

Montgomery County Historic Preservation

Staff Report

<p>ADDRESS: 17 W. Irving St., Chevy Chase</p> <p>RESOURCE: Chevy Chase Village Historic District</p> <p>APPLICANT: Ed and Carolyn Nordberg (Luke Olson, Architect)</p> <p>REVIEW: HAWP</p> <p>CASE NO.: 1064778 REVISION #4</p> <p>PROPOSAL: Grading alterations, patio alterations, and new HVAC equipment</p>	<p>MEETING DATE: 5/27/2026</p> <p>REPORT DATE: 5/20/2026</p> <p>PUBLIC NOTICE: 5/13/2026</p> <p>TAX CREDIT ELIGIBLE: No</p> <p>STAFF: Devon Murtha</p>
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Staff Recommendation

Staff recommends that the HPC approve with one (1) condition the HAWP application with final approval of all design details delegated to staff:

1. The applicant must provide specification sheets for all exterior features prior to final approval of the HAWP.

Architectural Description

Significance: Non-contributing Resource to the Chevy Chase Village Historic District

Date: circa 1892-1916

Style: Modern Victorian Revival



Figure 1: The location of the subject property (outlined in blue) within the Chevy Chase Village Historic District (outlined and hatched in red).



Figure 2: The facade and left elevation of the property from Magnolia Avenue.

Background

On April 17, 2024, the HPC approved a HAWP application for the partial demolition and construction of a new two-story addition, 1.5-story garage, and patio with two conditions¹:

1. The applicant shall submit specification sheets for all features, including the siding, frieze boards, soffit, lighting, vents, flagstone, brick, and gutters and downspouts, prior to final approval of the HAWP.
2. All proposed building features and materials should be included and labeled on the elevations and site plan prior to final approval of the HAWP.

In September of 2024, the applicant returned with a revised applicant that reduced the massing and minimized the impact to the black gum tree on the lot. Revisions to the new plan included:

- Reducing the proposed addition by a full story and the footprint by 200 square feet;
- Pulling the addition back two additional feet from the right side lot;
- Removing the proposed attached garage from the slope and widened the proposed driveway; and
- Replacing the proposed raised stone terrace with a raised deck structure to minimize impact to the root zone of the black gum tree.

On September 18, 2024, the HPC approved the revised HAWP application for a one-story addition with three conditions:

1. The applicant must draw and label all features on the elevations and site plan, including the deck, chimney, driveway, stairs along the right-side elevation.
2. The proposed decking must comply with HPC Policy No. 24-01 Adopted Policy for the Appropriateness of Substitute Materials for Porch and Deck Flooring.
3. The applicant must provide specification sheets for all exterior features prior to final approval of the HAWP.

On October 22, 2025, the HPC approved a revision for tree removal, fenestration alterations, and hardscaping alterations, with the following conditions

1. The applicant must draw and label all features on the elevations and site plan, including the patio, driveway, and stairs along the right-side elevation.
2. The applicant must provide specification sheets for all exterior features prior to final approval of the HAWP.

¹ See Staff Report for initial HAWP No. 1064778 application [here](#).

During this third revision, the HPC removed the condition that the proposed decking must comply with HPC Policy No. 24-01, as the applicant altered their proposal for a raised deck to instead be a flagstone patio instead.

Proposal

The applicant proposes to make several minor alterations to the previously approved HAWP application. The approved application included the demolition of the right-side octagonal wing, patio, and gazebo, and construction a one-story addition and new patio. The alterations include installing four condenser units on the west and east sides of the building, surrounded by lattice screening, and minor modifications to the existing and proposed patios, the hardscaping, and the side stoops. The revisions, according to the applicant, are detailed as follows:

After further coordination with the builder and evaluation of existing site conditions, we have determined that the current side patio configuration is not optimal for drainage, as it is presently set at the same elevation as the first floor. To address this, we are proposing to lower the patio approximately 6 inches to bring it closer to grade and promote positive drainage away from the house. This modification is a replacement in kind intended to improve existing conditions.

Lowering the patio also provides an opportunity to better integrate the proposed side mudroom entry and improve circulation between the mudroom and the rear patio, while preserving the existing planter bed and mature trees.

The side stoop and steps have been revised to comply with setback requirements and to more seamlessly connect to the adjusted patio elevation, again minimizing disturbance to the existing landscape elements.

As construction details for the proposed hardscape courtyard have been further developed, we are recommending lowering the courtyard an additional step (approximately 7 inches). This adjustment improves drainage performance and avoids conditions where concrete would be in direct contact with wood or finished materials.

As we approach construction and continue evaluating the existing conditions, we identified a rear window that requires replacement. The drawings have been updated to clearly distinguish between existing windows to remain and those to be replaced.

Finally, during the construction document phase, mechanical coordination has confirmed that the addition will require a [four] new condenser unit[s] and HVAC system. Due to property setbacks and the existing house orientation, the proposed location seems most appropriate and least conspicuous.

The applicant has also provided a more specific material palette for the addition, including fiber cement dutch lap siding, brick veneer for the foundation, Azek skirtboards, Azek window and door trim to match existing, flagstone patio, painted PVC gable brackets and barge boards, Kolbe aluminum-clad wood windows and doors, and 6" half-round gutters.



Figure 4: Precedent image for screening around new condenser units.

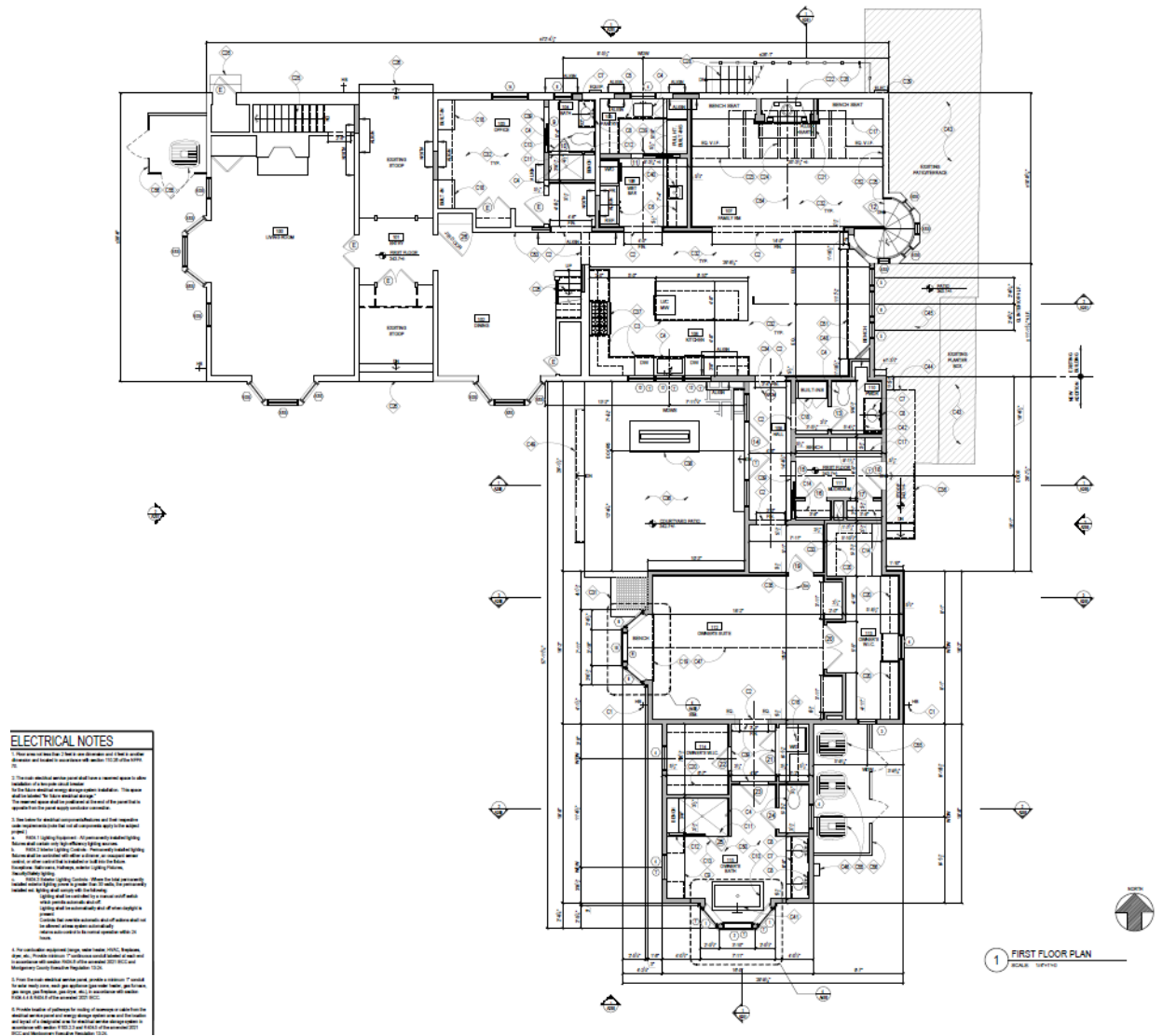


Figure 5: First floor plan.

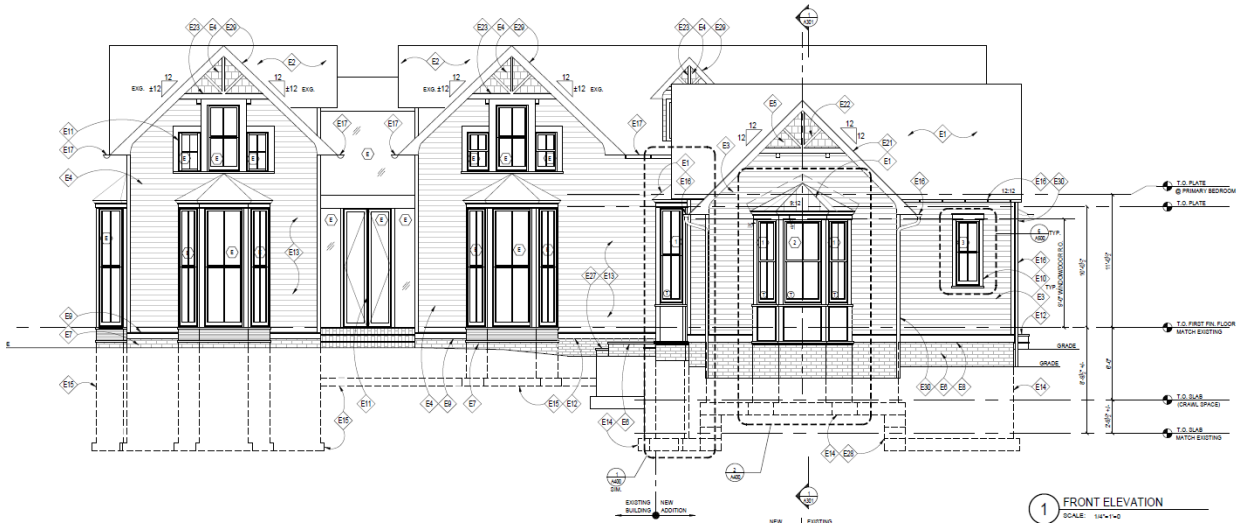


Figure 6: Proposed front elevation, showing grading changes and patio alterations.

