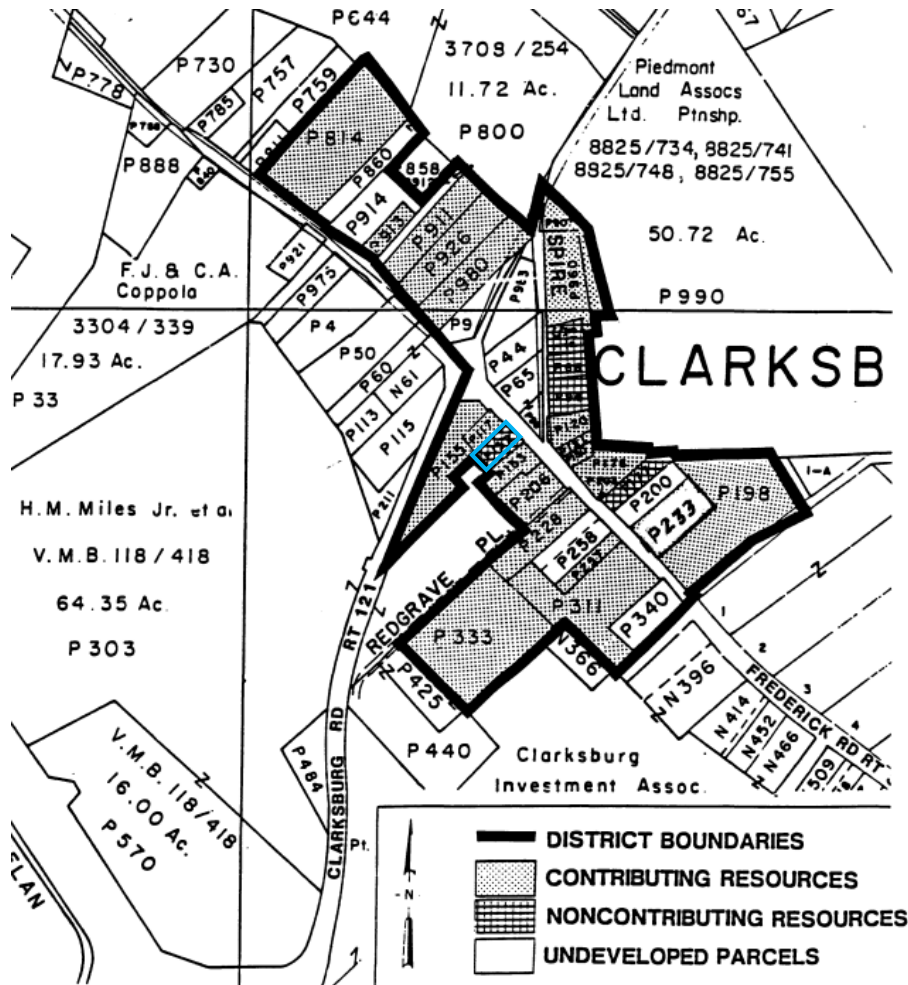


Figure 5: Clarksburg Historic District map boundary and property classifications. The subject property is outlined in blue.

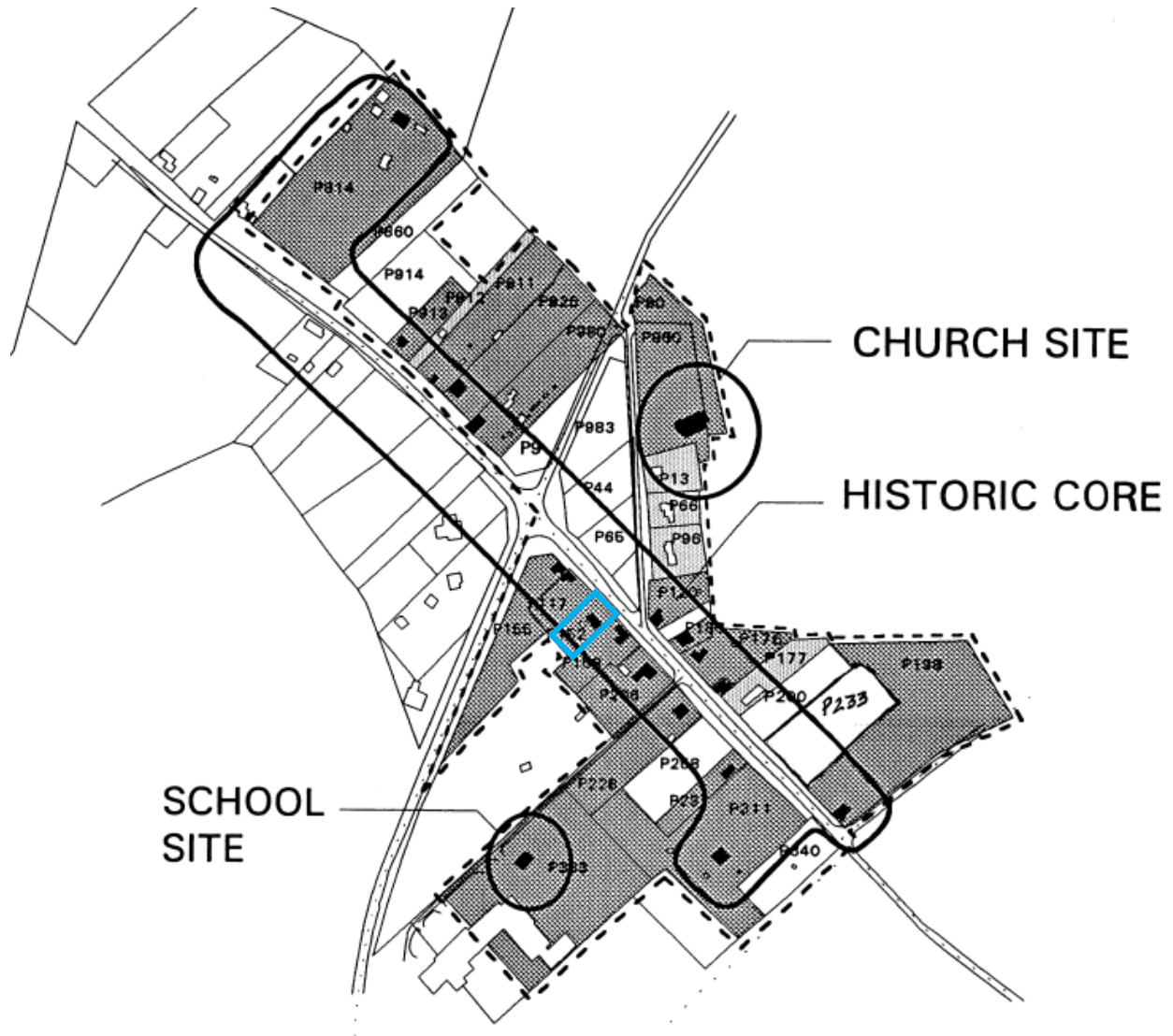


Figure 6: Clarksburg Historic District map showing the historic core (outlined in black) and buffer area. The subject property, outlined in blue, is located within the historic core of the district.

Relevant to the discussion for this first Preliminary Consultation are the following principles:

It is the stated goal of the new town development to retain, reuse, and preserve the existing resources of the historic district, while allowing for an acceptable amount of controlled infill. However, the recognition of the fragile nature of the historic district, and the necessity of careful and sensitive coordination of future development in order to avoid the loss of the district's integrity is critical to the success of future plans. The historic development patterns characteristic of extant building groupings should guide new in-fill development in this area. A buffer area, adjacent to the historic district should allow for the conservation of open space and require new development that is compatible to the historic district in scale and character. An understanding of Clarksburg's past and the identification of the visual qualities that create its unique character will be pivotal in the preservation and enhancement of the historic district in the face of progress.

Building Type and General Characteristics

Set in rural northern Montgomery County, the majority of Clarksburg's historic resources date from 1799 to 1925. The identified primary buildings in Clarksburg include 19 dwellings, one church, two stores, one post office, and one school.

Building Setbacks

Clarksburg is a linear district with residential, religious, education, and commercial structures predominately fronting on Frederick Road. The majority of these structures sited along Frederick Road are set-back from the street at an average distance of 40 feet. The perception and historic character within the Clarksburg Historic District is that the houses are set close to the road with regular intervals between them. This characteristic is one of the most important elements that unifies the streetscape.

Rhythm of Spacing Between Buildings

Clarksburg is characterized by the linear course of Frederick Road through the town, and the location of its primary resources within 130 feet from each other on regularly spaced residential lots. The character of the district is primarily residential, although commercial structures (historically and currently) are intermingled with the residential properties creating a unified streetscape. The location of the religious property and educational structures off the main road, and set further back from the street, strengthens the lateral residential rhythm of the historic streetscape.

Geographic and Landscape Features

The small setback from Frederick Road of houses leaves a narrow area of land for the grass and shrubs that define the residential settings. Few fences define properties in Clarksburg; rather, shrubs and hedges delineate the setting of the house. Many of the houses are framed by two large trees with smaller, manicured plantings and flowers in front and immediately surrounding the dwelling. Grass is the primary ground cover. Large expanses of grass or cultivated gardens are located behind the primary resources.

Scale and Building Height

The historic houses in Clarksburg are similar in height, ranging only from two-stories to two-and-one-half stories. Nineteen percent of the historic houses in Clarksburg are two stories in height and 38% are two-and-one-half stories. This uniform scale contributes and is critical to the reading of the streetscape.

Directional Expression of Building

The facades of the historic houses in Clarksburg tend to be horizontally emphasized in composition. This reflects the changing styles of the early 19th century and early 20th century that generally tended to be more horizontal than the vertically oriented styles associated with the Victorian era in the Late 19th century. Symmetrical and asymmetrical compositions are employed almost equally.

Roof Form and Materials

Seventy-three percent of Clarksburg's historic residences have gable roof forms, there are numerous variations including end gables, cross gables and elongated gables. Six hipped roofs are located in the district (26%). Replacement roofing materials are found throughout the historic district, particularly asphalt shingles. Standing seam metal roofs remain on several buildings in the district.

Porches

Sixty-six percent of the historic houses in Clarksburg have a one-story, full width front porch. Nineteen percent of the buildings have a one-story entry porch and only two buildings were surveyed with wrap-around porches (11%). The porch projection is a strong character-defining feature in the Clarksburg Historic District, reflecting the influence of the Victorian aesthetic on house construction and renovation.

