

Montgomery County Historic Preservation

Staff Report

<p>ADDRESS: 7204 Spruce Avenue, Takoma Park</p> <p>RESOURCE: Takoma Park Historic District</p> <p>APPLICANT: Nick Mitchell; (Rick Vitullo, Architect)</p> <p>REVIEW: HAWP</p> <p>CASE NO. 1155550</p> <p>PROPOSAL: Construction of new rear screened porch with skylights and chimney, construction of new side stoop and stairs, and fenestration alterations</p>	<p>MEETING DATE: 5/13/2026</p> <p>REPORT DATE: 5/6/2026</p> <p>PUBLIC NOTICE: 4/29/2026</p> <p>TAX CREDIT ELIGIBLE: No</p> <p>STAFF: Devon Murtha</p>
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Staff Recommendation

Staff recommends the HPC approve with one (1) condition the HAWP application, with final approval of details delegated to Staff.

1. The applicant will submit new door specifications for a wood front door with proportions that align with the Colonial Revival style of the house.

Architectural Description

Significance: Contributing Resource within the Takoma Park Historic District

Date: c. 1915-1925

Style: Colonial Revival

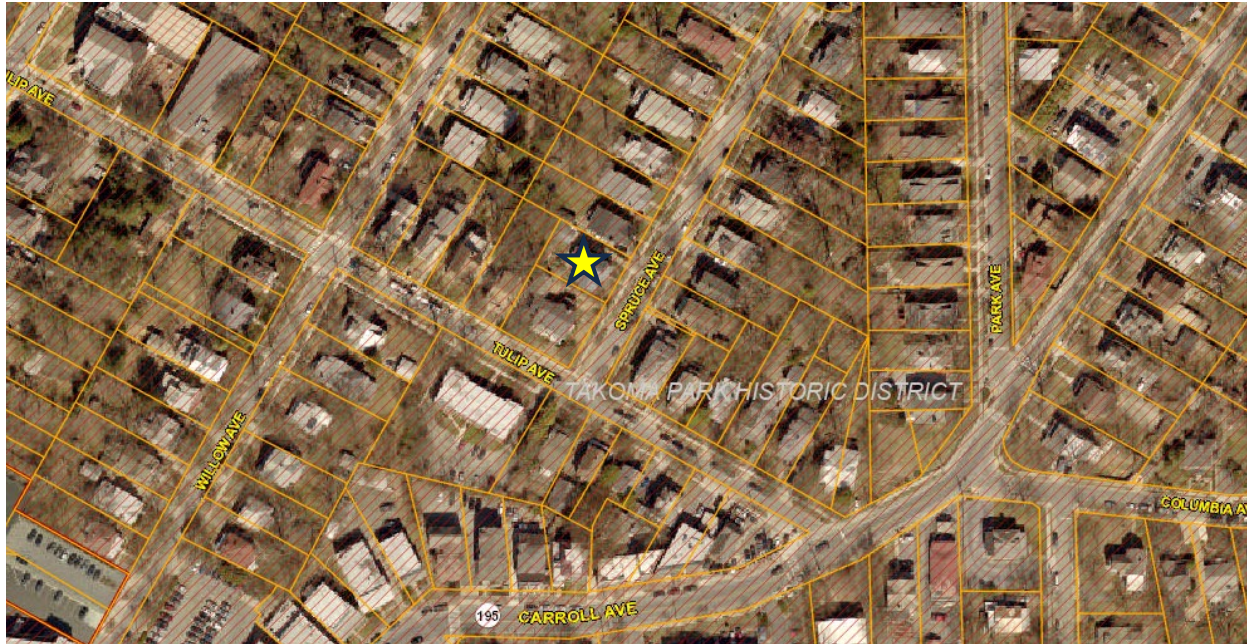


Figure 1: The location of the subject property in the Takoma Park Historic District. The boundary is outlined in red and the property is noted with a yellow star.

Proposal

The applicant proposes to:

Build a 15'-0" x 19'-0" Screen Porch addition at the rear of the property. It will have 7 skylights and a chimney for a wood stove/fireplace. A new side stoop and stair will exit from the rear of the right side of the house onto the driveway.

This addition will be built using the following materials/details:

Screening: PVC screening with $\frac{3}{4}$ " square track all around; bronze color.

Wood Screen Porch & Side Stoop: Wood framed porch with top rail only; no balusters. Wood framed side stoop and stair, with a wood railing as per details included. Decking will be 5/4 ipe deck boards.

Roofing: Asphalt shingles.

Trim: Painted 1 x 4 poly-ash or fiber cement trim at the new windows and doors, doors and corners, with a wood backband at the jambs and head to match the existing. 2"-high PVC Historic subsills to be used at all new windows.

Windows and Doors The new windows and doors will be Marvin alum-clad wood casements. There will be 7 new skylights over the new porch. No skylight will be visible from the right-of-way. There will be 2 new window wells for new basement windows on the left side of the house. The non-original front door will be replaced with a solid wood, Craftsman-style door with 6 small lites.

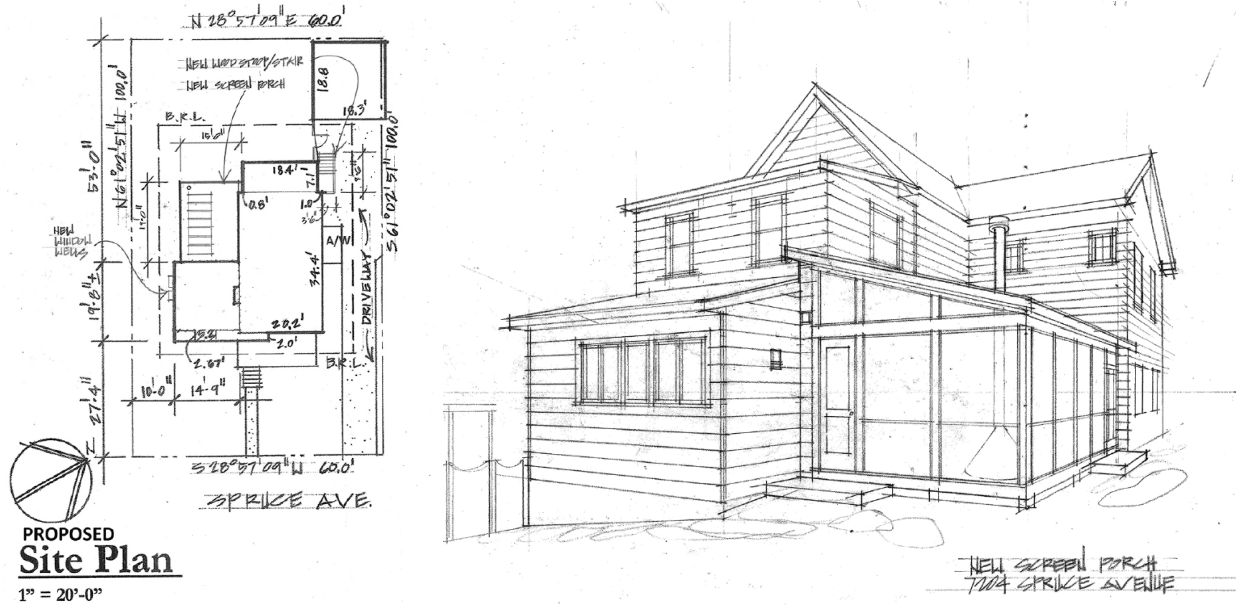


Figure 2: Proposed site plan (left) and rendering (right) showing new screened porch.

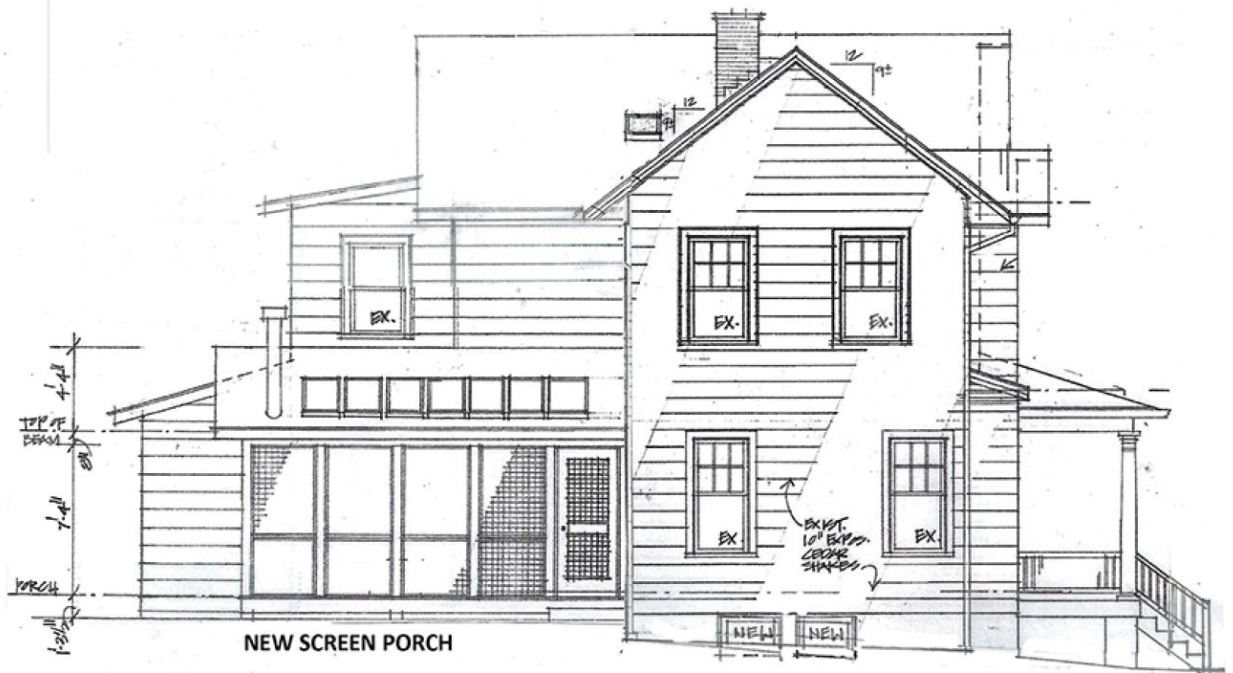


Figure 3: Proposed left side (south) elevation

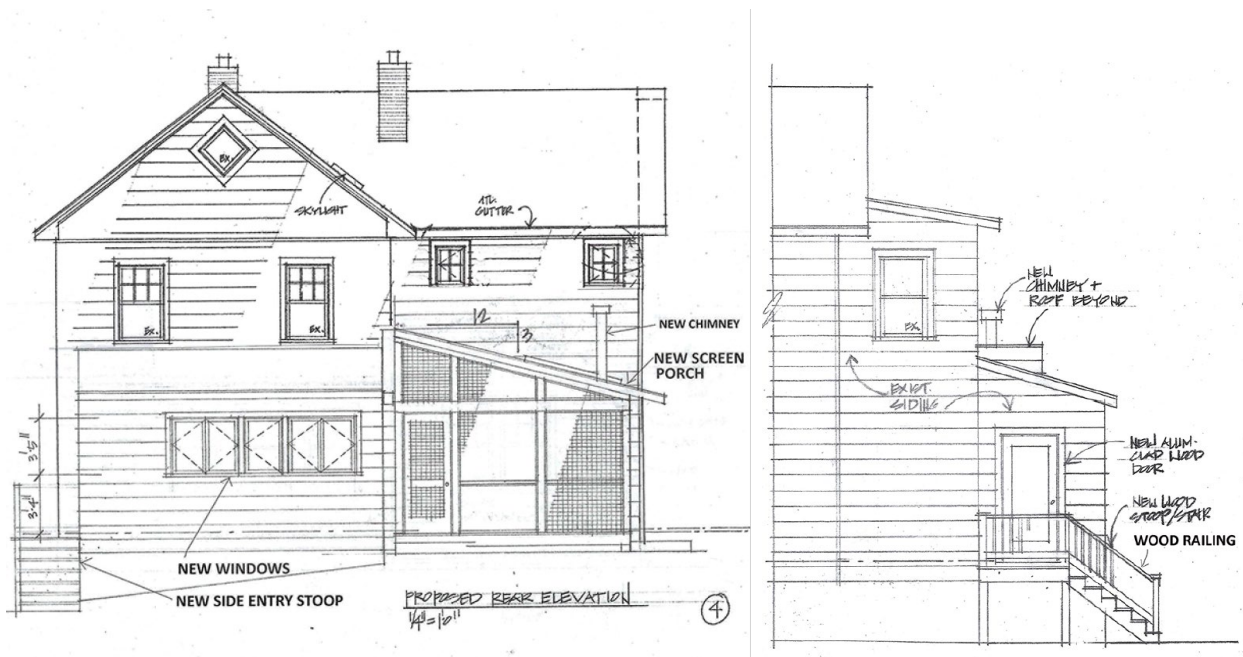


Figure 4: Proposed rear (west) elevation and partial right side (north elevation).

