

Montgomery County Historic Preservation

Staff Report

<p>ADDRESS: 19 Grafton Street, Chevy Chase</p> <p>RESOURCE: Chevy Chase Village Historic District</p> <p>APPLICANT: Joshua Bonnie & Kelly Bonnie (Yilu Zhang, Architect)</p> <p>REVIEW: Preliminary Consultation</p> <p>CASE NO.: Pending</p> <p>PROPOSAL: Construction of second-story addition</p>	<p>MEETING DATE: 5/13/2026</p> <p>REPORT DATE: 5/6/2026</p> <p>PUBLIC NOTICE: 4/29/2026</p> <p>TAX CREDIT ELIGIBLE: No</p> <p>STAFF: Laura DiPasquale</p>
--	--

Staff Recommendation

Staff recommends the applicants make any revisions required by the HPC and return for a HAWP.

Architectural Description

Significance: Outstanding Resource within the Chevy Chase Village Historic District

Date: 1892-1912

Style: Shingle

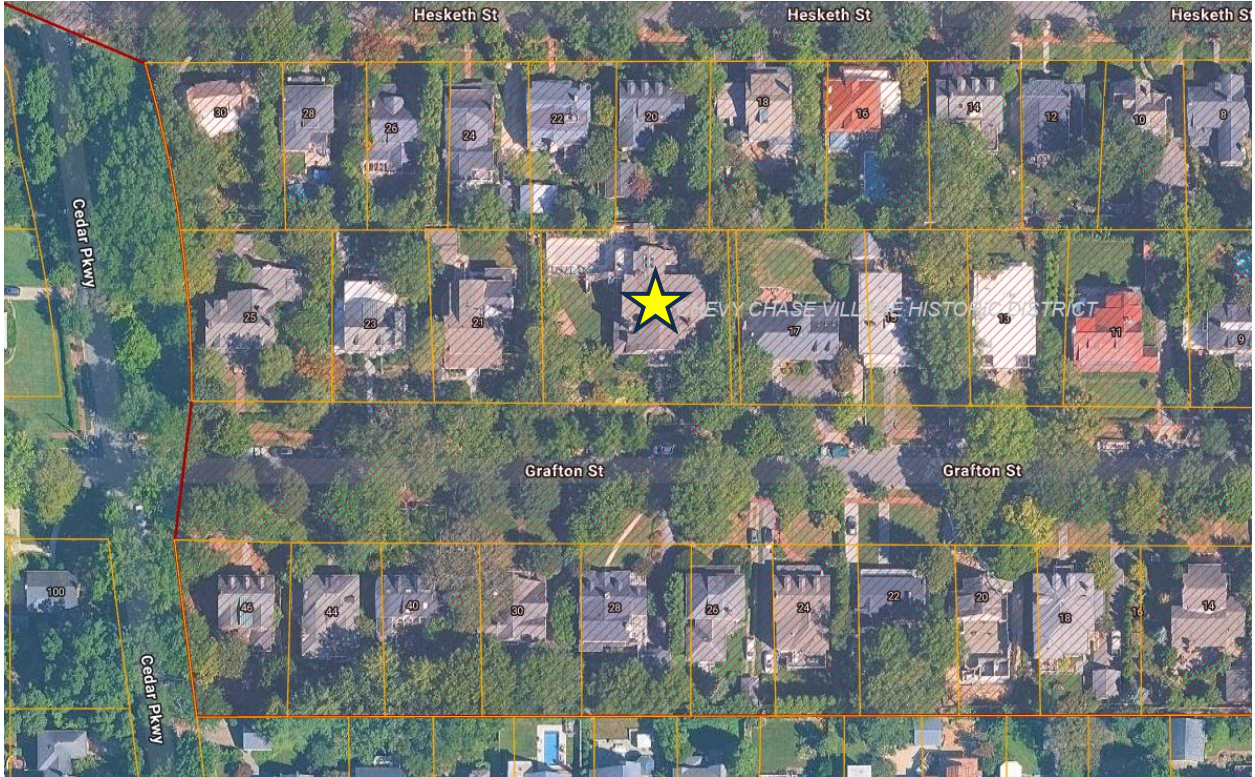


Figure 1: The location of the subject property (shown with a yellow star) within the Chevy Chase Village Historic District.



Figure 2: View of the front elevation of 19 Grafton Street from the public right-of-way.

Proposal

The applicants propose to construct a second-story sunroom addition over an existing roof deck and porch.



Figure 3: Left, existing west elevation photograph, from the application. Right, proposed west elevation sketch.

Applicable Guidelines

When reviewing alterations and new construction within the Chevy Chase Village Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and adopted amendment for the Chevy Chase Village Historic District (*Guidelines*), *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Chevy Chase Village Historic District Guidelines

Outstanding Resource:

A resource which is of outstanding significance due to its architectural and/or historical features. An outstanding resource may date from any historical period and may be representative of any architectural style. However, it must have special features, architectural details and/or historical associations that make the resource especially representative of an architectural style, it must be especially important to the history of the district, and/or it must be especially unique within the context of the district.

The *Guidelines* state five basic policies that should be adhered to, including:

1. Preserving the integrity of the Chevy Chase Village Historic District. Any alterations should, at a minimum, perpetuate the ability to perceive the sense of time and place portrayed by the district.
2. Preserving the integrity of contributing structures. Alterations should be designed in such a way that the altered structure still contributes to the district.

3. Maintaining the variety of architectural styles and the tradition of architectural excellence.
4. Design review emphasis should be restricted to changes that will be visible from the front or side public right-of-way, or that would be visible in the absence of vegetation or landscaping.
5. Alterations to the portion of a property that are not visible from the public-right-of-way should be subject to a very lenient review. Most changes to the rear of the properties should be approved as a matter of course.

