

# Montgomery County Historic Preservation

## Staff Report

<p><b>ADDRESS:</b> 7411 Baltimore Avenue, Takoma Park</p> <p><b>RESOURCE:</b> Takoma Park Historic District</p> <p><b>APPLICANT:</b> Isabelle and Andy Hasty; (Paul Treseder, Architect)</p> <p><b>REVIEW:</b> HAWP</p> <p><b>CASE NO.</b> 1145605 REVISION</p> <p><b>PROPOSAL:</b> Alterations to previously-approved fenestration</p>	<p><b>MEETING DATE:</b> 5/13/2026</p> <p><b>REPORT DATE:</b> 5/6/2026</p> <p><b>PUBLIC NOTICE:</b> 4/29/2026</p> <p><b>TAX CREDIT ELIGIBLE:</b> No</p> <p><b>STAFF:</b> Devon Murtha</p>
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### Staff Recommendation

Staff recommends the HPC approve with two (2) conditions the HAWP application, with final approval of details delegated to Staff.

1. The applicant must submit comprehensive materials specifications prior to issuance of final approval documents, including specifications for all windows, trim elements, decking, rear PVC stairs, and detailed specifications for the proposed fiber cement siding to specify exposure depth.
2. The railings on the first story rear deck must be wood, or a paintable material that replicates the look of wood.

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### Architectural Description

**Significance:** Contributing Resource within the Takoma Park Historic District

**Date:** c. 1921-1933

**Style:** Bungalow

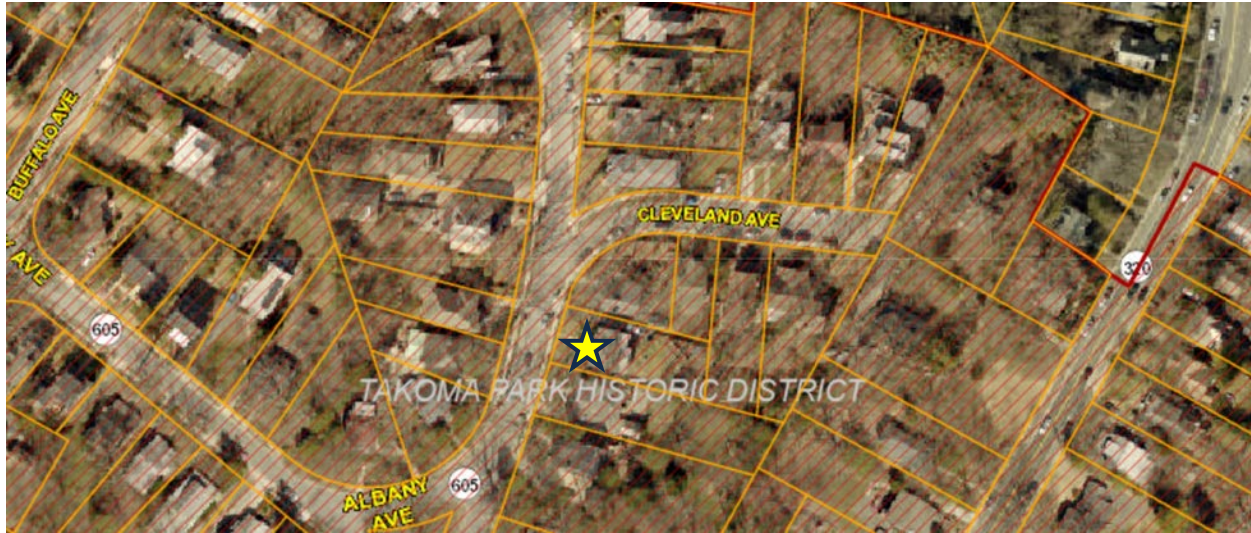


Figure 1: The location of the subject property in the Takoma Park Historic District. The boundary is outlined in red and the property is shown with a yellow star.

## Proposal

The applicant proposes to make minor fenestration to an addition that was approved by the HPC at the February 11, 2026 HPC meeting. The original proposal was to demolish the existing one-story rear porch that measures 22' wide by 6' deep and construct:

- a one-story addition that measures 16' wide by approximately 12'6" deep with a second story-deck;
- an enclosed porch that measured 9' wide by 6' deep;
- a partially covered-porch and deck that measures 9' wide by 10' deep; and,
- a new basement egress.

The applicant returned with a proposal to include minor fenestration alterations on the left (north) side elevation. Additionally, the applicant is proposing a change of materials for the rear deck, from a wood porch with wood railings to PVC stairs and railings.

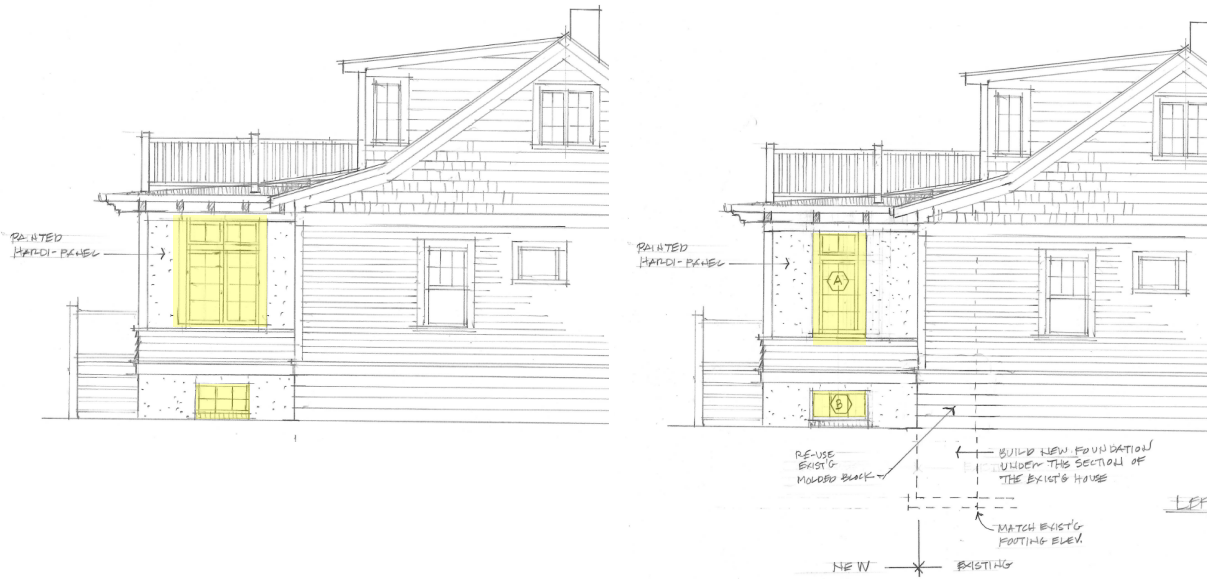


Figure 2: Partial approved (left) and proposed (right) left elevation. Alterations are indicated in yellow.

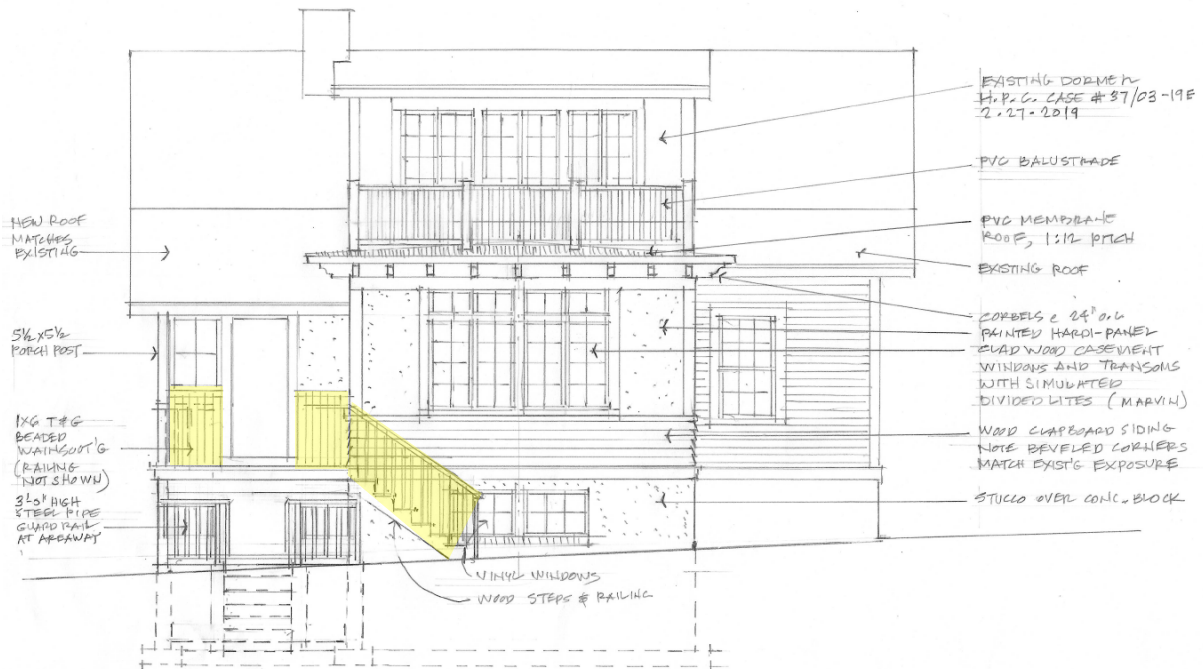


Figure 3: Approved rear elevation. Alterations indicated in yellow.

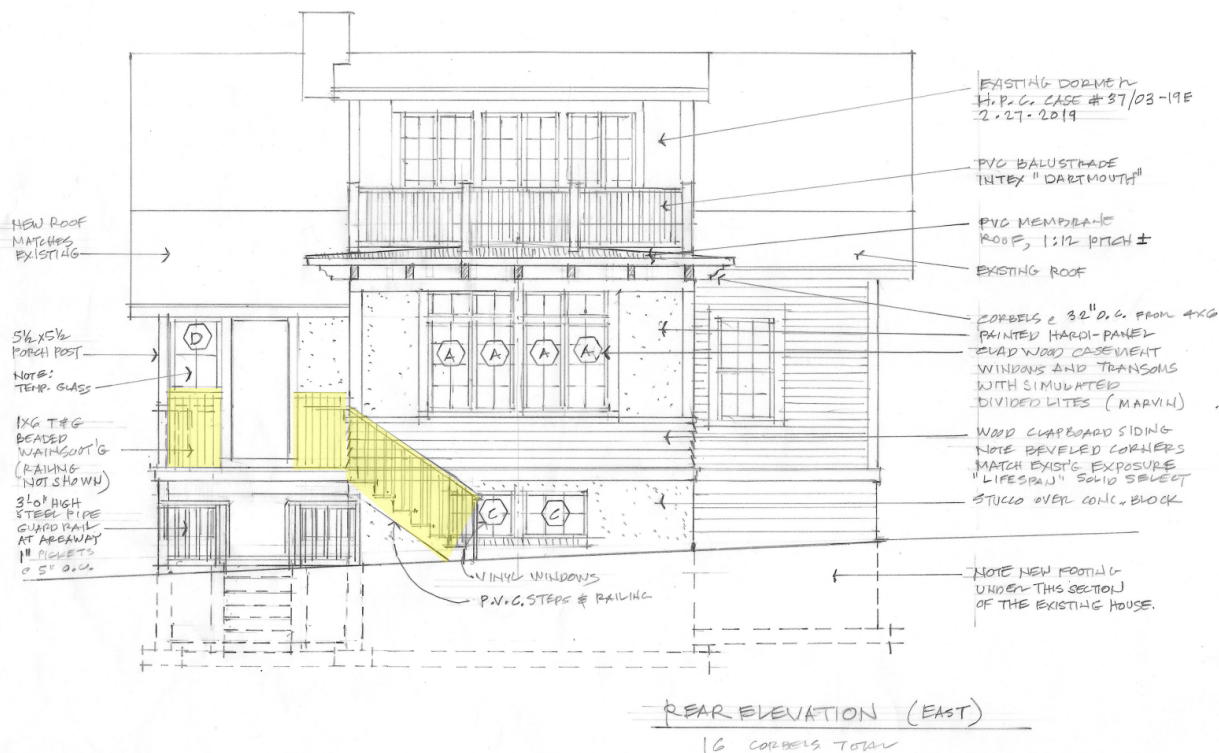


Figure 4: Proposed rear elevation. Alterations indicated in yellow.