Applicable Guidelines

When reviewing alterations and new construction within the Takoma Park Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the Takoma Park Historic District Master Plan Amendment (*Guidelines*), Montgomery County Code Chapter 24A-8 (*Chapter 24A-8*), the Secretary of the Interior's Standards for Rehabilitation (*Standards*). The pertinent information in these documents is outlined below.

Montgomery County Code Chapter 24A-8

(b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to ensure conformity with the purposes and requirements of this chapter, if it finds that:

- 1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
- 2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or

(d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the

historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

Takoma Park Historic District Guidelines

There are two broad planning and design concepts which apply to all categories. These are:

- The design review emphasis will be restricted to changes that are all visible from the public right-of-way, irrespective of landscaping or vegetation (it is expected that the majority of new additions will be reviewed for their impact on the overall district), and
- The importance of assuring that additions and other changes to existing structures act to reinforce and continue existing streetscape, landscape, and building patterns rather than to impair the character of the historic district.

Contributing Resources should receive a more lenient review than those structures that have been classified as Outstanding. This design review should emphasize the importance of the resource to the overall streetscape and its compatibility with existing patterns rather than focusing on a close scrutiny of architectural detailing. In general, however, changes to Contributing Resources should respect the predominant architectural style of the resource. As stated above, the design review emphasis will be restricted to changes that are at all visible from the public right-of-way, irrespective of landscaping or vegetation.

Relevant factors to be considered in reviewing HAWPs on Contributing Resources include:

- all exterior alterations, including those to architectural features and details, should be generally consistent with the predominant architectural style and period of the resource and should preserve the predominant architectural features of the resource; exact replication of existing details and features is, however, not required;
- minor alterations to areas that do not directly front on a public right-of-way -such as vents, metal stovepipes, air conditioners, fences, skylights, etc. -should be allowed as a matter of course;
- alterations to areas that do not directly front on a public right-of-way which involve the replacement of or damage to original ornamental or architectural features are discouraged but may be considered and approved on a case-by-case basis;
- major additions should, where feasible, be placed to the rear of existing structures so that they are less visible from the public right-of-way; additions and alterations to the first floor at the front of a structure are discouraged but not automatically prohibited
- while additions should be compatible, they are not required to be replicative of earlier architectural styles
- second story additions or expansions should be generally consistent with the predominant architectural style and period of the resource (although structures that have been historically single story can be expanded) and should be appropriate to the surrounding streetscape in terms of scale and massing
- original size and shape of window and door openings should be maintained, where feasible; some non-original building materials may be acceptable on a case-by-case basis
- artificial siding on areas visible from the public right-of-way is discouraged where such materials would replace or damage original building materials that are in good condition
- alterations to features that are not visible at all from the public right-of-way should be allowed as

- a matter of course
- all changes and additions should respect existing environmental settings, landscaping, and patterns of open space

Secretary of the Interior's Standards for Rehabilitation

The Secretary of the Interior defines rehabilitation as “the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values.” The applicable *Standards* are as follows:

2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Staff Discussion

The subject property is located at 7204 Spruce Avenue and is a Contributing Resource to the Takoma Park Historic District. The two-story house was executed in the Colonial Revival style and features a rear addition, constructed in the 1970s, and a second-story addition on the left side/south elevation constructed in 2015.¹ The previous homeowners made several fenestration alterations to the left (south) side of the house in 2006, along with modifications to the brick patio.²

The applicant is proposing to demolish the patio, construct a one-story screened porch on the left side (south) elevation and construct a new stoop on the right side (north) elevation. The applicant is also proposing several fenestration alterations, including

- Installing new aluminum-clad casement windows on the rear elevation of the rear, non-historic addition,
- Replacing a non-historic window on left side (south) elevation with aluminum clad casement window,
- Installing two (2) new window openings and window wells on the foundation level of the left side (south) elevation,
- Replacing a non-historic French door with an aluminum-clad bi-fold door on the left side (south) elevation,

¹ For more information on the 2015 addition, see the link here: [HAWP No. 37-03-15000](#).

² For more information on fenestration and hardscaping alterations, see the link here: [HAWP No. 37-03-06X](#).

- Converting a non-historic window opening into a door opening on right (north) elevation, on the rear addition, and
- Replacing the existing front door with a new wood front door with a six lites.



Figure 5: View of subject property in c. 1990 (left) and 2026 (right). Both photos courtesy of Montgomery County Planning.

Staff is generally supportive of the proposal and recommends approval on the condition that the applicant revise the proposal for the front door.

Screened Porch Construction

Staff finds that the proposed massing and placement of the screened porch is appropriate. Consistent with the *Guidelines*, the additions will be located at the rear of the existing structure for limited visibility. The addition will be obscured from view by the two-story addition connected to the left (south) of the historic house. This screened porch will be visible from some vantage points along Spruce Avenue (*Figure 6*); however, Staff finds that it is set back substantially, and that the overall character is compatible with the historic resource, per the *Guidelines* and the *Standards*. The proposed materials, including asphalt shingles, wood decking, and wood framing are consistent with the existing materials. The porch will also include a small chimney and seven (7) skylights, which will be minimally visible from the right-of-way and generally do not detract from the overall character of the resource.



Figure 6: View of subject property from Spruce Avenue. Location of new screened porch annotated with a yellow arrow.

Stoop Construction

Staff finds that the proposed wood side stoop and stairs are also appropriate. Although visible from the right-of-way, they will be setback from the street and attached to a non-historic rear addition with minimal impact on the resource. Per the *Standards* and the *Guidelines*, this alteration is reversible and compatible with the overall character of the resource. Staff notes that there was a wood stoop in this exact location at the time of designation (c. 1990).



Figure 7: View of subject property from Spruce Avenue. Location of new stoop is annotated with a yellow arrow.

Fenestration Alterations

Staff finds that the fenestration alterations will have a minimal impact on the resource. Per *Standard 2*, no historic fabric will be destroyed. The majority of fenestration alterations will be to non-historic additions located at the rear of the property, and will have limited, or no, visibility from the right-of-way. Staff finds that the proposed aluminum-clad windows and door are compatible with the character of the resource, per the *Guidelines*. The subsills will be a PVC material, which Staff finds to be appropriate given that they will not be visible from the street and no historic material will be removed. The non-historic French doors on the historic section of the house will be replaced with new aluminum-clad bifold doors. This alteration will be completely hidden by the new screened porch and the two-story addition.

Front Door Replacement

Staff finds that proposed front door replacement is conceptually appropriate and supports approval on the condition that the applicant submit a new wood door with proportions more aligned with the Colonial Revival-style of the house. The applicant submitted documentation stating that the existing door is not original to the house, writing

The front door looks to be a 1950s vintage door. For a house built in 1923, the door handle set is more modern since there is no evidence it ever had a mortise handle set; a door patch where a mortise could have been is not evident. Mortise handle sets were pre-dominant prior to WWII and stopped being used in the late 1940s.

Staff finds this justification to be compelling and agrees that the door likely dates to the mid-twentieth century.

The proposed new front door is a Craftsman-style Jeldwen wood door, with six small lites (*Figure 8*). Per the *Guidelines*, all exterior alterations to Contributing Resources, including those to architectural features and details, should be generally consistent with the predominant architectural style and period of the resource, but do not need to exactly replicate historic or existing components. Staff finds that although the house has some Craftsman-style elements (the boxed soffit likely hides exposed rafter tails), the predominant architectural style is Colonial Revival. Staff finds that the details of the proposed door read as stylistically incongruent with the surrounding classical elements, particularly the porch columns, and recommends that the applicant return with a more compatible door specification. Staff would support a variety of wood door options that either reflect the Colonial Revival style, or at least do not compete with it. Staff recommends a four or six panel door in keeping with the Colonial Revival style, or an appropriately proportioned half-lite door with paneling.



Figure 8: Existing front door (left) and proposed Jeldwen door (right).

Staff Recommendation

Staff recommends the HPC approve with one (1) condition the HAWP application, with final approval of details delegated to Staff.

1. The applicant will submit new door specifications for a wood front door with proportions that align with the Colonial Revival style of the house.

under the Criteria for Issuance in Chapter 24A-8(b)(1) and (2), having found that the proposal will not substantially alter the exterior features of the historic resource and is compatible in character with the district and the purposes of Chapter 24A;

The Takoma Park Historic District Guidelines;

the Secretary of the Interior's Standards for Rehabilitation #2, 9 and 10;

and with the general condition that the applicant shall present an electronic set of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or devon.murtha@montgomeryplanning.org to schedule a follow-up site visit.

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

Description of Work Proposed: Please give an overview of the work to be undertaken:

Work Item 1: _____	
Description of Current Condition:	Proposed Work:

Work Item 2: _____	
Description of Current Condition:	Proposed Work:

Work Item 3: _____	
Description of Current Condition:	Proposed Work:

**HISTORIC AREA WORK PERMIT
CHECKLIST OF
APPLICATION REQUIREMENTS**

	Required Attachments						
Proposed Work	I. Written Description	2. Site Plan	3. Plans/ Elevations	4. Material Specifications	5. Photographs	6. Tree Survey	7. Property Owner Addresses
New Construction	*	*	*	*	*	*	*
Additions/ Alterations	*	*	*	*	*	*	*
Demolition	*	*	*		*		*
Deck/Porch	*	*	*	*	*	*	*
Fence/Wall	*	*	*	*	*	*	*
Driveway/ Parking Area	*	*		*	*	*	*
Grading/Excavation/ Landscaping	*	*		*	*	*	*
Tree Removal	*	*		*	*	*	*
Siding/ Roof Changes	*	*	*	*	*		*
Window/ Door Changes	*	*	*	*	*		*
Masonry Repair/ Repoint	*	*	*	*	*		*
Signs	*	*	*	*	*		*

DESCRIPTION OF *EXISTING* STRUCTURE,
ENVIRONMENTAL SETTING AND HISTORICAL FEATURES
AT:

7204 Spruce Ave., Takoma Park, MD 20912

This is a "Contributing Resource" Colonial Revival house, built in 1923, and it is located in the Takoma Park Historic District. It is a 2 1/2-story house, originally rectangular in shape, with the gable end and main entrance facing the street. (The Takoma Park Historic District Amendment to the Master Plan states that this house "could" be a Sears house, although my research does not indicate that any Sears house from their catalog matches, or even approximates, this house.) It has a full basement under the original structure (20'-3" wide x 26'-3" deep), with three later additions of unknown age: 1) a 2-story shed-roof addition at the rear of the original structure (20'-3" wide x 8'-0" deep) with the side walls flush with the original side walls, 2) a 1-story shed-roof addition at the rear of that (18'-6" wide x 7'-0" deep), inset from original width by 1'-0" on each side, and 3) a 1-story flat-roof addition on the left side (15'-0" wide x 20'-0" deep) with an inappropriate mansard-like parapet around it; a new 2nd story addition was added to this left side addition in 2015.