Dominant Building Material

The dominant building material in Clarksburg is wood executed as clapboard and weatherboard. These buildings, which total 71 % of the building stock, retain much of their original wood trim and ornamental detail, significantly contributing to the visual appearance, character and integrity of the historic district. Only 29% percent of the structures are clad in replacement materials of aluminum siding or asphalt shingles. One brick structure is located in the district, now clad with numerous replacement materials.

Vernacular

The most common expression of architecture in Clarksburg is presented in historic vernacular forms. Representative of the late-19th century domestic architecture in Montgomery County is the two story, two-bay farmhouse. This house type is generally a two-story frame building with a side entry and an end chimney as seen at 23415 Frederick Road. The small scale of these dwellings usually necessitated the construction of rear wings and additions. This house has been attached at the roof-line to a large I-house to the rear. A one-story, hipped roof porch with turned posts runs the full width of the house.

The I-house evolved from the traditional British folk house, but grew to include additions and local stylistic details. This was often the form used to present the Federal style in less academic expressions. The I-house is characterized as a two-story, two room wide, one-room deep house. The rectangular structure has the primary entrance located centrally on the longer axis and end chimneys located on each of the shorter sides. The elevations of I-houses are symmetrically organized into three bays with either a one- or two-story porch articulating the primary facade. Generally, I-houses dating from the mid- to late-19th century have boxed cornices with molded corner profile elements. By the turn of the century, the molded profile element is no longer prevalent, while the box cornice remained in a more simplified form. During the late 19th to early 20th century houses often included cornice returns in the gable ends, an element used to give the vernacular form a more formal appearance.

Relationships of Front Yard Setback and Building Spacing

The front yard setback is the distance a building is set away or back from the property line on the street or road which it fronts. The front yard setback determines how prominent a building is in the streetscape of the district. When many buildings are involved, a pattern can be established which helps to define the character of the streetscape through the width of sidewalks, the amount of green space (lawn or vegetation area) between the street and building, the apparent scale of the building in relation to pedestrians, and other subtle qualities of the community. In combination with the setbacks, building separation distances establish the openness or visual porosity of the streetscape. Buildings which are separated allow for view and landscape elements in the interstitial space.

Montgomery County Code Chapter 24A-8

(b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to ensure conformity with the purposes and requirements of this chapter, if it finds that:

- 1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
- 2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or

(d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

Secretary of the Interior's Standards for Rehabilitation

The Secretary of the Interior defines rehabilitation as “the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values.” The applicable *Standards* are as follows:

2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

Staff Discussion

Additions and Alterations – Footprint, Setbacks, and Building Form

Staff supports the overall concept of the proposal, namely the substantial demolition of the non-contributing resource and construction for new infill housing and commercial, but recommends substantial changes to the project design. As proposed, the project’s architectural expression is incompatible with the requirements for the Clarksburg Historic District. Staff notes that, while the proposed alterations may not qualify as a complete demolition per the Department of Permitting Services’ definition, the project will essentially function as infill construction.

As a Non-Contributing resource, staff finds that the substantial alteration or complete demolition of the existing house and shed does not remove historic materials that characterize the property, in keeping with *Standards 2 and 9* and Chapter 24A-8(b)(1) and (d). Staff further finds that the overall expanded building footprint of 44-ft 9-in wide by 40-ft deep and resulting building setbacks are consistent with the footprint and setbacks of buildings in the Clarksburg Historic District. Staff notes that, while the *Vision* identifies buildings in Clarksburg as having an average setback of 40 feet from the public right-of-way, the setbacks along the stretch of Frederick Road between Clarksburg Road and Stringtown Road is less than that. The proposed setback of 26 to 32 feet from the public right-of-way is consistent with or greater than neighboring historic properties. Staff also finds that since the proposed construction does not modify the width of the existing house, it maintains the rhythm of spacing between buildings, identified in the *Vision* as one of the character-defining features of the Clarksburg Historic District. Additionally, the proposed simple gable roof form is likewise consistent with the district per the *Vision*.





Figure 8: View southeast toward the subject property and adjacent historic property (May 2026, Historic Preservation Division).



Figure 9: View southwest across Frederick Road toward the subject property and adjacent historic properties (May 2026, Historic Preservation Division).

Building Height

Staff's primary concern is with the compatibility of the proposed building height, features, and materials within the Clarksburg Historic District. The applicants identify the total proposed building height as 34-ft 3-inches from primary grade and 37-ft 10-inches from lower grade, plus an additional approximately 3-ft 6-inches to the lower-level grade. Staff notes that the elevation drawings do not fully depict the existing grade changes, which slopes down both from southeast to northwest and northeast to southwest on the lot, rendering them as straight horizontal lines, and that absent a streetscape study, it is difficult to understand the relationship of the building height relative to the existing topography and neighboring historic buildings. Staff recommends that the applicant return at the next Preliminary Consultation with a streetscape study illustrating the relationship of the proposal to the existing buildings while also accurately accounting for any proposed grading on site. Based on the current information provided, staff finds that the proposed building elevates the first-floor level approximately 5 feet from grade, 3 ½ feet above the current first-floor level. The applicants propose a 12-foot floor to floor height from the lower level to first-floor level, and a 10-foot floor-to-floor height for the first-floor and 9-foot floor-to-floor height for the second floor levels. Staff finds that most buildings in the district are relatively low to the ground, with very few exposed foundations, and one to five steps leading to the front entries as opposed to the

proposed nine, and that the average building height in the district is around 25-30 feet from grade. Staff notes that the HPC reviewed new construction at 23343 Frederick Road in 2024 and that the approved height for the infill building on that site was 27-ft 10-1/8-inches from the first floor level to the roof peak plus a 3-ft 2-inch elevated foundation level for a total overall height of 31 feet.¹ For the current proposal, staff recommends that the applicants reduce the overall height to a maximum of 31 feet above grade, reducing all floor to floor heights, and particularly lowering the height of the elevated basement level so that no more than 2-3 steps are necessary to access the front door from grade.

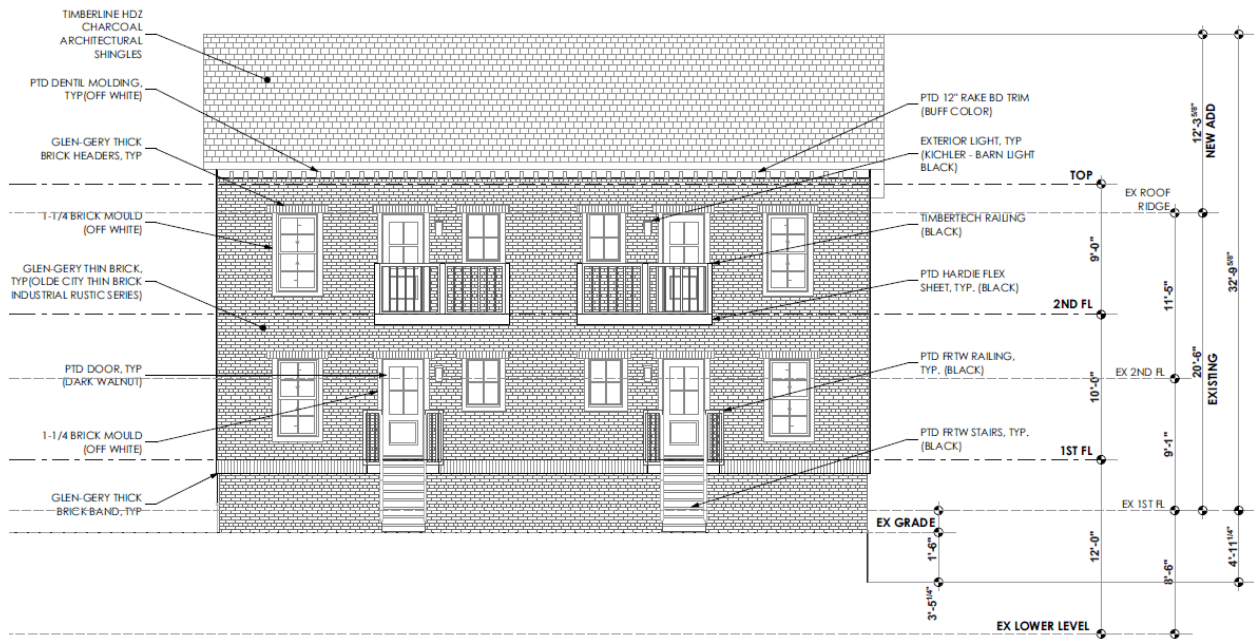


Figure 10: Proposed front elevation drawing.

Building Features

Staff finds that the prominence of the elevated foundation is exacerbated by the proposed long and narrow stair runs and landings leading to two first-floor entries. Staff finds that, per the *Vision*, properties in Clarksburg are characterized by wide front porches that typically extend the full width of the façade with a singular front door. Staff recommends that the applicants create a full-width front porch, which could be divided in the center to separate the units. At the second-floor level, staff finds that the proposed doors, balconies, and small windows are likewise out of keeping with the regularized rhythm of fenestration found on buildings in the district. Staff recommends eliminating the balconies and creating consistent full-sized punched window openings along the second-floor façade.

¹ Approval documentation for new construction at 23343 Frederick Road: [23343 Frederick Road, Clarksburg - 1095490 - Approval.pdf](#)

Materials and Fenestration

Regarding materials, per the *Vision*, the dominant building material in Clarksburg is wood clapboard or weatherboard. Staff finds the proposed thin-brick cladding of the front facade is incompatible with the district, and recommends that the front elevation above the foundation level be clad in horizontal wood or fiber cement lap siding, such as the Hardie lap siding proposed on the side elevations. Staff also finds that the amount of uninterrupted siding on the side elevations is out of keeping with the character of the district and recommends that the side gable ends be differentiated through a material change, use of a band board, and/or installation of gable end windows or louvered openings to reduce the amount of uninterrupted siding presented on the side elevations. Staff recommends additional details regarding window and door reveals, trim details, and other details at a future preliminary consultation.