The *Guidelines* break down specific projects into three levels of review - Lenient, Moderate and Strict Scrutiny for Outstanding and Contributing Resources:

“Lenient Scrutiny” means that the emphasis of the review should be on issues of general massing and scale, and compatibility with the surrounding streetscape, and should allow for a very liberal interpretation of preservation rules. Most changes should be permitted unless there are major problems with massing, scale or compatibility.

“Moderate Scrutiny” involves a higher standard of review than “lenient scrutiny.” Besides issues of massing, scale and compatibility, preserving the integrity of the resource is taken into account. Alterations should be designed so that the altered structure still contributes to the district. Use of compatible new materials, rather than the original building materials, should be permitted. Planned changes should be compatible with the structure’s existing design, but should not be required to replicate its architectural style.

“Strict Scrutiny” means that the planned changes should be reviewed to ensure that the integrity of the significant exterior architectural or landscaping features and details is not compromised. However, strict scrutiny should not be “strict in theory but fatal in fact” i.e. it does not mean that there can be no changes but simply that the proposed changes should be reviewed with extra care.

- *Major additions* should, where feasible, be placed to the rear of the existing structure so that they are less visible from the public right-of-way. Major additions which substantially alter or obscure the front of the structure should be discouraged but not automatically prohibited. For example, where lot size does not permit placement to the rear, and the proposed addition is compatible with the street scape, it should be subject to moderate scrutiny for contributing resources, but strict scrutiny for outstanding resources.
- *Porches* should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not. Enclosures of existing side and rear porches have occurred throughout the Village with little or no adverse impact on its character, and they should be permitted where compatibly designed. Strict scrutiny should be applied to additions above existing front porches.
- *Second or third story additions or expansions* which do not exceed the footprint of the first story should be subject to moderate scrutiny, in view of the predominance of large scale houses in the Village. For outstanding resources, however, such additions or expansions should be subject to strict scrutiny if they are visible from the public right-of-way.

Montgomery County Code Chapter 24A-8

- (a) The commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate, inconsistent with, or detrimental to the preservation, enhancement, or ultimate protection of the historic site or historic resource within an historic district, and to the purposes of this chapter.
- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to ensure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter.
 - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
 - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
 - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
 - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.

Secretary of the Interior's Standards for Rehabilitation

- 2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.
- 9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Staff Discussion

The existing Outstanding resource is a two-story Shingle style house with a cross-gambrel roof. In November 2020, the HPC approved a HAWP for construction of a second-story addition and alteration of an existing dormer at the rear (north side) of the historic house.¹ In January 2021, the applicants proposed revisions to the previous approval, including the addition of a roof deck over an existing screened porch at the northwest corner of the historic house and modification of a set of rear-facing dormer windows into a pair of French doors to access the new deck.² The applicants now propose to enclose the deck with a sunroom addition. The proposed addition would feature sets of divided-light windows set between pilasters. A single window over a panel is proposed on the south, street-facing elevation. No information is provided on the proposed materials.

Staff finds that, absent landscaping, the proposed second-story addition will be visible from the public right-of-way (*Figure 4*), and that as an alteration to an Outstanding resource, the *Guidelines* stipulate that the project is to be subject to strict scrutiny.



Figure 4: Circa 1993 photograph of the subject property from Grafton Street (Source: David Orem, Chevy Chase Historical Society). The proposed addition would be located over the pergola projecting on the far rear left in this photograph.

¹ Approval documents for HAWP 931466 for construction of a rear addition and other alterations, approved at the November 18, 2020 HPC meeting: [19 Grafton Street, Chevy Chase - 931466 - Approval.pdf](#)

² Approval documents for HAWP 931466 Revision, approved as a Staff Item at the January 27, 2021 HPC meeting: https://services1.arcgis.com/HbzrdBZjOwNHp70P/arcgis/rest/services/Historic_Area_Work_Permits_view/FeatureServer/0/3350/attachments/98

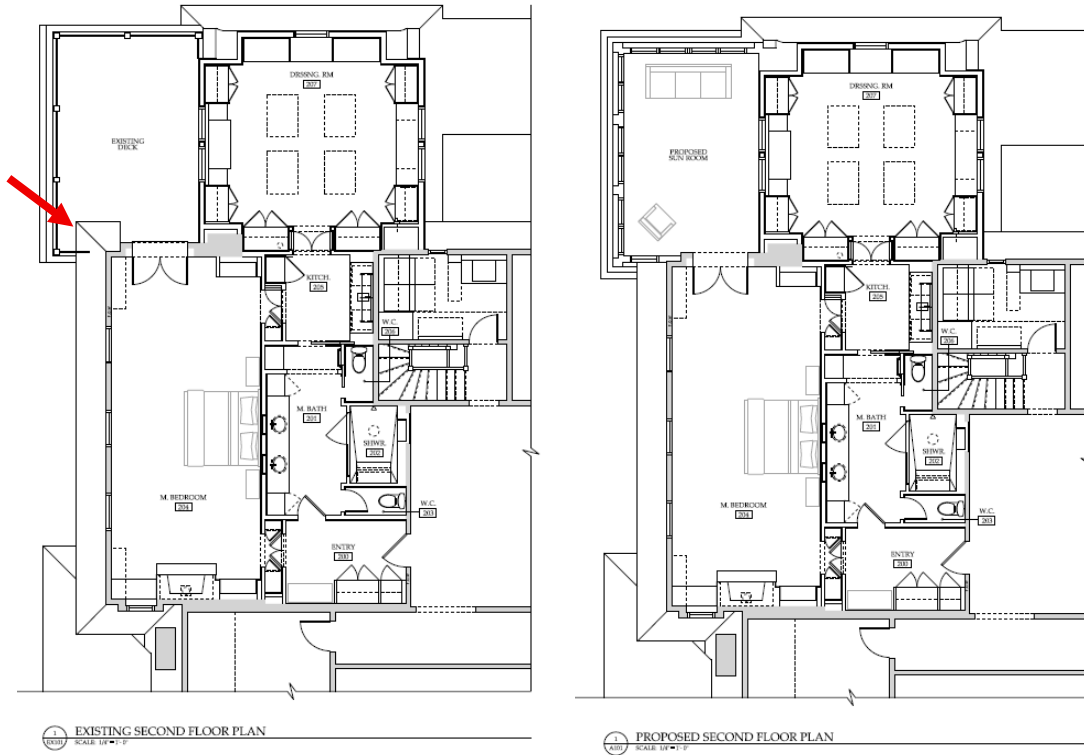


Figure 5: Left, existing second-floor plan. Right, proposed second floor plan. A red arrow shows the section of roof to be removed.