- 1) **Site:** *If the buildable area of the site could be divided into a 4-part grid, the existing house structure sits on approximately ¾ of the main buildable area of the site. The 4th part of that grid is the main usable exterior area: a patio.*
- 2) **Structure:** *It is a wood-framed structure with a gable-roof over the original structure, with the ridge perpendicular to the street, and has asphalt shingles on the sloped roofs. Main roof has a slope of 9:12 +/-, with shed roofs over the two rear additions: the 2-story shed-roof slope is approx. 4.5:12, and the 1-story shed-roof slope is approx. 3:12. The left side addition has a flat roof with a 3'-0" high mansard-type parapet around it.*
- 3) **Windows:** *The windows on both levels of the original house, as well as the left-side addition, are double-hung (6-over-1) and are painted wood. Most of the windows in the later rear additions are 1-over-1 double hung painted wood windows. The window/door openings on the front facade of the original structure are arranged asymmetrically, with the window/door on the left side 2'-4" from the corner, and the windows on the right side 4'-6" from the corner.*
- 4) **Finish/Trim:** *The exterior finish on the original structure and additions are 10 ¼" exposure painted cedar shakes. All trim at openings are 4" wide painted wood with a ¾" backband on each outside edge.*
- 5) **Foundation:** *The foundation of the original structure is painted brick. The foundations of the later additions are painted CMU, with a crawlspace.*

DESCRIPTION OF THE *PROPOSED* PROJECT AND ITS
EFFECT ON THE HISTORIC RESOURCE:
7204 Spruce Ave., Takoma Park, MD 20912

Build a 15'-0" x 19'-0" Screen Porch addition at the rear of the property. It will have 7 skylights and a chimney for a wood stove/fireplace. A new side stoop and stair will exit from the rear of the right side of the house onto the driveway.

This addition will be built using the following materials/details:

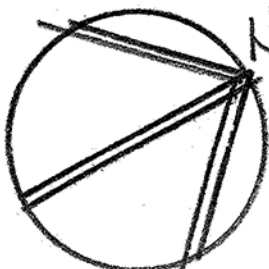
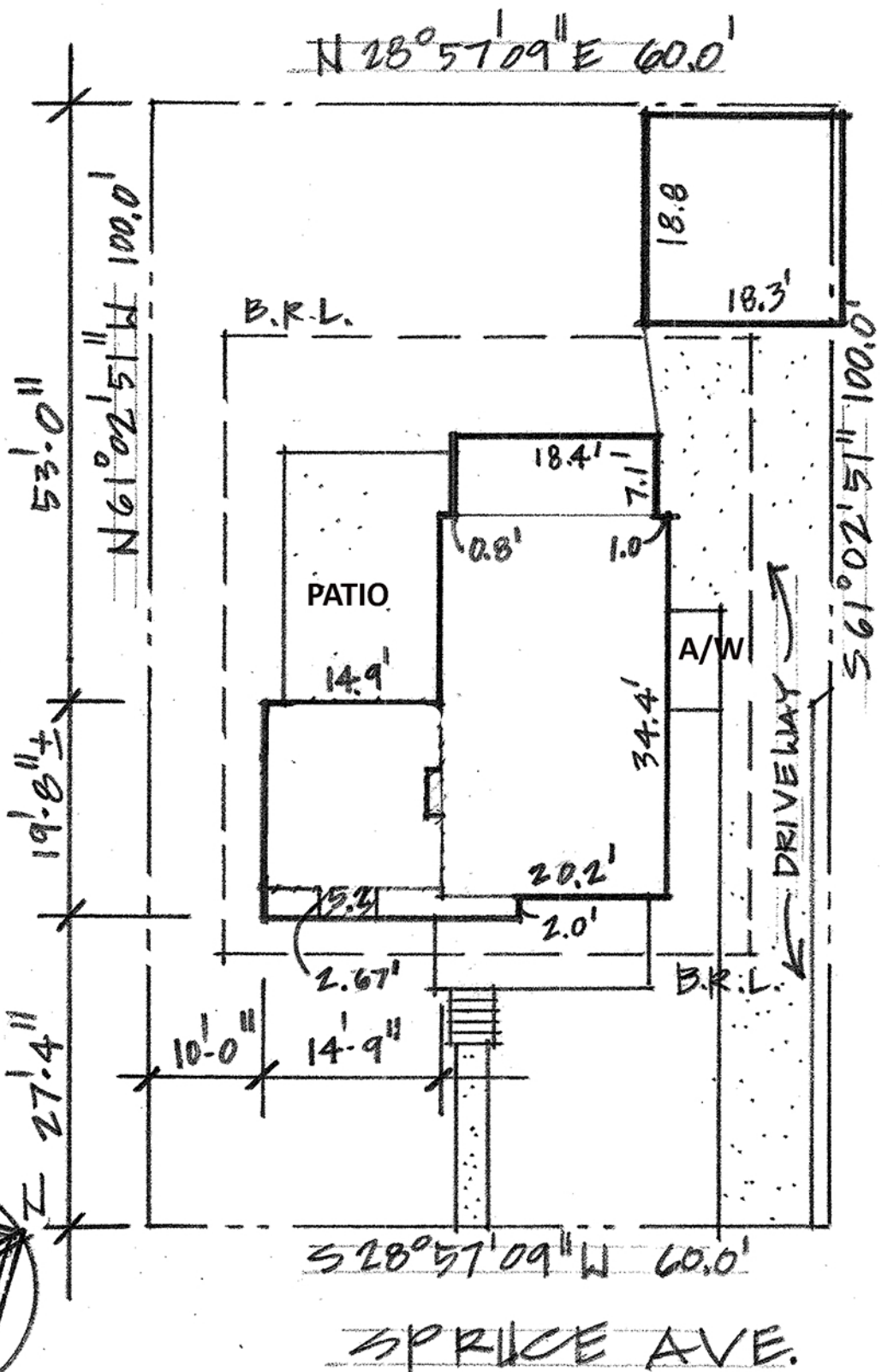
Screening: PVC screening with 3/4" square track all around; bronze color.

Wood Screen Porch & Side Stoop: Wood framed porch with top rail only; no balusters. Wood framed side stoop and stair, with a wood railing as per details included. Decking will be 5/4 ipe deck boards.

Roofing: Asphalt shingles.

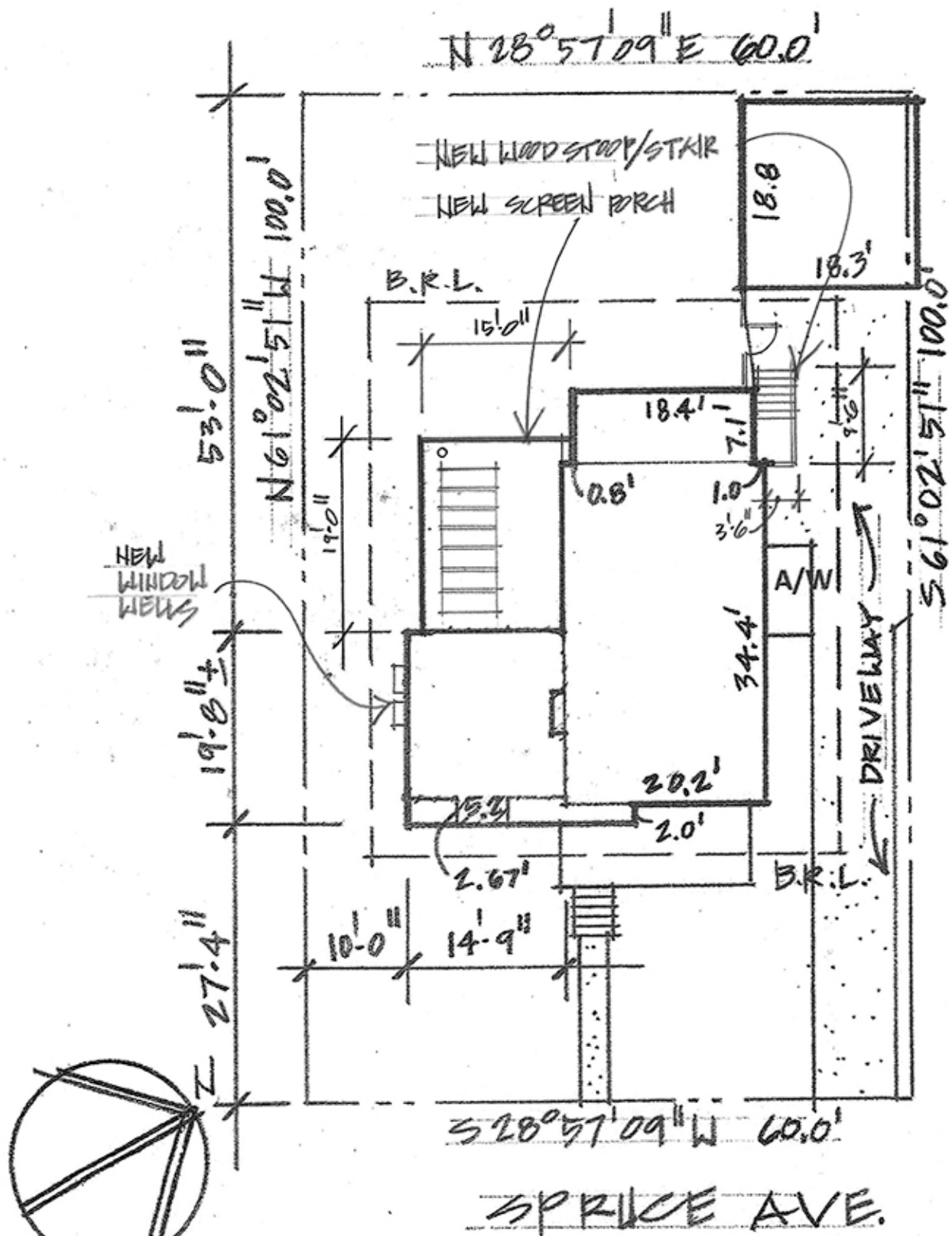
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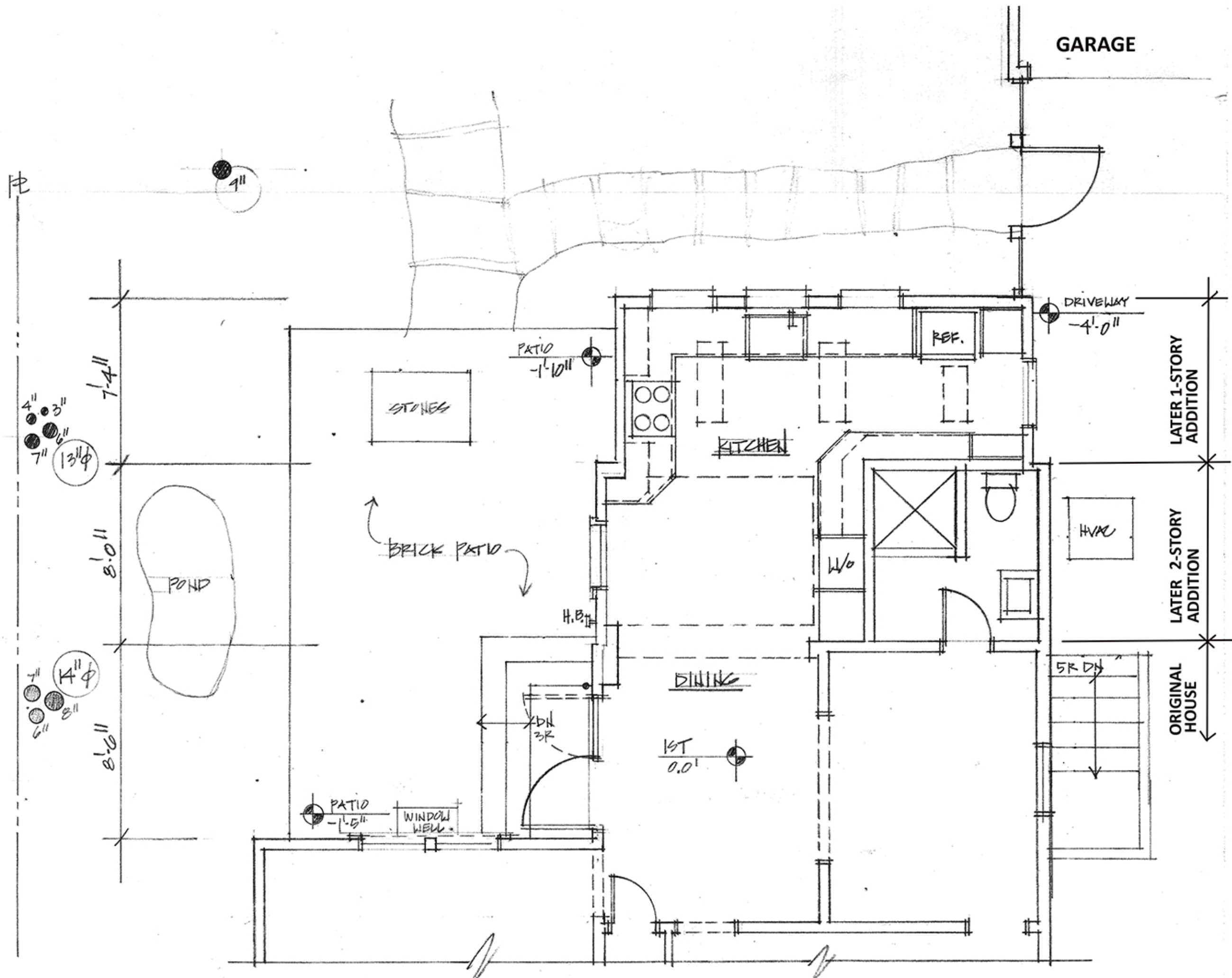
EXISTING
Site Plan