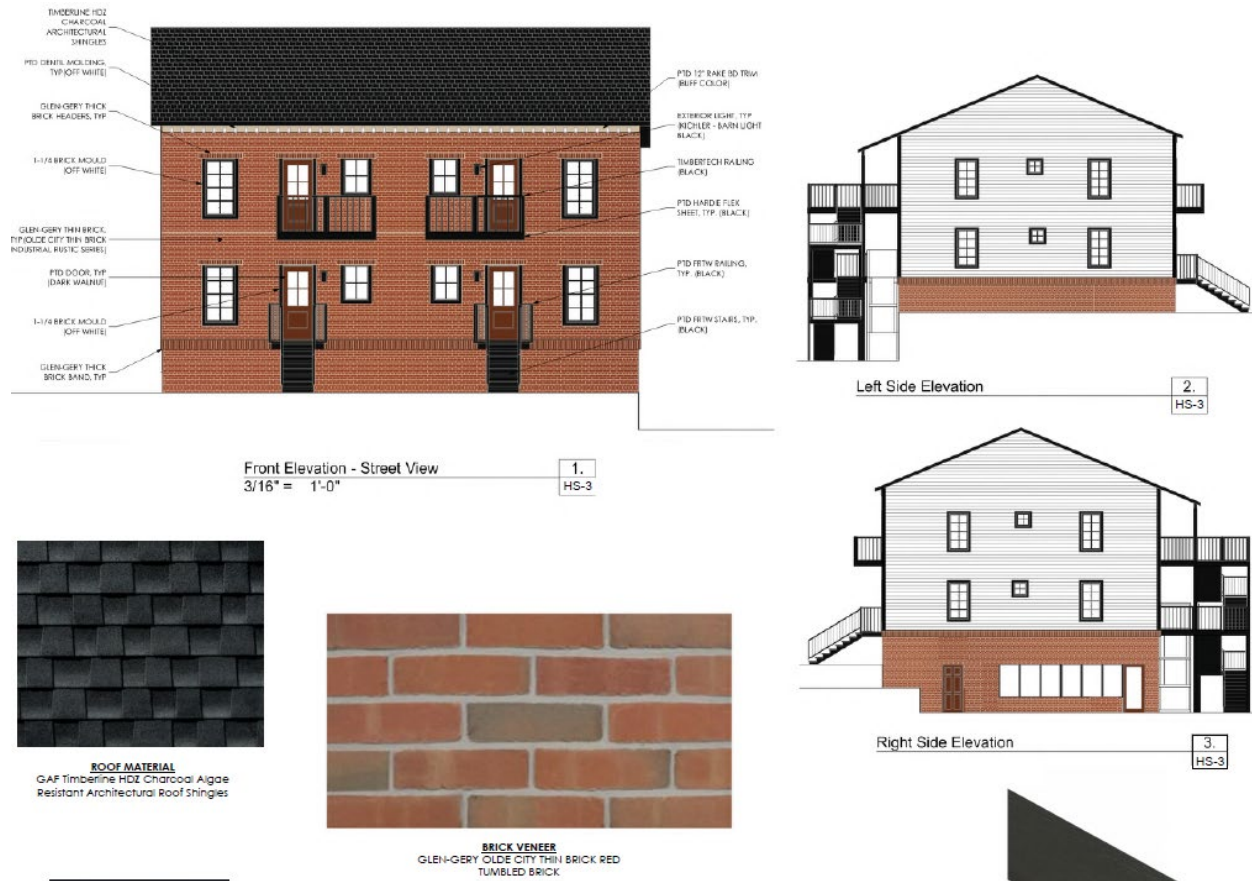


Figure 11: Proposed front and side elevation renderings and proposed brick and roof specifications.

Site Work and Hardscaping

In addition to the building alterations, the applicants propose to install a new 20-foot wide paved driveway with a parking area at the rear. New segmental block retaining walls would be added along the sides of the driveway owing to the changes in grade. Staff finds that, while the proposal widens the existing driveway by a few feet, it does not introduce a new curb cut, and will have a limited impact on the historic district, in keeping with Chapter 24A-8(b)(1). Staff finds that much of the proposed parking will be located behind the existing/proposed building and that owing to the grade changes, will be limited in view from the public right-of-way. Staff notes that a proposed dumpster will be located at the end of the driveway before it turns behind the building for the parking area. This dumpster should be screened with fencing to be reviewed at the next Preliminary Consultation. Behind the parking, at the rear of the parcel, the applicants propose to construct a new bioretention pond. Staff finds that this area will have limited visibility from the public right-of-way, but seeks additional information on the requirements and associated landscaping.



Figure 12: View of the existing driveway and retaining wall. The tree in the foreground would be removed to accommodate the new construction.

Staff Recommendation

Staff recommends that the applicant make any revisions based upon the HPC's comments and return for a second preliminary consultation or HAWP.

Staff Requested HPC Feedback

- The appropriateness of the scale, height and massing of the proposed additions;
- The appropriateness of the proposed building design;

- The appropriateness of the proposed hardscaping and site work.
- Any other comments.

Staff-recommended materials to be submitted for a second preliminary consultation or HAWP:

- Updated architectural plans and elevations.
- Streetscape drawing(s) or renderings showing the topography and relationship of the proposed building to the adjacent historic properties.
- Materials specifications.
- Detail drawings showing proposed window and door installation and trim details.
- Additional information on the proposed stormwater BMPs.

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

The Property consists of 15,577 square feet of CRT-0.5, C-0.5, R-0.5, H-45 zoned land. The gross tract area is approximately 0.36 acres. The Property is more particularly identified as Maryland State Department of Assessments & Taxation ID #00026722 and Parcel 152. The Property fronts Frederick Road. The closest cross streets are Clarksburg Road and Clarksburg Square Road. The site contours towards the rear of the property. There is a single tree in the front of the site and several trees that align the sides and rear. The property currently has a single-family detached residence featuring a walk out basement, an accessory structure located to the rear of the primary structure, and an existing asphalt driveway accommodating the Property's lone access point along Frederick Road. Based on the Maryland State Department of Assessments and Taxation's records, the primary structure was constructed in 1951 and includes $\pm 1,652$ square feet of above grade living area. The existing primary structure is in poor condition. It is boarded up and vacant. The property has existing fencing and a retaining wall separate the Property from the adjacent CRT zoned property directly to the south. The existing fencing and retaining walls will be replaced and incorporated into the proposed development. An existing gravel and crushed concrete parking surface is located in the rear and will be redesigned t+

Description of Work Proposed: Please give an overview of the work to be undertaken:

The existing building will be converted to a mixed use building. The mixed use building will have four two bedroom apartments on the upper first and second floor (R-2) and a restaurant on the lower level. (A-2). There will be demolition involved in the scope of work. The demolition shall consist of removal of the entire first and second floor and roof to accommodate current wall and roof energy code. The first and second floor will be rebuilt in kind to meet current wall and roof energy code. The existing shed on the property will be demolished entirely and will not be rebuilt. A three level addition will be added to the front of the existing building to add additional square footage in the amount of 1996.99 SF. The front addition will also include two porch and stair additions and two balcony additions. The rear will add two exit walkways on both the first and second floor level. There will be a metal staircase that will be added to the rear for egress. A vertical lift will be added to the rear for accessibility to the first floor. The site will be modified to accommodate the required necessary parking and ambulatory access.



EXISTING FRONT ELEVATION



EXISTING DRIVEWAY VIEW



EXISTING RIGHT SIDE ELEVATION - DRIVEWAY VIEW



EXISTING RIGHT SIDE ELEVATION



EXISTING REAR ELEVATION



EXISTING REAR ELEVATION - FACING EXISTING SIDE PATIO



EXISTING SHED AND BACK YARD VIEW

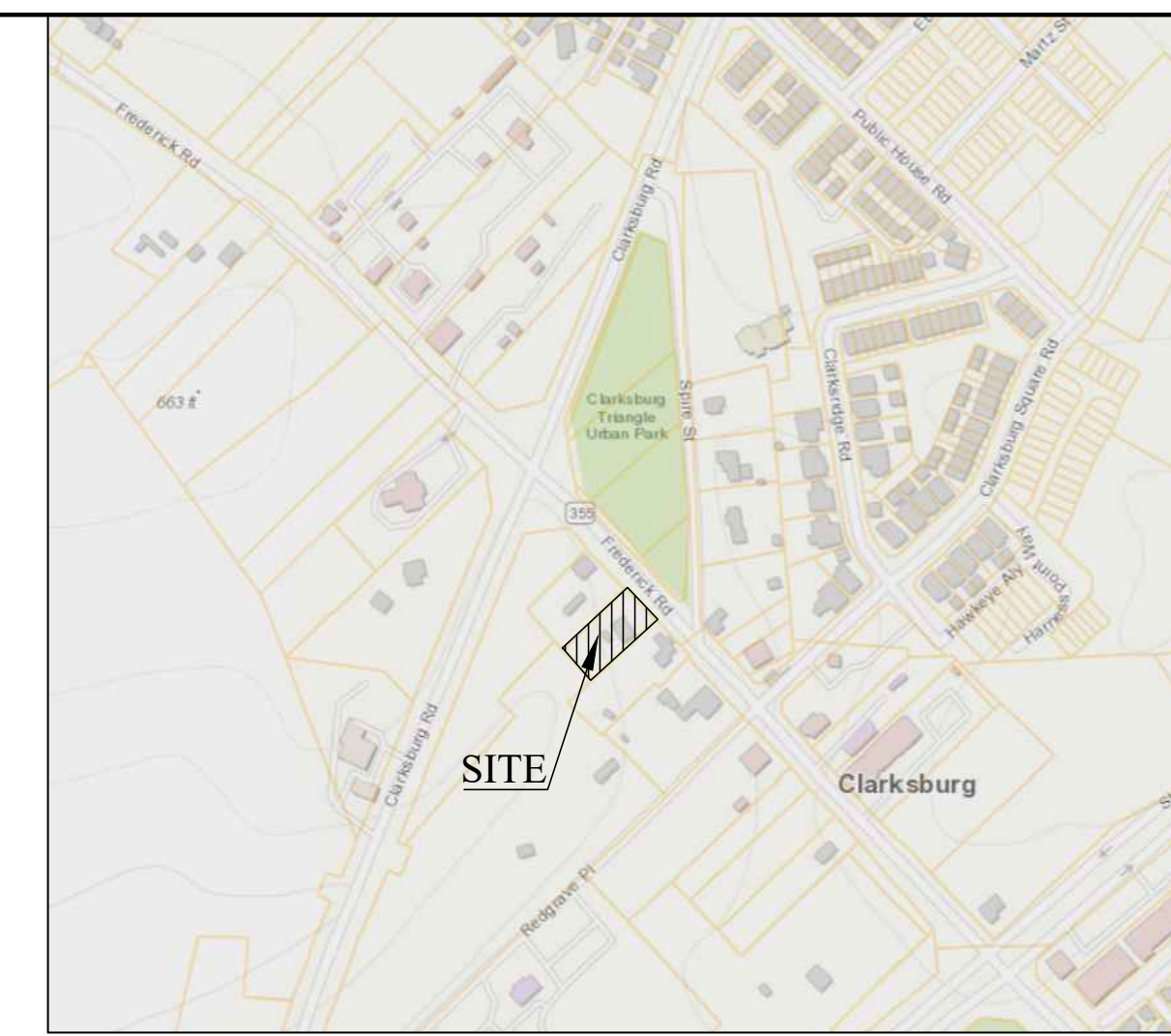


EXISTING BACK YARD VIEW



EXIST LEFT SIDE VIEW

CLARKSBURG STUDIOS AND CAFE SITE PLAN



VICINITY MAP
NTS

SHEET INDEX	
Cover Sheet/Site Zoning Data Sheet	1 of 3
Site Plan	2 of 3
Site Details	3 of 3