Figure 6: Left, existing west elevation. Right, partial existing south elevation.



Figure 7: Left, proposed west elevation. Right, partial proposed south elevation.

Staff finds that, although the applicants identify the enclosure as being constructed within the existing deck footprint, the proposed addition will fully remove the rear corner and return of the existing character-defining historic side gambrel roof, irreversibly altering the historic roof form and running counter to Chapter 24A-8(b)(1) and *Standards 2, 9, and 10*. Staff notes that although the existing roof deck railing connects to the historic gambrel roof, the deck did not require the removal of any historic fabric and the full form and return of the roof is intact.

Staff further finds that the design of the proposed addition competes for supremacy with the historic building in massing, fenestration, and design, counter to *Standard 9* and Chapter 24A-8(b)(2). Staff finds that, unlike the approved 2020 addition, which is inset from the side wall plane of the historic house and not visible from the public right-of-way, the proposed addition projects beyond the side wall plane of the historic house, altering the original massing and form of the historic house as viewed from the public right-of-way. Staff further finds that multiple window types and muntin patterns draw additional attention to the proposed addition, counter to *Standard 9* and recommendations for new exterior alterations presented in the Secretary of the Interior's *Guidelines for Preserving, Rehabilitating, Restoring & Reconstructing Historic Buildings*, which extrapolate on the more succinct *Standards*.

Staff recommends that any second-story addition to the subject property not extend beyond the side wall plane of the existing rear dormer so as not to disrupt the historic roof and building form.

Staff Recommendation

Staff recommends that the applicant make any revisions based upon the HPC's comments and return for a HAWP.

Staff Requested HPC Feedback

- The appropriateness of the alterations to the historic roof and building massing;
- The appropriateness of the massing of the proposed addition;
- The appropriateness of the design and fenestration of the proposed addition;
- Any other comments.

Staff-recommended materials to be submitted for a HAWP:

- Updated and annotated architectural plans and elevations.
- Materials specifications.

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

Description of Work Proposed: Please give an overview of the work to be undertaken:

Work Item 1: _____	
Description of Current Condition:	Proposed Work:

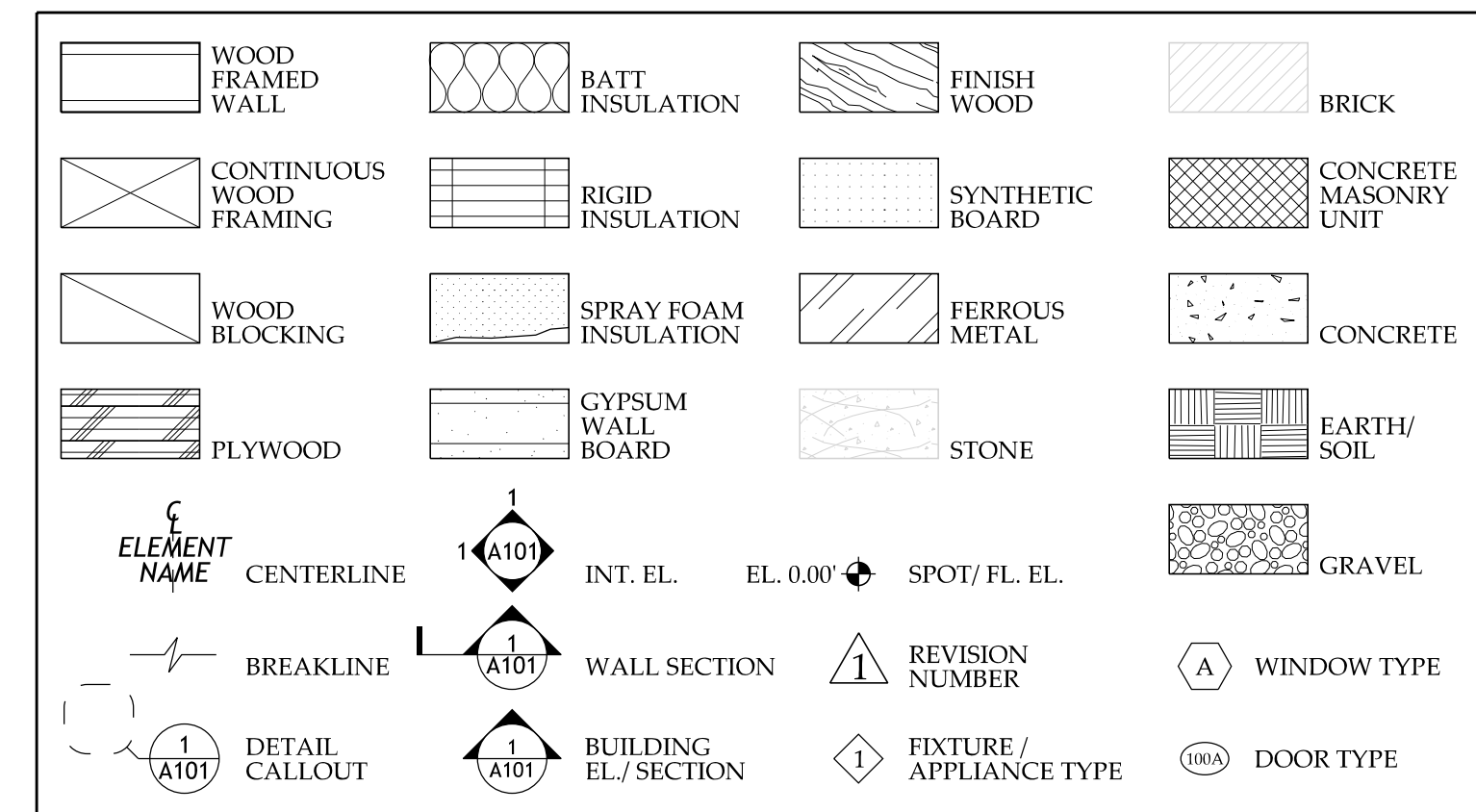
Work Item 2: _____	
Description of Current Condition:	Proposed Work:

Work Item 3: _____	
Description of Current Condition:	Proposed Work:

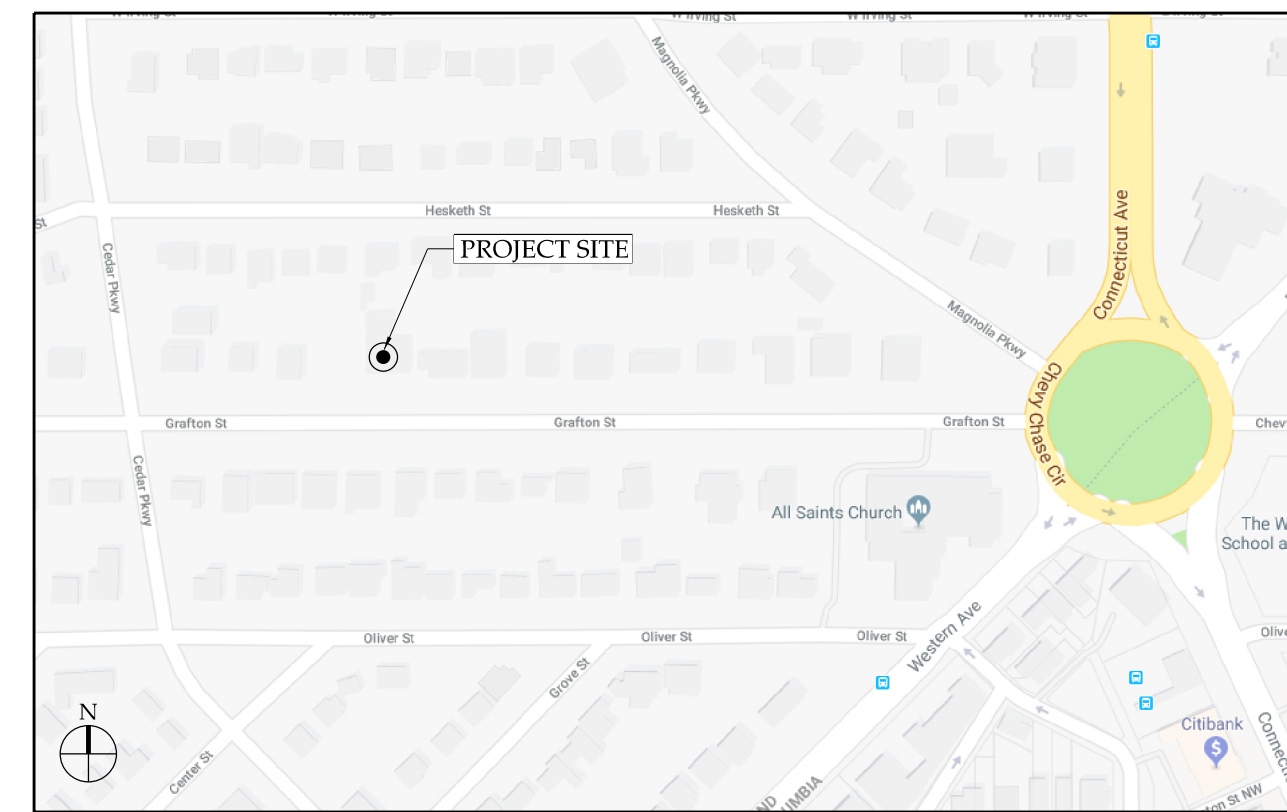
**HISTORIC AREA WORK PERMIT
CHECKLIST OF
APPLICATION REQUIREMENTS**

	Required Attachments						
Proposed Work	I. Written Description	2. Site Plan	3. Plans/ Elevations	4. Material Specifications	5. Photographs	6. Tree Survey	7. Property Owner Addresses
New Construction	*	*	*	*	*	*	*
Additions/ Alterations	*	*	*	*	*	*	*
Demolition	*	*	*		*		*
Deck/Porch	*	*	*	*	*	*	*
Fence/Wall	*	*	*	*	*	*	*
Driveway/ Parking Area	*	*		*	*	*	*
Grading/Excavation/ Landscaping	*	*		*	*	*	*
Tree Removal	*	*		*	*	*	*
Siding/ Roof Changes	*	*	*	*	*		*
Window/ Door Changes	*	*	*	*	*		*
Masonry Repair/ Repoint	*	*	*	*	*		*
Signs	*	*	*	*	*		*