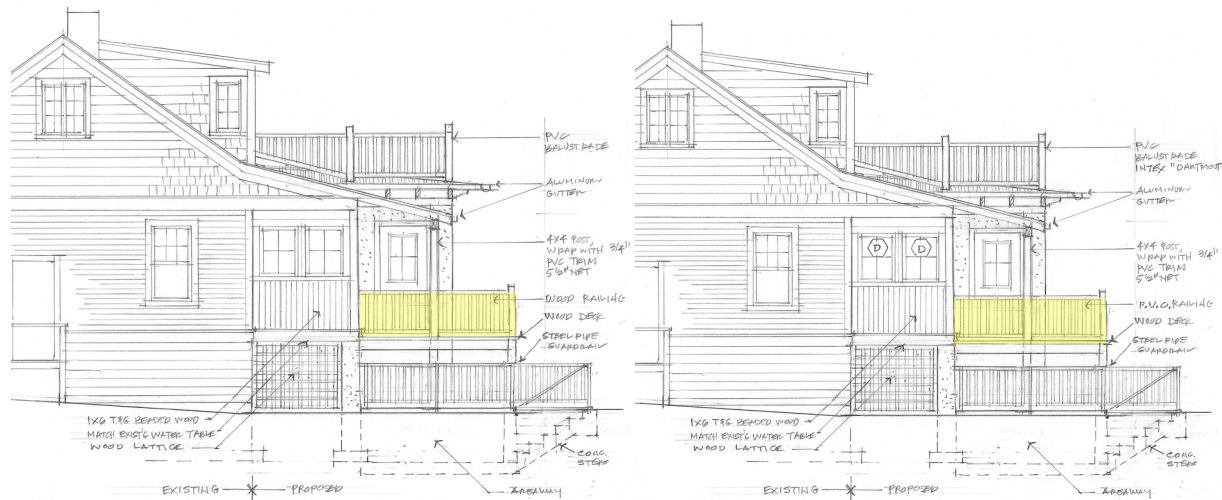


Figure 5: Partial approved (left) and proposed (right) right side elevation. Alterations indicated in yellow.

### Applicable Guidelines

When reviewing alterations and new construction within the Takoma Park Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the Takoma Park Historic District Master Plan Amendment (*Guidelines*), Montgomery

County Code Chapter 24A-8 (*Chapter 24A-8*), the Secretary of the Interior's Standards for Rehabilitation (*Standards*). The pertinent information in these documents is outlined below.

### **Montgomery County Code Chapter 24A-8**

(b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to ensure conformity with the purposes and requirements of this chapter, if it finds that:

- 1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
- 2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or

(d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

### **Takoma Park Historic District Guidelines**

There are two broad planning and design concepts which apply to all categories. These are:

- The design review emphasis will be restricted to changes that are all visible from the public right-of-way, irrespective of landscaping or vegetation (it is expected that the majority of new additions will be reviewed for their impact on the overall district), and
- The importance of assuring that additions and other changes to existing structures act to reinforce and continue existing streetscape, landscape, and building patterns rather than to impair the character of the historic district.

Contributing Resources should receive a more lenient review than those structures that have been classified as Outstanding. This design review should emphasize the importance of the resource to the overall streetscape and its compatibility with existing patterns rather than focusing on a close scrutiny of architectural detailing. In general, however, changes to Contributing Resources should respect the predominant architectural style of the resource. As stated above, the design review emphasis will be restricted to changes that are at all visible from the public right-of-way, irrespective of landscaping or vegetation.

Relevant factors to be considered in reviewing HAWPs on Contributing Resources include:

- all exterior alterations, including those to architectural features and details, should be generally consistent with the predominant architectural style and period of the resource and should preserve the predominant architectural features of the resource; exact replication of existing details and features is, however, not required;

- minor alterations to areas that do not directly front on a public right-of-way -such as vents, metal stovepipes, air conditioners, fences, skylights, etc. -should be allowed as a matter of course;
- alterations to areas that do not directly front on a public right-of-way which involve the replacement of or damage to original ornamental or architectural features are discouraged but may be considered and approved on a case-by-case basis;
- major additions should, where feasible, be placed to the rear of existing structures so that they are less visible from the public right-of-way; additions and alterations to the first floor at the front of a structure are discouraged but not automatically prohibited
- while additions should be compatible, they are not required to be replicative of earlier architectural styles
- second story additions or expansions should be generally consistent with the predominant architectural style and period of the resource (although structures that have been historically single story can be expanded) and should be appropriate to the surrounding streetscape in terms of scale and massing
- original size and shape of window and door openings should be maintained, where feasible; some non-original building materials may be acceptable on a case-by-case basis
- artificial siding on areas visible from the public right-of-way is discouraged where such materials would replace or damage original building materials that are in good condition
- alterations to features that are not visible at all from the public right-of-way should be allowed as a matter of course
- all changes and additions should respect existing environmental settings, landscaping, and patterns of open space

### ***Secretary of the Interior's Standards for Rehabilitation***

The Secretary of the Interior defines rehabilitation as “the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values.” The applicable *Standards* are as follows:

2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

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## **Staff Discussion**

The subject property is a Contributing Resource within the Takoma Park Historic District. It is one-story side-gabled house with clapboard siding and a prominent front pediment. It is a model of the Sears kit houses called the Crescent, which was popular between 1921-1933. The *Guidelines* estimate that there are

at least twenty-one kit houses in the Takoma Park Historic District, and at least fifteen different models. The subject property is one of two relatively intact example of the Crescent model. Alterations to the subject property have been largely concentrated to the rear, including the installation of a rear dormer in 2019. Additionally, the windows were replaced in 2006.<sup>1</sup>



Figure 6: Sears, Roebuck, and Co. Catalogue advertising the Crescent model (left) and subject property in 2026 (right; Montgomery Planning).

Staff is supportive of the proposal to modify the fenestration alterations from the previous approval. The fenestration alterations will be located on a non-historic addition and not be visible from the right-of-way. Per *Standard 2* and the *Guidelines*, there will be no impact on the historic character of the resource or any historic fabric.

Staff does not have sufficient information to evaluate the change in material of the proposed rear deck railing from a wood railing to a PVC railing. In the previous Staff report for the February 11 HPC meeting, Staff wrote that “some of the proposed materials, such as the PVC trim and balustrades, are generally discouraged on alterations visible from the right-of-way; however, Staff finds that these will be minimally, or not at all, visible from the streetscape, and therefore will have no impact on the streetscape.” Staff finds that the rear deck *will* be more visible than the rear second floor deck, and is subject to a stricter review, per the *Guidelines* (*Figure 7*). Staff finds that unpainted PVC railings generally do not replicate the look of wood and are incompatible building material. Staff strongly recommends that the applicant install a wood railing in this location, but notes that a paintable PVC railing may be appropriate in this location given its setback. The applicant should return with material specifications for the railing that meet this criterion, with final approval delegated to Staff.

<sup>1</sup> See the approval documents for window replacement here: [HAWP No. 37-03-06TT](#).



Figure 7: View of subject property from Baltimore Avenue. The approximate location of the rear deck is annotated with a yellow box.

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## Staff Recommendation

Staff recommends the HPC **approve with two (2) conditions** the HAWP application, with final approval of details delegated to Staff.

1. The applicant must submit comprehensive materials specifications prior to issuance of final approval documents, including specifications for all windows, trim elements, decking, rear PVC stairs, and detailed specifications for the proposed fiber cement siding to specify exposure depth.
2. The railings on the first story rear deck must be wood, or a paintable material that replicates the look of wood.

under the Criteria for Issuance in Chapter 24A-8(b)(1), (2) and (4), having found that the proposal will not substantially alter the exterior features of the historic resource and is compatible in character with the district and the purposes of Chapter 24A;

*The Takoma Park Historic District Guidelines;*

*the Secretary of the Interior's Standards for Rehabilitation #2, #9, and #10;*

and with the general condition that the applicant shall present an electronic set of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

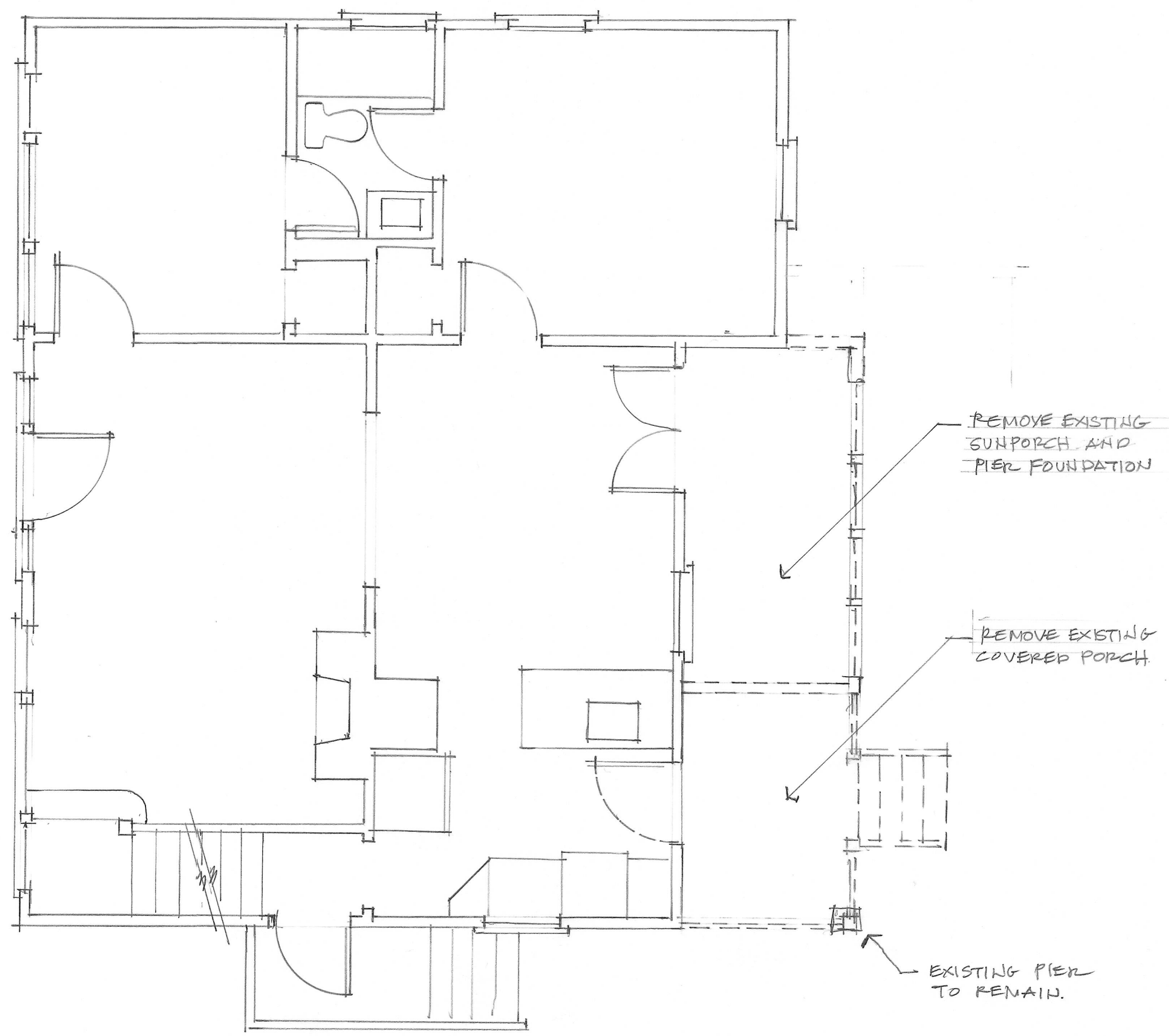
and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or [devon.murtha@montgomeryplanning.org](mailto:devon.murtha@montgomeryplanning.org) to schedule a follow-up site visit.

PROFESSIONAL CERTIFICATION  
 I CERTIFY THAT THESE DOCUMENTS WERE  
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 LICENSE # 0283-R  
 EXPIRATION DATE: 11.28.2026



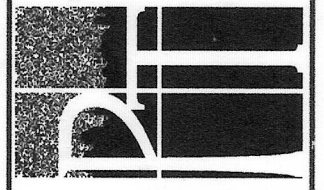
*Paul Treseder*



EXISTING FIRST FLOOR PLAN  
 AND DEMOLITION PLAN

- NOTES
1. SEE TREE PROTECTION PLAN FOR TREE PROTECTION DEVICES. ALL DEVICES SHALL BE INSTALLED BEFORE ANY DEMOLITION OCCURS.
  2. ALL DEMOLITION AND CONSTRUCTION STAGING SHALL OCCUR ON THE EXISTING PAVED AREAS.