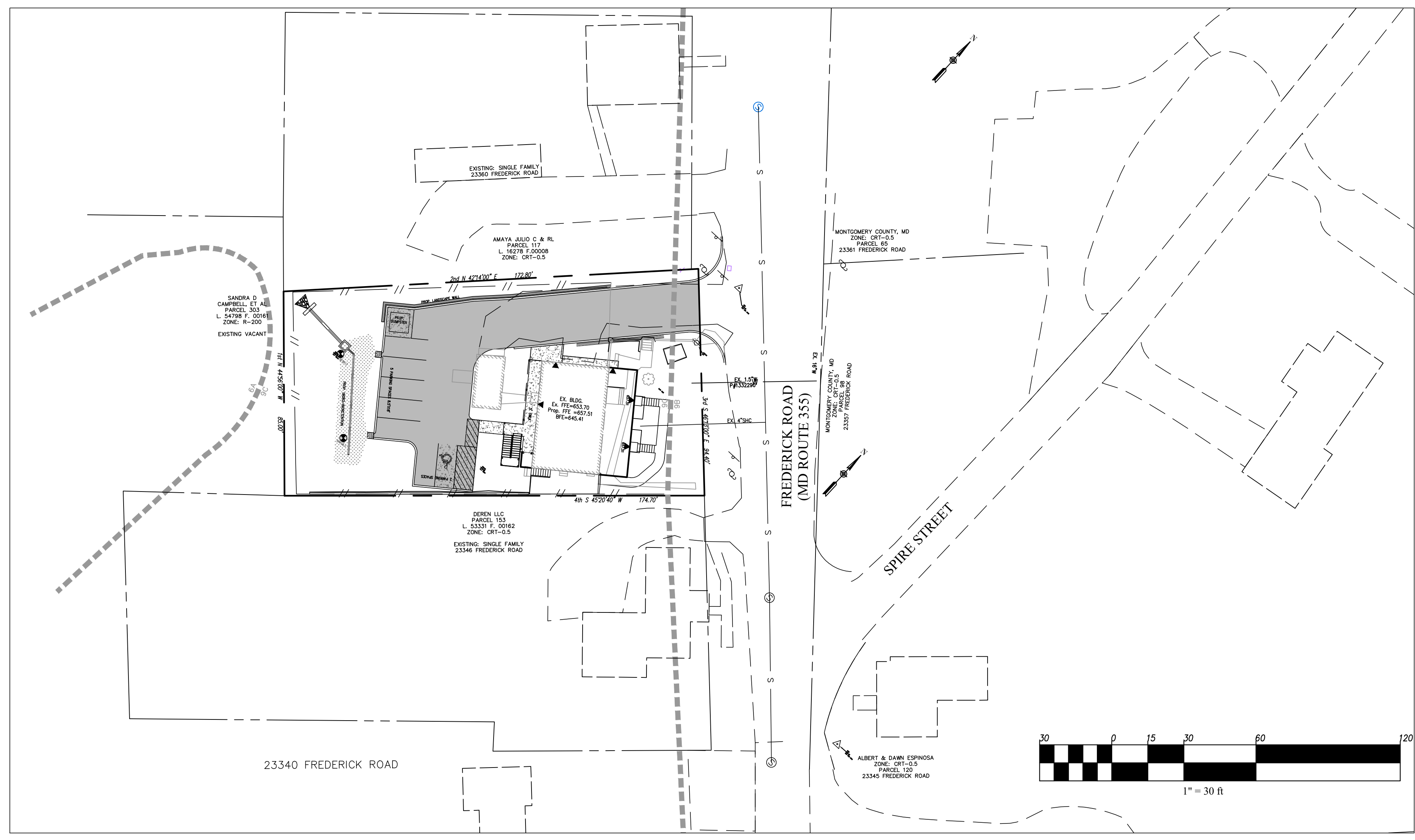
ZONING STANDARDS		
Zoning:	CRT-0.5	
Existing Use:	Single Family House	
Proposed Use:	Restaurant and 2 Bedroom dwelling units (existing shell of house to remain)	
	ALLOWED/REQUIRED	PROPOSED
F.A.R. (Sec 4.5.3(A)) The greater of 1.0 FAR or 10,000 SF GFA	15,577 sq.ft.	5,368.15 sq.ft.
Open Space (Sec 4.5.3(C)(1))	1,558 sq.ft. (10%)	1,560 sq. ft.
Lot area (Sec 4.5.3 (C)(2))	N/A	
Lot width at front building line	N/A	
Lot width at front lot line	N/A	
Maximum lot coverage	N/A	
Building Setbacks (Sec 4.5.3(C)(3))		
Front	0 ft	
Side	0 ft	
Rear (R-200 Zone Compatibility)	22.5 ft	102.8 ft
Building Height	45 ft	34'-3"
Screening (Sec 6.5.2.C(2) and Sec 6.5.3(C)(1))		
Rear	8 ft	31 ft
Side	N/A	-
Parking and Loading Requirements:		
Vehicular Parking Spaces (section 6.2.4(B))		
Multi-Unit Living : 1 Space/2 Bedroom Dwelling Unit (4 Units)	4 spaces	4 spaces
Restaurant : 4 spaces/1000 sf for Patron Use (636.5 sf)	3 spaces	3 spaces
Hadicapped Parking	1 space (Van)	1 space (Van)
Bicycle Parking Spaces (section 6.2.4(c))		
Multi-Unit Living : (less than 10 units)	0	0
Restaurant : 1 space/ 10,000 sf GFA	1	1
Loading Spaces (Sec 6.2.8(B)):		
Multi-Unit Living (Less than 50 DU)	0	0
Restaurant (Less than 25,000 sf GFA)	0	0
Landscaping and Lighting (Sec 6.2.9) does not apply as the parking lot is less than 10 spaces		

GENERAL NOTES & SITE DATA

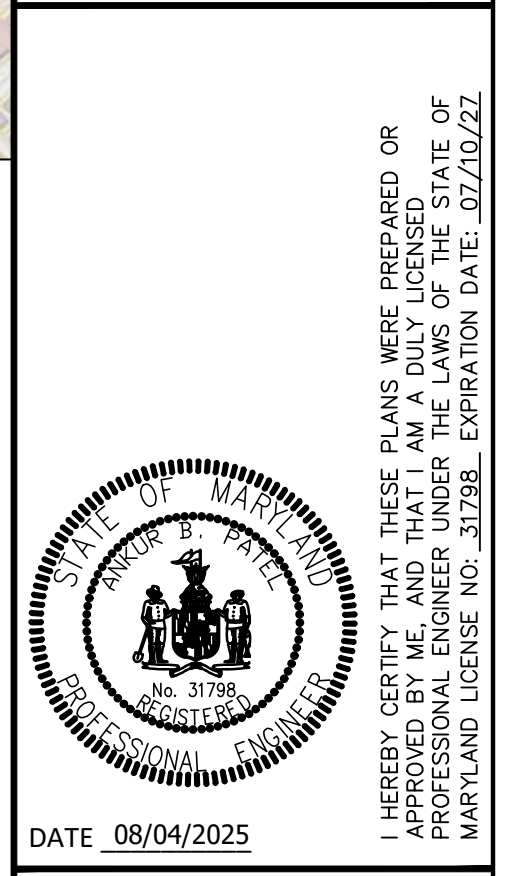
Owner/ Applicant: Clarksburg Studios and Cafe
23356 Frederick Road
Clarksburg, Md 20871
Attn: Harsh Poshtiwala 551-689-4433

- Existing Use: Single Family Detached Proposed Use: Mixed-Restaurant and Residential Units (existing shell of house to remain)
- Site Area: 15577 sq. ft. (0.36 acres)
- Legal Description: Parcel 152, Tax ID 0002672, L:61229 F: 204
- Boundary Survey By: Gutschick, Little & Weber P.A., November 2020, Updated by AV Surveying LLC, June 2025
- Topography By: Gutschick, Little & Weber P.A., November 2020, Updated by AV Surveying LLC, June 2025
- Watershed & Use Class: Little Seneca Creek - Ten Mile Creek Watershed, Class I-P
- Proposed Water & Sewer Service: Public
- Ex. Water & Sewer Categories: S-1, W-1
- DPS Special Protection Permit #286826
- A Forest Conservation Plan Is exempt, per MNCPPC #42021156E
- This Property Does Not Contain A Site Listed On The Inventory Of Historic Sites Per The Montgomery County Historic Preservation Locator Map.
- The Site is located within the boundaries of the East Area of the Clarksburg Ten Mile Creek Limited Amendment Master Plan Area.
- This site is located in the Clarksburg Historic District.
- The site is located in the Ten Mile Creek (East) Special Protection Area.
- There Is No Floodplain On Site Per FEMA Map #2403IC0160D, Effective Date: 9/29/2006.
- There Are No Known County Champion Trees Located On Or Adjacent To The Site As Per The 2019-2020 Publication Of Champion Trees In Montgomery County, Maryland.