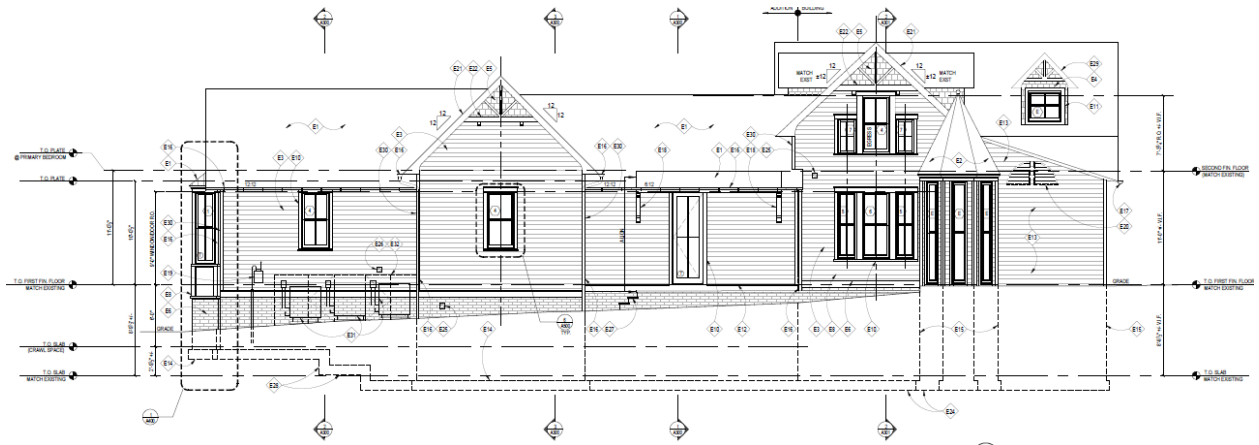


Figure 7: Proposed right side elevation showing grading changes and location of new condenser unit.

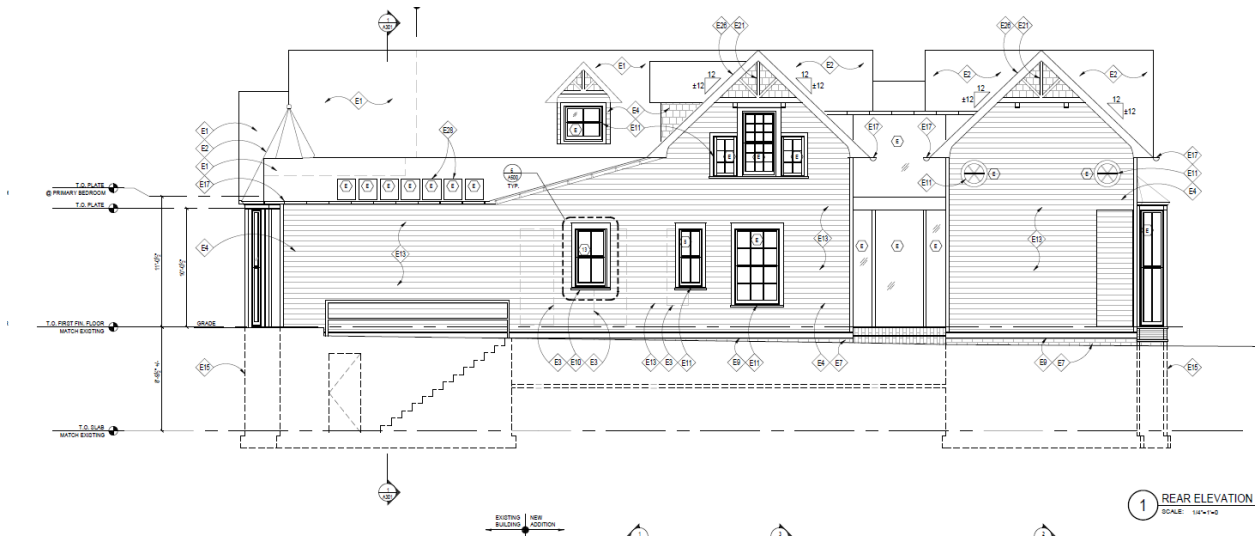


Figure 8: Proposed rear elevation.

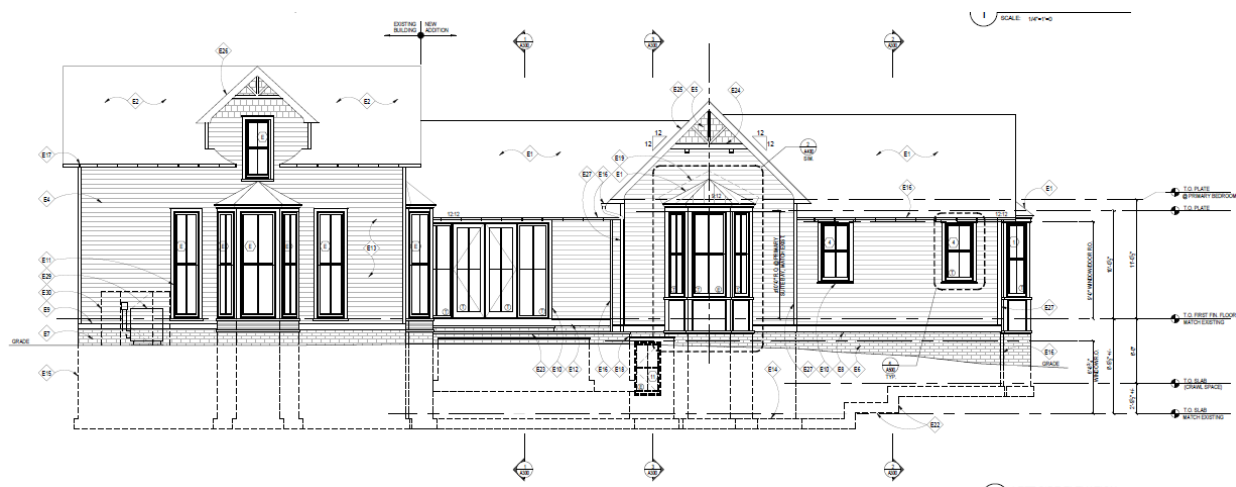


Figure 9: Proposed left side elevation.

Applicable Guidelines

When reviewing alterations and new construction within the Chevy Chase Village Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the Approved and Adopted Amendment to the Master Plan for Historic Preservation in Montgomery County Maryland for Chevy Chase Village (*Design Guidelines*), Montgomery County Code Chapter 24A-8 (Chapter 24A-8), and the Secretary of the Interior’s Standards for Rehabilitation (*Standards*). The pertinent information in these documents is outlined below.

Montgomery County Code Chapter 24A-8

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to ensure conformity with the purposes and requirements of this chapter, if it finds that:

- 1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - 2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

Chevy Chase Village Design Guidelines

The *Guidelines* state that the following five basic policies should be adhered to:

1. Preserving the integrity of the proposed Chevy Chase Village Historic District. Any alterations should, at a minimum, perpetuate the ability to perceive the sense of time and place portrayed by the district.
2. Preserving the integrity of the contributing structures in the district. Alterations to contributing structures should be designed in such a way that the altered structure still contributes to the district.
3. Maintaining the variety of architectural styles and the tradition of architectural excellence.
4. Design review emphasis should be restricted to changes that will be visible from the front or side public right-of-way, or that would be visible in the absence of vegetation or landscaping.
5. Alterations to the portion of a property that are not visible from the public right-of-way should be subject to very lenient review. Most changes to rear of the properties should be approved as a matter of course.

The *Guidelines* that pertain to this project are as follows:

Non-Contributing/Out-of-Period Resources

Non-contributing/out-of-period resources are either buildings that are of little or no architectural and historical significance to the historic district or newer buildings constructed outside the district's primary period of historical importance. HAWP applications for exterior alterations, changes, and/or additions to these types of resources should receive the most lenient level of design review.

Most alterations and additions to non-contributing/out-of-period resources should be approved as a matter of course. The only exceptions would be major additions and alterations to the scale and massing of the structure which affect the surrounding streetscape and/or landscape and could impair the character of the historic district as a whole.

Secretary of the Interior's Standards for Rehabilitation

2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, space and spatial relationships that characterize a property will be avoided.

Staff Discussion

Staff supports the proposed alterations to the previously approved HAWP.

This revised proposal makes no changes to the approved massing. According to the *Guidelines*, alterations to Non-Contributing Resources such as the subject property should be approved as a matter of course with the exception of major additions or alterations that affect the surrounding streetscape and/or landscape and could impair the character of the historic district as a whole. Additionally, Chapter 24A-8(d) states that the HPC “shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district.” Staff finds that the minor alterations proposed in this revision do not alter the scale and massing of the structure and should be approved as a matter of course.

Staff finds that several of the alterations will be visible from the right-of-way at certain angles, but are generally compatible with the resource and the district, per Chapter 24-8A(b)(2).

Staff finds that the applicant has successfully satisfied the conditions of approval from the last HAWP revisions that they must draw and label all features on the elevations and site plan, including the patio, driveway, and stairs along the right-side elevation. The applicant must submit complete specifications for all exterior features prior to issuance of approval documents, including specifications for the proposed condenser unit, material specifications for the condenser unit screening, and manufacturer specifications for the painted PVC boards.

Staff Recommendation

Staff recommends that the HPC **approve with one (1) condition** the HAWP application with final approval of all design details delegated to staff:

1. The applicant must provide specification sheets for all exterior features prior to final approval of the HAWP.

the HAWP application under the Criteria for Issuance in Chapter 24A-8(b)(1), (2) and (d), having found that the proposal is consistent with the *Chevy Chase Village Historic District Guidelines* identified above, and therefore will not substantially alter the exterior features of the historic resource and is compatible in character with the district and the purposes of Chapter 24A;

and with the *Secretary of the Interior's Standards for Rehabilitation* 2, 9, and 10;

and with the general condition that the applicant shall present an electronic set of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the HPC staff if they propose to make any alterations to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-495-1328 or devon.murtha@montgomeryplanning.org to schedule a follow-up site visit.

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

Non-historic resource in the CCV Historic District. Originally a carriage house built in 1871 for a residence that no longer exists. Was converted to a single-family residence in 1975 by Hugh Newell Jacobsen with substantial interior renovations and a glass hyphen connecting a 1.5 story + bsmt front-gable wing on the left side to the existing 1.5 story side gable structure. Additional renovations completed in 1985, included the renovation/addition of the 1-story kitchen + basement with a raised front patio/terrace and gazebo structure. The house is clad in ptd wood trim and ptd. wood dutch/cove lap siding sitting on a brick and block foundation, with an asphalt shingle roof, and painted mtl half-round gutters and 3x5 downspouts. The windows and doors have all been replaced, with a majority of the windows being 2 over 2 ptd. wood double hungs with some 6 over 6 and 9 over 9 double hungs on the rear, and 2 over 2 push-out casements on the 2nd level. The doors on the right side are recent clad-wood replacement units.

The house is sited in a non-conforming location on the lot, sitting 8.5' from the rear lot line and 6.9' from the right side lot line. There is a curbcut on W Irving Street for an asphalt driveway leading to a 2-car parking pad in the front yard.

We have previously received HAWP approval for an addition to the existing house, with subsequent HAWP revisions also receiving HPC approval.

Description of Work Proposed: Please give an overview of the work to be undertaken:

After further coordination with the builder and evaluation of existing site conditions, we have determined that the current side patio configuration is not optimal for drainage, as it is presently set at the same elevation as the first floor. To address this, we are proposing to lower the patio approximately 6 inches to bring it closer to grade and promote positive drainage away from the house. This modification is a replacement in kind intended to improve existing conditions.

Lowering the patio also provides an opportunity to better integrate the proposed side mudroom entry and improve circulation between the mudroom and the rear patio, while preserving the existing planter bed and mature trees.

The side stoop and steps have been revised to comply with setback requirements and to more seamlessly connect to the adjusted patio elevation, again minimizing disturbance to the existing landscape elements.

As construction details for the proposed hardscape courtyard have been further developed, we are recommending lowering the courtyard an additional step (approximately 7 inches). This adjustment improves drainage performance and avoids conditions where concrete would be in direct contact with wood or finished materials.

As we approach construction and continue evaluating the existing conditions, we identified a rear window that requires replacement. The drawings have been updated to clearly distinguish between existing windows to remain and those to be replaced.