KEY TO MATERIALS & DRAWING SYMBOLS



VICINITY MAP



THE BONNIE RESIDENCE

19 GRAFTON STREET CHEVY CHASE, MD 20815

LIST OF ABBREVIATIONS

Abbreviation	Item	Abbreviation	Item	Abbreviation	Item
1X	One-inch nominal thickness	F.B.O.	Furnished By Owner	PART.	Partition
2X	Two-inch nominal thickness	F.D.	Floor Drain	PLMB.	Plumbing
@	At	F.F.	Finish Floor	PLYWD.	Plywood
AC	Air Conditioning	FDIN.	Foundation	PMVT.	Pavement
A.F.F.	Above Finish Floor	FGLAS.	Fiberglass	PREFAB.	Prefabricated
ABV.	Above	FIN.	Finish	PREFIN.	Prefinished
ADJ.	Adjustable	FIXT.	Fixture	PSF	Pound Per Square Foot
ALN.	Align	FLASFG.	Flashing	PSI	Pound Per Square Inch
ALT.	Alternate	FL.	Floor	P.T.	Pressure Treated
ALUM.	Aluminum	FLRG.	Flooring	PTD.	Painted
ANCH.	Anchor	FLUOR.	Fluorescent	PVC	Polyvinyl Chloride
APPROX.	Approximate	F.O.	Face of	QTY.	Quantity
ARCH.	Architect (or Architectural)	F.O.S.	Face of Structure (or Stud)	R.	Riser(s)
AVG.	Average	F.O.M.	Face of Masonry	RAD.	Radius
B.O.F.	Base of Footing	FRMG.	Framing	RCPT.	Reflected Ceiling Plan
BB	Board or Bead	F.P.	Fireplace	REF.	Refrigerator
BEDRM.	Bedroom	F.T.	Fest	REINFC.	Reinforcing
BETW.	Between	FTG.	Footing	REPL.	Replace
BLDG.	Building	FURG.	Furning	REQD.	Required
BLKG.	Blocking	FURN.	Furnace	REV.	Revision
BM.	Beam	GA.	Gauge	RH	Right Hand
B.T.	Bolt	GALV.	Galvanized	RM.	Room
BOT.	Bottom	G.C.	General Contractor	R.O.	Rough Opening
BRG.	Bearing	GFI	Ground Fault Interrupter	SCHED.	Schedule
BRK.	Brick	GL.	Glass	S.CONC.	Sealed Concrete
BSMT.	Basement	GWB	Gypsum Wall Board	SCR.	Screen
BYD.	Beyond	GYP.	Gypsum	SDG.	Siding
C.	Course	HLB.	Hose Bibb	SDL.	Simulated Divided Lite
CAB.	Cabinet, Cabinetry	HD.	Head	SDL.	Single
CEM.	Cement	HDR.	Header	SH.	Sheet
CER.	Ceramic	HDW.	Hardware	SHG.	Sheathing
C.J.	Control Joint	HDWD.	Hardwood	SHWR.	Shower
C.L.	Centerline	HORIZ.	Horizontal	SIM.	Similar
CLADG.	Cladding	HT.	Height	SPEC.	Specifications
CLG.	Ceiling	HTR.	Heater	SQ.	Square
CLOS.	Closet	HVAC	Heating/Ventilation/Air-Conditioning	S.S.	Stainless Steel
CLR.	Clear	HW.	Hot Water	STD.	Standard
CMU	Concrete Masonry Unit	I.B.C.	International Building Code	STL.	Steel
C.O.	Cased Opening	I.G.	Insulated Glass	STOR.	Storage
COL.	Column	IN.	Inch	STRUC.	Structure(-al)
COORD.	Coordinate, Coordination	INCL.	Include(d)	SUBFL.	Subfloor
CONC.	Concrete	INSUL.	Insulation	SURF.	Surface
CONST.	Construction	INT.	Interior	SW.	Switch
CONT.	Continuous	IRC	International Residential Code	S.W.M.	Storm Water Management
CPT.	Carpet	JT.	Joint	SYM.	Symbol
CPR.	Copper	JT.	Joint	SYN.	Synthetic
CRIT.	Critical	KIT	Kitchen	T	Treads
CRS.	Course	LAM.	Laminate	T&G	Tongue and Groove
CSK.	Countersink	LAV.	Laboratory	T.B.S.	To Be Specified
CSMT.	Casement	LEV.	Level	T.D.L.	True Divided Lite
C.T.	Ceramic Tile	LH	Left Hand	TEMP.	Temperature
C.TOP.	Countertop	LT.	Light	THK.	Thick
CTR.	Center	LTG.	Lighting	T.J.	Truss Joists
CTRD.	Centered	LVL.	Laminated Veneer Lumber	T.O.	Top of
C.W.	Cold Water	M.	Master	T.O.F.	Top of Footing
D	Dryer	MAS.	Masonry	T.O.S.	Top of Slab
DBL.	Double	MAT.	Material	T.O.ST.	Top of Structure
DEMO.	Demolish, Demolition	MAX.	Maximum	T.O.W.	Top of Wall
DET., DETL.	Detail	MDO	Medium Density Overlay	TOIL.	Toilet
DI.	Diameter	MDF.	Medium Density Fiberboard	TPO	Thermoplastic Polyolefin
DIR.	Dimension	MECM.	Mechanical	TRTD.	Treated
DISP.	Disposal	MED. CAB.	Medicine Cabinet	TYP.	Typical
DN.	Down	MEM.	Membrane	U.C.	Under-counter
DR.	Door	MFR.	Manufacturer(s)	UNFIN.	Unfinished
D.S.	Downspout	M.O.	Masonry Opening	U.N.O.	Unless Noted Otherwise
D.W.	Dishwasher	MIN.	Minimum	UTIL.	Utility
DWG.	Drawing	MISC.	Miscellaneous	V.B.	Vapor Barrier
EA.	Each	MLDG.	Molding	VENT.	Ventilate(-or)
E.J.	Expansion Joint	MTL.	Metal	VEST.	Vestibule
EL.	Elevation	MTD.	Mounted	V.F.	Verify in Field
ELEC.	Electrical	M.W.	Microwave	W.	Washer
ELEV.	Elevator	N.E.C.	National Electric Code	W/	With
EPS	Expanded Polystyrene	N.I.C.	Not In Contract	W/O	Without
EPXY	Epoxy	NO.	Number	W.C.	Water Closet
EQ.	Equal	N.T.S.	Not To Scale	WD.	Wood
EQUIP.	Equipment	O.A.	Overall	WDW.	Window
EST.	Established	O.C.	On Center	WH.	Water Heater
E.T.R.	Existing to Remain	OFF.	Office	W.P.	Waterproof
EX., EXIST.	Existing	O.H.	Overhang	W.P.F.G.	Waterproofing
EXH.	Exhaust	OPNG.	Opening	W.S.	Weather Stripping
EXT.	Exterior	OPP.	Opposite	WT.	Weight
		YD.	Yard		

PROJECT NARRATIVE

- The project scope includes the enclosure of an existing second floor deck to create an insulated sunroom.