NOTE: AN ON-SITE PRE-CONSTRUCTION MEETING IS REQUIRED TO BE SET UP WITH THE DEPARTMENT OF PERMITTING SERVICES (DPS), ZONING & SITE PLAN ENFORCEMENT DIVISION BEFORE ANY BUILDING CONSTRUCTION ACTIVITY OCCURS ON-SITE. THE OWNER OR HIS DESIGNEE WHO HAS SIGNATURE AUTHORITY, AND GENERAL CONTRACTOR MUST ATTEND THE PRE-CONSTRUCTION MEETING WITH THE DPS SITE PLAN ENFORCEMENT INSPECTOR. A COPY OF THE CERTIFIED SITE PLAN IS REQUIRED TO BE ON-SITE AT ALL TIMES. TO SCHEDULE A SITE PLAN INSPECTION WITH DPS, ZONING & SITE PLAN ENFORCEMENT DIVISION, PLEASE CONTACT CONTACT BRIAN KEELER, 240-581-4485.



SITE LOCATION MAP




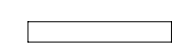
LOT LEGAL DESCRIPTION (PROJECT NAME):
CLARKSBURG STUDIOS AND CAFE
23356 FREDERICK ROAD
PARCEL 152, LIBER 61229 FOLIO 204
TAX ID 00026722

CLARKSBURG ELECTION DISTRICT No. 2 MONTGOMERY COUNTY, MARYLAND

GENERAL DEMOLITION NOTES

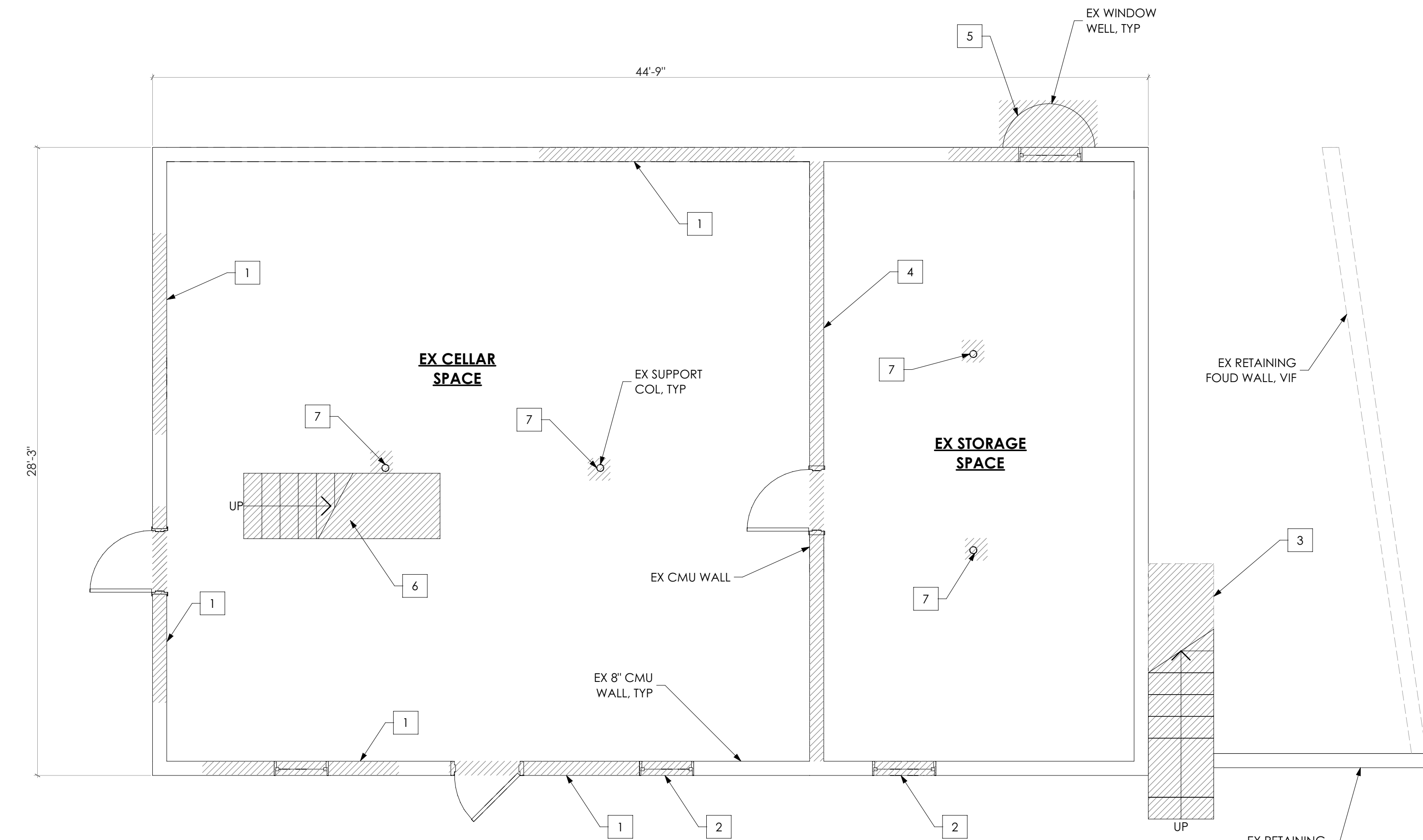
- A. CONTRACTOR TO VERIFY IN FIELD EXISTING CONDITIONS. ANY DEVIATION FROM THE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER/ENGINEER IMMEDIATELY.
- B. BUILDING AND SITE WILL BE CONTINUED OPERATIONS DURING DEMOLITION AND REMODELING PHASES.
- C. THE DEMOLITION PLAN AND EXISTING CONDITIONS SHOWN ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND INCLUDE IN THEIR BID. ITEMS WHICH ARE INTENDED TO BE REMOVED, RELOCATED, OR SALVAGED ARE SHOWN AS DIAGONAL LINES. ALL OTHER ITEMS ARE INTENDED TO REMAIN IN PLACE.
- D. COORDINATE DEMOLITION AND REPAIRS, PROVIDE TEMPORARY ROOFING AS REQUIRED. DO NOT LEAVE ANY AREAS EXPOSED TO ELEMENTS, WITHOUT TEMPORARY ROOFING.
- E. DEMOLITION SHALL INCLUDE, BUT IS NOT LIMITED TO, THE TIMES IDENTIFIED. THE CONTRACTOR SHALL COORDINATE ALL REQUIRED RENOVATION AND NEW CONSTRUCTION WITH THE EXISTING BUILDING TO IDENTIFY THE TOTAL EXTENT OF THE DEMOLITION REQUIRED AND AS LISTED HERE-IN.
- F. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DEMOLITION AND REMOVAL OF ALL EXISTING BUILDING COMPONENTS, MATERIALS, EQUIPMENT, AND APPURTENANCES AS REQUIRED TO BUILD, ERECT, INSTALL, OR ACCOMMODATE ALL NEW CONSTRUCTION, WITH THE CONTRACTING OFFICE HAVING FIRST RIGHT OF REFUSAL ON ALL REMOVED ITEMS.
- G. ITEMS NOTED TO BE REMOVED AND SALVAGED OR REINSTALLED SHALL BE CAREFULLY REMOVED BY THE CONTRACTOR WITHOUT DAMAGE AND STORED OR REINSTALLED ON THE SITE AS DIRECTED. REMOVED AND SALVAGED ITEMS SHALL REMAIN THE PROPERTY OF THE OWNER.
- H. IN THE EVENT THE CONTRACTOR ENCOUNTERS ON THE SITE MATERIAL REASONABLE BELIEVED TO BE ASBESTOS, LEAD-BASED PAINT, OR ANY HAZARDOUS MATERIAL WHICH HAS NOT BEEN RENDERED HARMLESS, THE CONTRACTOR SHALL IMMEDIATELY REPORT THE CONDITION TO THE OWNER AND PROPER ABATEMENT SHALL BE DONE.
- I. THE CONTRACTOR IS RESPONSIBLE FOR THE ERECTION, MAINTENANCE AND REMOVAL OF ALL CONSTRUCTION ASSISTANCE DEVICES SUCH AS SCAFFOLDING AND BARRIERS.