Finally, during the construction document phase, mechanical coordination has confirmed that the addition will require a new condenser unit and HVAC system. Due to property setbacks and the existing house orientation, the proposed location seems most appropriate and least conspicuous.

DOOR SCHEDULE

NO.	DOOR			FRAME					HARDWARE	REMARKS
	SIZE	MATERIAL	MANUF.	MAT.	FIN.	HEAD	JAMB	SILL		
LOWER LEVEL										
1	3'0" x 6'8" x 1'38"	SOLID CORE COMPOSITE	T.B.D.						H-4	
2	2'8" x 6'8" x 1'38"	SOLID CORE COMPOSITE	T.B.D.						H-4	
3	2'10" x 6'8" x 1'38"	SOLID CORE COMPOSITE	T.B.D.						H-3	
4	2'8" x 6'8" x 1'38"	SOLID CORE COMPOSITE	T.B.D.						H-3	
5	2'4" x 6'8" x 1'38"	SOLID CORE COMPOSITE	T.B.D.						H-7	POCKET DOOR
6	2'4" x 6'8" x 1'12"	TEMPERED GLASS	T.B.D.						N/A	SHOWER DOOR
7	2'8" x 6'8" x 1'38"	SOLID CORE COMPOSITE	T.B.D.						H-4	
8	1'8" x 6'8" x 1'38"	SOLID CORE COMPOSITE	T.B.D.						H-4	
FIRST FLOOR										
9	2'4" x 8'0" x 1'38"	SOLID CORE COMPOSITE	T.B.D.						H-6	POCKET DOOR
10	2'0" x 7'0" x 1'12"	TEMPERED GLASS	T.B.D.						N/A	SHOWER DOOR
11	3'0" x 8'0" x 1'38"	SOLID CORE COMPOSITE	T.B.D.						H-6	POCKET DOOR
12	3'0" x 8'0" x 1'38"	SOLID CORE COMPOSITE	T.B.D.						H-4	
13	2'8" x 8'0" x 1'38"	SOLID CORE COMPOSITE	T.B.D.						H-3	
14	PAIR 3'0" x 9'0" x 1'38"	ALUM. CLAD WD. & TEMPERED GLASS	T.B.D.						H-2	DOUBLE FRENCH DOORS WITH 3'-0" SIDELIGHTS
15	3'0" x 8'0" x 1'38"	SOLID CORE COMPOSITE	T.B.D.						H-6	POCKET DOOR
16	2'4" x 8'0" x 1'38"	SOLID CORE COMPOSITE	T.B.D.						H-4	
17	2'4" x 8'0" x 1'38"	SOLID CORE COMPOSITE	T.B.D.						H-4	
18	3'0" x 9'0" x 1'38"	ALUM. CLAD WD. & TEMPERED GLASS	T.B.D.						H-2	
19	2'8" x 8'0" x 1'38"	SOLID CORE COMPOSITE	T.B.D.						H-3	
20	PAIR 2'4" x 8'0" x 1'38"	SOLID CORE COMPOSITE	T.B.D.						H-5	
21	2'8" x 8'0" x 1'38"	SOLID CORE COMPOSITE	T.B.D.						H-5	
22	2'8" x 8'0" x 1'38"	SOLID CORE COMPOSITE	T.B.D.						H-4	
23	3'0" x 8'0" x 1'38"	SOLID CORE COMPOSITE	T.B.D.						H-3	
24	2'4" x 8'0" x 1'38"	SOLID CORE COMPOSITE	T.B.D.						H-3	
25	2'8" x 8'0" x 1'38"	TEMPERED GLASS	T.B.D.						N/A	SHOWER DOOR
26	3'8" x 8'0" x 1'-11/16"	JIB DOOR	T.B.D.						H-1	SEE INTERIOR ELEV.
SECOND FLOOR										
27	3'0" x 6'8" x 1'38"	SOLID CORE COMPOSITE	T.B.D.						H-3	

- GENERAL DOOR NOTES:**
- CONFIRM HARDWARE SELECTION WITH OWNER PRIOR TO ORDERING
 - INTERIOR DOORS TO BE SOLID CORE
 - PROVIDE SAFETY GLASS AT ALL EXTERIOR FRENCH DOORS, PER CODE
 - PROVIDE CHARCOAL SCREENING @ SCREEN DOORS
 - CONNECT GARAGE DOOR TO ALARM SYSTEM
 - ATTIC ACCESS DOOR-INSULATE W/ INSULATION VALUE THAT MATCHES EXTERIOR WALL INSULATION VALUE
 - POCKET DOORS TO BE EQUIPPED WITH SOFT OPEN/SOFT CLOSE AND BALL BEARING WHEEL GUIDES

HARDWARE SCHEDULE

NO.	TYPE
H-1	EZY JAMB FRAME WITH TECTUS DISCREET CONCEALED HINGES & ACCURATE KNIFE EDGE PULL
H-2	MULTI-POINT LEVER SET BY WINDOW/DOOR MANUF.
H-3	BATH/BEDROOM PRIVACY LOCK
H-4	PASSAGE SET
H-5	MAGNETIC CATCH AND DUMMY KNOBS
H-6	POCKET DOOR HARDWARE BY CAVITY SLIDERS
H-7	LOCKING POCKET DOOR HARDWARE

GENERAL HARDWARE NOTES: ALL HARDWARE TO BE BY EMTEK OR APPROVED EQUAL. (EXCEPT FRENCH DOORS, WHICH ARE TO HAVE STANDARD HARDWARE BY DOOR MANUF.)

WINDOW SCHEDULE

NOTE: PROVIDE ARCHITECT WITH SHOP DRAWINGS PRIOR TO ORDERING
NOTE: CONTRACTOR TO VERIFY ALL R.O.'S FOR REPLACEMENT WINDOWS. V.I.F.

#	TYPE	NO.	MANUFACT.	CAT. NO.	FRAME SIZE (NOMINAL)	GLASS	REMARKS
1	DOUBLE HUNG	2	KOLBE	N/A	2'-6" X 7'-0"	INSULATED LOW-E 366 W/ ARGON	TEMPERED
2	DOUBLE HUNG	1	KOLBE	N/A	3'-2" X 7'-0"	INSULATED LOW-E 366 W/ ARGON	TEMPERED
3	DOUBLE HUNG	1	KOLBE	N/A	2'-0" X 5'-6"	INSULATED LOW-E 366 W/ ARGON	
4	DOUBLE HUNG	6	KOLBE	N/A	2'-8" X 5'-6"	INSULATED LOW-E 366 W/ ARGON	
5	DOUBLE HUNG	2	KOLBE	N/A	1'-10" X 6'-6"	INSULATED LOW-E 366 W/ ARGON	
6	DOUBLE HUNG	1	KOLBE	N/A	2'-8" X 6'-6"	INSULATED LOW-E 366 W/ ARGON	
7	CASEMENT	2	KOLBE	N/A	1'-10" X 3'-3"	INSULATED LOW-E 366 W/ ARGON	
8	DOUBLE HUNG	1	KOLBE	N/A	2'-0" X 5'-0"	INSULATED LOW-E 366 W/ ARGON	
9	DOUBLE HUNG	2	KOLBE	N/A	2'-6" X 6'-0"	INSULATED LOW-E 366 W/ ARGON	EGRESS
10	DOUBLE HUNG	1	KOLBE	N/A	3'-2" X 8'-0"	INSULATED LOW-E 366 W/ ARGON	EGRESS
11	CASEMENT	1	KOLBE	N/A	2'-6" X 5'-0"	INSULATED LOW-E 366 W/ ARGON	EGRESS TEMPERED
12	DOUBLE HUNG	3	KOLBE	N/A	3'-0" X 5'-6"	INSULATED LOW-E 366 W/ ARGON	TEMPERED
13	DOUBLE HUNG	1	KOLBE	N/A	2'-8" X 5'-0"	INSULATED LOW-E 366 W/ ARGON	EGRESS
14	DOUBLE HUNG	1	KOLBE	N/A	3'-11" X 6'-6" +/-	INSULATED LOW-E 366 W/ ARGON	1:1 REPLACEMENT, V.I.F. FINAL DIMS. TO FIT WITHIN EXISTING R.O.

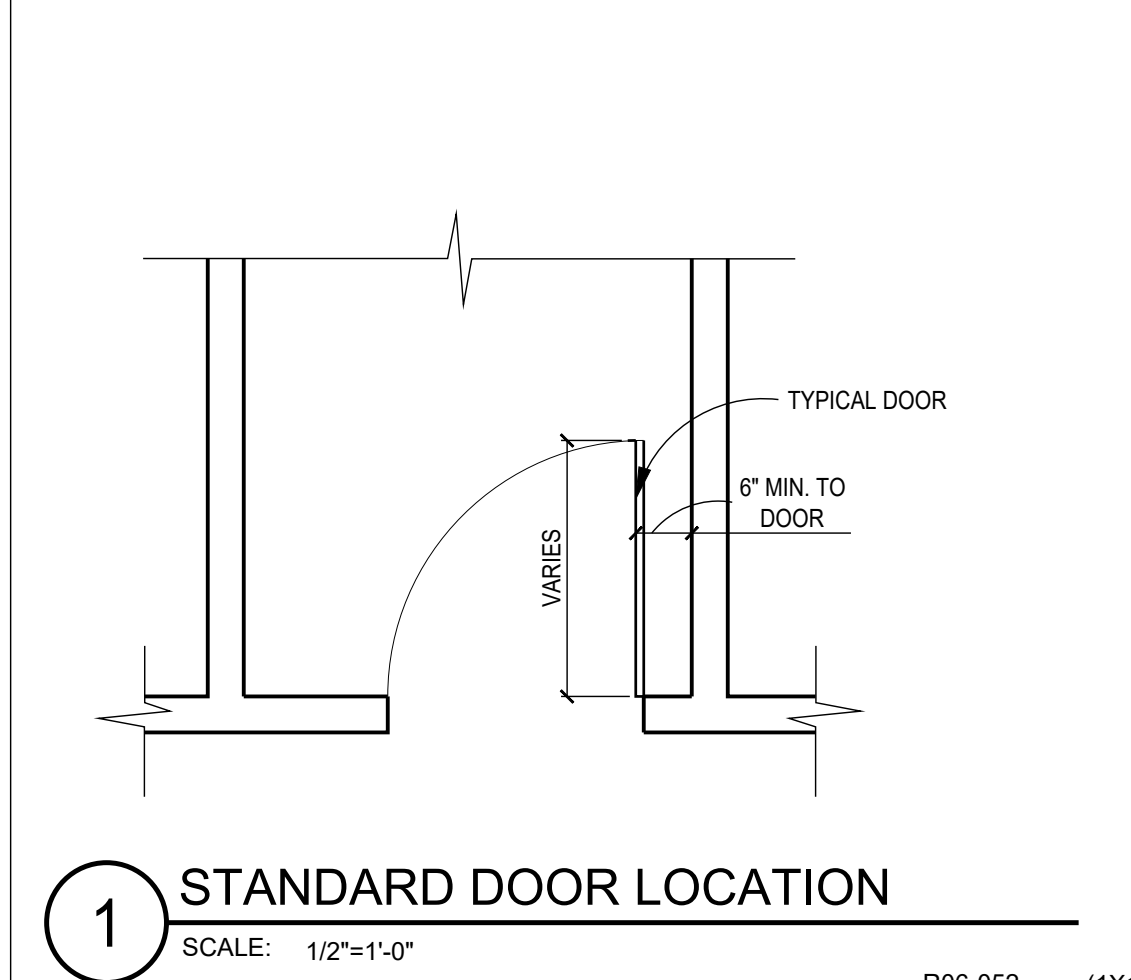
PATIO DOOR SCHEDULE

NOTE: PROVIDE ARCHITECT WITH SHOP DRAWINGS PRIOR TO ORDERING
NOTE: CONTRACTOR TO VERIFY ALL R.O.'S FOR REPLACEMENT WINDOWS. V.I.F.