ADDITION TO THE HASTY RESIDENCE  
 7411 BALTIMORE AVENUE  
 TAKOMA PARK, MARYLAND 20912

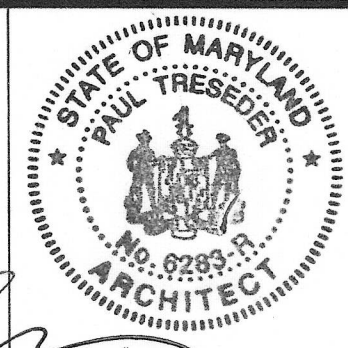


6320 Wiscasset Road  
 Bethesda, MD 20816  
 301-367-2190  
 Paul.Treseder@verizon.net

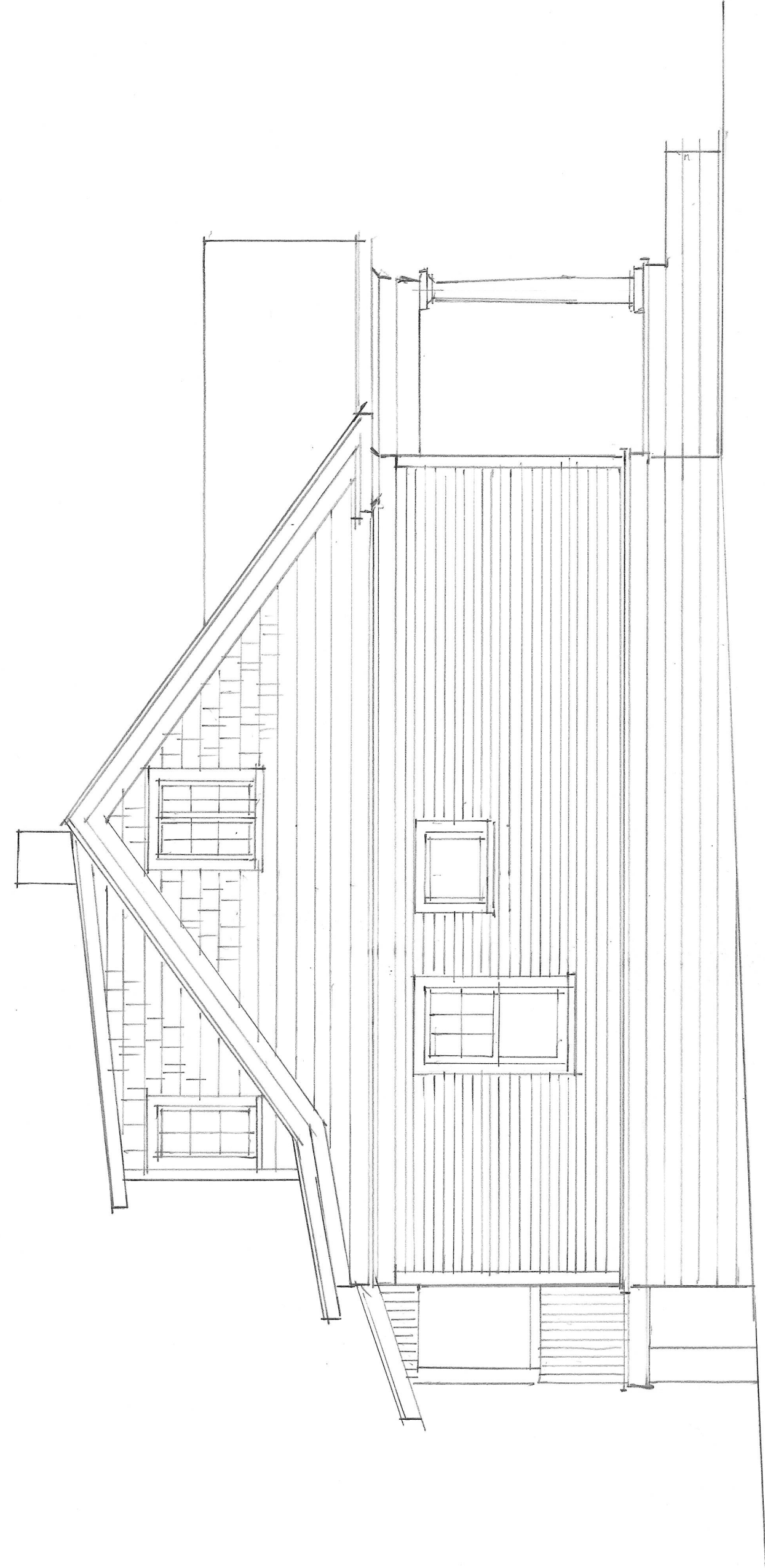
**Paul Treseder**  
 Architect

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DRAWN	PT
JOB	HASTY
SHEET	A.01
OF	SHEETS

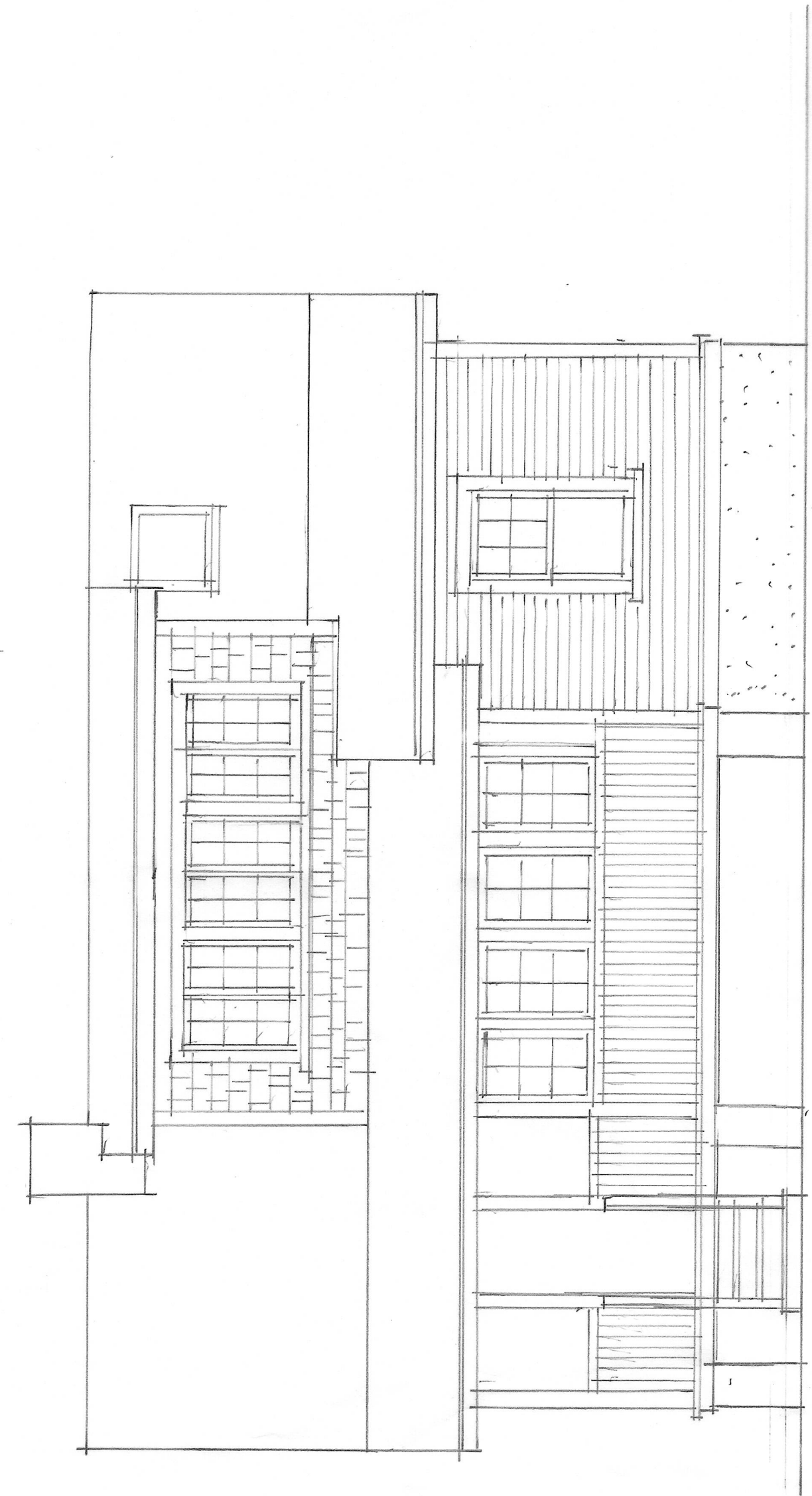
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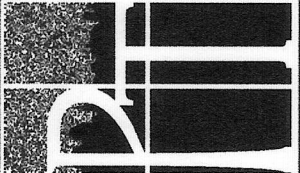


EXISTING LEFT SIDE ELEVATION



EXISTING REAR ELEVATION

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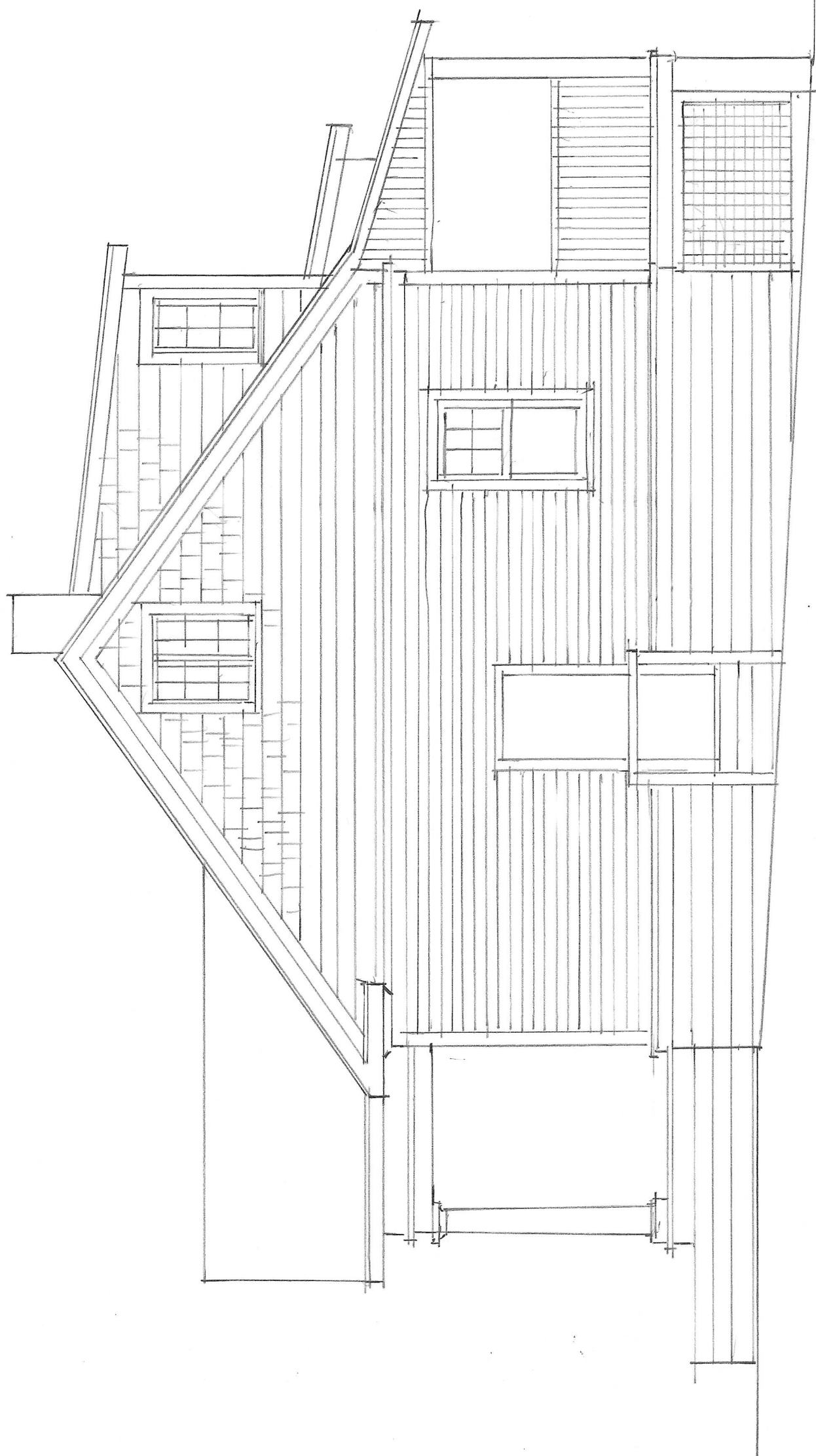