DEMOLITION LEGEND

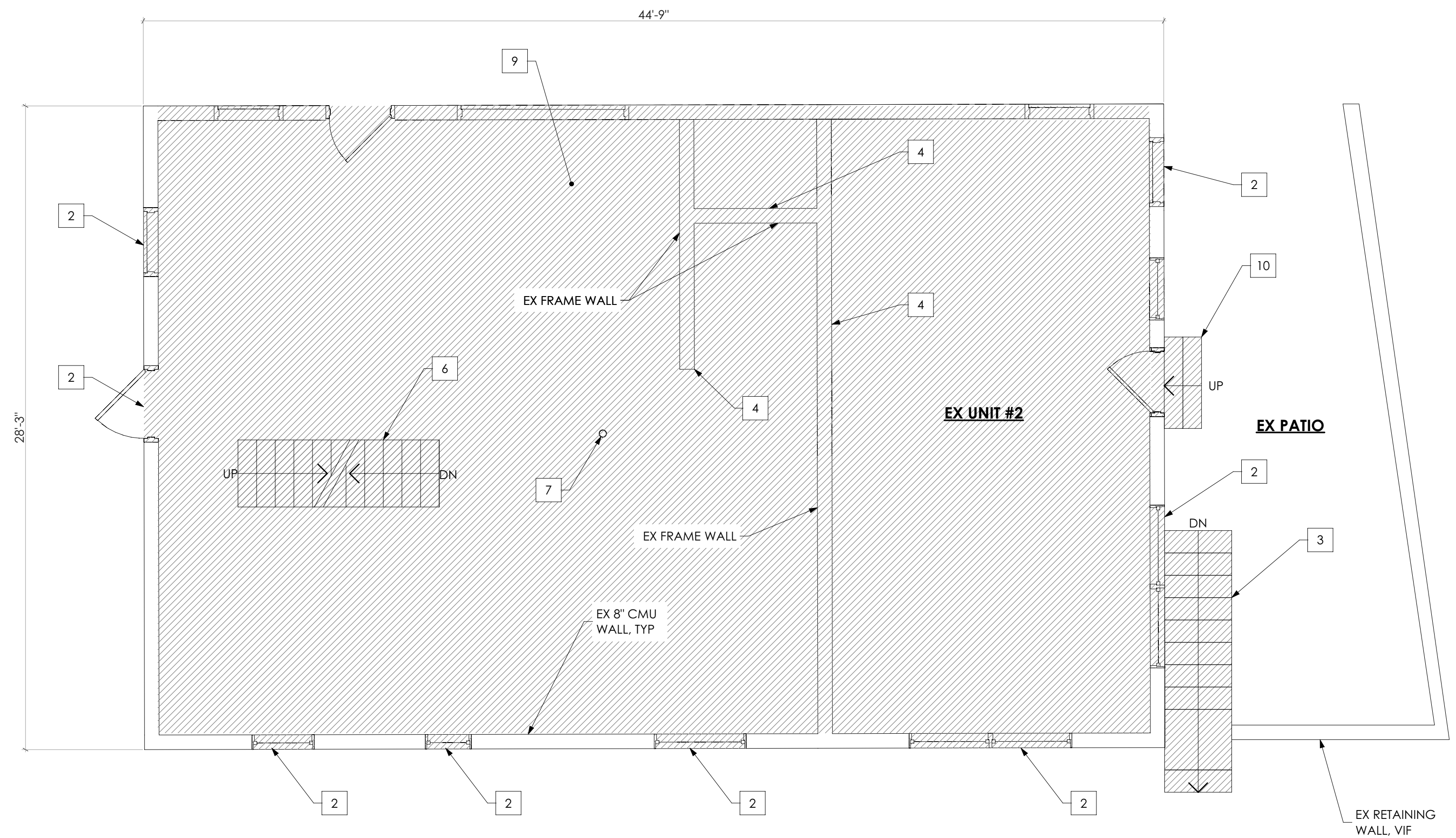
-  ITEMS TO BE COMPLETELY DEMOLISHED
-  ITEMS TO REMAIN AS IS

DEMOLITION LEGEND

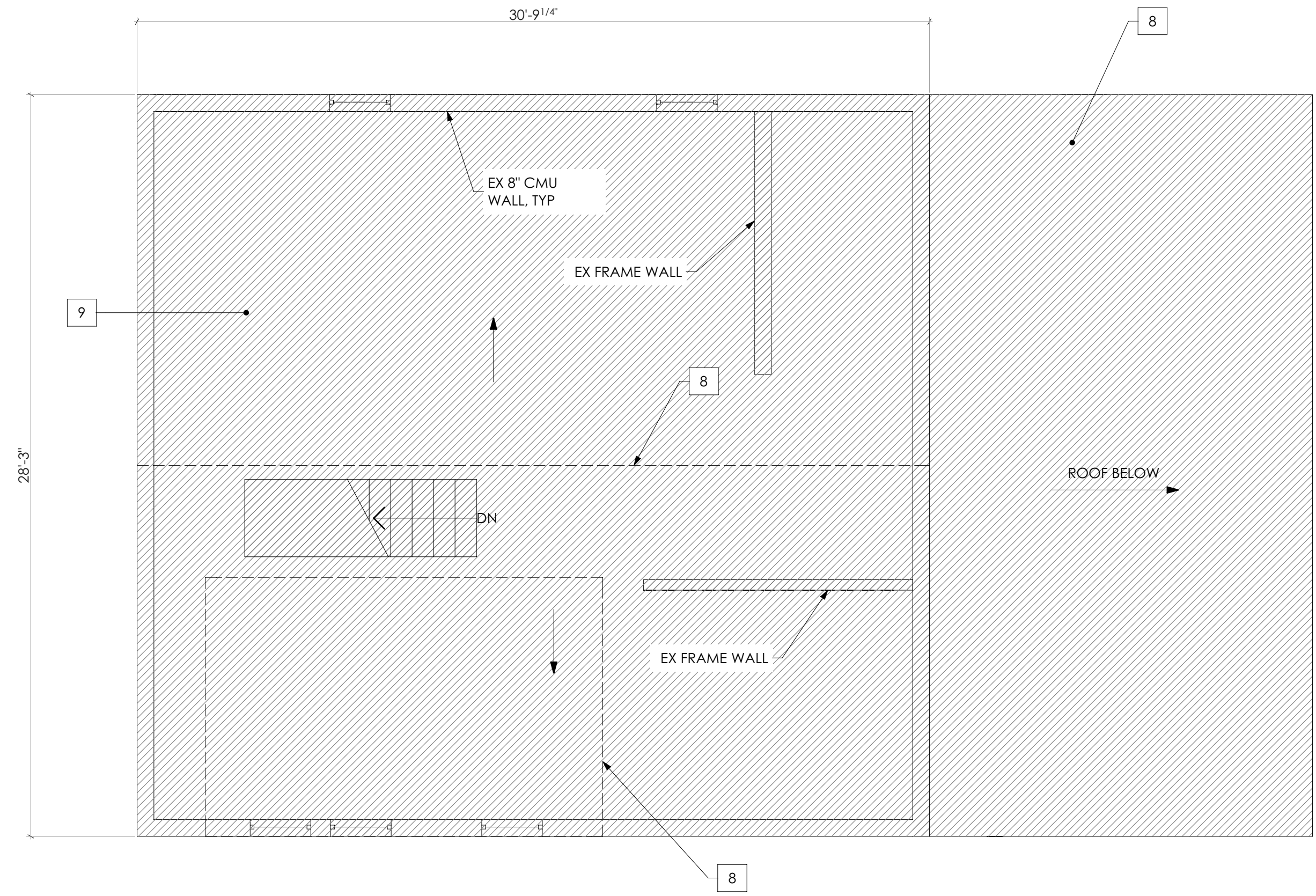
- | | |
|--|--|
| <ul style="list-style-type: none"> 1 REMOVE A PORTION OF EXISTING WALL FROM FLOOR TO HEADER. SEE PLANS A1.1 AND A3.1 FOR MORE INFO 2 FILL IN EX OPENING WITH SIMILAR CMU MATERIAL. SEE A3.3 FOR MORE DETAILS 3 REMOVE EXISTING CONCRETE STAIR ENTIRELY. PREP FOR NEW STAIR IN THE SAME LOCATION 4 REMOVE EXISTING WALL ENTIRELY FROM FLOOR TO CEILING 5 REMOVE WINDOW WELL ENTIRELY. FILL IN ENTIRELY AND PROVIDE SEED AND SOD 6 REMOVE EXISTING WOOD STAIRCASE ENTIRELY 7 REMOVE EXISTING SUPPORT COLUMNS ENTIRELY. PROVIDE SHORING AS REQUIRED BY STRUCTURAL ENGINEER | <ul style="list-style-type: none"> 8 REMOVE EXISTING ROOF STRUCTURE ENTIRELY. PREP FOR NEW CONSTRUCTION. SEE A1.4 FOR MORE DETAILS 9 REMOVE EXISTING FLOOR JOIST ENTIRELY. PROVIDE SHORING AS REQUIRED BY STRUCTURAL ENGINEER 10 REMOVE EXISTING STAIRS. PREP SURFACE TO PROVIDE SEED AND SOD |
|--|--|



1 EXISTING LOWER LEVEL PLAN
D1.1 NTS



2 EXISTING FIRST FLOOR PLAN
D1.1 NTS



3 EXISTING SECOND FLOOR PLAN
D1.1 NTS

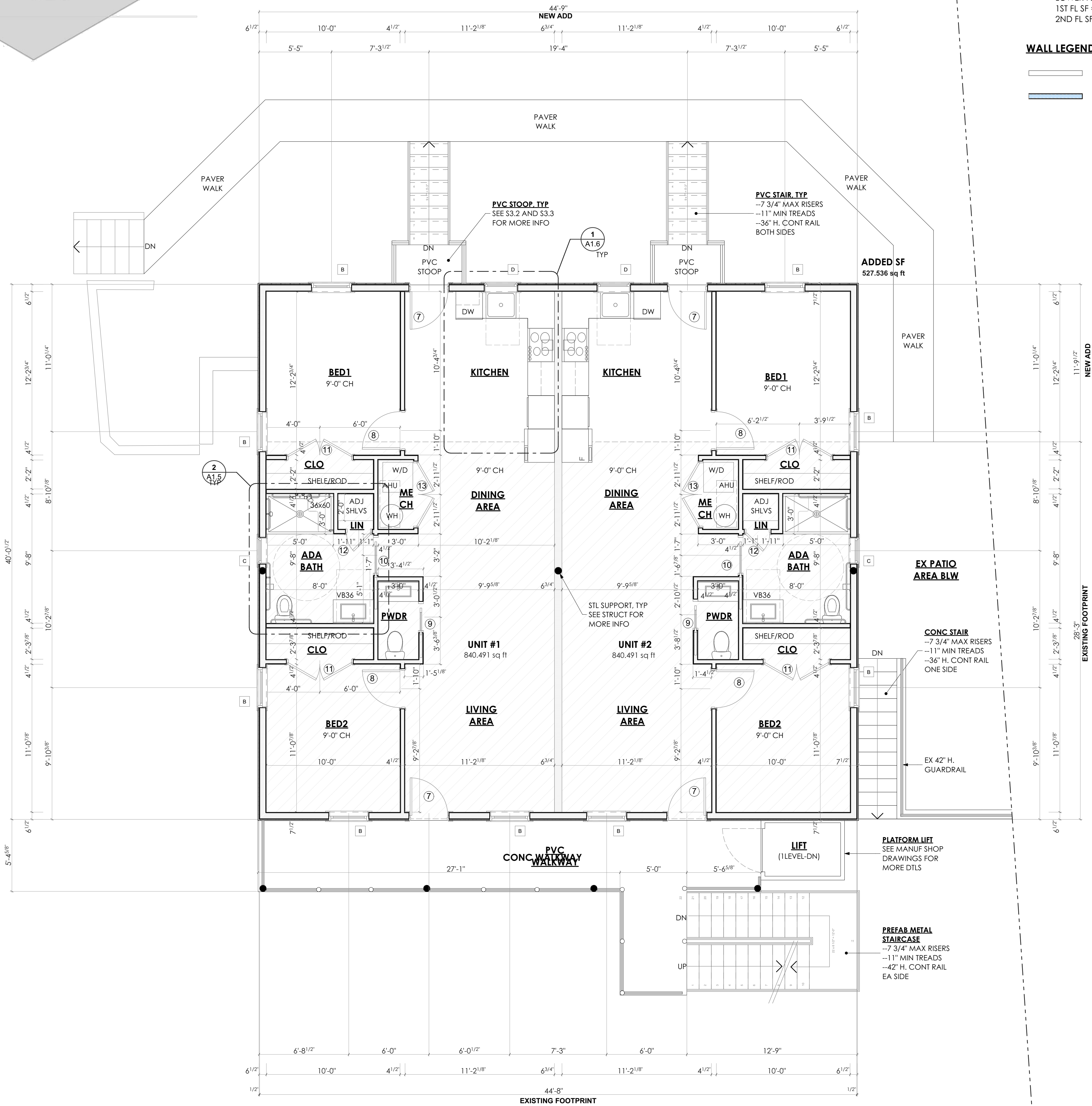
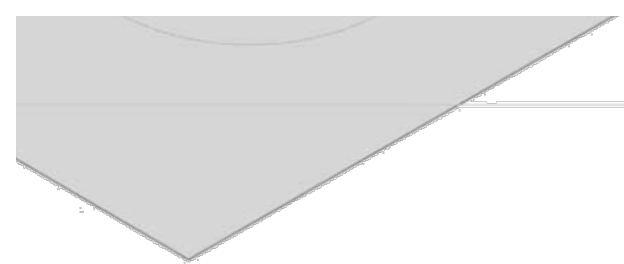
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Drawn by **LB** Date **04.29.24**