1" = 20'-0"



PROPOSED
Site Plan

1" = 20'-0"



GARAGE

DRIVEWAY
-4'-0"

LATER 1-STORY
ADDITION

LATER 2-STORY
ADDITION

ORIGINAL
HOUSE

PATIO
-1'-10"

STONES

KITCHEN

REF.

BRICK PATIO

HVAC

W/O

DINING

5R DN

H.B.

1ST
0.0'

DN
3R

PATIO
-1'-5"

WINDOW
WELL

EXISTING FIRST FLOOR PLAN

1/4" = 1'-0"

8

7'-4"

8'-0"

8'-6"

POND

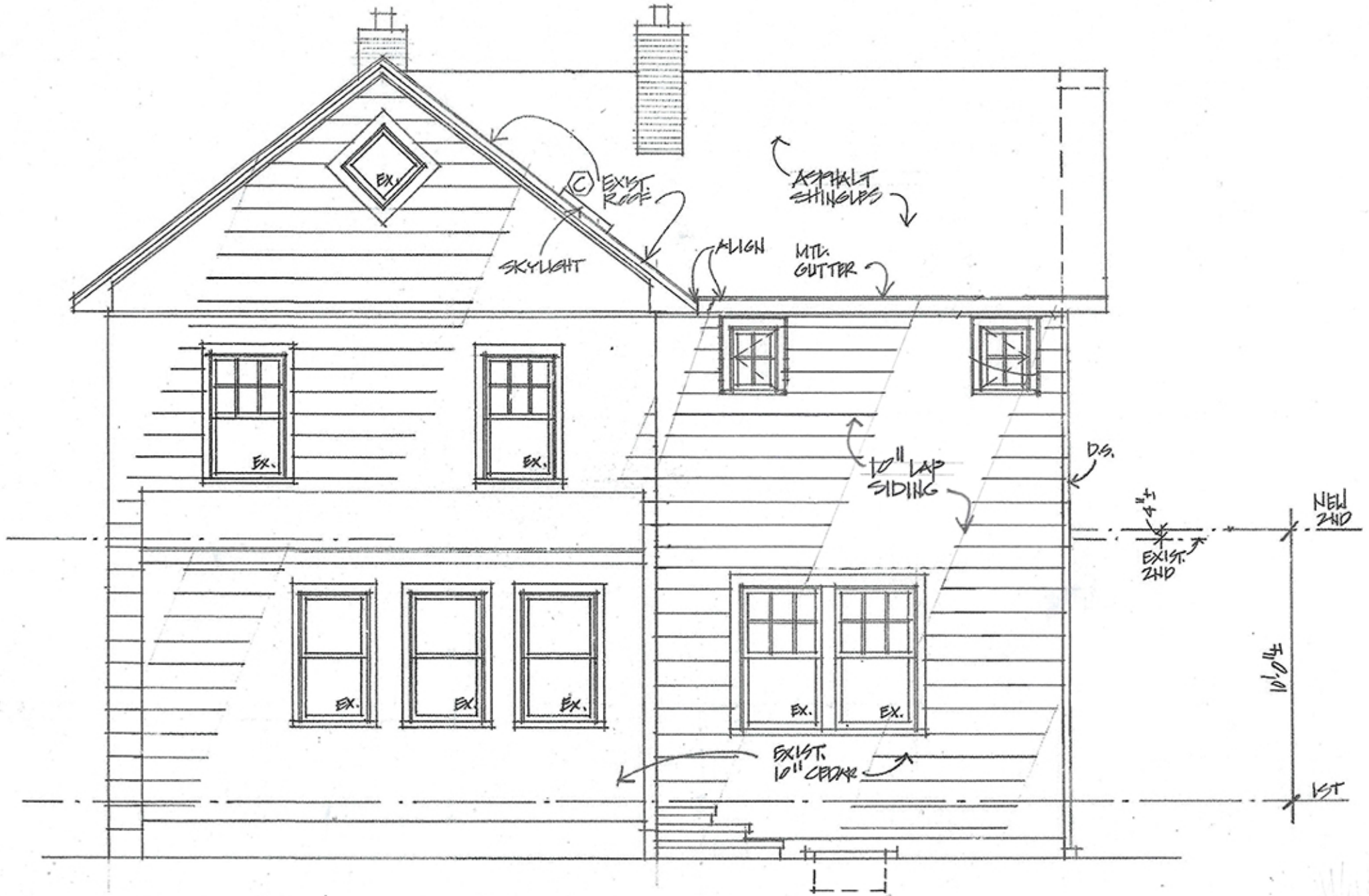
9"

13" φ

14" φ

4"
3"
6"
7"

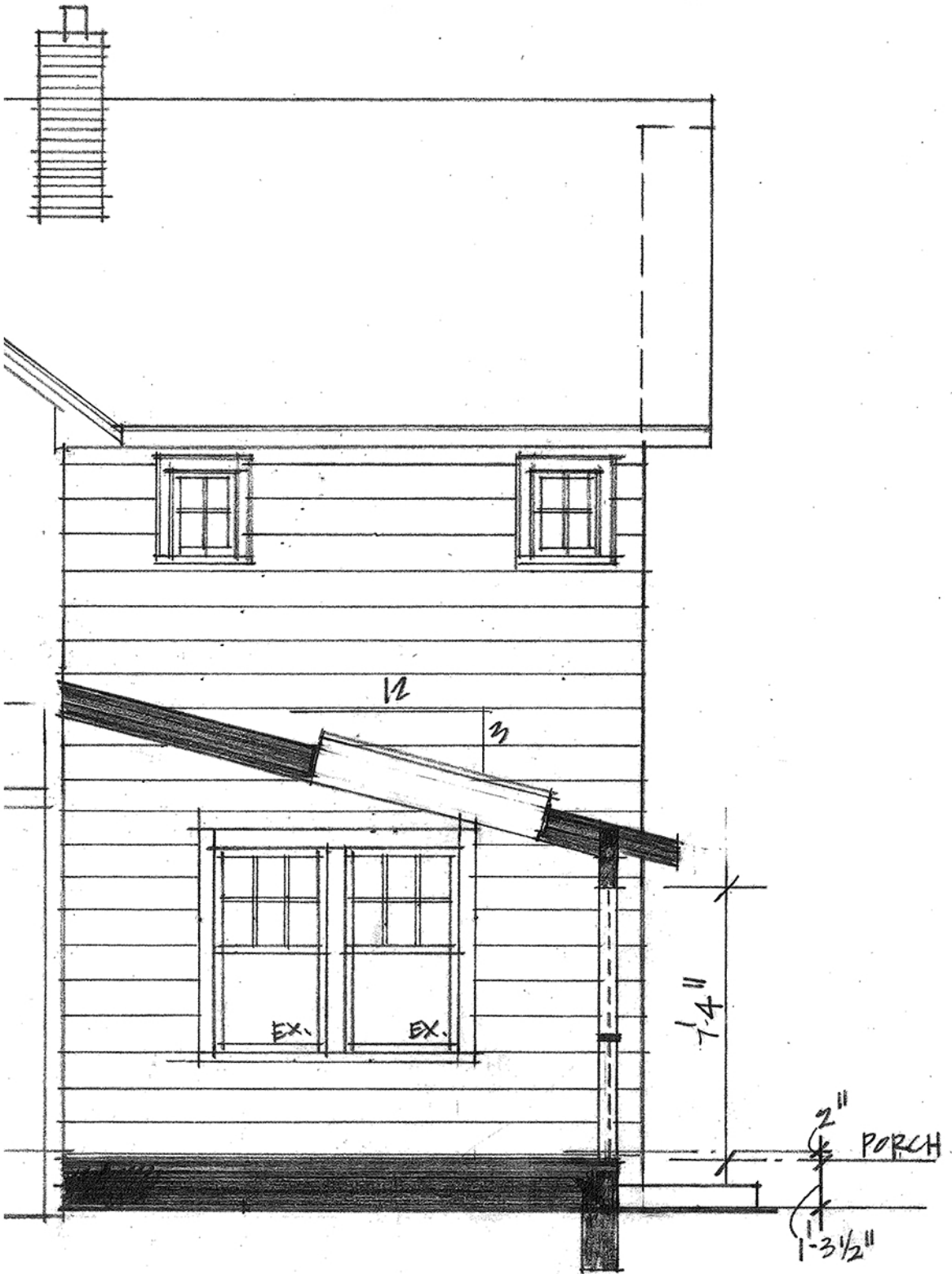
7"
6"
8"