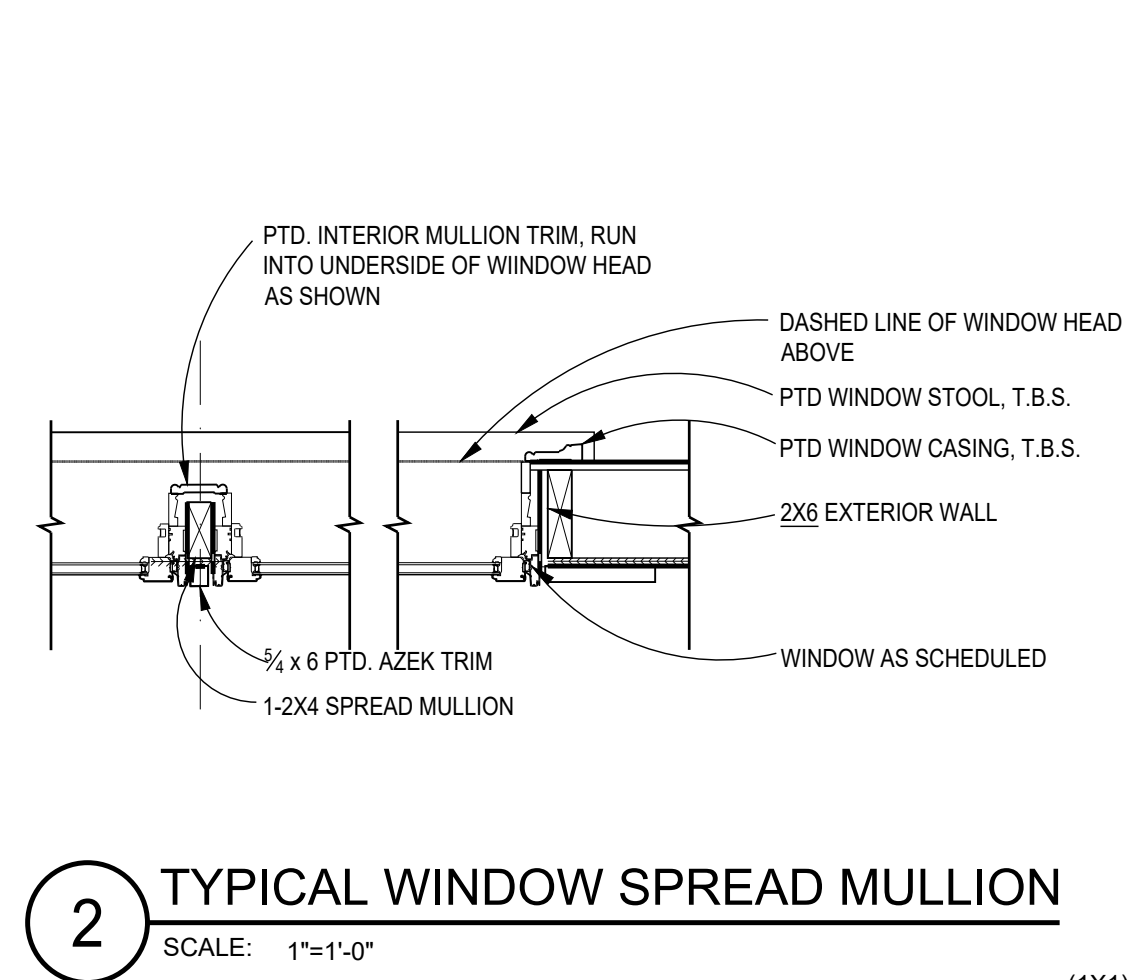
#	TYPE	MANUF.	FRAME SIZE (NOMINAL)	GLASS	REMARKS
1	OUTSWING PATIO DOORS W/ SIDELITES	KOLBE	12'-0" x 9'-0"	INSULATED LOW-E 366 W/ ARGON	PAIR OF 3'-0" PATIO DOORS WITH (2) 3'-0" SIDELITES. TEMPERED UNIT. SEE EXTERIOR ELEVATIONS
2	IN-SWING PATIO DOOR	KOLBE	3'-0" x 9'-0"	INSULATED LOW-E 366 W/ ARGON	TEMPERED UNIT. SEE EXTERIOR ELEVATIONS

WINDOW NOTES

- *CONFIRM OPERATION OF ALL WINDOWS WITH OWNER PRIOR TO ORDERING
- ALL WINDOWS TO HAVE SCREENS (SCREEN FRAMES COLOR T.B.S.)
 - ALL WINDOWS TO BE ALUMINUM CLAD EXTERIOR, PRE-PRIMED INTERIOR.
 - CONFIRM HARDWARE FINISH W/ ARCHITECT & OWNER PRIOR TO ORDER.
 - ALL GLAZING TO BE DOUBLE PANELED, LOW E, CLEAR INSULATED.
 - CONFIRM OVERALL WINDOW SCHEDULE W/ ARCHITECT PRIOR TO ORDER.
 - ALL WINDOWS & GLASS DOORS TO BE SIMULATED DIVIDED LITE, 7/8" MUNTIN. SEE ELEVATIONS FOR MUNTIN CONFIGURATIONS.
 - PROVIDE WHITE JAMB LINERS; VERIFY WITH OWNER.
 - ALL EXTERIOR TRIM FOR FRAME WALL UNITS TO BE AZEK PROVIDED & INSTALLED BY G.C. BORAL IS AN ACCEPTABLE SUBSTITUTE.
 - GANGED WINDOWS SHALL (1) 2x4 SPACERS BETWEEN UNLESS SHOWN OTHERWISE.
 - PROVIDE EGRESS HARDWARE IN EGRESS WINDOWS AS REQUIRED.
 - SEE ELEVATIONS FOR TYPICAL HEAD HEIGHTS ABOVE FINISHED SUBFLOOR.
 - PROVIDE SAFETY GLASS AT ENTRIES, STAIRS, OVER BATH/UBS & ELSEWHERE AS REQUIRED BY CODE.



1 STANDARD DOOR LOCATION
SCALE: 1/2"=1'-0"



2 TYPICAL WINDOW SPREAD MULLION
SCALE: 1"=1'-0"



7250 WOODMONT AVE., SUITE 200, BETHESDA, MD 20814
(240)252-2800
GTMARCHITECTS.COM

Consultant

Project
NORDBERG RESIDENCE

17 W IRVING ST, CHEVY CHASE, MD 20815

Owner

Developer

PERMIT SET 04-23-2026

Issue Description Date

GTM Project No. 24.0043
Checked By GTM/LEO
Drawn By TH/FSC
Scale AS NOTED

Sheet Title

DOOR & WINDOW SCHEDULES

Sheet No.

003

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GENERAL NOTES

- Boundary information and two-foot contour data are based upon surveys performed by CAS Engineering, dated November, 2025.
- Total lot area: Lot 10 = 12,541 sq. ft. (0.288 acres)
- Property is located on Tax Map HN341 and WSSC 207 Sheet 208N04.
- Soil type(s): ZUB, Glenale Urban Land Complex, HSG "B"
- Flood zone "X" per F.E.M.A. Firm Maps, Community Panel Number 240310450.
- Property is located in the Little Falls Branch Watershed, Use Class "P".
- Water Category - 1, Sewer Category - 1
- Local utilities include:
Water - Washington Suburban Sanitary Commission
Electric - PEPCO
Telephone - Verizon
Gas - Washington Gas
- Property is located in the incorporated municipality of Chevy Chase Village.
- Property is not located in a Special Protection Area.
- Property is located in the Chevy Chase Village Historic District.
- This plan was created without the benefit of a title report.

ZONING DATA - MONTGOMERY COUNTY

- Zoning: R-60**
Min. Lot Area = 6,000 sq. ft. Front Setback = 25 ft. (1)
Min. Lot Width at R/W = 23 ft. Rear Setback = 20 ft.
Min. Lot Width at Front Building Line = 60 ft. Side Setback = 7 ft. min. each side (1)(1)
- Per Montgomery County Code Section 4.4.1.A.1., the Established Building Line does not apply to an alteration of addition to an existing house.
Per Montgomery County Code Section 7.7.1.D.2.c., a detached house on a platted lot, parcel, or part of a previously platted lot that has not changed in size or shape since June 1, 1958, exclusive of changes due to public acquisition, may be constructed or reconstructed in a manner that satisfies the maximum building height, lot coverage and established building line of its zone when the building permit is submitted and the side yard and rear setback required by its pre-1958 zoning in effect when the lot, parcel or part of a lot was first created.
This property was created prior to January 1, 1954, therefore 7 foot side setbacks are permitted.
No part of any building or structure shall be erected or maintained within seven feet of the side or rear lot lines, per Chevy Chase Village. The Chevy Chase Village building regulations should be consulted for additional building restrictions, rules, and prohibitions.
- Verify (Non-Infill) lot coverage in accordance with the Zoning Ordinance.**
Coverage is the area of a lot or site occupied by a building, including an accessory building, structured parking, or other rooftop structure such as a porch, patio, deck, or steps.
Coverage does not include paved areas such as a driveway, a pedestrian walkway, a bay window measuring 10 feet in width or less and 3 feet in depth or less, an uncovered porch or patio, deck, a swimming pool, or roof overhang.
Allowable Lot Coverage: 35% of total lot area.
Lot 10 = 12,541 sq. ft. (Per Plat)
12,541 x 0.35 = 4,389.35
Allowable area to be covered by buildings (including acc. buildings) = 4,389.35 sq. ft.
Total area covered by buildings = 3,210.4 sq. ft. (main) + 79.5 sq. ft. (accessory) = 3,289.9 sq. ft.
- Mean Building Height Requirements (Addition)**
First floor elevation: 343.7 ft.
Mean height of building from first floor: 18.96 ft. (18'-11" Per Arch.)
Elevation at mean height of addition: 363.56 ft.
Average elevation along front of building: 339.71 ft.
Mean height of addition = 363.56 - 339.71 = 23.85 feet
Allowable mean height of building = 30 feet
Proposed mean height of building = 23.85 feet