GENERAL NOTES

- The following notes shall apply to all drawings made as part of the Contract for construction for this project, including those drawings listed in the INDEX OF DRAWINGS on this sheet:
- The Contractor shall field verify all dimensions.
 - DO NOT SCALE THE DRAWINGS to obtain dimensions.
 - Dimensions shown are to face of structure (i.e. face of stud, masonry, concrete) unless noted otherwise on the drawings.
 - All construction resulting from the execution of this work shall conform to the current 2018 International Residential Code (IRC) with amendments, and the Maryland Building Performance Standards (MBPS); and with any other requirements established by Montgomery County and the state of Maryland.
 - All work represented in the drawings for this project shall be considered part of the work required by the Contract Documents for the project and shall be executed in a manner consistent with the provisions described in the Specifications and General Notes.
 - The construction work described in these drawings is applicable only to this project. The Architect accepts no liability whatsoever for any construction work performed on the basis of these drawings if such work is not executed under a general Contract.
 - The Contractor shall comply with current requirements for Montgomery County & the state of Maryland for radon mitigation.

DESIGN PARAMETERS

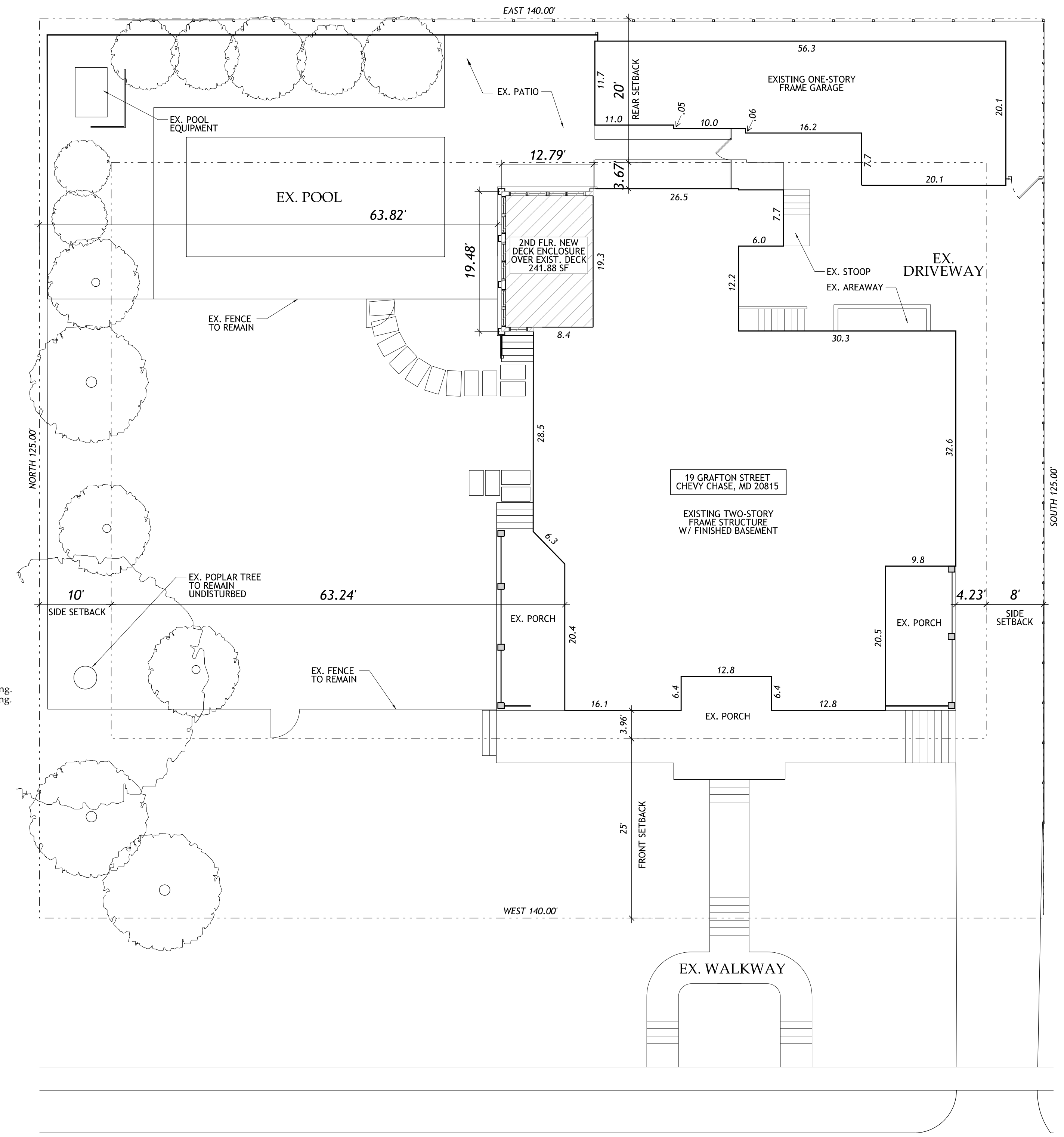
- MONTGOMERY COUNTY
- GROUND SNOW LOAD: 30 PSF
 WIND SPEED: 115 mph
 SEISMIC DESIGN CATEGORY: B
 WEATHERING: Severe
 FROST LINE DEPTH: 30 inches
 TERMITE: Moderate to Heavy
 DECAY: Slight to Moderate
 WINTER DESIGN TEMP.: 13 deg. Fahrenheit
 ICE SHIELD UNDERLAYMENT REQ'D: Yes
 FLOOD HAZARDS: July 2, 1979
 AIR FREEZING INDEX: 300
 MEAN ANNUAL TEMP.: 55 deg. Fahrenheit

ZONING SUMMARY

- Zone R-60 Total Assessed Area: 17,500 sqft.
 Lot 4 Exist. Lot Coverage: No change to existing.
 Block 24 Prop. Lot Coverage: No change to existing.
 Plat#: 106
 Maximum Building Height: No change to existing.
 Building Setbacks: No change to existing.
 Structure built in 1908.