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A. GENERAL

- 1. DIMENSIONS**
ALL DIMENSIONS ARE FROM FINISHED FACE TO FINISHED FACE UNLESS NOTED OTHERWISE. DO NOT SCALE DRAWINGS.
- 2. FIELD VERIFICATION**
THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS PRIOR TO CONSTRUCTION, FABRICATION, OR ORDERING OF MATERIALS.
- 3. EXISTING CONDITIONS**
FIELD VERIFY ALL EXISTING CONDITIONS. REPORT DISCREPANCIES TO THE DESIGNER PRIOR TO PROCEEDING WITH WORK.
- 4. TYPICAL CONDITIONS**
DETAILS, SECTIONS, AND NOTES SHOWN ARE TYPICAL AND SHALL APPLY TO SIMILAR CONDITIONS UNLESS NOTED OTHERWISE.
- 5. DOCUMENT DISCREPANCIES**
DISCREPANCIES, CONFLICTS, OR OMISSIONS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER FOR CLARIFICATION PRIOR TO PROCEEDING.
- 6. CODE COMPLIANCE**
ALL WORK SHALL COMPLY WITH THE 2021 IBC, NFPA 101, MARYLAND BUILDING PERFORMANCE STANDARDS, AND MONTGOMERY COUNTY AMENDMENTS, AS APPLICABLE TO GROUP R-2 OCCUPANCY.
- 7. PERMITS AND INSPECTIONS**
CONTRACTOR SHALL COORDINATE REQUIRED PERMITS AND INSPECTIONS WITH MONTGOMERY COUNTY DPS.
- 8. INSTALLATION REQUIREMENTS**
ALL MATERIALS AND EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS AND APPLICABLE CODES.
- 9. DRAWING INTENT**
DRAWINGS ARE DIAGRAMMATIC. CONTRACTOR SHALL COORDINATE ALL TRADES AND ADJUST WORK TO FIELD CONDITIONS WHILE MAINTAINING DESIGN INTENT.
- B. EXISTING / NEW WORK**
- 10. PROTECTION OF EXISTING WORK**
PROTECT EXISTING CONSTRUCTION, FINISHES, AND OCCUPIED AREAS DURING CONSTRUCTION. REPAIR DAMAGE TO MATCH EXISTING ADJACENT CONDITIONS.
- 11. NEW TO EXISTING TRANSITIONS**
TRANSITIONS BETWEEN NEW AND EXISTING CONSTRUCTION SHALL BE ALIGNED, PATCHED, AND FINISHED TO MATCH ADJACENT SURFACES.
- 12. TEMPORARY SUPPORT**
PROVIDE BRACING AND SUPPORT AS REQUIRED TO MAINTAIN STRUCTURAL STABILITY DURING CONSTRUCTION PER IBC CHAPTER 33.
- C. R-2 (APARTMENT) REQUIREMENTS**
- 13. DWELLING UNIT SEPARATIONS**
WALLS, FLOOR/CEILING ASSEMBLIES, AND PENETRATIONS SEPARATING DWELLING UNITS OR SEPARATING UNITS FROM CORRIDORS OR OTHER SPACES SHALL MAINTAIN REQUIRED FIRE-RESISTANCE RATINGS (SEE LIFE SAFETY DRAWINGS). DO NOT COMPROMISE RATED ASSEMBLIES.
- 14. ACOUSTICAL REQUIREMENTS**
WALLS AND FLOOR/CEILING ASSEMBLIES BETWEEN DWELLING UNITS AND BETWEEN UNITS AND PUBLIC SPACES SHALL MAINTAIN REQUIRED SOUND TRANSMISSION RATINGS (STC/IC) PER IBC SECTION 1206.
- 15. CONTINUITY OF SEPARATIONS**
MAINTAIN CONTINUITY OF UNIT SEPARATIONS AT WALLS, FLOORS, CEILINGS, AND INTERSECTIONS WITH EXTERIOR WALLS, SHAFTS, AND STRUCTURAL ELEMENTS.
- 16. MEP IN RATED ASSEMBLIES**
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- D. MEP COORDINATION**
- 17. COORDINATION OF TRADES**
COORDINATE ARCHITECTURAL WORK WITH MECHANICAL, ELECTRICAL, AND PLUMBING SYSTEMS FOR ROUTING, CLEARANCES, AND INSTALLATION.
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PROVIDE REQUIRED OPENINGS FOR MEP SYSTEMS. PENETRATIONS OF RATED ASSEMBLIES SHALL COMPLY WITH APPROVED, LISTED SYSTEMS (SEE LIFE SAFETY DRAWINGS).
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- 20. ABANDONED SYSTEMS**
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- 22. WORKMANSHIP**
ALL WORK SHALL BE EXECUTED IN A WORKMANLIKE MANNER CONSISTENT WITH INDUSTRY STANDARDS.



GROSS AREA CALCULATIONS

EXISTING GFA = 3371.16 SF
 PROPOSED GFA = 5368.15 SF (PROPOSED ADDED SF = 1996.99)
 ADDED SF = 1996.99 SF
 LOWER FL SF = 522.83 SF
 1ST FL SF = 527.53 SF
 2ND FL SF = 946.63 SF

WALL LEGEND

- EXISTING WALL TO REMAIN
- NEW PARTION WALL

BUNSON Designs
 CREATIVE IDEAS FOR YOUR LIVING SPACES
 1901 Chelsea Road
 Baltimore Maryland 21216
 P: 301.960.5252

MEMBER
A I B D
 AMERICAN INSTITUTE OF BUILDING DESIGN

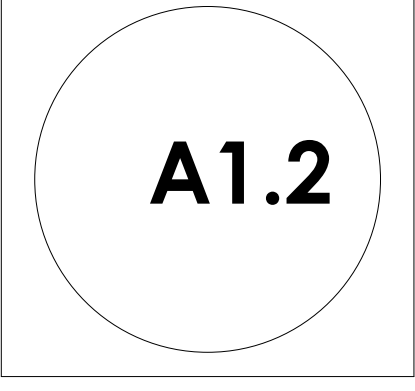
23356 Frederick Rd
 Clarksburg Maryland 20871

First Floor Plan

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Drawn by **LB** Date **03.31.26**

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First Floor Plan
 1/4" = 1'-0"
 1.
 A1.3

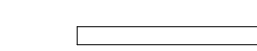

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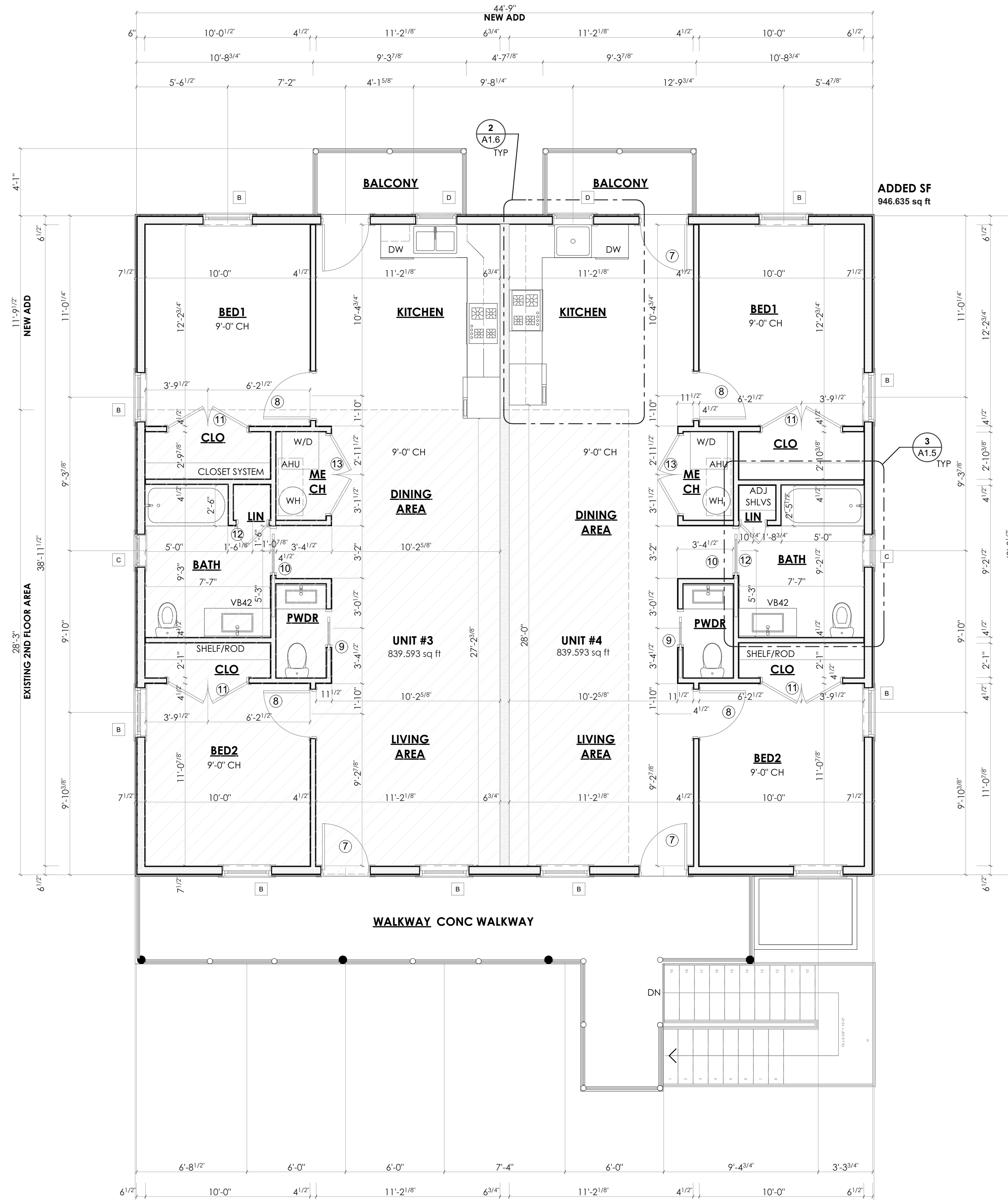
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 1ST FL SF = 527.53 SF
 2ND FL SF = 946.63 SF