ZONING DATA - CHEVY CHASE VILLAGE

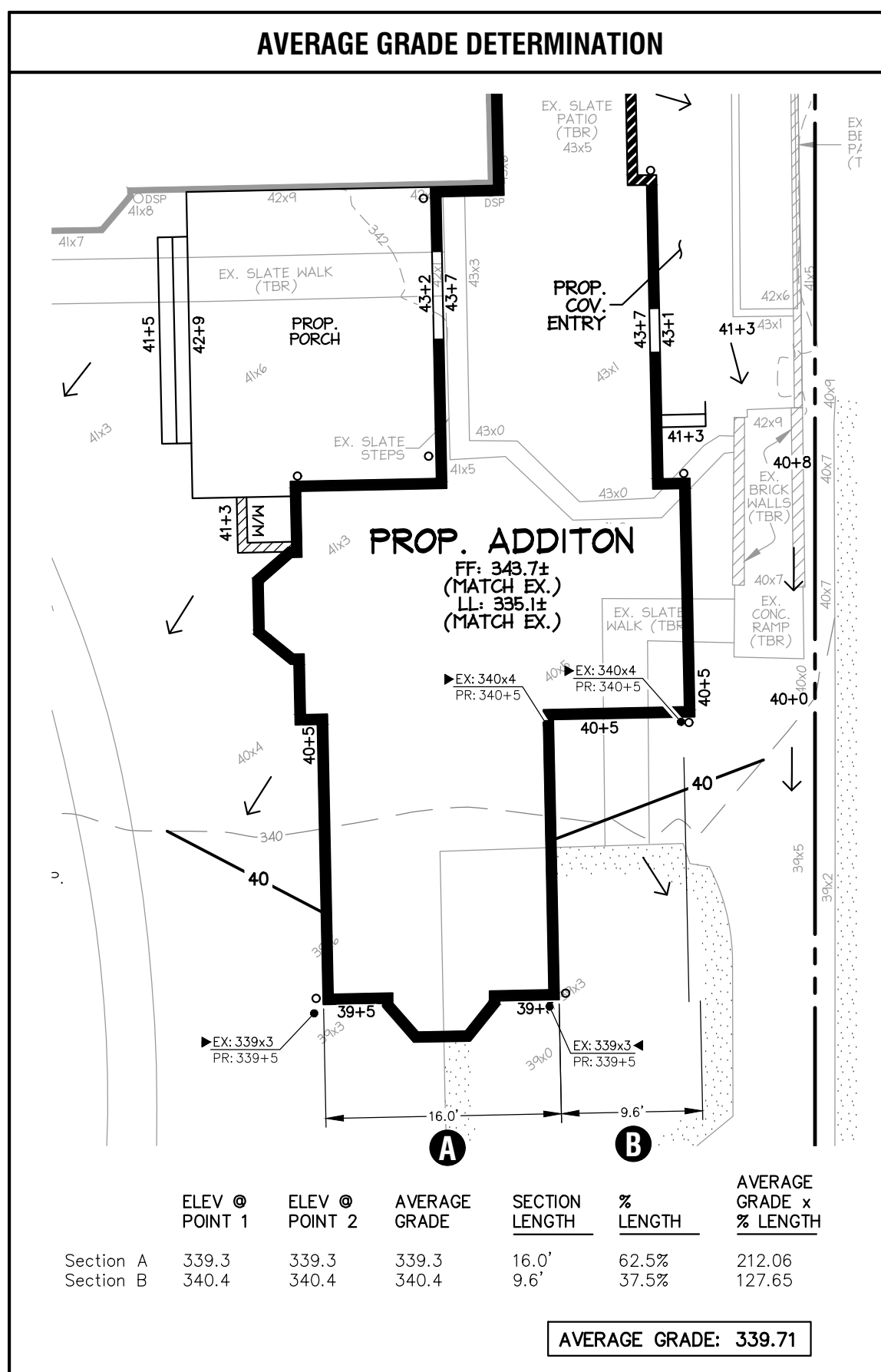
- Verify lot coverage in accordance with the Chevy Chase Village Ordinance, Section 8-16(m).**
Per Chevy Chase Village: Lot coverage in the portion of a lot which is covered by buildings, accessory buildings, and raised structures such as covered and uncovered porches, balconies, and decks, covered and uncovered steps, stairways, and stoops, and bay and low windows. Lot coverage does not include (1) porches, gables, and similar overhangs; and (2) features that are not raised such as walkways, patios, terraces, driveways, swimming pools and tennis courts.
Allowable lot coverage 35% of total lot area.
Lot 10 = 12,541 sq. ft. (Per Plat)
12,541 x 0.35 = 4,389.35
Allowable area to be covered by buildings (Including Accessory Buildings) = 4,389.35 sq. ft.
Total Area Covered by Buildings = 4,233.0 sq. ft. (See CCV Lot Coverage Diagram, Right)
- Building Height Requirements (Addition)**
a) Verify building height in accordance with the Chevy Chase Village Ordinance, Section Section 8-16(n)(1).
Height of the main building shall not exceed thirty-five (35) feet when measured to the highest point of the roof surface, regardless of roof type.
First floor elevation: 343.7 ft.
First floor to peak of Addition roof surface: 23.50 ft. (23'-6" Per Architect)
Elevation at peak of Addition roof surface: 367.20 ft.
Average grade elevation along front of building: 339.71 ft.
Height of building = 367.20 - 339.71 = 27.49 feet
Allowable peak height of building = 35 feet
Proposed Height of Building = 27.49 feet

SMALL LAND DISTURBANCE ACTIVITY (SLDA) AND DRAINAGE PLAN NARRATIVE

The project proposes approximately 4,800 square feet of disturbance and 220 cubic yards of earthwork. Since the Limits of Disturbance (LOD) is less than 5,000 square feet, stormwater management is not required. However, a Small Land Disturbance Activity (SLDA) Permit is hereby submitted because proposed earthwork exceeds 100 cubic yards. A Small Lot Drainage Plan, pursuant to Section 8-29B, is required and included on Sheet 2. Drywells shown hereon are for Small Lot Drainage Plan purposes.

This SLDA Plan is provided to support the construction of a proposed building addition. The project complies with COMCOR Section 19.10.02.03 (F) as follows:

- Proposed residential limits of disturbance is less than 30,000 square feet
Proposed LOD = 4,800 square feet
- Proposed total impervious surfaces on the property are less than 15,000 square feet
Subject property is 12,541 square feet total
- Volume of earth movement is less than 1,000 cubic yards
Proposed earthwork = 220 cubic yards
- No more than 3 contiguous lots or parcels are approved for development at one time under one ownership through use of this agreement.
Subject property is a single recorded lot



CONDENSER SCREENING PRECEDENT/DESIGN INTENT

LEGEND

EXISTING FEATURES

- Ex. Storm Drain with Manhole
- Ex. Sewer Manhole and Invert
- Ex. Water Line with Valve
- Ex. Gas Line with Valve
- Ex. Overhead Utility with Pole
- Ex. Drain Pipe and Inlet
- Ex. Downspout Piped / Spilled
- Ex. Two- And Ten-foot Contours
- Ex. Spot Elevation
- Ex. Ground Light
- Ex. Electric Junction Box
- Ex. Wood or Stockade Fence
- Ex. Retaining Wall
- Ex. Drainage Divide
- Ex. Soil Typing Location
- Ex. Tree
- Ex. Roadside Tree

PROPOSED FEATURES

- Limit Of Disturbance (L.O.D.)
- Prop. Gas-House Connection
- Prop. Contour with Elevation
- Prop. Spot Elevation
- Prop. 4" PVC Drain Pipe
- Prop. Surface Flow Direction
- Prop. Pipe Flow Direction
- Prop. Tree Protection Fence
- Dry Well with Perforated Pipe Layout
- Downspout Leader, Pipe Flow Direction, and Pipe Invert Elevation

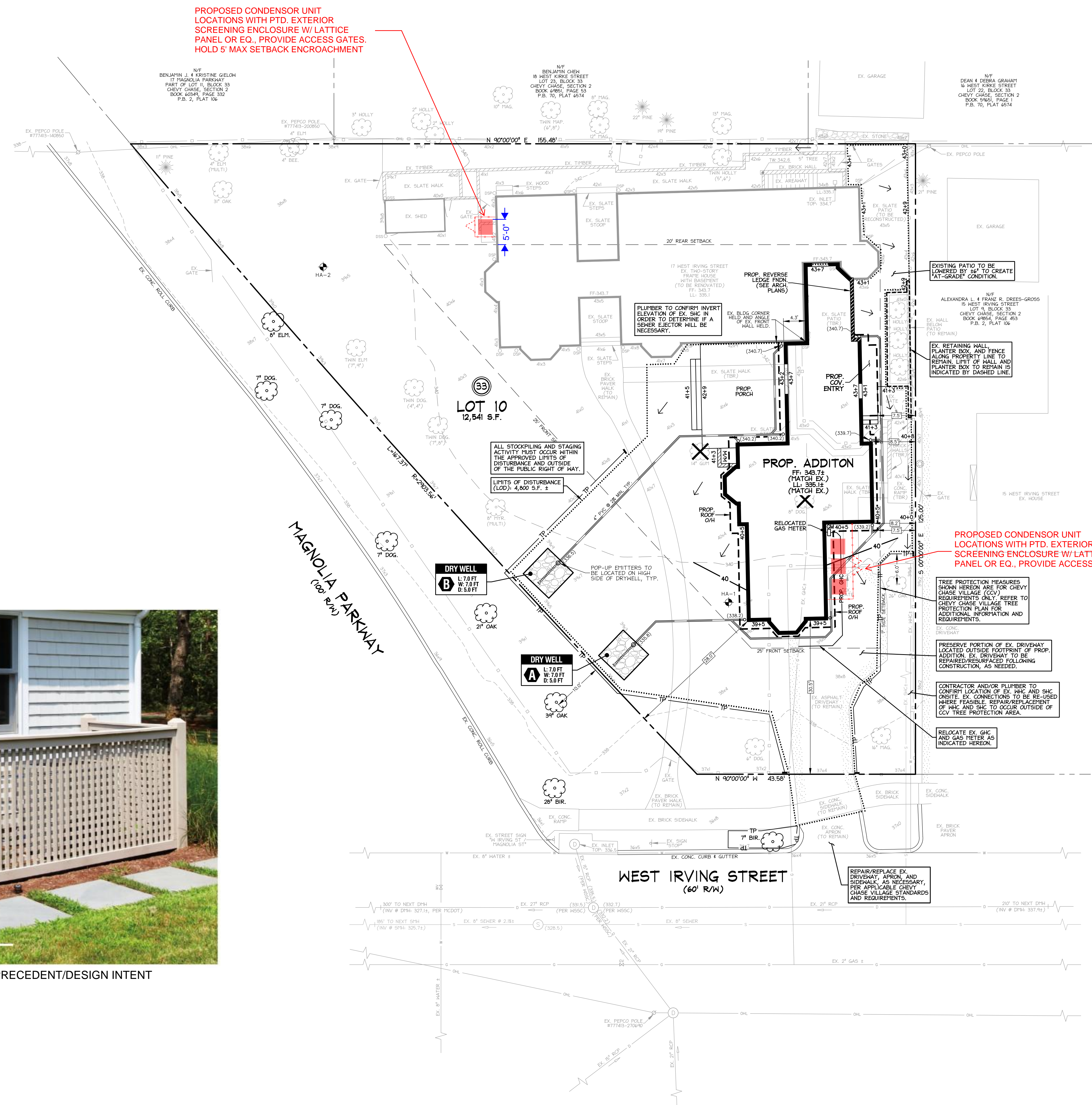
FRONT YARD PARKING AREA COVERAGE
R-60: 35% MAXIMUM
NO CHANGES TO EXISTING DRIVEWAY PROPOSED WITH THIS PLAN.

TOPSOIL NOTE
TOPSOIL MUST BE APPLIED TO ALL PREVIOUS AREAS WITHIN THE LIMITS OF DISTURBANCE PRIOR TO PERMANENT STABILIZATION IN ACCORDANCE WITH MDE "STANDARDS AND SPECIFICATIONS FOR SOIL PREPARATION, TOPSOILING, AND SOIL AMENDMENTS".

RUNOFF STATEMENT
I understand that DPS approval of this sediment control/stormwater management plan is for demonstrated compliance with required environmental runoff treatment standards. This DPS sediment control/stormwater management plan approval does not relieve me of professional responsibility. I have analyzed the proposed design for Sediment Control Permit No. 000000 and hereby certify that, based upon my background, training and experience, I have determined that the proposed improvements shown on this plan meet relevant laws and regulations. I further acknowledge that I have analyzed the post-development runoff patterns for this project from the standpoint of my responsibilities under current Maryland Law and have determined that if permission is required from adjacent property owners, I have obtained it and have made copies of those permissions available to DPS.

Lane A. Kurkjian
Date: 00/00/0000

UTILITY INFORMATION
EXISTING UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE AND MUST BE FIELD VERIFIED. UTILITY LOCATIONS ARE BASED UPON AVAILABLE RECORDS AND ARE SHOWN TO THE BEST OF OUR ABILITY. FOR LOCATION OF UTILITIES, CALL "NEED UTILITY" AT 1-800-257-7777, OR LOG ON TO WWW.STATEUTILITY.ORG, 48 HOURS IN ADVANCE OF ANY WORK IN THIS HOURLY. THE EXCAVATOR MUST NOTIFY ALL PUBLIC UTILITY COMPANIES WITH UNDERGROUND LOCATIONS IN THE AREA OF PROPOSED EXCAVATION AND MARK THOSE LOCATIONS ACCORDING TO THE UTILITY COMPANIES' RESPECTIVE COLOR-CODING. THE EXCAVATOR IS RESPONSIBLE FOR COMPLIANCE WITH REQUIREMENTS OF CHAPTER 36A OF THE MONTGOMERY COUNTY CODE.