EXISTING REAR ELEVATION

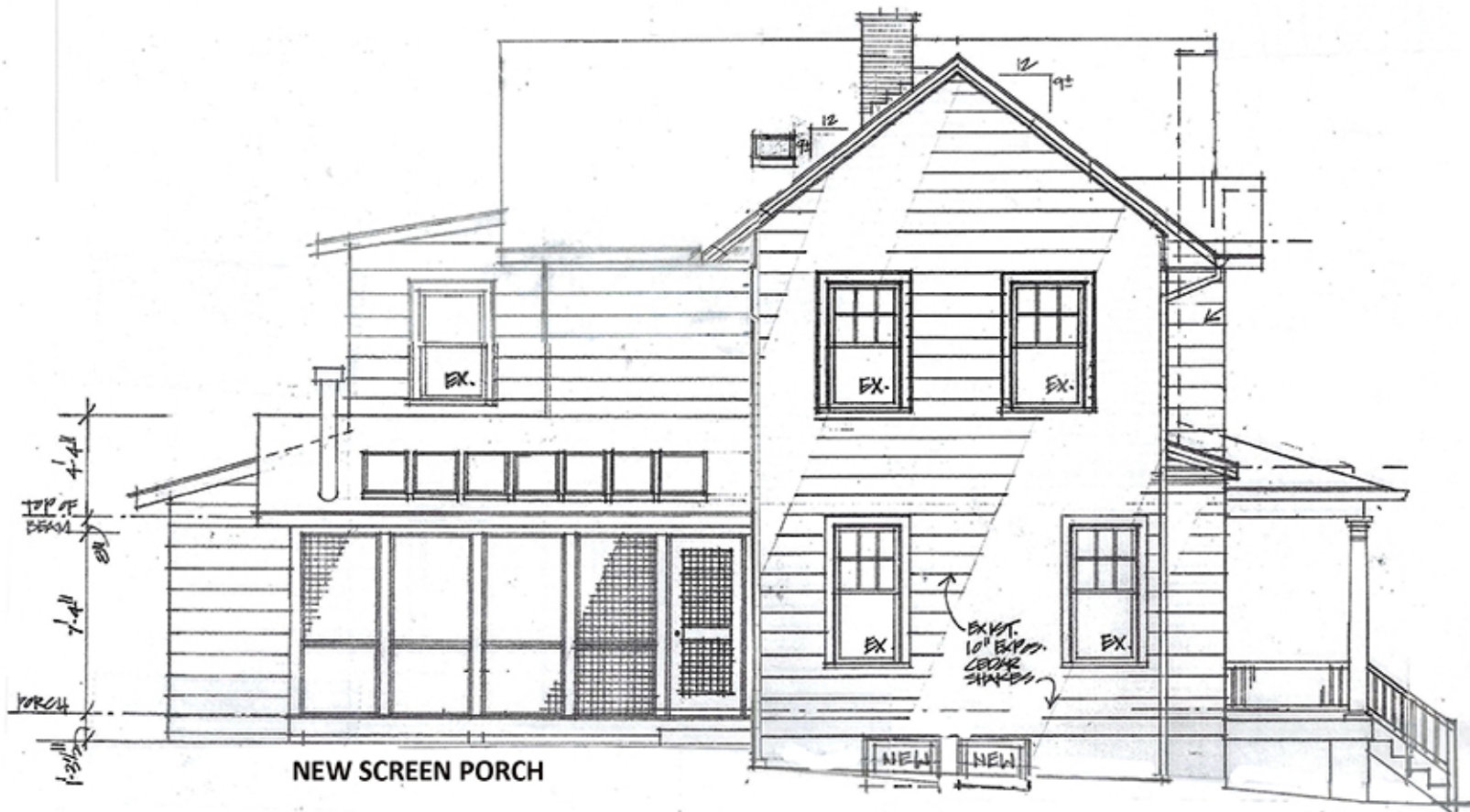
1/4"=1'-0"





SECTION
 $\frac{1}{4}'' = 1'-0''$

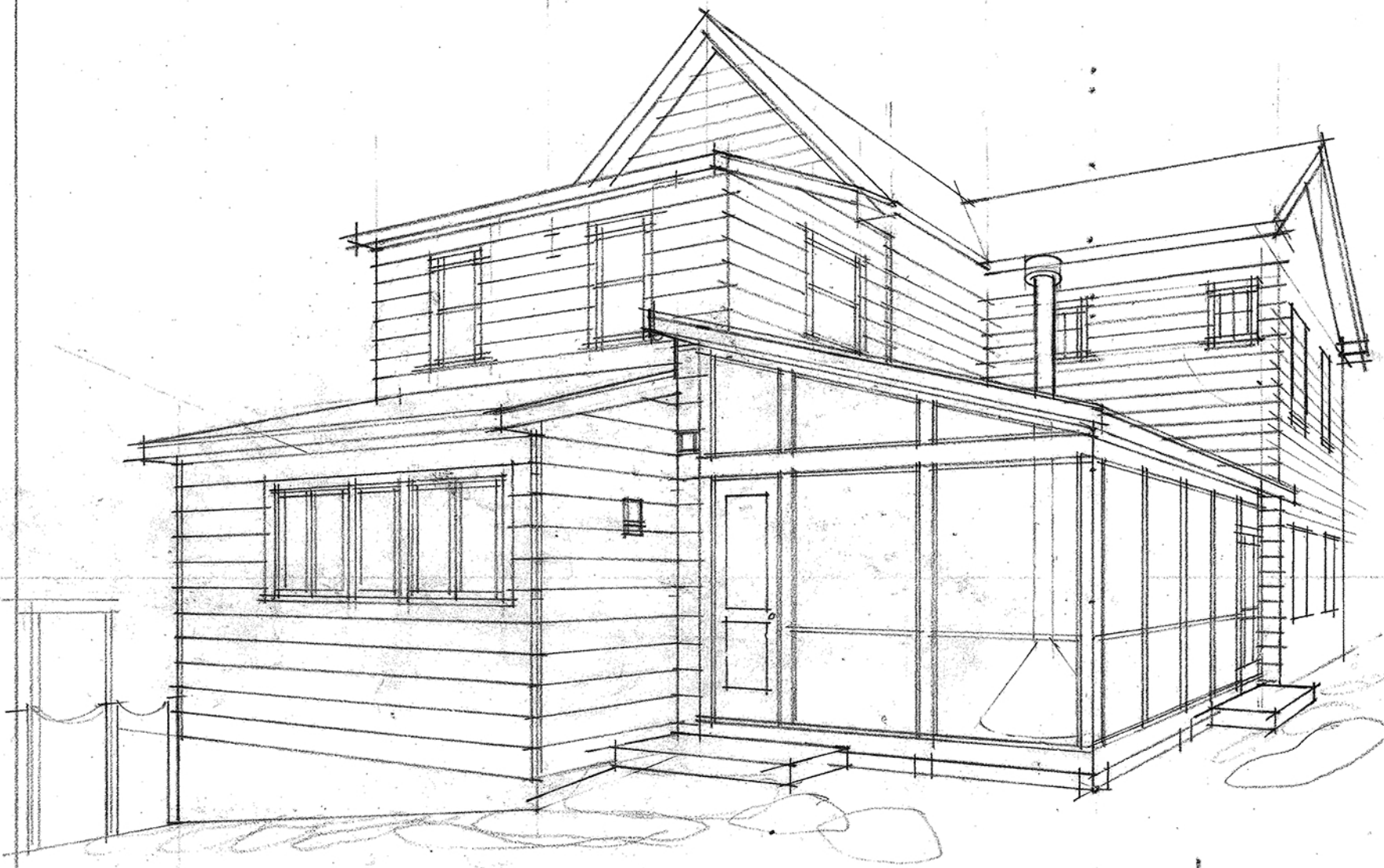
(6)



PROPOSED SIDE ELEVATION
1/4"=1'-0"



PROPOSED SECTION
1/4" = 1'-0"

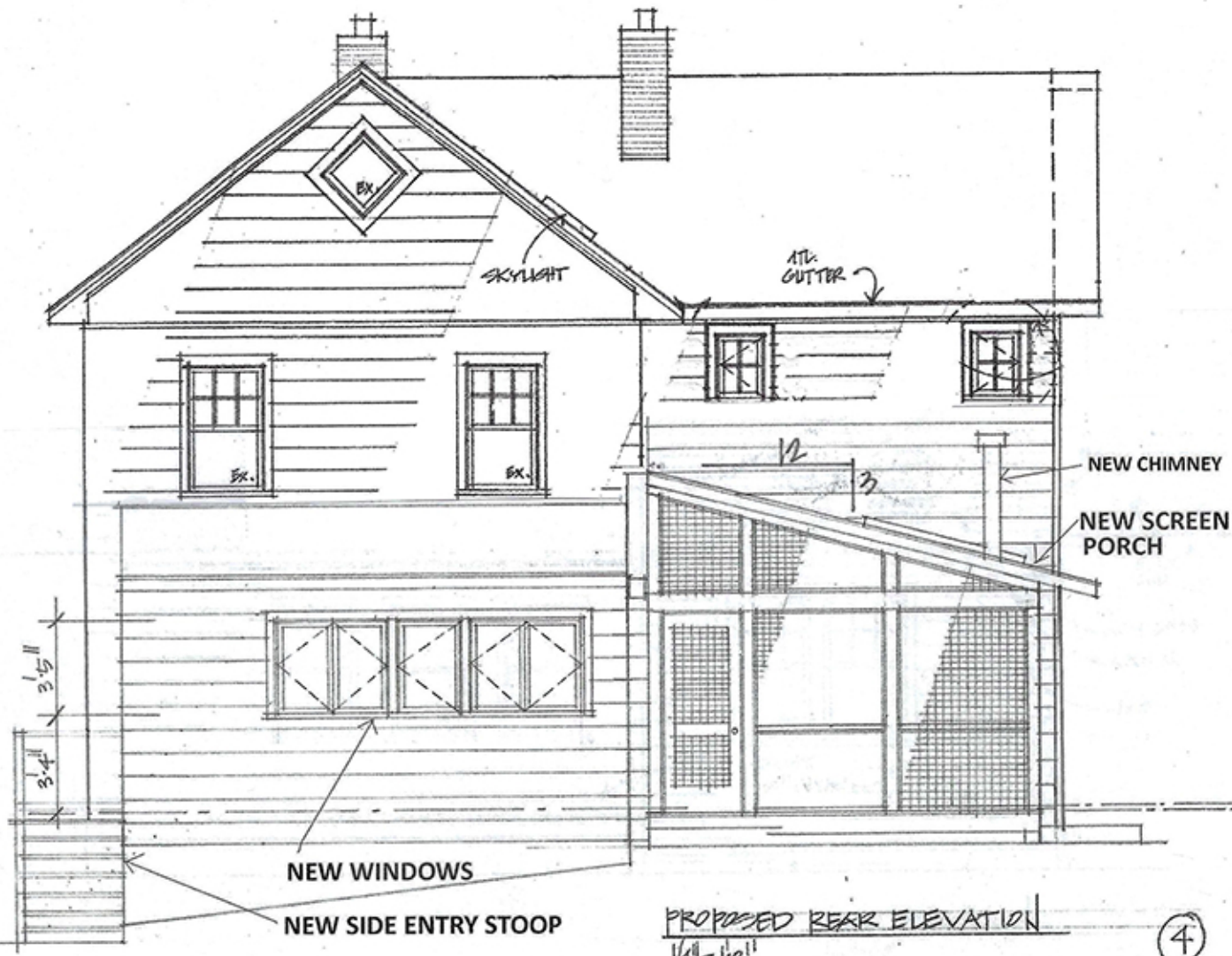


NEW SCREEN PORCH
7004 SPRUCE AVENUE

①

Vitullo Architecture Studio, PC
7016 Woodland Ave.
Takoma Park, MD 20912
(301)806-6447 cell