WALL LEGEND

-  EXISTING WALL TO REMAIN
-  NEW PARTION WALL



Second Floor Plan
 1/4" = 1'-0"

1.
 A1.3

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Drawn by: **LB** Date: **03.31.26**

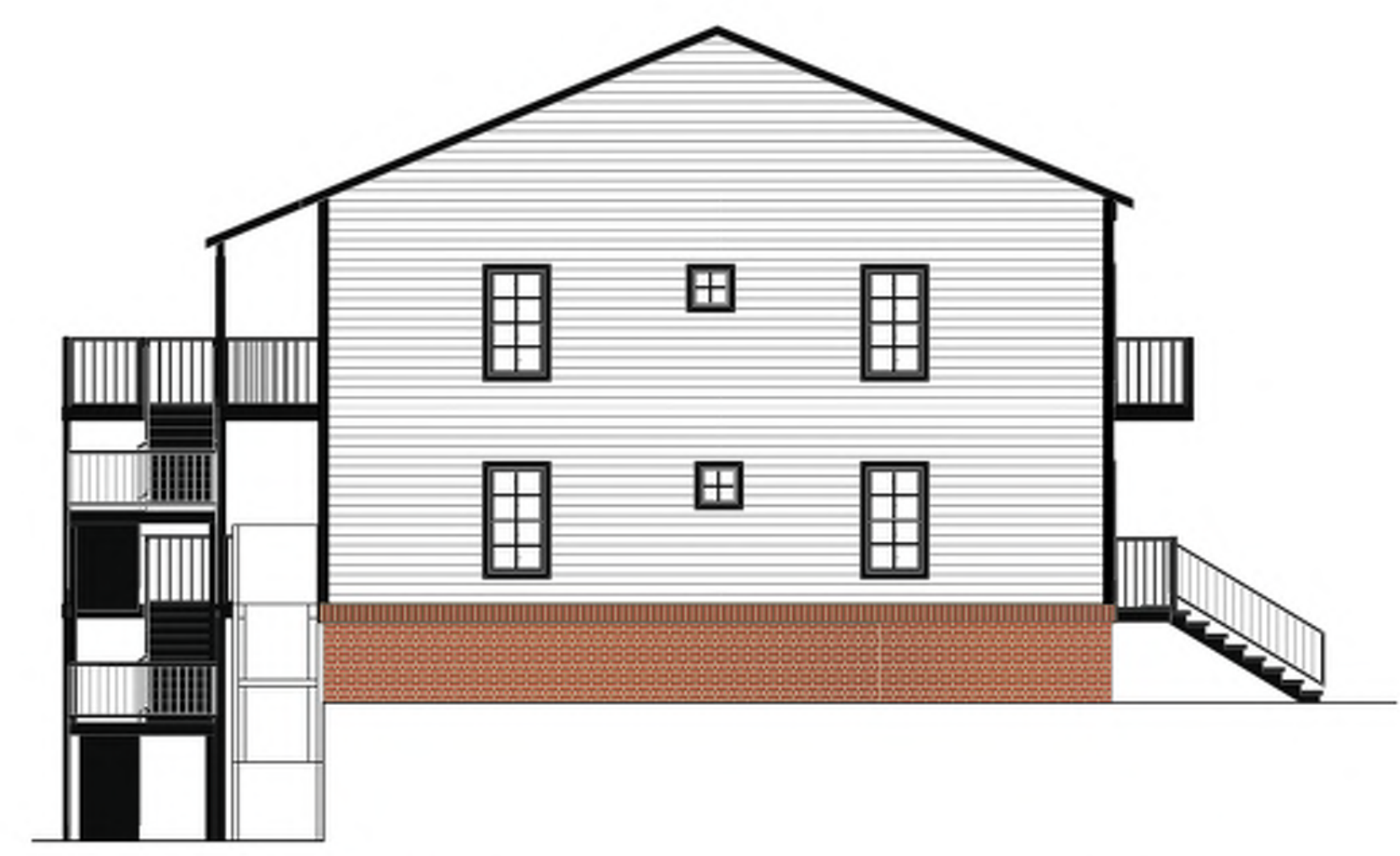
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A1.3



Front Elevation - Street View
3/16" = 1'-0"

1.
HS-3



Left Side Elevation

2.
HS-3



Rear Elevation

4.
HS-3



ROOF MATERIAL
GAF Timberline HDZ Charcoal Algae Resistant Architectural Roof Shingles



BRICK VENEER
GLEN-GERY OLDE CITY THIN BRICK RED TUMBLED BRICK



Right Side Elevation

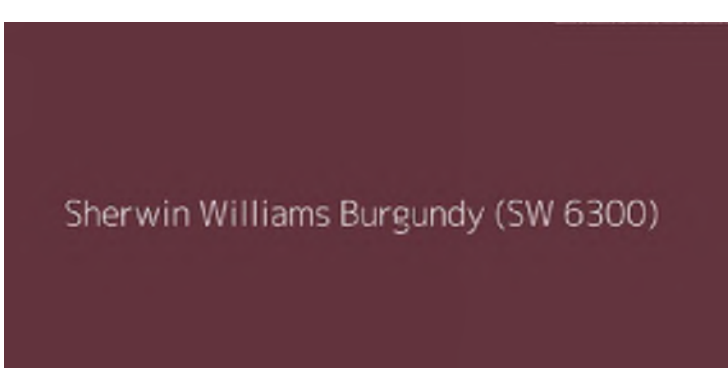
3.
HS-3



TRIM BOARD
5/4 X 4 OR 5/4 X 6 PAINTED CEDAR TEXTURE CEMENT BOARD



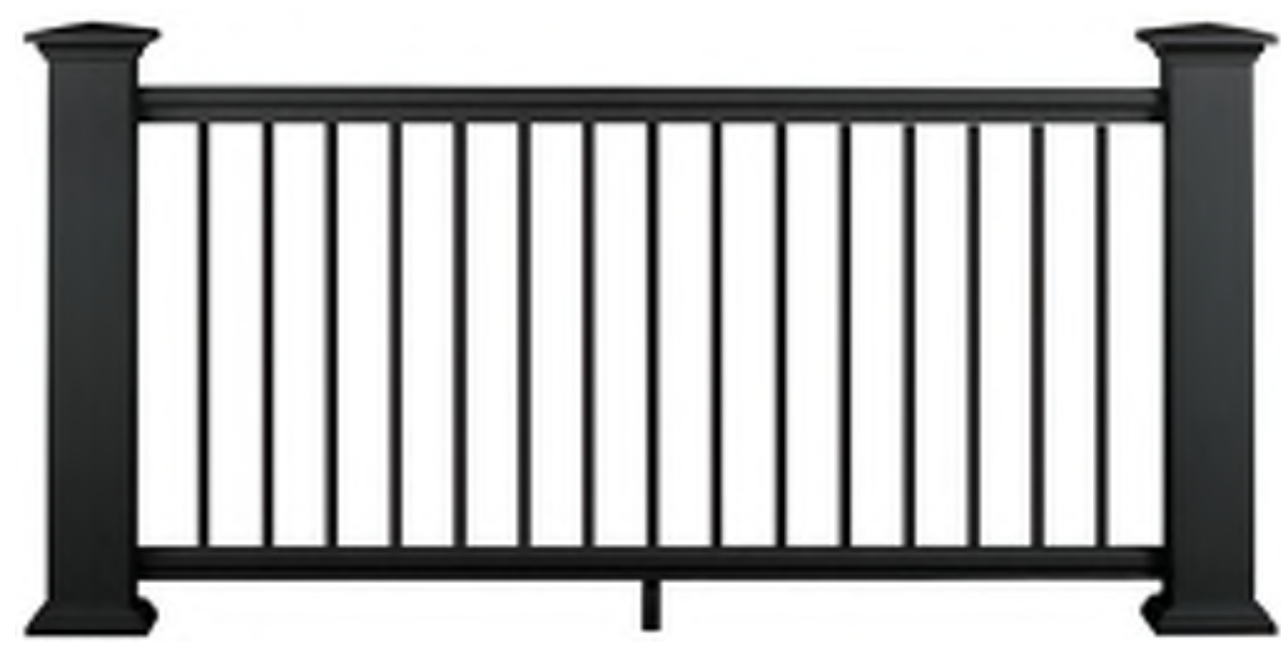
EXTERIOR LAP SIDING
JAMES HARDIE ARCTIC WHITE LAP SIDING



Sherwin Williams Burgundy (SW 6300)



EXTERIOR DOOR
THERMA-TRU RESIDENTIAL INSULATING CORE FRONT DOOR



RAILING
TIMBERTECH BLACK ALUMINUM RAILING



EXTERIOR LIGHT
KICHLER ALLENBURY WALL LATERN 12"



WINDOWS
ANDERSEN 200 SERIES SINGLE HUNG 4 OVER 4 BLACK



STOREFRONT WINDOWS
TRIFAB VERSAGLAZE 451 BLACK

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HS-43