CAS JOB NO.: 23-0728
DATE: 04/2026

DATE REVISION

04/24/26	LAK - Building Permit Site Plan for HPC Submission
	LAK - SLDA Updated to ePlans for Initial Plan Review by MDCPS-WSS

VICINITY MAP
ADC MAP 5407, GRID H-5, SCALE: 1" = 200'

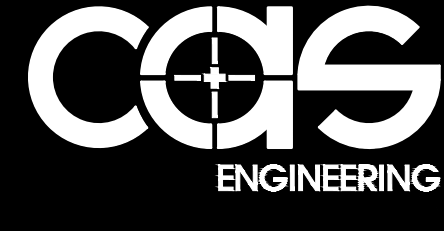
Lane A. Kurkjian
LANE A. KURKJIAN, P.E.
04/24/26

PROFESSIONAL ENGINEER CERTIFICATION:

I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 57000, expiration date 05/04/2027, and that this plan meets MDCPS criteria for building and sediment control permit applications.

Lot 10, Block 33, Chevy Chase, Section 2
Plat Book A, Plat No. 106, Recorded 09/09/1909
Bethesda (7th) Election District, Montgomery County, MD

17 West Irving Street
Chevy Chase, Maryland 20815



CAS ENGINEERING-MD
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www.casengineering.com

CAS ENGINEERING-DC, LLC
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OWNER/APPLICANT
Edward & Carolyn Nordberg
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enordberg@wakefieldcapital.com
canordberg@scsl.com

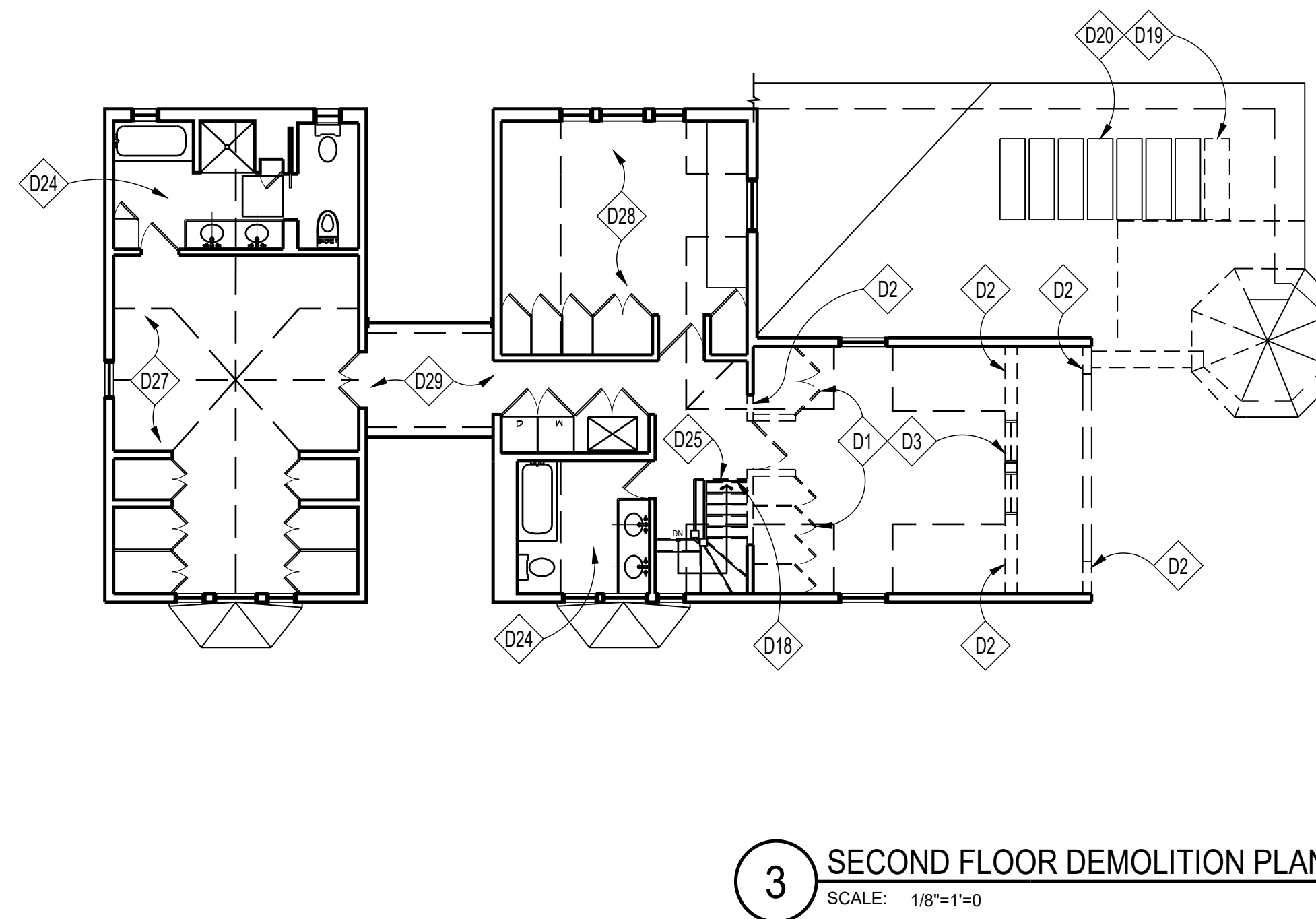
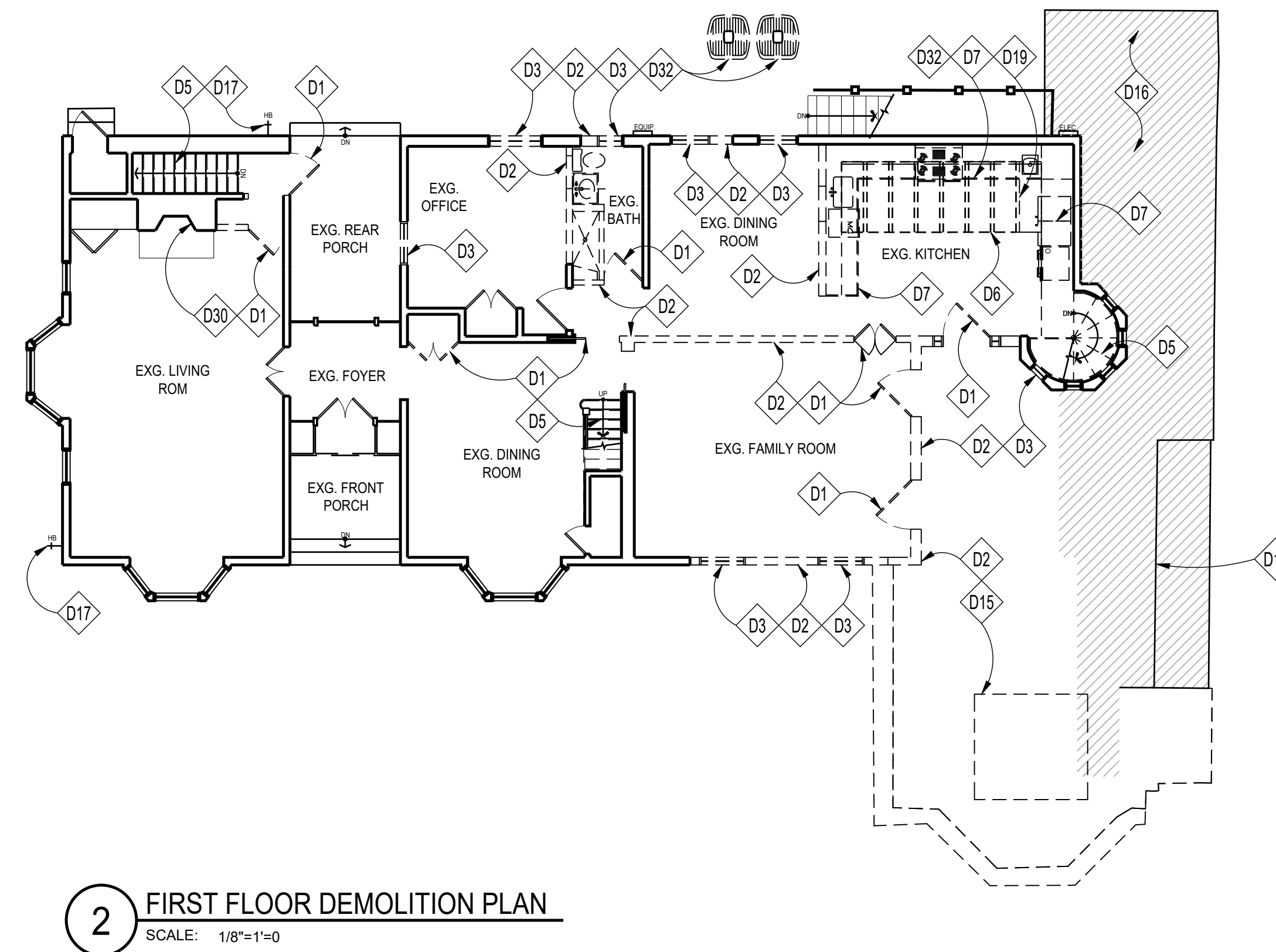
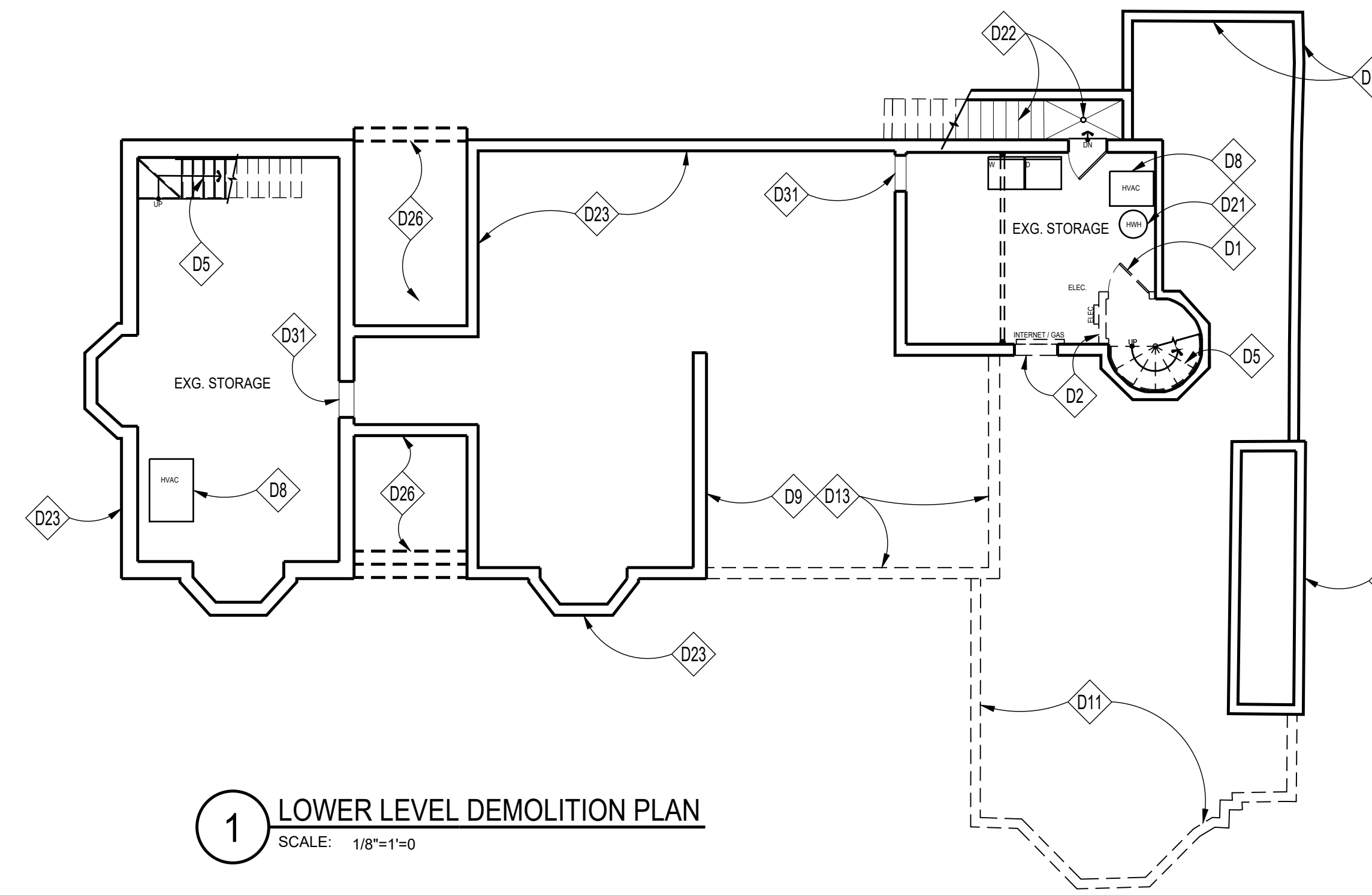
ARCHITECT
GTM Architects
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Bethesda, MD 20814
(240) 333-2021
lolson@gtmarchitects.com