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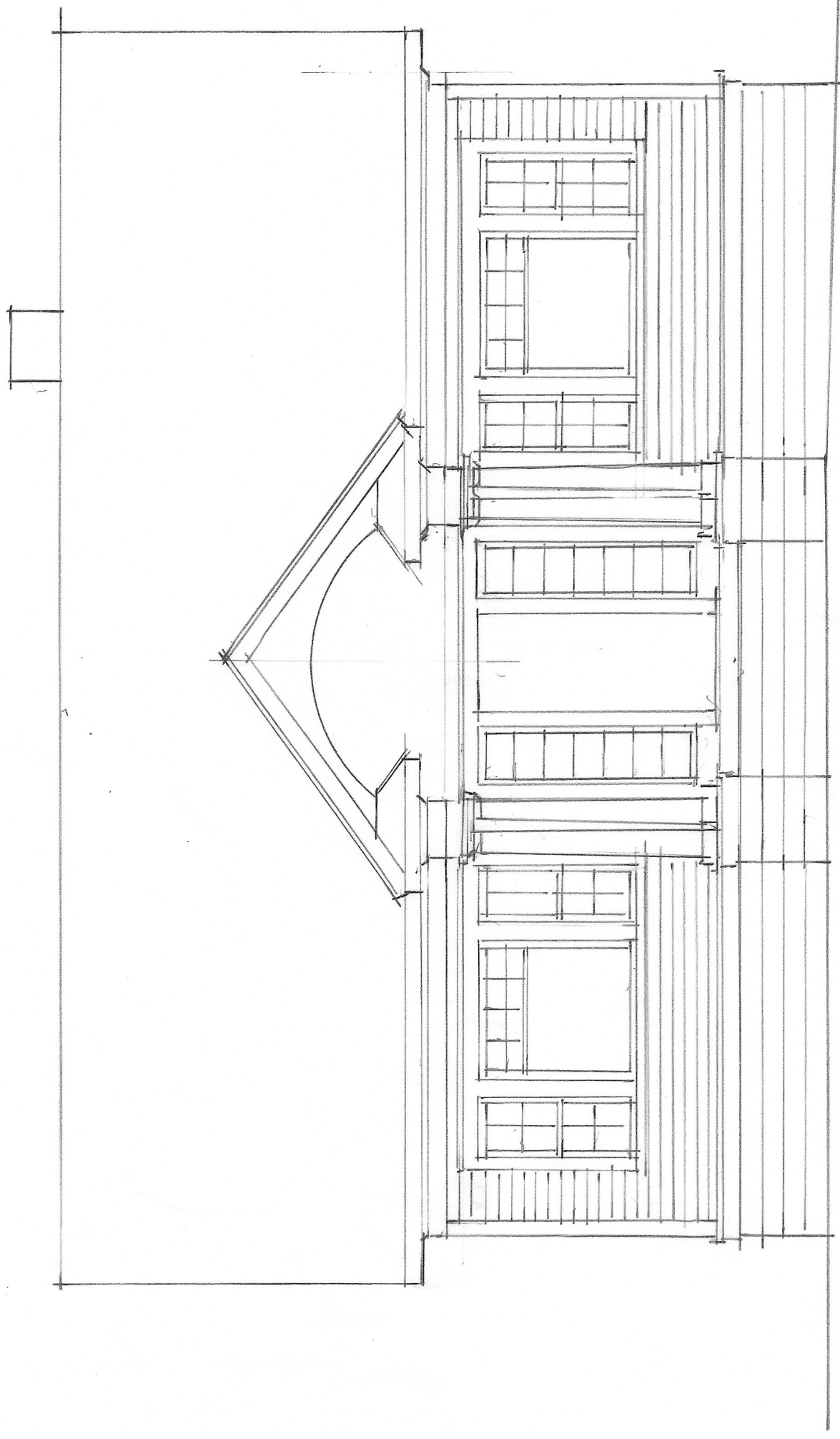
**Paul Treseder**  
Architect

DATE 1.07.2024  
SCALE 1/4" = 1'-0"  
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JOB HASTY  
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A-02  
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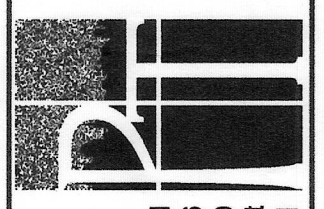


EXISTING RIGHT SIDE ELEVATION



EXISTING FRONT ELEVATION.

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7411 BALTIMORE AVENUE  
TAKOMA PARK, MARYLAND 20912



6320 Wisconsin Road  
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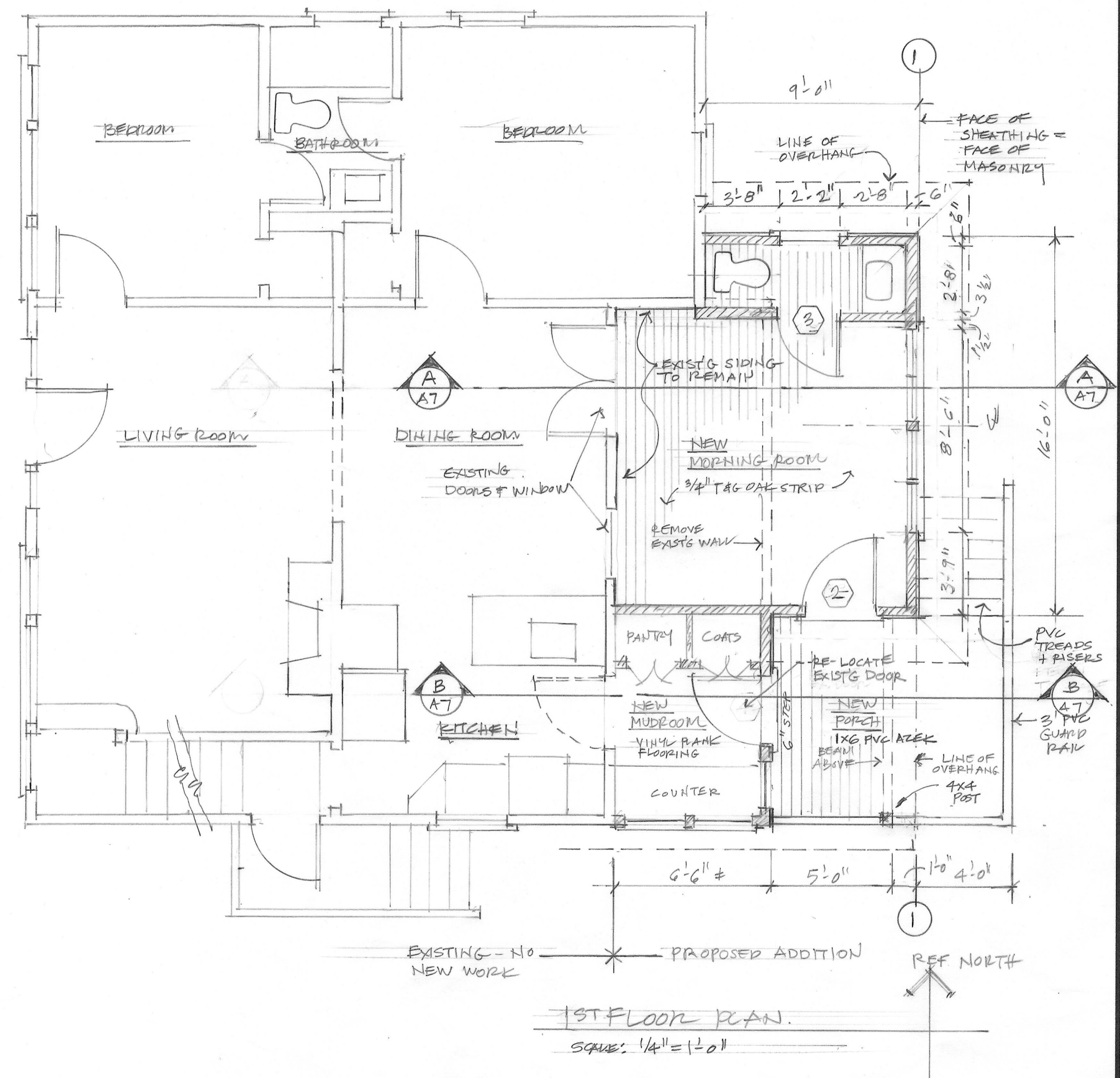
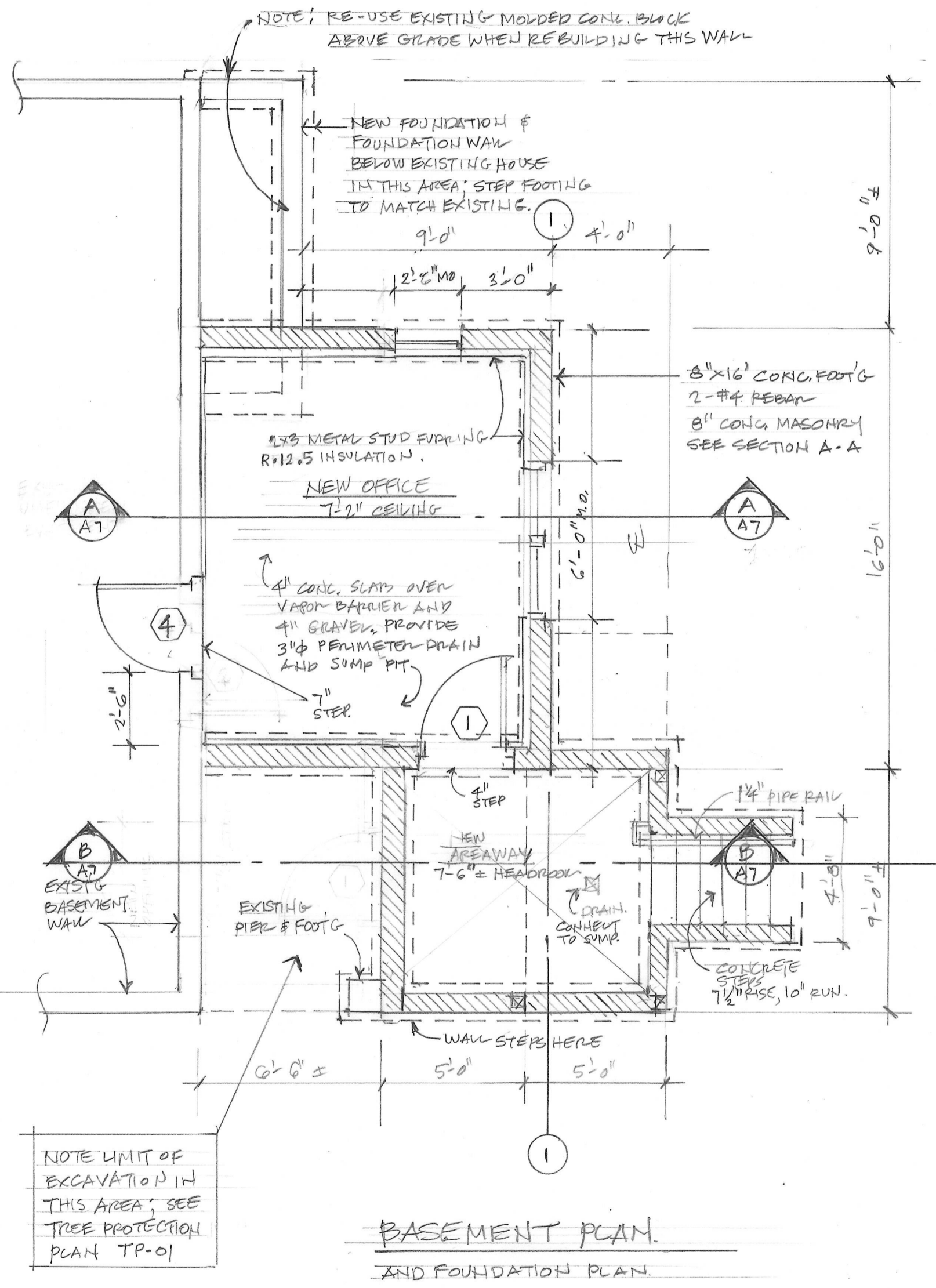
**Paul Treseder**  
Architect

DATE 1.07.2026  
SCALE 1/4" = 1'-0"  
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JOB HASTY  
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**A-03**  
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 TAKOMA PARK, MARYLAND 20912



GENERAL NOTES

- VENT SUB-SLAB GRAVEL WITH 3" P.V.C PIPE THROUGH THE ROOF FOR RADON MITIGATION.
- 

DOOR SCHEDULE

SIZE	TYPE
1 3'-0" x 6'-8" x 1 3/4"	FIBERGLAS
2 3'-0" x 7'-0" x 1 3/4"	FIBERGLAS & GLASS
3 2'-6" x 6'-8" x 1 3/8"	4 PANEL FIR
4 3'-0" x 6'-8" x 1 3/4"	SOLID CORE FLUSH