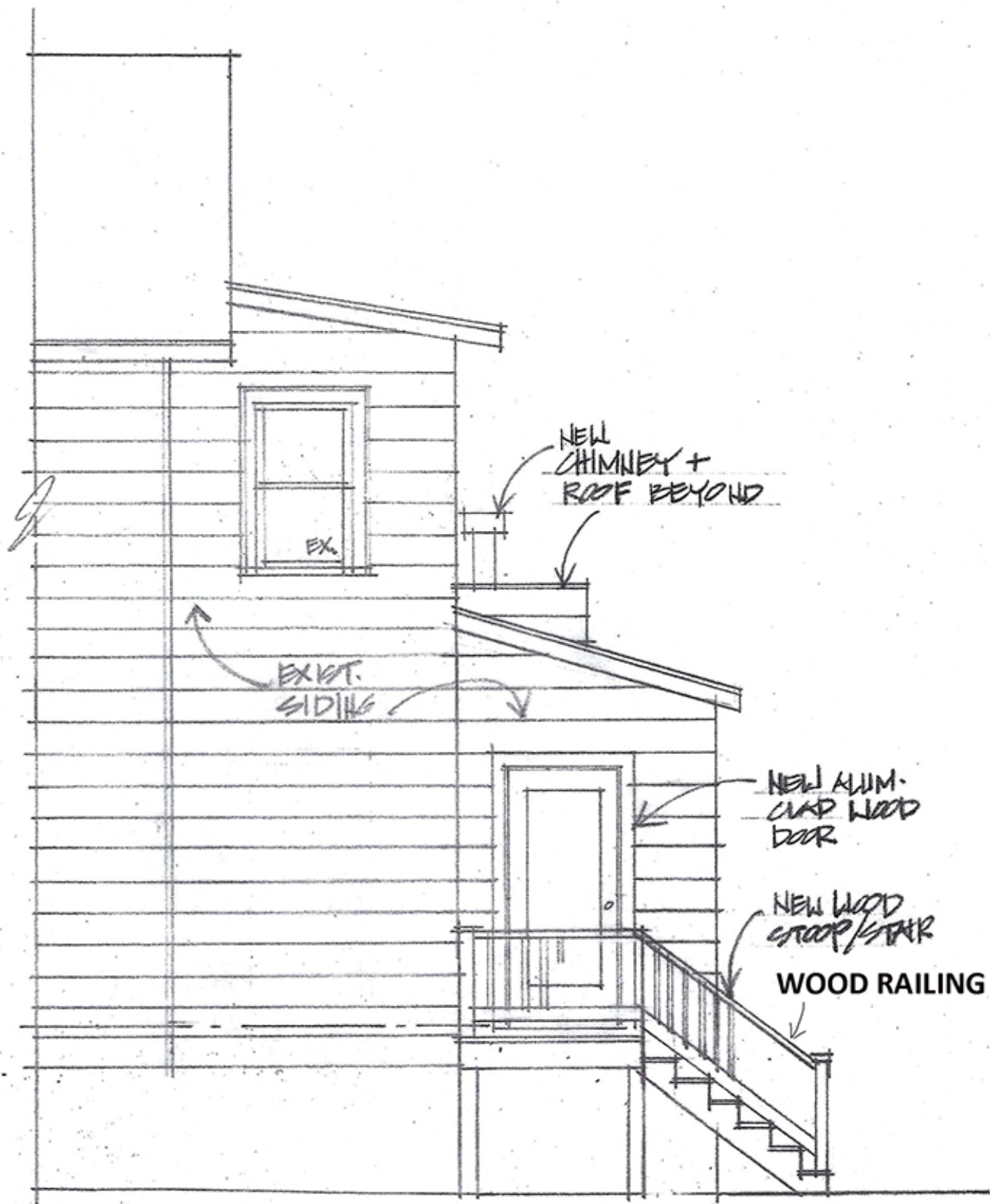
4.20.26



PROPOSED REAR ELEVATION

1/4" = 1'-0"

4



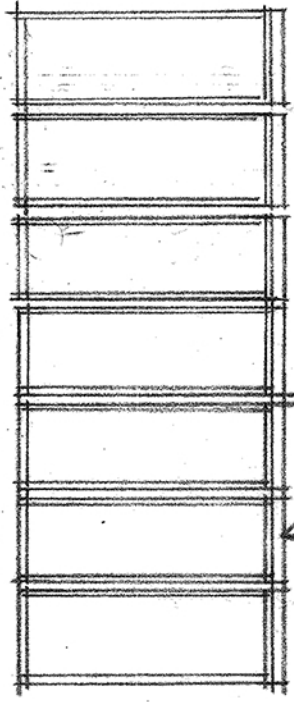
PROPOSED RIGHT SIDE ELEVATION

1/4" = 1'-0"

PROPOSED ROOF



CHIMNEY

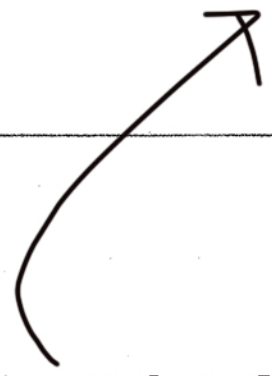


EXISTING ROOF

SKYLIGHTS



EXISTING ROOF



PROPOSED ROOF PLAN

1/4" = 1'-0"

3









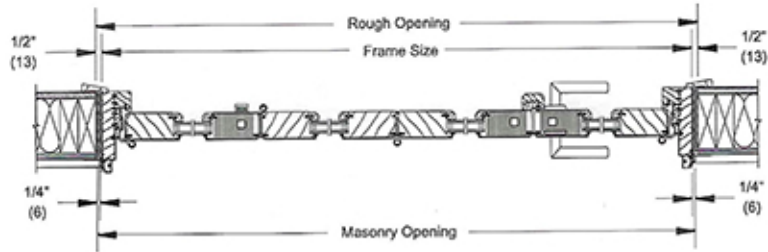




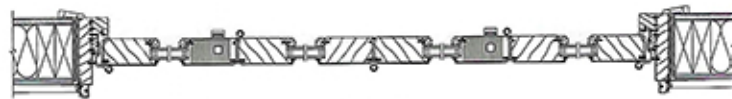


BI-FOLD DOOR

CLAD CONSTRUCTION DETAILS - PERFORMANCE, LOW PROFILE, AND FLOOR CHANNEL SILL



JAMBS
FOUR PANEL - 3L1R

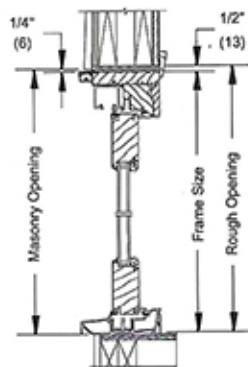


JAMBS
FOUR PANEL - 4L

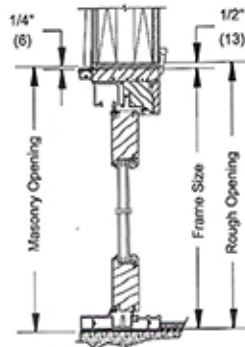


JAMBS
FOUR PANEL - 2L2R

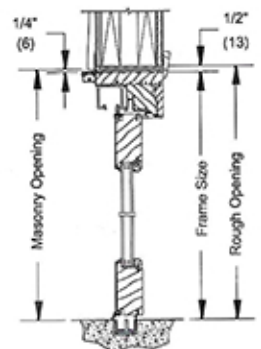
CONSTRUCTION DETAILS - PERFORMANCE, LOW PROFILE, AND FLOOR CHANNEL SILLS



HEAD JAMB AND SILL
SHOWN WITH PERFORMANCE SILL



HEAD JAMB AND SILL
SHOWN WITH LOW PROFILE SILL



HEAD JAMB AND SILL
SHOWN WITH FLOOR CHANNEL SILL

Details and Elevations not to scale.

- Configurations available from 1 to 16 operating panels
- Operating panel width: minimum 29 1/16"; maximum 41 1/16"
- Rough opening minimum size: 34" x 51 1/2"
- Rough opening maximum size: 665 1/4" x 114 3/4"

Please consult your local Marvin representative for more information.

For further details and drawings visit the "Tools and Documents" section at Marvin.com.

Authentic Wood Exterior Door: 6203 Glass Panel

Model Overview



PROJECT TYPE

New construction and replacement

MAINTENANCE LEVEL

Moderate

GLASS

Energy efficient.

HARDWARE

1 Hinge Option
3 Hinge Finishes

MATERIALS

2 Wood Options



HANDRAIL

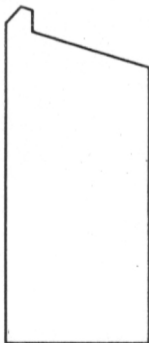
STOCK PINE



SM-8840
1-1/2 X 3-1/2
TOP PORCH RAIL



LWM-237
1-1/4 X 1-1/4
BALUSTER STOCK

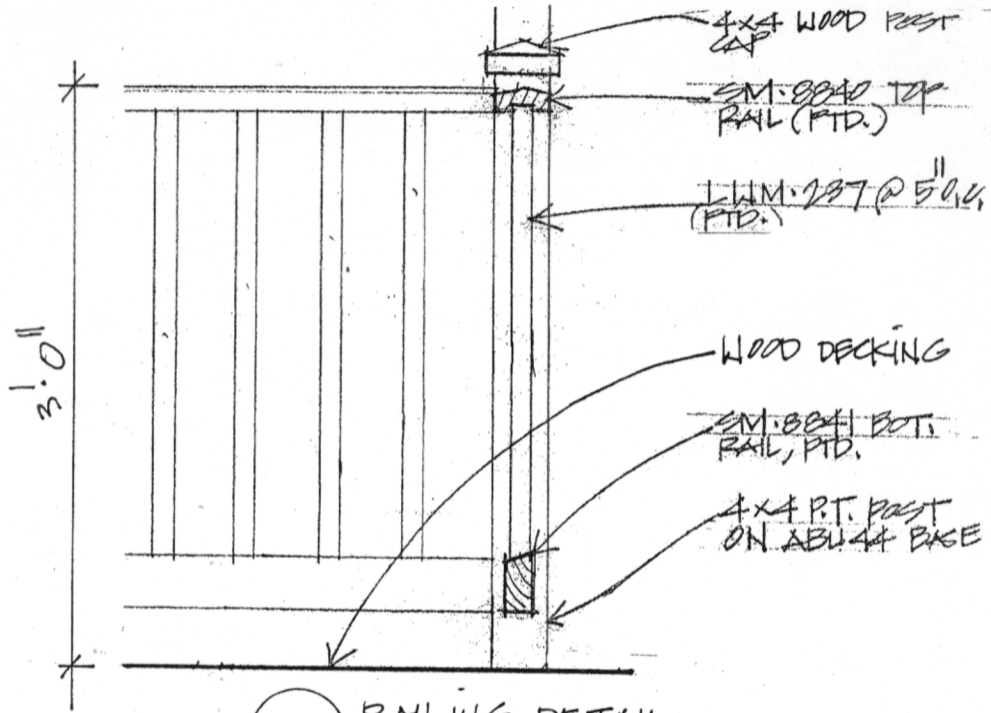


SM-8841
1-1/2 X 3-1/2
BOTTOM PORCH RAIL

SCALE: HALF SIZE

PAGE NO. A-54

BAR RAIL



3'-0"

4x4 WOOD POST CAP

5x1 8040 TOP RAIL (PTD.)

1 1/2" W.M. 287 @ 5'-0" (PTD.)