INDEX OF DRAWINGS

Sheet	Drawing Title
0000	COVER SHEET & SITE PLAN
EX101	EXISTING FLOOR PLAN
A101	FLOOR PLAN
EX201	EXISTING SOUTH ELEVATION
A201	SOUTH ELEVATION
EX202	EXISTING WEST ELEVATION
A202	WEST ELEVATION
EX203	EXISTING NORTH ELEVATION
A203	NORTH ELEVATION
A501	EXISTING CONDITION PHOTO
A502	PROPOSED DESIGN SKETCH
A503	EXISTING CONDITION PHOTO



1 SITE PLAN
 0000 SCALE: 1" = 10'-0"

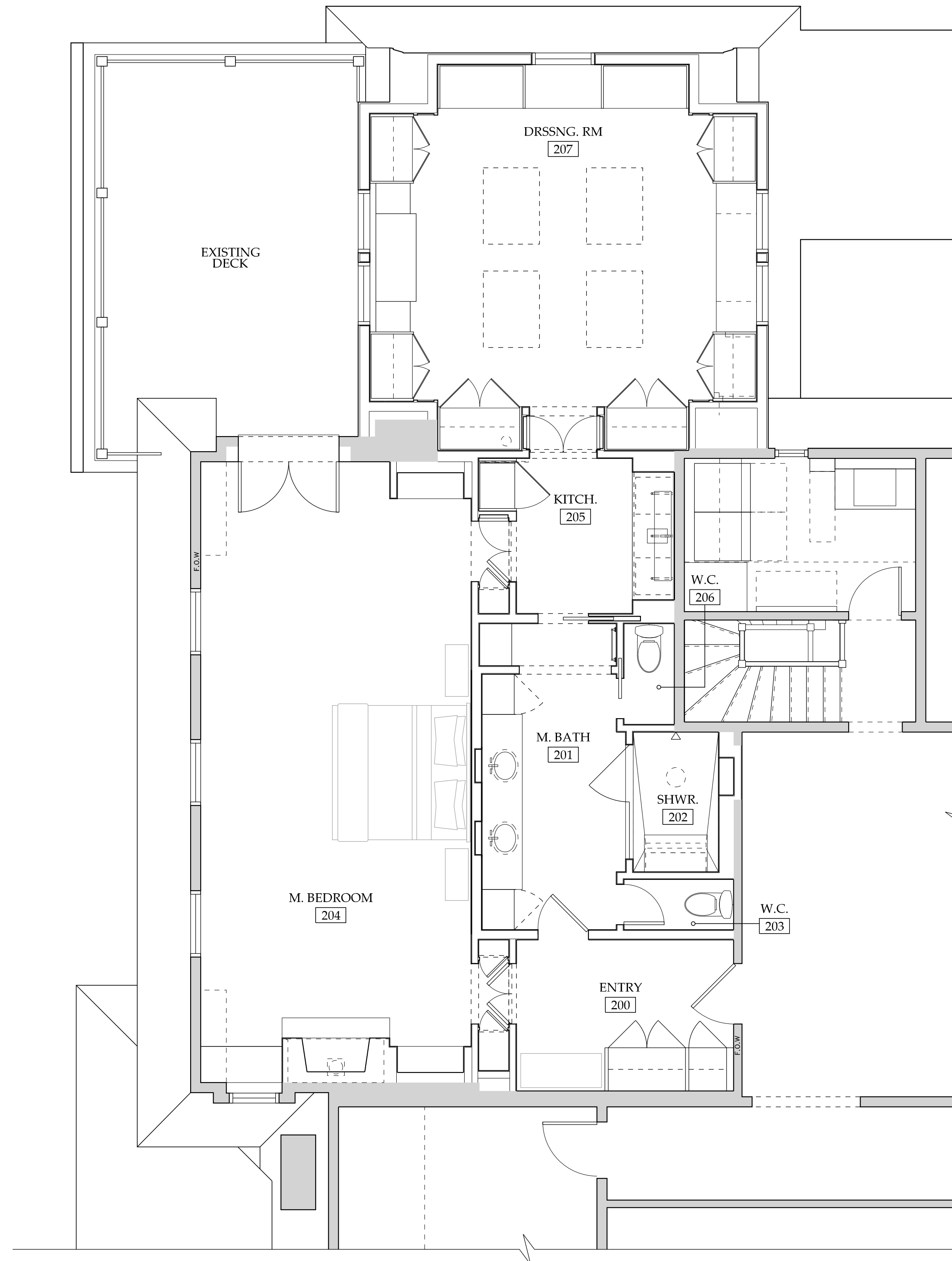
MUSE ARCHITECTS, PC
 Architecture and Interior Design
 Bethesda, MD 20814
 7401 Wisconsin Avenue, Suite 500
 Phone 301.718.8118 Fax 301.718.8112