KEY TO SYMBOLS

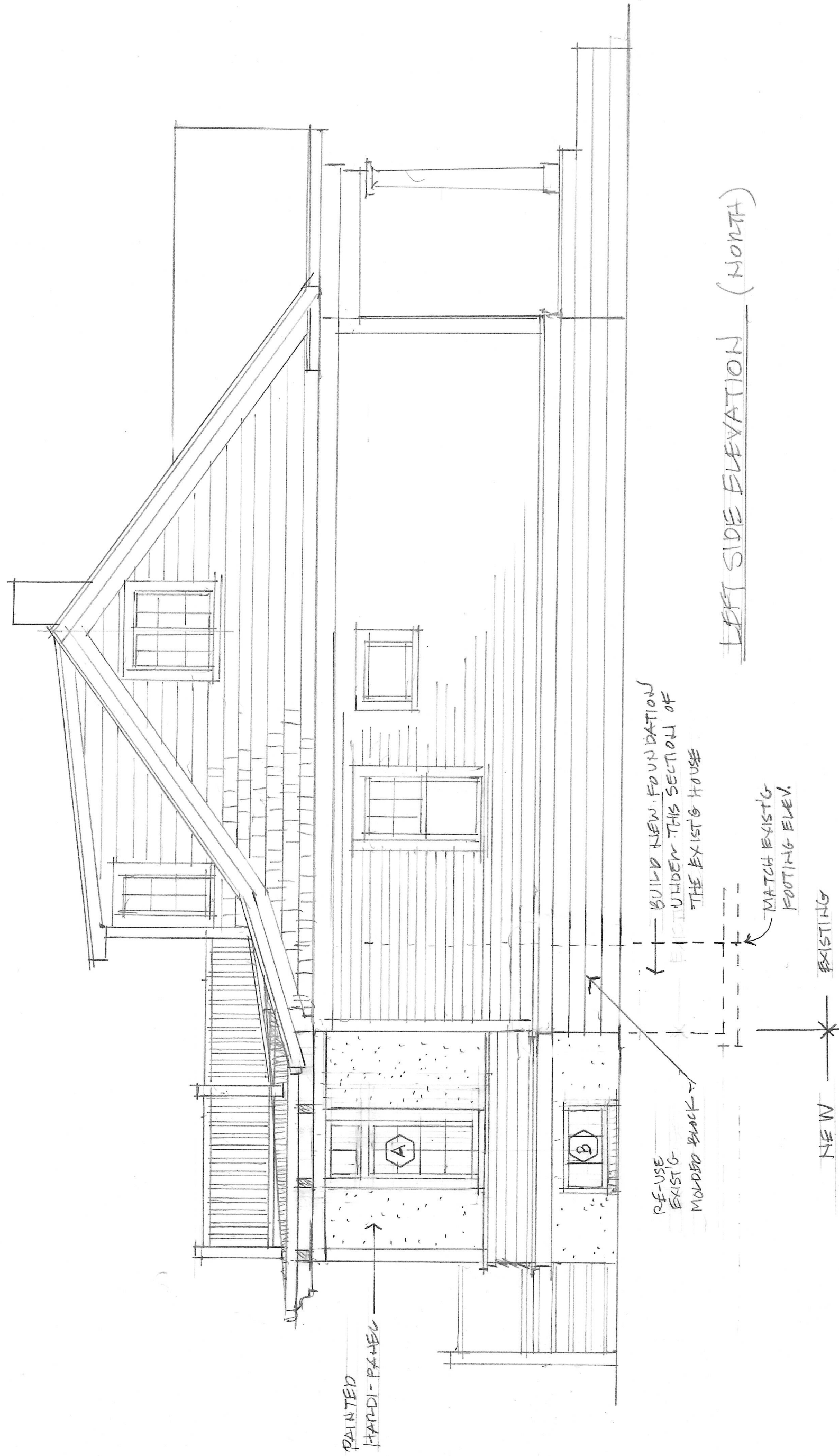
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- EXIST'G 2x4 STUD WALLS
- NEW 8" MASONRY WALL
- EXIST'G 8" MASONRY WALL

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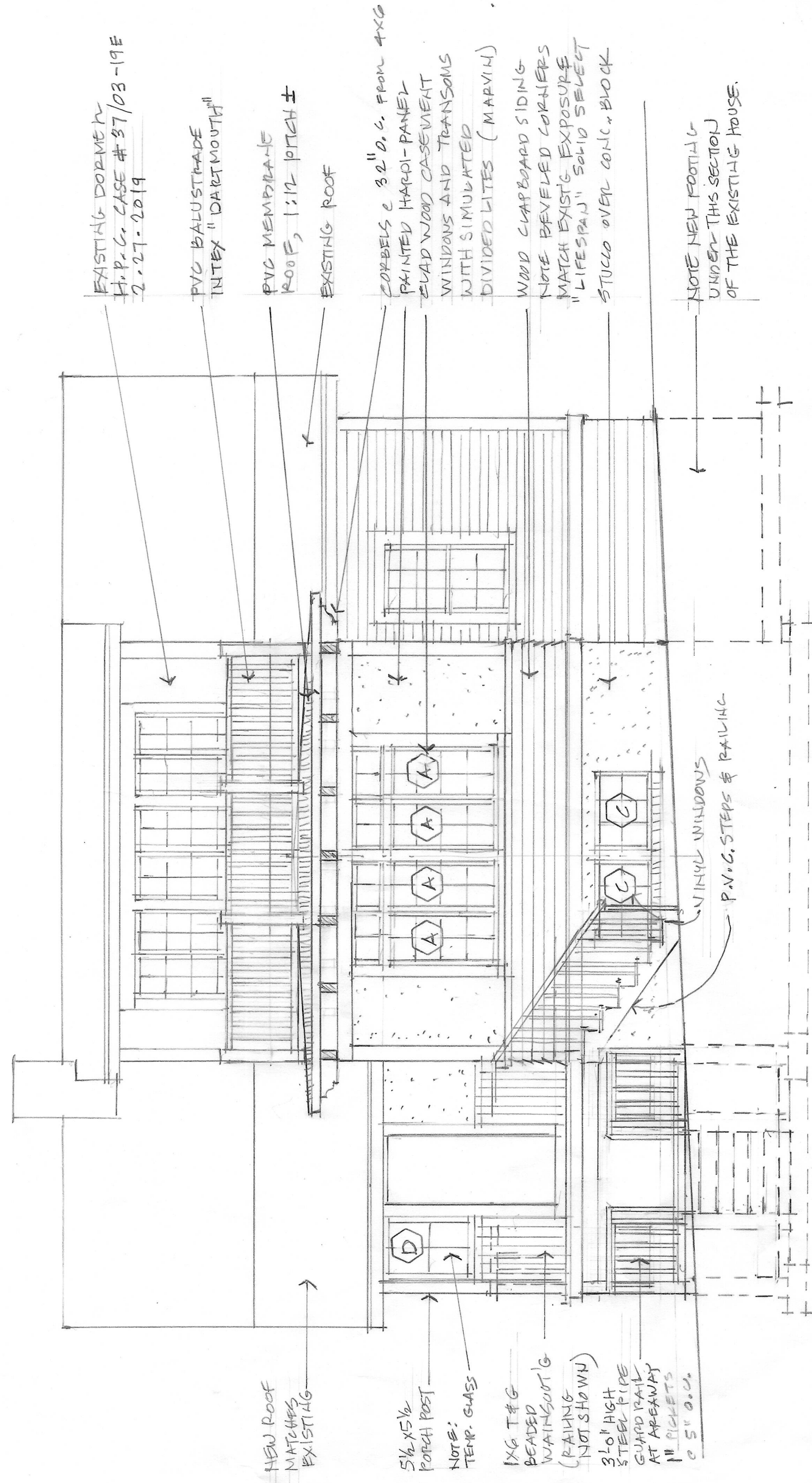
6320 Wisconsin Road  
 Bethesda, MD 20816  
 301-387-2190  
 Paul.Treseder@verizon.net

**Paul Treseder**  
 Architect

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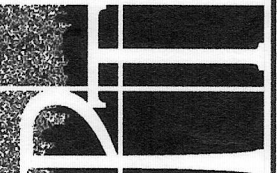
LEFT SIDE ELEVATION (NORTH)



REAR ELEVATION (EAST)

16 CORBELS TOTAL

ADDITION TO THE HASTY RESIDENCE  
 7411 BALTIMORE AVENUE  
 TAKOMA PARK, MARYLAND 20912



6320 Wiscasset Road  
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 Paul.Tresseder@verizon.net

**Paul Tresseder**  
 Architect

DATE 1.07.2026  
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*Mr*

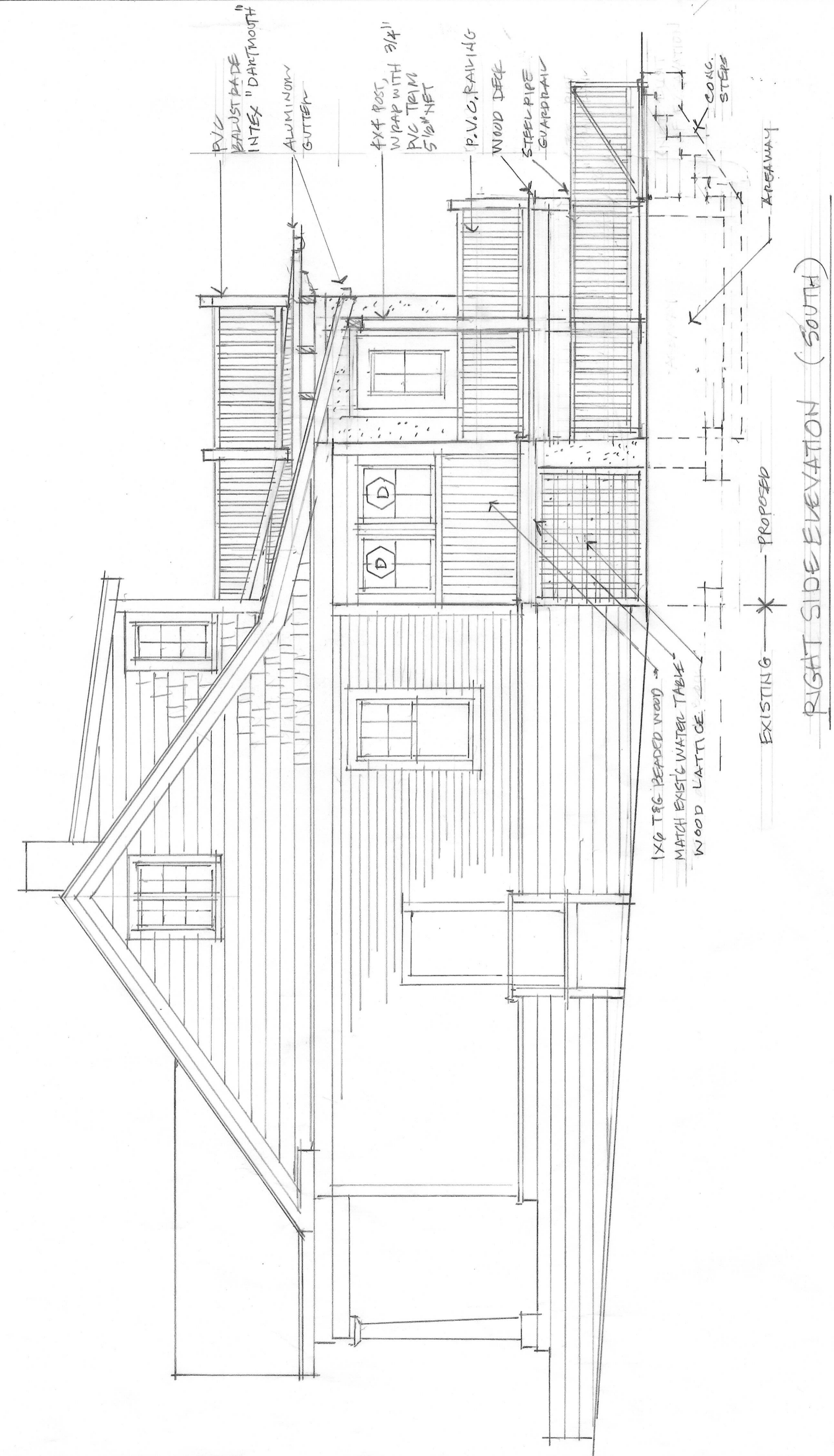


WINDOW SCHEDULE

MARK	SIZE	TYPE	ROUGH OPENING
A	ELCA 2555 + ELCATR 2516	CLAD CASEMENT + TRANSOM	2'-1" W. X 5'-11 5/8" H
B	3'-0" x 1'-8"	VINYL AWNING	3'-2" W X 1'-9" H
C	3'-0" x 2'-0"	VINYL AWNING	3'-2" W X 2'-1" H
D	ELCA 2939	CLAD CASEMENT	2'-5" W X 3'-3 5/8" H

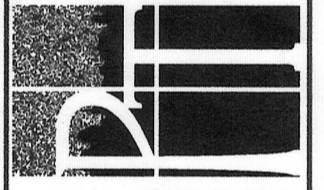
WINDOW NOTES

1. WINDOWS ARE MARYH "ELEVATE" SERIES, CLAD WOOD, WITH SIMULATED DIVIDED LITES AS SHOWN ON THE ELEVATIONS.  
 2. GLASS SHALL HAVE A U-VALUE OF 0.27, EXCEPT FOR BASEMENT WINDOWS, WHICH SHALL HAVE A U-VALUE OF 0.30



RIGHT SIDE ELEVATION (SOUTH)