WOOD DECKING

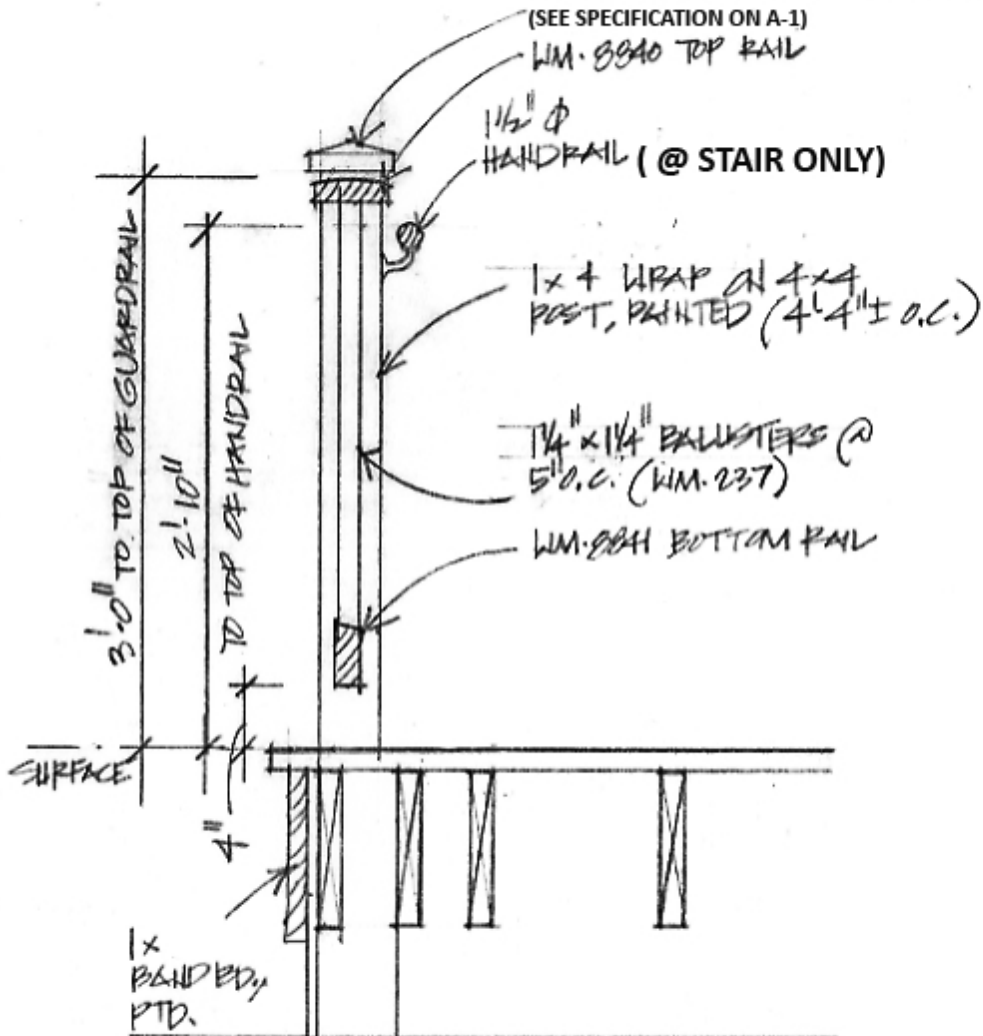
5x1 8041 BOT. RAIL, PTD.

4x4 P.T. POST ON 4x4 BASE

RAILING DETAIL
1 1/2" = 1'-0"

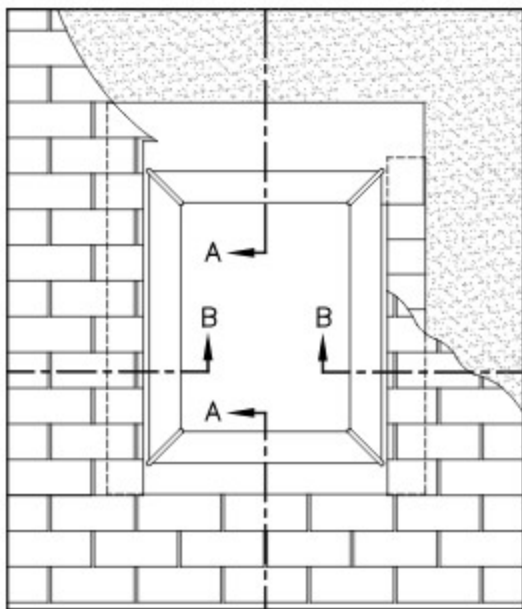
MITRELESS MAHONGANY POST CAP

(SEE SPECIFICATION ON A-1)



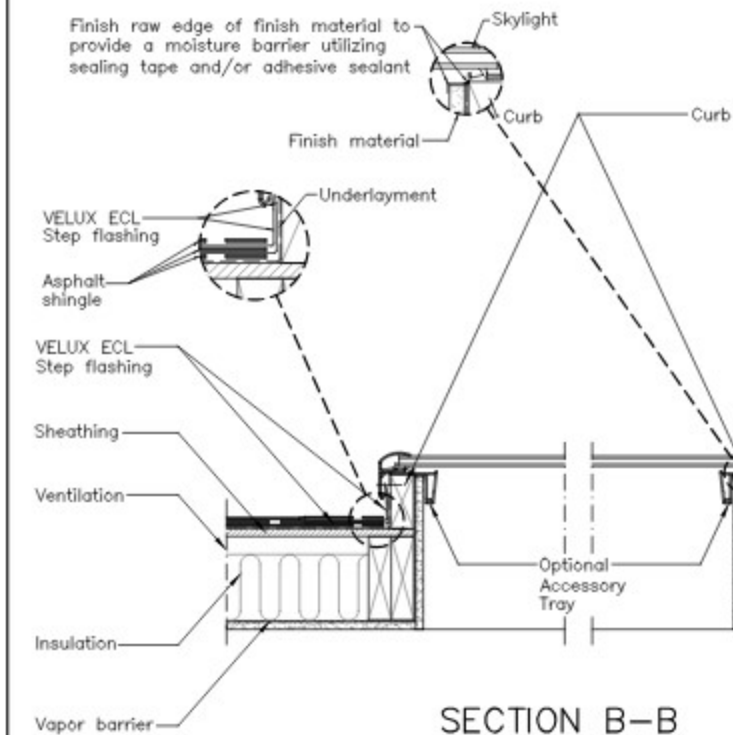
WOOD RAILING DETAIL

1"=1'-0"



ELEVATION

Finish raw edge of finish material to provide a moisture barrier utilizing sealing tape and/or adhesive sealant



SECTION B-B

BASIS OF DESIGN:
VELUX FCM curb
mounted fixed skylight

VELUX ECL
Sill Flashing

Underlayment

Asphalt shingle

Finish material

127-133 mm
5-5 1/4"

BASIS OF DESIGN:
VELUX FCM curb
mounted fixed skylight

Fasten to curb with screws
furnished with skylight

Underlayment
Note 1 & 3

Finish material

SECTION A-A

80-100 mm
2 3/8"-4"

127-133 mm
5-5 1/4"

Underlayment

VELUX ECL
Saddle Flashing

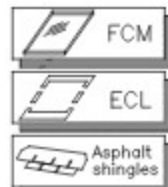
Sheathing

Insulation -
place carefully
around window

VELUX ECL Head Flashing
placed between underlayment

Headers or blocking
as required per code(s)

SECTION A-A



GENERAL NOTES

1. Underlayment to be folded up against all sides of curb.
2. Vapor barrier should be used to avoid moisture.
3. Wrap curb in adhesive underlayment provided with VELUX flashing. VELUX recommends use of VELUX type ZOZ 216 adhesive underlayment to wrap curb when not using VELUX flashings.

	VELUX 1418 Evans Pond Road Greenwood, SC 29649 1-800-88-VELUX www.VELUXUSA.com	Name JDH	Date Mar 10
	Sky-Product Management	Checked by WQ,CJ	Aug 22
FCM-Residential/Commercial Roof Section (Cathedral Ceiling with Asphalt Shingles)		Drawing No. FCM-02-0310	

This drawing is an instrument of service and is provided for informational use only.



DEPARTMENT OF PERMITTING SERVICES

Marc Elrich
County Executive

Rabbiah Sabbakhan
Director

HISTORIC AREA WORK PERMIT APPLICATION

Application Date: 4/22/2026

Application No: 1155550
AP Type: HISTORIC
Customer No: 1552124

Comments

Contact Richard Vitullo for all correspondence 301-806-6447

Affidavit Acknowledgement

The Homeowner is the Primary applicant
This application does not violate any covenants and deed restrictions

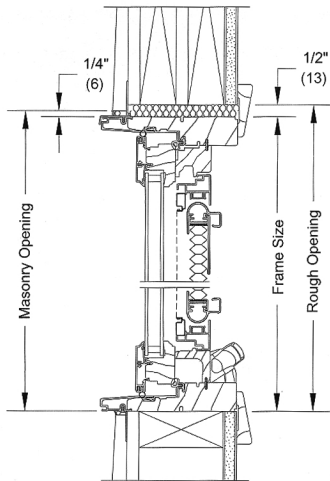
Primary Applicant Information

Address 7204 SPRUCE AVE
TAKOMA PARK, MD 20912
Othercontact VITULLO
Homeowner Mitchell (Primary)

Historic Area Work Permit Details

Work Type ADD
Scope of Work Build new 15' x 19' rear screen porch addition, and small side wood stoop.

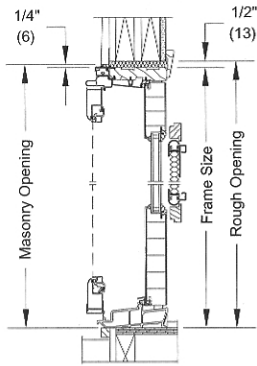
CASEMENT / CASEMENT PUSH OUT CONSTRUCTION DETAILS



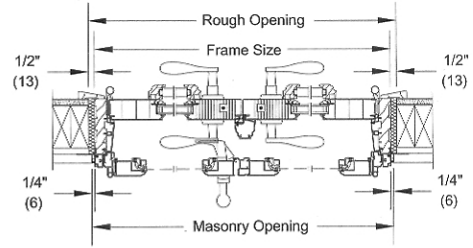
HEAD JAMB AND SILL - OPERATOR
WITH OPTIONAL INTERIOR SHADES

Fiberglass-clad Wood Inswing Door

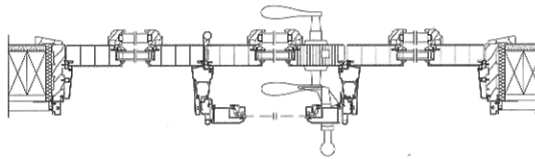
CONSTRUCTION DETAILS



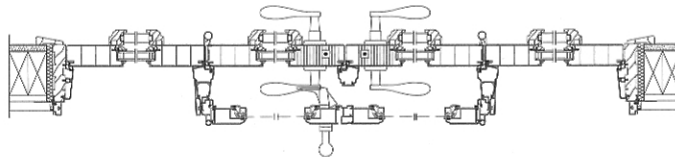
CLAD HEAD JAMB AND SILL
WITH ULTIMATE SWINGING SCREEN -
WITH OPTIONAL INTERIOR SHADES