RENOVATION OF THE
BONNIE RESIDENCE
 19 GRAFTON STREET, CHEVY CHASE, MD 20815

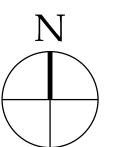
17.15
 HAWP
 17 APRIL 2026

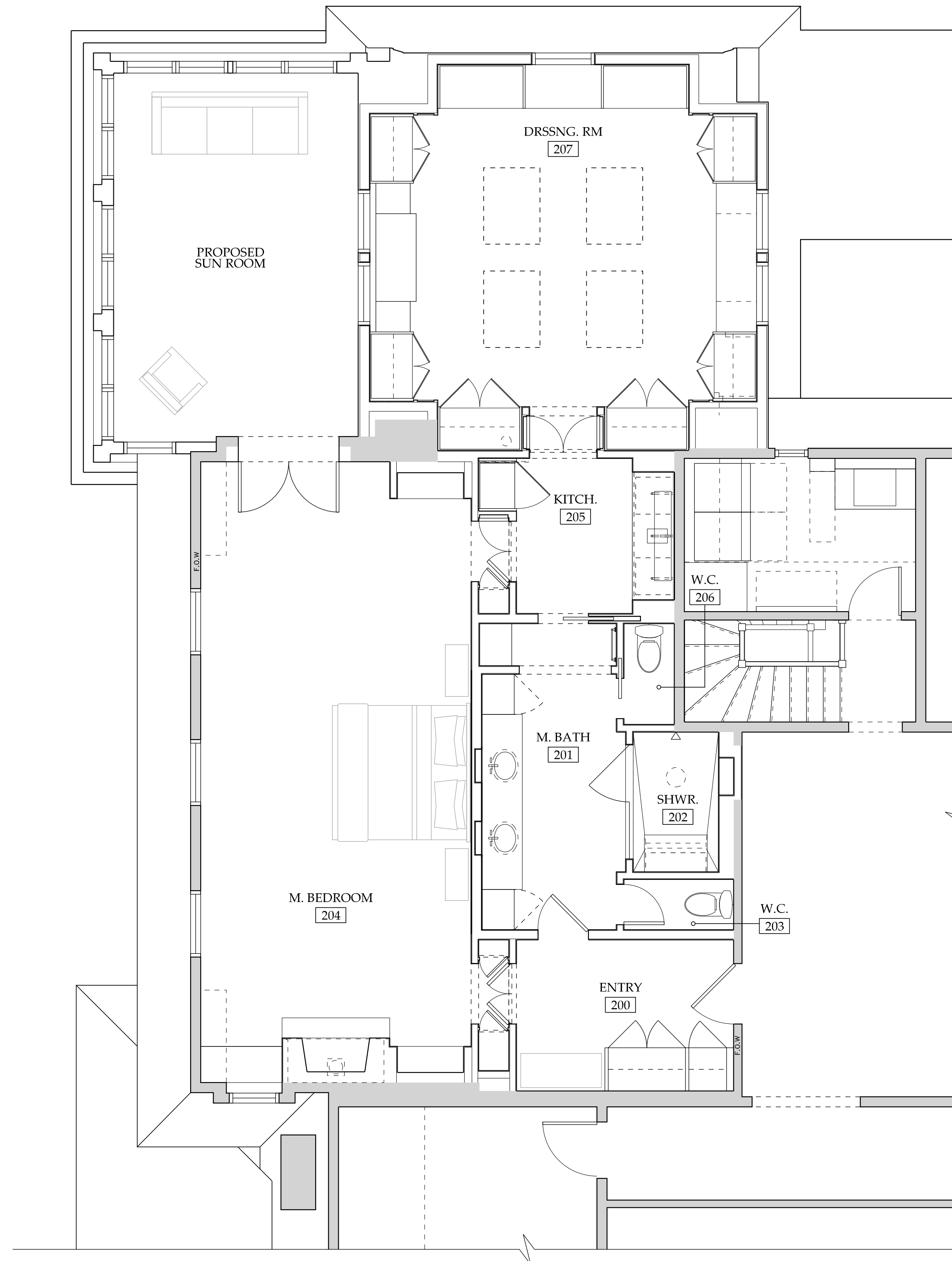
COVER SHEET
 SCALE: AS NOTED

SHEET NO.
0000

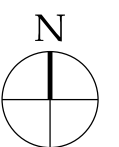


1 EXISTING SECOND FLOOR PLAN
 EX101 SCALE: 1/4" = 1'-0"





1
A101 PROPOSED SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"





1
EX201 EXISTING SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



1
A201 PROPOSED SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

EL. +29.53'
 BLDG. HT.
 1'-9 1/2"
 EL. +27.73'
 MAX. HEIGHT
 NEW ROOF
 4'-1"
 EL. +23.63'
 2ND FLR. FIN. CLG.
 9'-0 1/2"
 EL. +14.58'
 2ND FIN. FLOOR
 11'-6"
 EL. +3.08'
 1ST FIN. FLOOR
 3'-1"
 EL. 0.00'
 AVERAGE GRADE



1
 EX202
 EXISTING WEST ELEVATION
 SCALE: 1/4" = 1'-0"

EL. +29.53'
 BLDG. HT.
 1'-9 1/2"
 EL. +27.73'
 MAX. HEIGHT
 NEW ROOF
 4'-1"
 EL. +23.63'
 2ND FLR. FIN. CLG.
 9'-0 1/2"
 EL. +14.58'
 2ND FIN. FLOOR
 11'-6"
 EL. +3.08'
 1ST FIN. FLOOR
 3'-1"
 EL. 0.00'
 AVERAGE GRADE



1
 A202
 PROPOSED WEST ELEVATION
 SCALE: 1/4" = 1'-0"

17.15

HAWP
 17 APRIL 2026

WEST ELEVATION

SCALE: 1/4" = 1'-0"

SHEET NO.

A202



1 EXISTING NORTH ELEVATION
 EX203 SCALE: 1/4" = 1'-0"



1 PROPOSED NORTH ELEVATION
 A203 SCALE: 1/4" = 1'-0"



1 VIEW OF WEST SIDE OF RESIDENCE
A501 SCALE: N/A



1 PROPOSED DESIGN - WEST SIDE VIEW
A502 SCALE: N/A

17.15

HAWP
17 APRIL 2026

DESIGN SKETCH



1 VIEW OF EXISTING RESIDENCE LOOKING NORTH
A503 SCALE: N/A



2 VIEW OF EXISTING RESIDENCE FROM SOUTH AT SIDEWALK
A503 SCALE: N/A



3 VIEW OF EXISTING RESIDENCE FROM SOUTHWEST
A503 SCALE: N/A



4 VIEW OF EXISTING RESIDENCE FROM WEST
A503 SCALE: N/A



5 VIEW OF EXISTING SCREEN PORCH W/ DECK ABOVE
A503 SCALE: N/A