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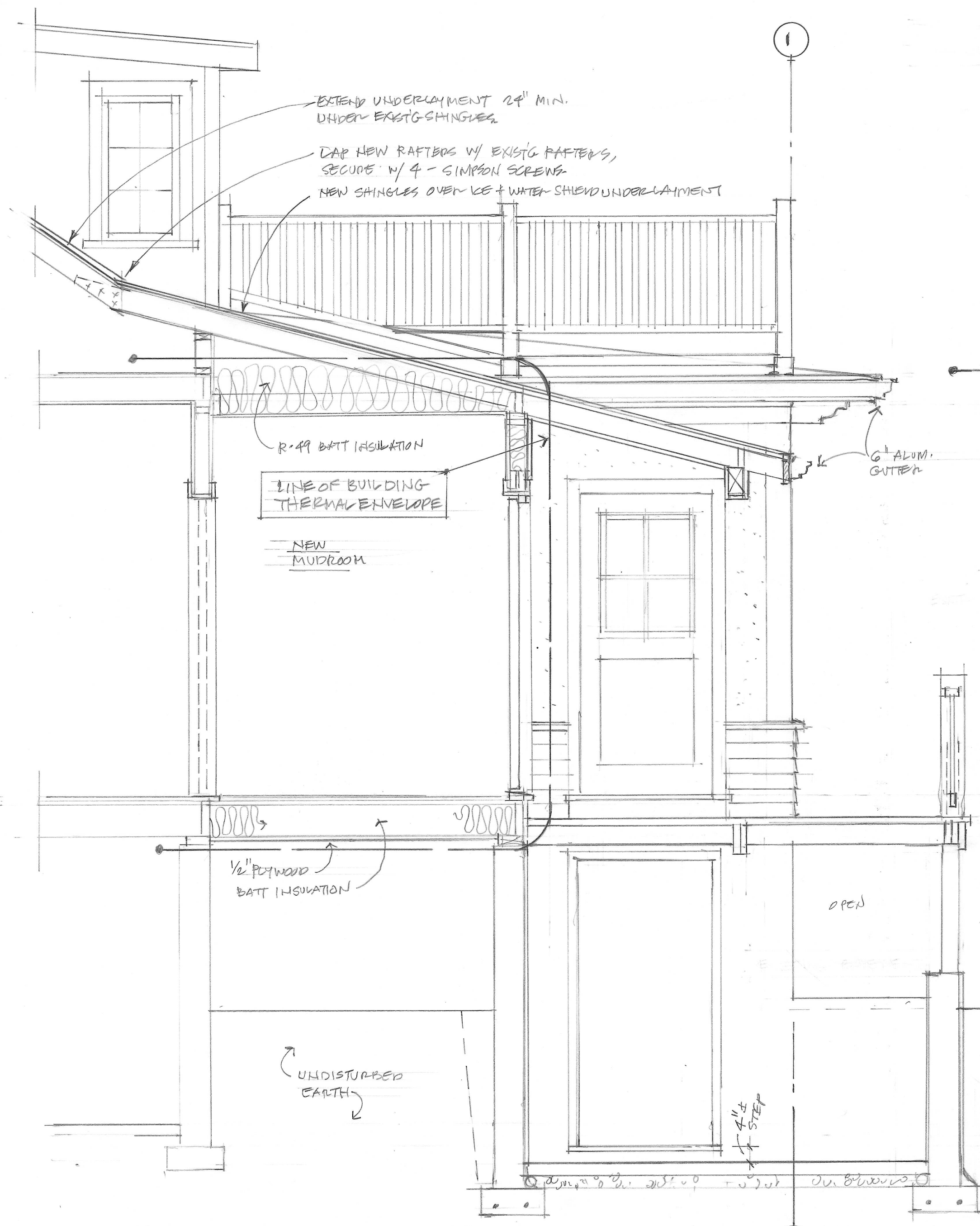


6320 Wiscasset Road  
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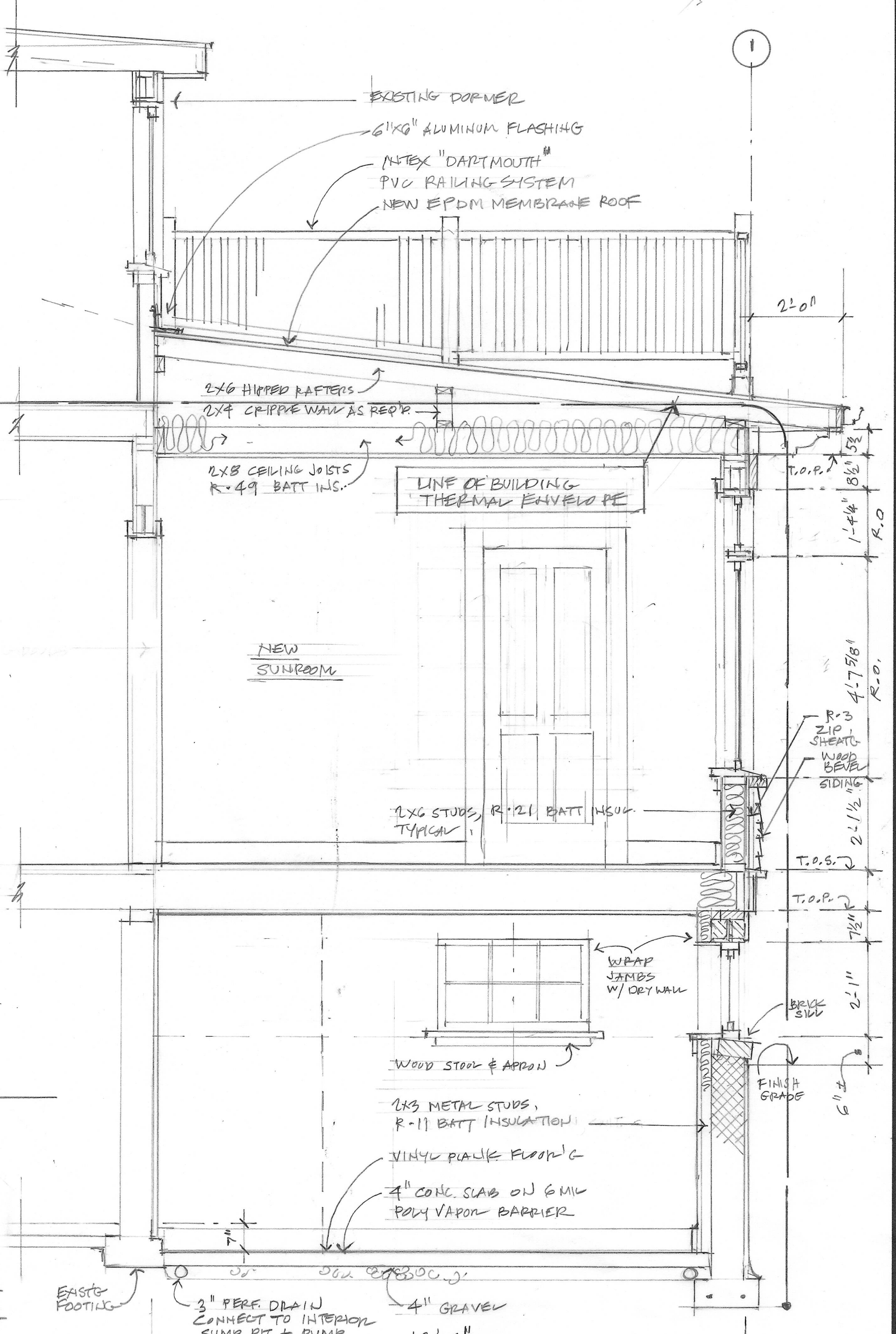
**Paul Treseder**  
 Architect

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 JOB HASTY  
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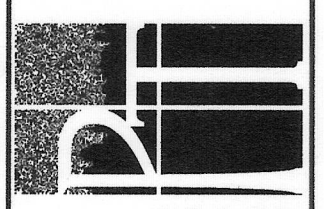
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BUILDING SECTION B-B



BUILDING SECTION A-A



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 Paul.Treseder@verizon.net

**Paul Treseder**, Architect

DATE	
SCALE	
DRAWN	
JOB	
SHEET	A.07
OF SHEETS	

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*ML*

**STRUCTURAL NOTES**

- Footings and slabs are designed to bear on native soil with an allowable bearing pressure of 1500PSF.
- Concrete for slabs and footings shall have a minimum compressive strength at 28 days of 3000 PSI. Install slabs over a 4" gravel base and a 10 mil poly vapor barrier. Gravel shall have a minimum size of 1/2".
- Reinforcing steel shall be grade 60 (Fy = 60 ksi). Welded wire mesh shall conform to ASTM A185.
- Minimum cover for reinforcement shall be 3" for footings, 1-1/2" for slabs.
- Lumber:
  - Studs and joists are Douglas Fir #2 and better, Fb = 1250 psi minimum, Fy = 95psi minimum, and E = 1,700,000. All lumber in contact with concrete or within 8" of soil shall be pressure-treated.
  - LVL and PSL lumber shall have a minimum of Fb = 2850 psi, Fv = 285 psi, and E = 2,000,000.
  - Nail all multiple members together as per the manufacturer's recommendations and at a minimum use 2-10d nails at 6" o.c. staggered.
  - Provide bridging at the center of all joist spans over 8'-0". Provide solid blocking at all bearing points on top of walls and beams.
  - Exterior load bearing walls shall be 2x6 studs at 16" o.c. and interior load bearing walls shall be 2x4 studs at 16" o.c.. Walls shall have a double top plate and a single bottom plate of the same size. Provide blocking at the midpoint of walls exceeding 10' high.
  - Exterior wall sheathing is 7/16" APOA rated structural sheathing. Block all horizontal joints. Nail with 8d nails at 6" o.c. at the edges and 12" o.c. in the field.
  - Roof sheathing is 5/8" APA rated roof sheathing above with a panel index of 40/20.
  - Place a double stud below the bearing end of all beams, headers, and double joists. For all beams and headers with a span greater than 10' use a triple stud.
  - Wood headers shall be as noted on the plans or as follows:
 

Openings < 3'-0"	2-2x6
3'-0" < opening < 4'-6"	
4'-6" < opening < 6'-0"	2-2x10
6'-0" < opening < 8'-0"	2-1-3/4" x 9-1/4" LVL
8'-0" < opening < 12'-0"	2-1-3/4" x 11-7/8" LV
  - Fasteners: Nail all sheathing and framing members as noted above and as per table 602.3(1) of the IRC. All fasteners in contact with pressure treated wood shall be galvanized. All joists shall have Simpson hangers where applicable.

**DESIGN DATA**

**Live Loads.**

Floor: 40 PSF  
 Roof: 30 PSF

**Dead Loads**

Floor: 10PSF  
 Roof at flat ceilings: 6 PSF

**Wind Design Data**

Basic wind speed: 115 MPH  
 Wind design pressure: 13.5 PSF  
 Exposure factor: B (suburban setting, other 2 story houses nearby)  
 Importance factor: 1.0  
 Risk category: II

**DRAINAGE & GRADING NOTES**

- NEW ROOF AREA CREATED BY THIS WORK = 191 S.F.
- NOTE NEW DOWNSPOUTS & DRAINAGE LOCATIONS ON SITE PLAN
- SOIL DISTURBANCE IN THIS WORK = 75 CU. YDS.
- ALL SOIL NOT REQUIRED FOR BACKFILL SHALL BE REMOVED FROM THE SITE. PROVIDE SEDIMENT CONTROL DEVICES AS REQUIRED BY MONTGOMERY COUNTY.

**ENERGY NOTES**

- The building thermal envelope and insulation levels are indicated on the building section, Sheet # A8. All exposed exterior walls, including basement walls, shall be fully insulated with spray foam, R=7 per inch, and sealed durably to limit infiltration. Sealing methods between dissimilar materials shall allow for differential expansion and contraction. The following shall be sealed, caulked, weather stripped, gasketed or otherwise sealed with an air barrier material:
  - All joints, seams and penetrations
  - Openings between window and door assemblies and their jabs and framing
  - Utility penetrations
  - Dropped ceilings or chases adjacent to the building envelope.
  - Knee walls
  - Behind tubs and showers on exterior walls
  - Attic access openings
  - Rim joist junctions
  - Other sources of infiltration
- No recessed lighting will be in the building thermal envelope.
- The maximum weighted U value of the new vertical fenestration shall be 0.32, max. SHGC shall be 0.55
- The additional first floor area will be served by a mini split style heat pump, SEER = 18 minimum, and which will be sized based on building loads calculated in accordance with ACCA Manual-J.

**INDEX TO DRAWINGS**

- C-01 COVER SHEET, SITE PLAN, NOTES
- A-01 EXISTING CONDITIONS, DEMOLITION PLAN.
- A-02 EXISTING REAR & LEFT SIDE ELEVATIONS
- A-03 EXISTING FRONT & RIGHT SIDE ELEVATIONS
- A-04 NEW BASEMENT & FIRST FLOOR PLANS
- A-05 NEW REAR & LEFT SIDE ELEVATIONS
- A-06 NEW RIGHT SIDE ELEVATION, WINDOW SCHEDULE
- A-07 BUILDING SECTIONS A-A AND B-B
- S-01 FLOOR & ROOF FRAMING PLANS
- T-01 TREE PROTECTION PLAN.