CLAD 2 PANEL JAMB
XX LHI WITH ULTIMATE SWINGING SCREEN -
WITH INTERIOR SHADES



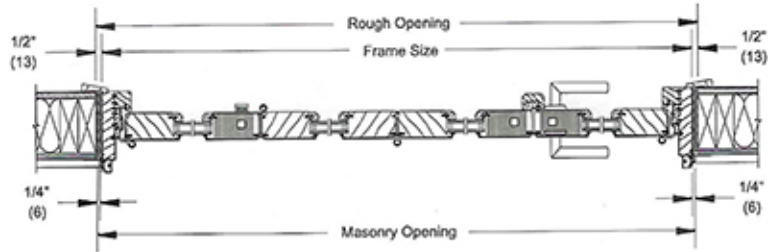
CLAD 3 PANEL JAMB
OXO LHI WITH ULTIMATE SWINGING SCREEN -
WITH INTERIOR SHADES



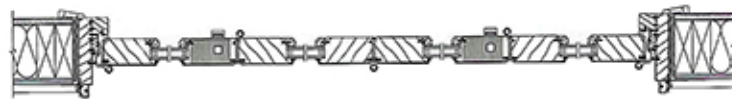
CLAD 4 PANEL JAMB
OXXO LHI WITH ULTIMATE SWINGING SCREEN -
WITH INTERIOR SHADES

BI-FOLD DOOR

CLAD CONSTRUCTION DETAILS - PERFORMANCE, LOW PROFILE, AND FLOOR CHANNEL SILL



JAMBS
FOUR PANEL - 3L1R

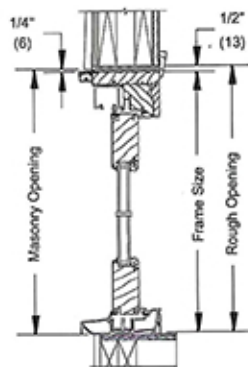


JAMBS
FOUR PANEL - 4L

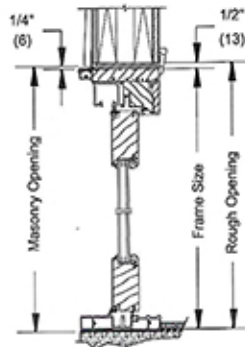


JAMBS
FOUR PANEL - 2L2R

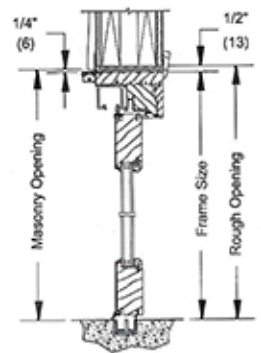
CONSTRUCTION DETAILS - PERFORMANCE, LOW PROFILE, AND FLOOR CHANNEL SILLS



HEAD JAMB AND SILL
SHOWN WITH PERFORMANCE SILL



HEAD JAMB AND SILL
SHOWN WITH LOW PROFILE SILL



HEAD JAMB AND SILL
SHOWN WITH FLOOR CHANNEL SILL

Details and Elevations not to scale.

- Configurations available from 1 to 16 operating panels
- Operating panel width: minimum 29 1/16"; maximum 41 1/16"
- Rough opening minimum size: 34" x 51 1/2"
- Rough opening maximum size: 665 1/4" x 114 3/4"

Please consult your local Marvin representative for more information.

For further details and drawings visit the "Tools and Documents" section at Marvin.com.

Authentic Wood Exterior Door: 6203 Glass Panel

Model Overview



PROJECT TYPE

New construction and replacement

MAINTENANCE LEVEL

Moderate

GLASS

Energy efficient.

HARDWARE

1 Hinge Option
3 Hinge Finishes

MATERIALS

2 Wood Options



HANDRAIL

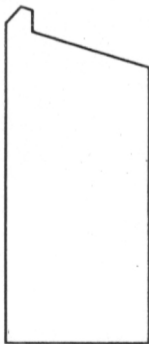
STOCK PINE



SM-8840
1-1/2 X 3-1/2
TOP PORCH RAIL



LWM-237
1-1/4 X 1-1/4
BALUSTER STOCK

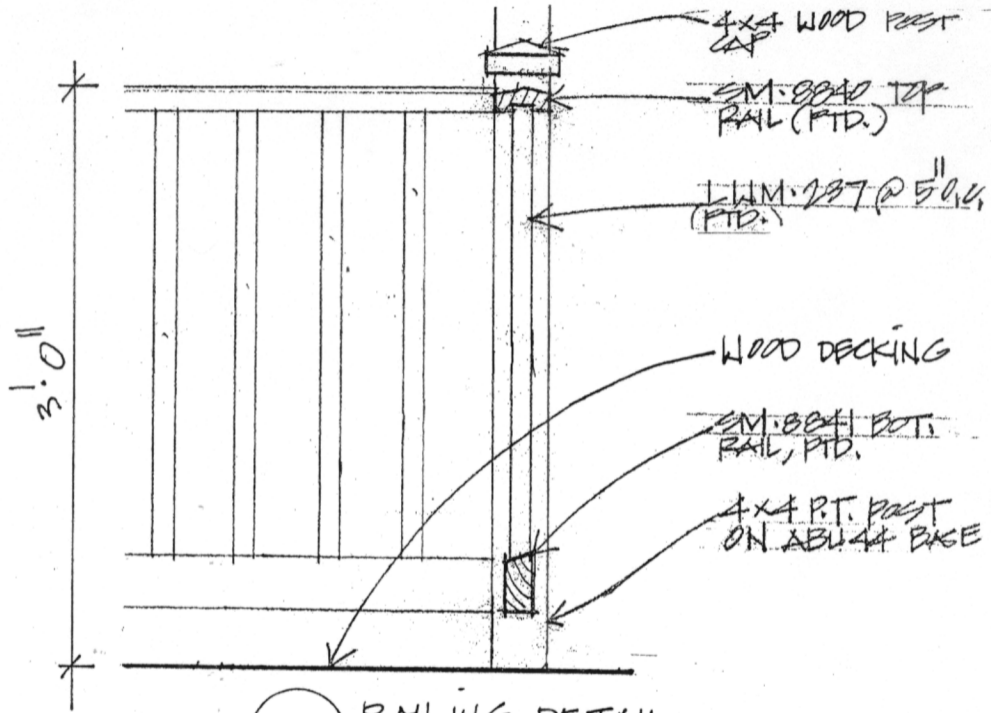


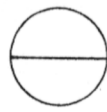
SM-8841
1-1/2 X 3-1/2
BOTTOM PORCH RAIL

SCALE: HALF SIZE

PAGE NO. A-54

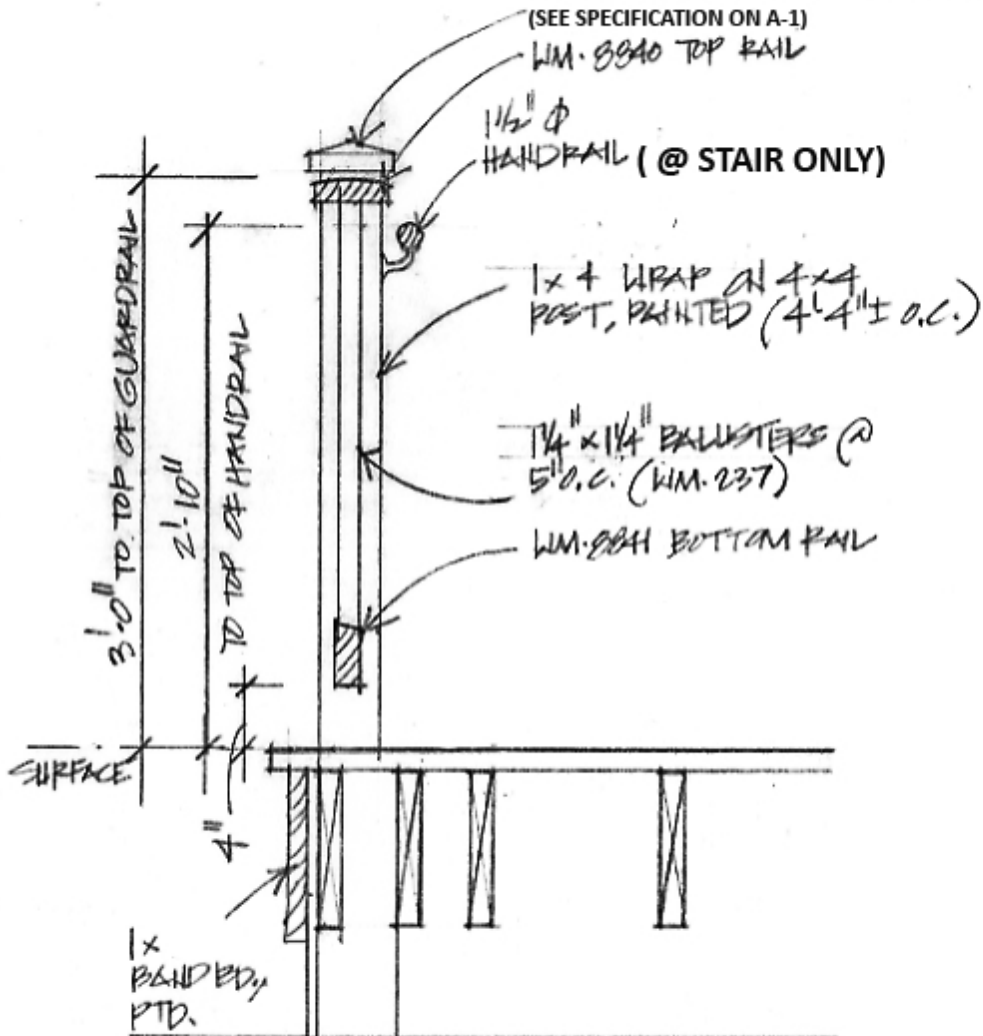
BAR RAIL




 RAILING DETAIL
 1 1/2" = 1' 0 1/4"

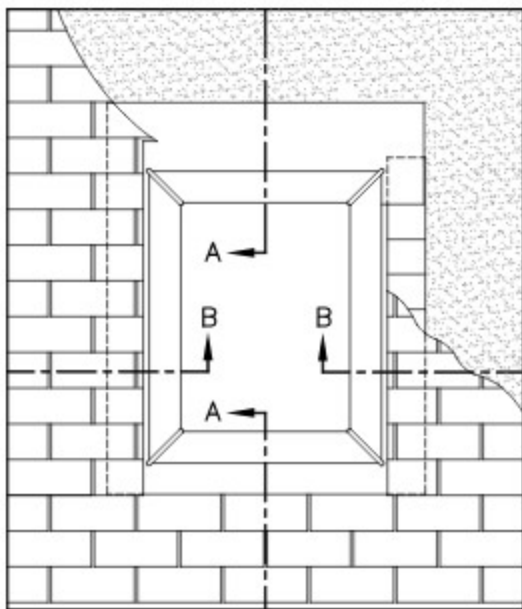
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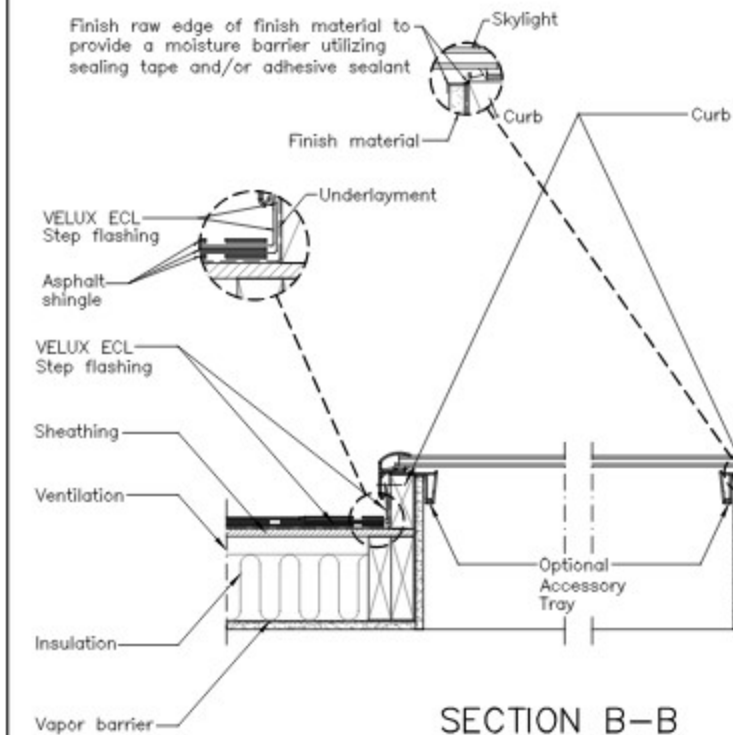
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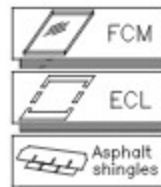
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