BUILDER
Kandel Construction Group
Attn: Howard Kandel
7108 Nevis Road
Bethesda, MD 20817
(301) 775-7727 Phone
howard@kandelgroup.com

17 West Irving Street
Lot 10, Block 33,
Chevy Chase, Section 2
- CHEVY CHASE VILLAGE -
Building Permit Site Plan,
Small Land Disturbance Activity Plan,
and Small Lot Drainage Plan
Sediment Control Permit #: 000000

SHEET TITLE:
Building Permit Site Plan,
SLDA Plan, and Small
Lot Drainage Plan

CAS_MG_Template_ePlans_08-10-2025.dwg



DEMOLITION NOTES

- D1 REMOVE EXISTING DOORS
- D2 REMOVE EXISTING WALLS AS SHOWN, PROVIDE TEMPORARY SHORING AS REQUIRED
- D3 REMOVE EXISTING WINDOWS
- D4 REMOVE EXISTING PLUMBING FIXTURES, COUNTERTOPS, APPLIANCES, CABINETS IN THEIR ENTIRETY
- D5 EXISTING SPIRAL STAIRCASE TO BE REMOVED AND REPLACED IN KIND
- D6 EXISTING SKYLIGHTS TO REMAIN
- D7 EXISTING KITCHEN CABINETS TO BE REMOVED IN ITS ENTIRETY, COORD. APPLIANCES TO BE SALVAGED WITH OWNER
- D8 EXISTING HVAC TO REMAIN
- D9 FIELD VERIFY EXISTING FOUNDATION WALL, COORD. W/ STRUCTURAL ENGINEER AND ARCHITECT
- D10 EXISTING PLANTER BED FOUNDATION WALLS TO REMAIN, COORD. W/ CIVIL DRAWINGS
- D11 REMOVE PORTION OF EXISTING RAISED PATIO/TERRACE AS SHOWN, COORD. W/ CIVIL DRAWINGS
- D12 EXISTING PATIO/TERRACE TO REMAIN, COORD. W/ CIVIL DRAWINGS
- D13 REMOVE EXISTING FOUNDATION WALLS AND PROVIDE NEW, COORD. W/ STRUCTURAL DRAWINGS
- D14 EXISTING PLANTER BOX TO REMAIN, COORD. W/ CIVIL
- D15 REMOVE EXISTING PERGOLA IN ITS ENTIRETY
- D16 HATCHING INDICATES AREA OF EXISTING PATIO/TERRACE TO REMAIN, COORD. W/ CIVIL
- D17 EXISTING HOSE BIB TO REMAIN
- D18 DEMO EDGE OF EXISTING FLOOR TO PROVIDE LARGER OPENING FOR HEAD CLEARANCE, COORD. W/ STRUCTURAL DRAWINGS
- D19 EXISTING SKYLIGHT TO BE REMOVED, INFILL AS REQ'D
- D20 EXISTING SKYLIGHTS TO BE REPLACED
- D21 EXISTING HWH TO REMAIN
- D22 EXISTING AREAWAY STEPS AND DRAIN TO REMAIN
- D23 EXISTING FOUNDATION WALLS TO REMAIN, TYP
- D24 EXISTING BATHROOM TO REMAIN, COORD. REPLACEMENTS/UPGRADES WITH OWNER
- D25 EXISTING STAIR HEADER TO BE REMOVED, PROVIDE LARGER STAIR OPENING FOR MIN. HEADROOM CLEARANCE, COORD. W/ STRUCTURAL DRAWINGS
- D26 UNEXCAVATED STOOP & STEPS ABOVE TO REMAIN
- D27 EXISTING PRIMARY BEDROOM TO REMAIN, COORD. UPGRADES W/ OWNER
- D28 EXISTING BEDROOM TO REMAIN, COORD. UPGRADES W/ OWNER
- D29 EXISTING BREEZEWAY TO REMAIN, EVALUATE CONDITION AND REPAIR AS REQ'D
- D30 EXISTING WOOD BURNING FIREPLACE TO REMAIN, EVALUATE CONDITION AND REPAIR AS REQ'D
- D31 EXISTING CRAWL SPACE ACCESS TO REMAIN
- D32 EXISTING CONDENSER UNITS TO BE REMOVED, COORD. W/ HVAC CONTRACTOR

NOTES:

1. REMOVE FLOORING TO SUBFLOOR
2. EXISTING WINDOWS TO REMAIN, U.N.O.
3. REMOVE DRYWALL/PLASTER AS REQ'D BY NEW WORK
4. REMOVE DUCTS, WIRING, PLUMBING PIPES
5. DEMO INTERIOR LIGHTING

INFILL DEMO CALCS

EXISTING GROSS FLOOR AREA	
BASEMENT:	± 836.4 SF
FIRST FLOOR:	± 1,847.4 SF
SECOND FLOOR:	± 1,289.6 SF
TOTAL:	± 4,173.4 SF (50% = 2,086.8 SF)

GROSS FLOOR AREA TO BE DEMOLISHED AND RECONSTRUCTED:	
BASEMENT:	309.8 SF
FIRST FLOOR:	906.3 SF
SECOND FLOOR:	388.4 SF
TOTAL:	1,604.5 SF

SPRINKLER DEMOLITION CALCS

EXISTING FLOOR AREA: TAKEN FROM INSIDE FACE OF EXTERIOR WALLS
(DOES NOT INCLUDE THE BASEMENT FLOOR AREA)

FIRST FLOOR	1,769.8 SF
SECOND FLOOR	1,192.4 SF
TOTAL:	2,962.2 SF (50% = 1481.1 SF)

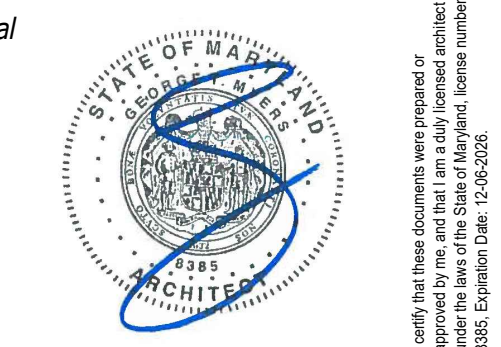
FLOOR AREA OF INTERIOR DEMOLITION TO BE CARRIED OUT	
FIRST FLOOR	906.3 SF
SECOND FLOOR	388.4 SF
TOTAL:	1,294.7 SF

GENERAL DEMOLITION NOTES

1. EVERY CARE SHALL BE TAKEN DURING DEMOLITION TO PROTECT THE HOUSE BY MEANS OF TEMPORARY SUPPORTS AND BRACES AS NECESSARY TO PREVENT ANY STRUCTURAL FAILURE DURING REMOVAL AND REPLACEMENT OF EXISTING STRUCTURAL MEMBERS.
2. TEMPORARY WALLS AND DUST BARRIERS SHALL BE INSTALLED AS NECESSARY TO PREVENT CIRCULATION OF DIRT AND DUST INTO PORTIONS OF THE HOUSE THAT ARE NOT PART OF THE WORK.
3. ALL DASHED WALLS, FIXTURES, WINDOWS, ETC., ARE TO BE REMOVED.
4. CONDUCT ALL DEMOLITION OPERATIONS IN COMPLIANCE WITH APPLICABLE CODES AND ORDINANCES.
5. COORDINATE DEMOLITION WITH WORK OF SUBCONTRACTORS.
6. MAINTAIN THE EXISTING STRUCTURE IN A WATERTIGHT CONDITION AT ALL TIMES.
7. RELOCATE/REMOVE ANY EXISTING GAS, ELECTRICAL, PLUMBING LINES, ETC. IN CONFLICT WITH NEW WORK.
8. SEE STRUCTURAL SHEETS FOR ADDITIONAL INFORMATION.
9. RE-ROUTE VENTS, FLUES, EXHAUST, ETC. AS REQ'D.
10. REMOVE LANDSCAPING AS REQUIRED.