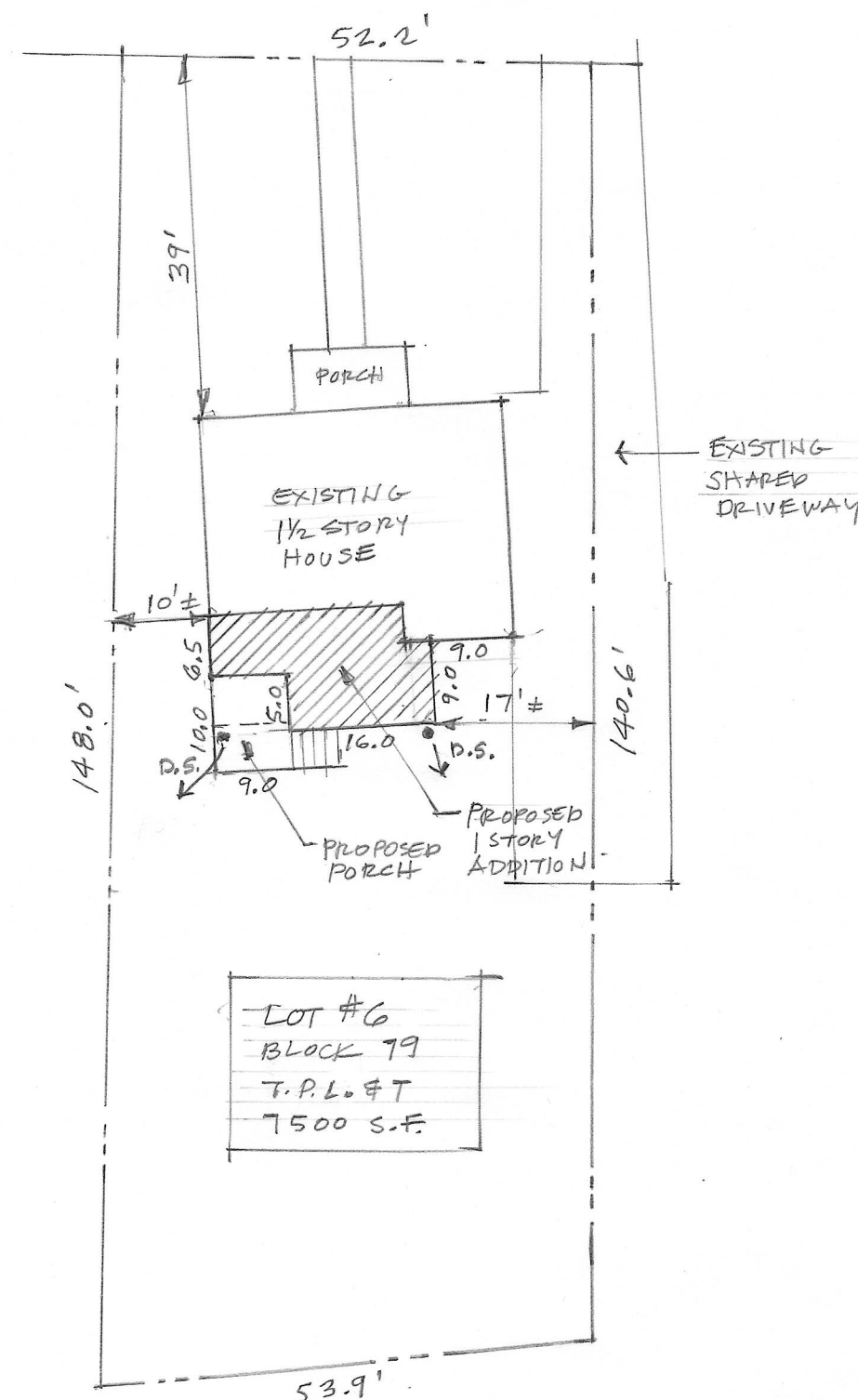
**SCOPE OF THIS WORK**

- REMOVE EXISTING REAR ADDITION AND PORCH
- BUILD NEW 1 STORY ADDITION AND PORCH OVER NEW BASEMENT.

**CODE NOTE**

ALL NEW WORK SHALL CONFORM TO THE I.R.C. AND THE I.E.E.C., 2021 EDITION, AS AMENDED BY MONTGOMERY COUNTY, MD.

BALTIMORE AVENUE



SITE PLAN

SCALE: 1" = 20'-0"

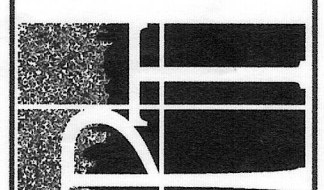
**ZONING NOTES**

ZONE: R-60  
 SETBACKS: SIDE, 7.0' REAR, 30.0'  
 EXISTING LOT COVERAGE: 1018.75 S.F.  
 COVERAGE BEING REMOVED: 156 S.F.  
 COVERAGE BEING ADDED: 288.5 S.F.  
 TOTAL PROPOSED LOT COVERAGE: 1151.25 S.F. = 15.35 S.F.

**TREE NOTES**

NO TREES ARE BEING REMOVED FOR THIS WORK. SEE TREE PROTECTION PLAN FOR EXISTING TREE LOCATIONS AND PROTECTION MEASURES.

ADDITION TO THE HASTY RESIDENCE  
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**Paul Treseder**  
 Architect

DATE 1-07-2026

SCALE

DRAWN PT

JOB HASTY

SHEET

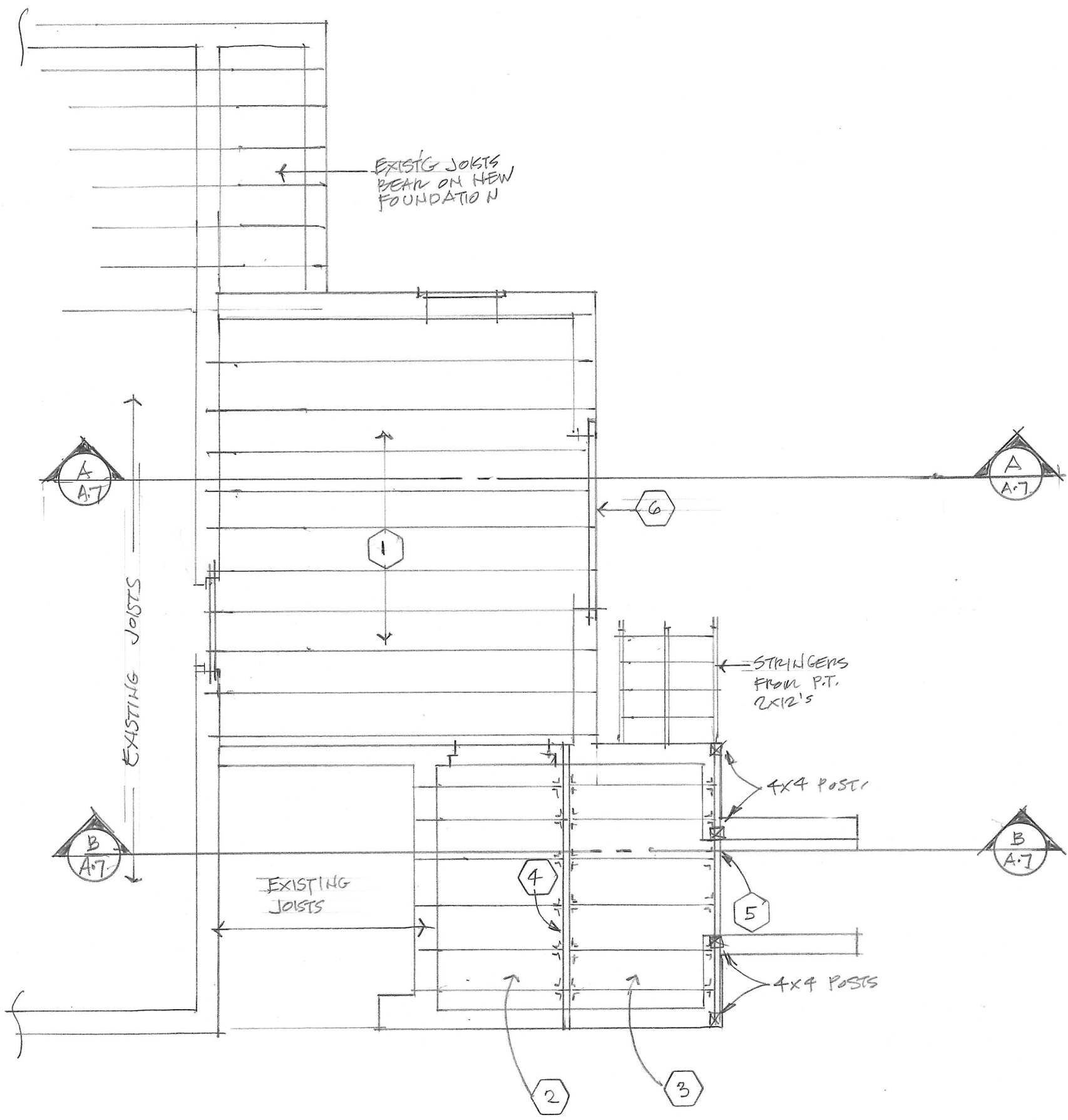
C-01

OF SHEETS

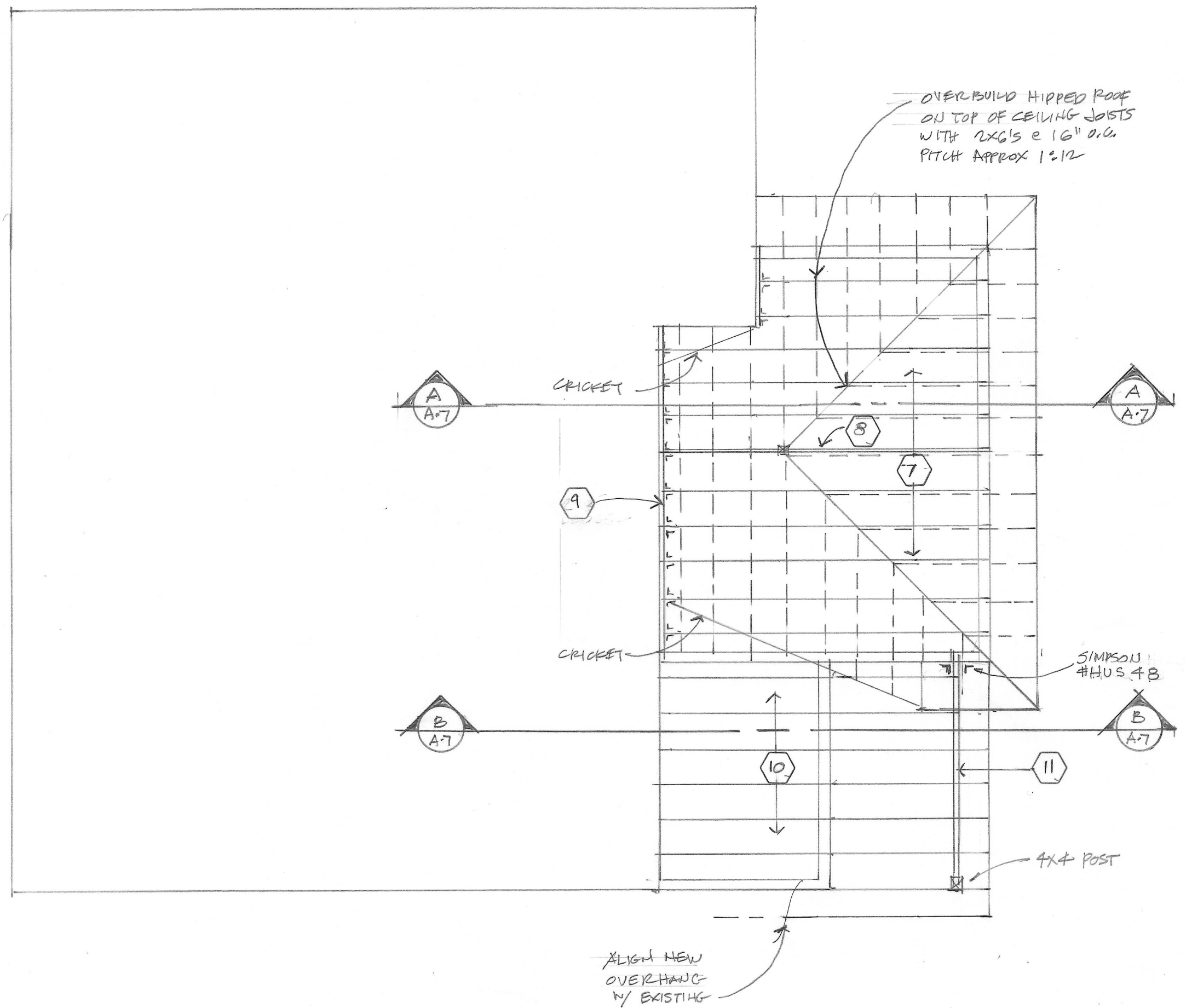
PROFESSIONAL CERTIFICATION  
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 OF MARYLAND  
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*PT*



FLOOR FRAMING PLAN



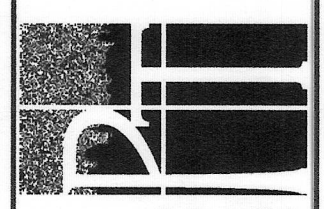
ROOF FRAMING PLAN

KEYED NOTES

- ① 2x10 JOISTS @ 16" O.C. - BEAR ON TOP OF MASONRY WALLS
- ② 2x6 JOISTS, PRESSURE TREATED, @ 16" O.C.
- ③ 2x6 JOISTS, PRESSURE-TREATED, @ 16" O.C.
- ④ DOUBLE 2x10, PRESSURE TREATED. - TOP FLUSH WITH 2x6 JOISTS
- ⑤ DOUBLE 2x6, PRESSURE TREATED - TOP FLUSH WITH 2x6 JOISTS

- ⑥ LINTEL OVER WINDOW OPEN'G - 2- 4"x6" STEEL ANGLES
- ⑦ CEILING JOISTS: 2x6'S @ 16" O.C.
- ⑧ CEILING JOIST AT POINT LOAD: 1 3/4" x 9 1/2" PARALAM
- ⑨ LEDGER AT EXISTING HOUSE: 2x8, FASTENED TO EXIST'G STUDS W/ LEDGER-LOK SCREWS @ 16" O.C. FASTEN CEILING JOISTS TO LEDGER WITH SIMPSON HANGERS.

- ⑩ 2x6 CEILING JOISTS AND 2x6 RAFTERS @ 16" O.C. NOTE THAT RAFTERS TIE INTO THE RAFTERS OF THE EXISTING ROOF (SEE SECTION B-B)
- ⑪ ROUGH BEAM - 4x8 DOUG. FIR



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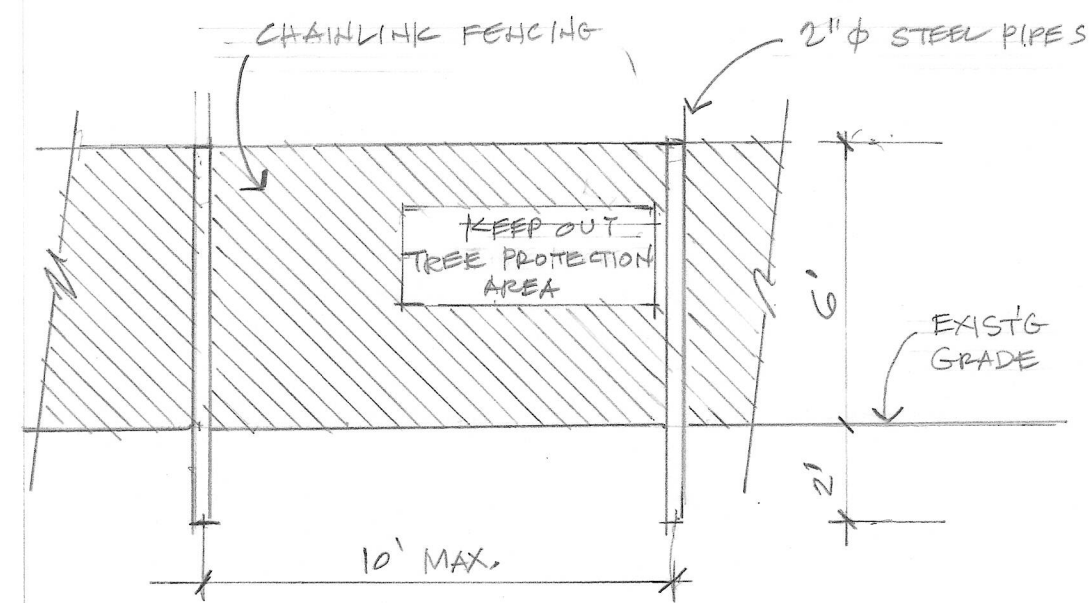
DATE  
 SCALE 1/4" = 1'-0"  
 DRAWN PT.  
 JOB HASTY.  
 SHEET  
 S.01  
 OF SHEETS

PROFESSIONAL CERTIFICATION.  
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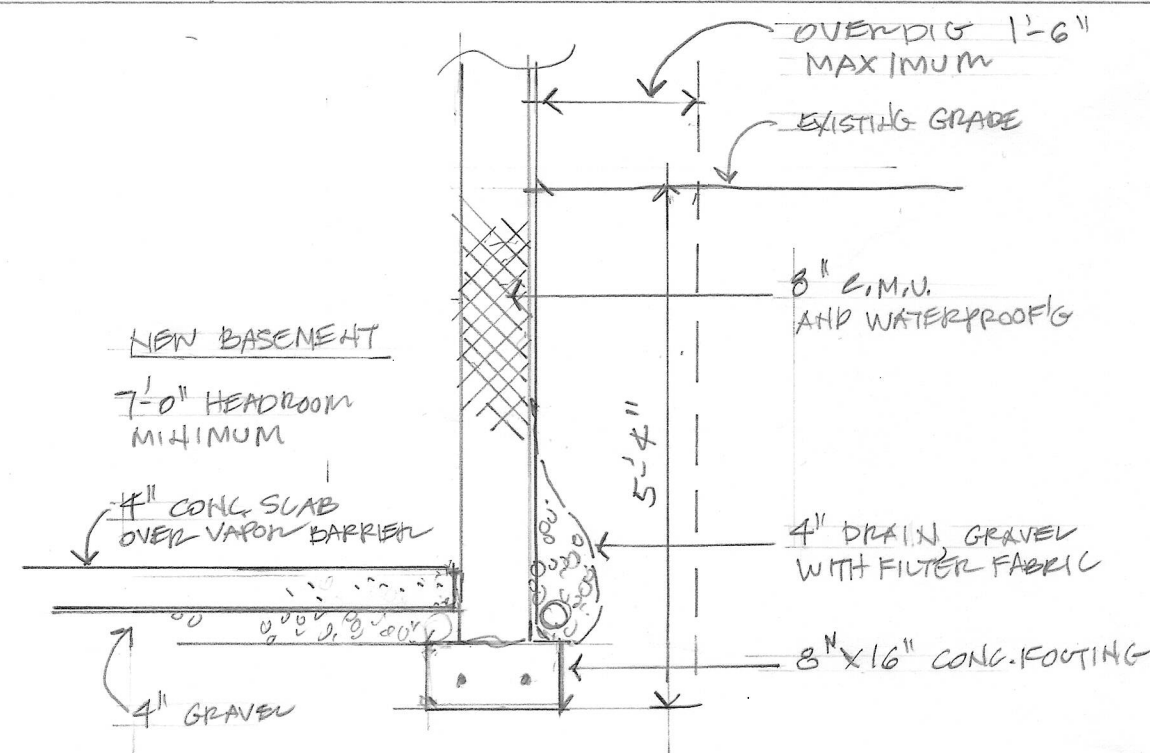


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TREE PROTECTION FENCE DETAIL Scale: 1/4" = 1'-0"



TYPICAL FOUNDATION DETAIL Scale: 1/2" = 1'-0"



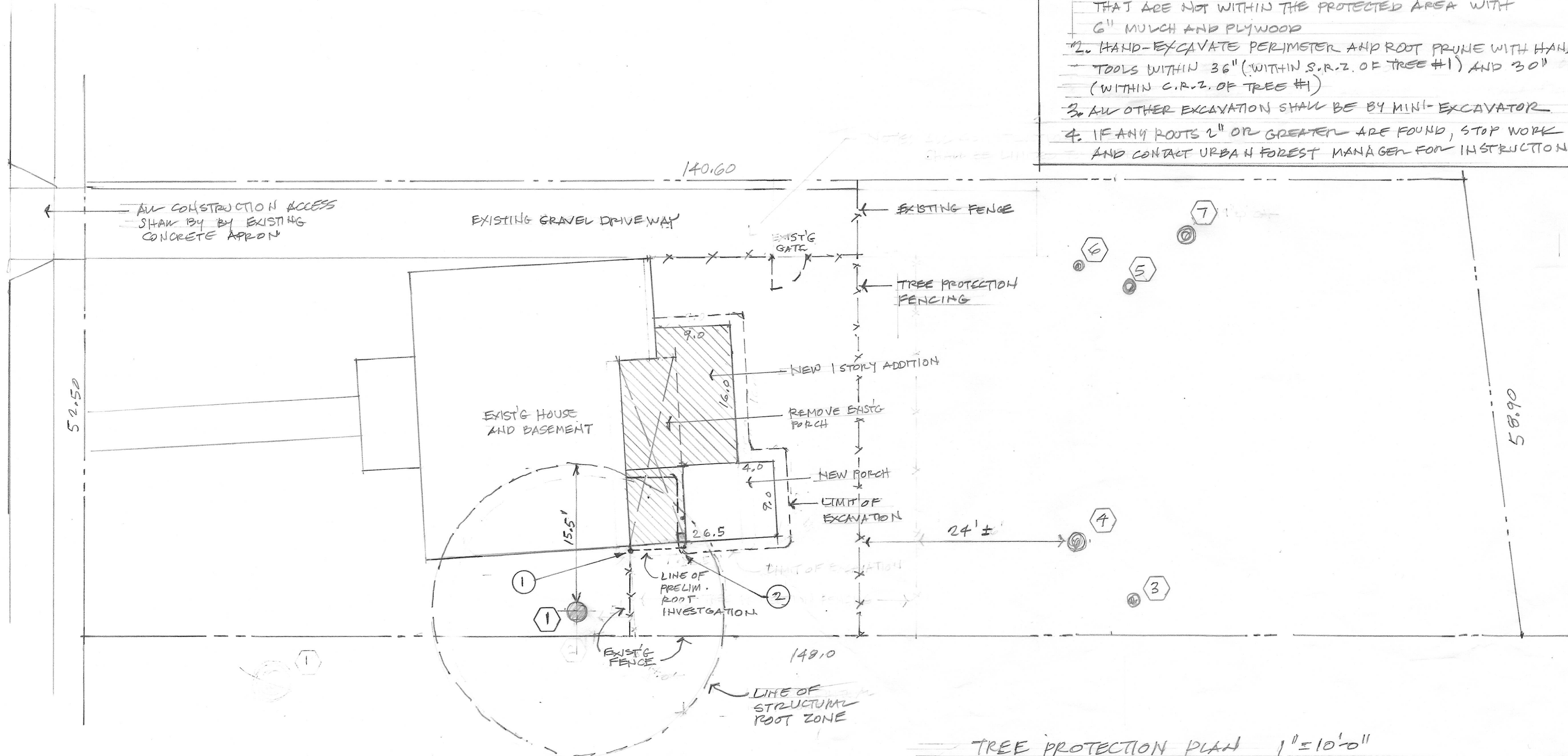
TREE SCHEDULE

DIAMETER @ 42"	TYPE	AREA OF STRUCTURAL ROOT ZONE AFFECTED BY THE WORK
3 1/2"	OAK	10 SF - SEE PLAN
NOT USED	SALIX	50 SF
8"	HOLLY	NONE
20"	OAK	NONE
10"		NONE
8"		NONE
19"	OAK	NONE

TREE PROTECTION GENERAL NOTES

1. PROVIDE ROOT PROTECTION AT ALL CRITICAL ROOT ZONES THAT ARE NOT WITHIN THE PROTECTED AREA WITH 6" MULCH AND PLYWOOD
2. HAND-EXCAVATE PERIMETER AND ROOT PRUNE WITH HAND TOOLS WITHIN 36" (WITHIN S.R.Z. OF TREE #1) AND 30" (WITHIN C.R.Z. OF TREE #1)
3. ALL OTHER EXCAVATION SHALL BE BY MINI-EXCAVATOR
4. IF ANY ROOTS 2" OR GREATER ARE FOUND, STOP WORK AND CONTACT URBAN FOREST MANAGER FOR INSTRUCTIONS.

BALTIMORE AVENUE

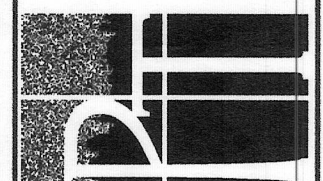


TREE PROTECTION PLAN 1" = 10'-0"

KEYED NOTES

1. CLUSTER OF 3-6"  $\phi$  ROOTS - DO NOT CUT
2. 3 SMALL ROOTS, 1.2"  $\phi$ , 1.8"  $\phi$ , 2.2"  $\phi$  MAY BE CUT.

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 DRAWN P.T.  
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 SHEET T-01  
 OF 12 SHEETS





7411











7411