GTM ARCHITECTS

7250 WOODMOUNT AVE., SUITE 200, BETHESDA, MD 20814
(240)323-2000
GTMARCHITECTS.COM



Consultant

Project
NORDBERG RESIDENCE

17 W IRVING ST, CHEVY CHASE, MD 20815

Owner

Developer

PERMIT SET 04-23-2026

Issue Description Date

GTM Project No. 24.0043

Checked By GTM/LEO

Drawn By TH/FSC

Scale AS NOTED

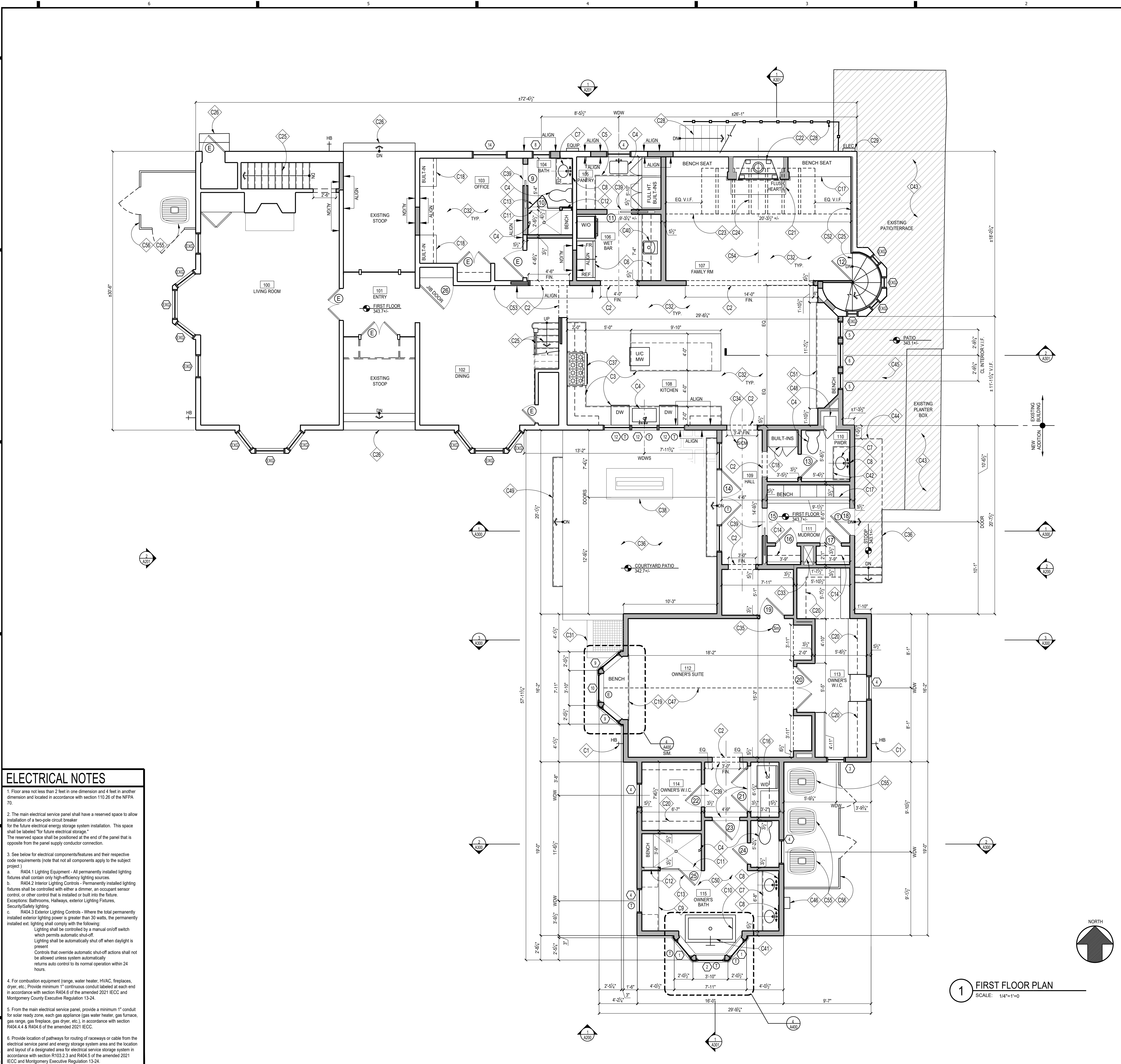
Sheet Title

DEMO PLANS

Sheet No.

D100

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ELECTRICAL NOTES

- Floor area not less than 2 feet in one dimension and 4 feet in another dimension and located in accordance with section 110.26 of the NFPA 70.
- The main electrical service panel shall have a reserved space to allow installation of a two-pole circuit breaker for the future electrical energy storage system installation. This space shall be labeled "for future electrical storage". The reserved space shall be positioned at the end of the panel that is opposite from the panel supply conductor connection.
- See below for electrical components/features and their respective code requirements (note that not all components apply to the subject project):
 - R404.1 Lighting Equipment - All permanently installed lighting fixtures shall contain only high-efficiency lighting sources.
 - R404.2 Interior Lighting Controls - Permanently installed lighting fixtures shall be controlled with either a dimmer, an occupant sensor control, or other control that is installed or built into the fixture. Exceptions: Bathrooms, Hallways, exterior Lighting Fixtures, Security/Safety lighting.
 - R404.3 Exterior Lighting Controls - Where the total permanently installed exterior lighting power is greater than 30 watts, the permanently installed ext. lighting shall comply with the following:
 - Lighting shall be controlled by a manual on/off switch which permits automatic shut-off.
 - Lighting shall be automatically shut off when daylight is present.
 - Controls that override automatic shut-off actions shall not be allowed unless system automatically returns auto control to its normal operation within 24 hours.
- For combustion equipment (range, water heater, HVAC, fireplaces, dryer, etc.): Provide minimum 1" continuous conduit labeled at each end in accordance with section R404.6 of the amended 2021 IECC and Montgomery County Executive Regulation 13-24.
- From the main electrical service panel, provide a minimum 1" conduit for solar ready zone, each gas appliance (gas water heater, gas furnace, gas range, gas fireplace, gas dryer, etc.), in accordance with section R404.4.4 & R404.6 of the amended 2021 IECC.
- Provide location of pathways for routing of raceways or cable from the electrical service panel and energy storage system area and the location and layout of a designated area for electrical service storage system in accordance with section R103.2.2 and R404.5 of the amended 2021 IECC and Montgomery County Executive Regulation 13-24.

1 FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"

CONSTRUCTION NOTES

- C1 FROST-PROOF HOSE BIB, T.B.S.
- C2 CASED OPENING, MATCH EXISTING CASED OPENING HEAD HEIGHT
- C3 KITCHEN APPLIANCES, CABINETS, & COUNTERTOPS, T.B.S. FINAL LAYOUT TO BE DETERMINED BY KITCHEN DESIGNER & APPROVED BY OWNER
- C4 PLUMBING FIXTURES, T.B.S.
- C5 PANTRY CABINETS & SHELVING, T.B.S., COORDINATE WITH OWNER
- C6 WET BAR APPLIANCES & CABINETS, T.B.S., COORDINATE WITH KITCHEN DESIGNER & OWNER
- C7 VANITY W/ SINK, FAUCET, & COUNTERTOP, T.B.S.
- C8 1/2" PLATE GLASS VANITY MIRROR
- C9 MAKEUP VANITY, T.B.S., COORD. W/ OWNER
- C10 FREE STANDING TUB, COORDINATE DRAIN & TUB FILLER LOCATIONS WITH OWNER SELECTIONS (REINFORCE FLOOR BELOW, SEE STRUCTURAL PLANS)
- C11 CURBLESS TILED SHOWER AND TILED BENCH, W/ TEMPERED GLASS DOOR, SEE DETAIL '3A501' AND '8A501'
- C12 TILED SHOWER NICHE, COORDINATE W/ TILE SELECTION; SEE ID DRAWINGS
- C13 TEMPERED GLASS SHOWER DOOR & ENCLOSURE
- C14 1 1/2" WD. ROD, PTD W/ 1/2" WD. SHELF PAINTED
- C15 LAUNDRY ROOM CABINETS, COUNTERTOP, SHELVING & ELECTRICAL APPLIANCES T.B.S.
- C16 PROVIDE OVERFLOW FLOOR PAN, MEMBRANE LINER, & FLOOR DRAIN UNDER WASHER
- C17 BUILT-IN BENCH SEATING, SEE INTERIOR DRAWINGS
- C18 BUILT-IN SHELVES, SEE INTERIOR DRAWINGS
- C19 BUILT-IN BENCH & CUBBIES, SEE INTERIOR DRAWINGS
- C20 BUILT-IN CLOSET SYSTEM, T.B.D.
- C21 FLUSH HEARTH, APPLY TILE DIRECTLY TO SUBFLOOR
- C22 HEAT N GLO PHOENIX 42" TRUE VIEW DIRECT VENT GAS FIREPLACE
- C23 DASHED LINE OF SOFFIT ABOVE, V.I.F.
- C24 EXISTING SKYLIGHTS ABOVE TO BE REPLACED, COORD. FINAL SELECTION W/ OWNER & ARCHITECT FOR APPROVAL BEFORE ORDERING, INSTALL PER MFR. SPECS
- C25 NEW SPIRAL STAIRCASE, SEE SHEET 'A502'
- C26 EXISTING PORCH/STOOP & STEPS TO GRADE TO REMAIN
- C27 CURBLESS TILED SHOWER AND TILED BENCH, W/ TEMPERED GLASS ENCLOSURE, COORDINATE W/ STRUCTURAL DRAWINGS, SEE DETAIL '1'
- C28 EXISTING AREAWAY & RAILING TO REMAIN
- C29 EXISTING ELECTRIC METER TO REMAIN
- C30 NOT USED
- C31 WINDOW WELL BELOW WITH HINGED PTD. METAL GRATE FOR ACCESS PER IRC 2021, SEE DTL. '4A500'
- C32 GC TO PATCH & REPAIR EXISTING DRYWALL AS REQUIRED BY DEMO & PROVIDE NEW FINISHES, TRIM, ETC. TO MATCH NEW CONSTRUCTION, TYP.
- C33 RETURN AIR DUCTWORK CHASE
- C34 HARDWIRED SMOKE DETECTOR / CARBON MONOXIDE DETECTOR W/ BATTERY BACKUP, PER IRC 2021
- C35 HARDWIRED SMOKE DETECTOR W/ BATTERY BACKUP, PER IRC 2021
- C36 FLAGSTONE PATIO PORCH; F.V. RISE AND RUN OF STEPS, FOLLOW IRC 2021
- C37 INDUCTION RANGE PROVIDED BY OWNER, GC TO INSTALL; LA CORNEUE 43" G5 C1LFI PROVIDENCE BLUE W/ MATCHING HOOD H1FL.
- C38 PROVIDE GAS LINE FOR FIREPLACE, COORD. W/ OWNER
- C39 THRESHOLD, T.B.S.; SEE DETAIL '4A501'
- C40 BAR SINK PROVIDED BY OWNER, GC TO INSTALL; WATERWORKS NORMANDY 18 1/2" X 17 1/2" X 1/2" HAMMERED COPPER SQUARE SINK W/ CENTER DRAIN
- C41 FAUCET W/ TUB FILLER PROVIDED BY OWNER, GC TO INSTALL; WATERWORKS LUDLOW DECK MOUNTED EXPOSED TUB FILLER W/ HANDSHOWER, NICKEL FINISH
- C42 VANITY PROVIDED BY OWNER, GC TO INSTALL; WATERWORKS PELHAM METAL FOUR LEG SINGLE WASHSTAND IN NICKEL
- C43 HATCHING INDICATES AREA OF EXISTING PATIOTERRACE AND PLANTER BOX TO BE MODIFIED TO CREATE 'A1-GRADE' PATIO CONDITION, COORD. W/ CIVIL
- C44 DASHED LINE OF CANOPY ABOVE, SEE ELEV. & DETAIL '2A500'; HOLD OFF EDGE AS SHOWN
- C45 NEW PATIOTERRACE, TIE INTO EXISTING TO REMAIN PORTION OF PATIOTERRACE AS SHOWN
- C46 GAS METER, FIELD VERIFY FINAL LOCATION
- C47 DASHED LINE OF VAULTED CEILING ABOVE, SEE DTL. '1A301'
- C48 POWDER ROOM BUILT-INS, COORD. W/ OWNER
- C49 PATIO STEPS TO GRADE, FIELD VERIFY RISER/RUN
- C50 PROVIDE RADIANT FLOOR HEAT THROUGHOUT PRIMARY BATHROOM
- C51 BUILT-IN BANQUETTE SEATING, SEE INTERIOR DRAWINGS
- C52 FURR OUT EXISTING TO REMAIN WALL WITH 2 x 6 FRAMING
- C53 CUSTOM WALL PANELING, SEE INTERIOR DRAWINGS
- C54 CENTER NEW FIREPLACE AND FAMILY ROOM WITH EXISTING SKYLIGHTS, FIELD VERIFY FINAL DIMENSIONS
- C55 NEW CONDENSOR UNIT, FIELD VERIFY FINAL LOCATION, COORD. W/ MECHANICAL ENGINEER AS REQ'D
- C56 WALL POLE EXTERIOR SCREENING ENCLOSURE W/ LATTICE PANEL OR EQ. FOR CONDENSER UNITS, PROVIDE ACCESS GATE AS REQ'D

GENERAL NOTES

- UNLESS INDICATED OTHERWISE, DIMENSIONS ARE TO FACE OF FRAMING
- VERIFY ALL EXTERIOR RISER + TREAD DIMENSIONS IN THE FIELD
- ENTIRE SPACE TO HAVE NEW TRIM, BASE, ETC.
- FILL CAVITIES W/ MINERAL WOOL SOUND INSULATION IN WALLS, CEILING, + FLOOR OF THE FOLLOWING ROOMS (U.N.O.): '110' POWDER, '112' OWNER'S SUITE, '103' OFFICE, '104' BATH
- PROVIDE HARDWIRED SMOKE DETECTORS PER IRC SECTION R.313 & LOCAL JURISDICTION
- (T) = TEMPERED GLASS (E) = EGRESS UNIT
- SEE DETAILS '1' & '2A501' FOR EFFICIENT FRAMING DETAILS

WALL TYPES

TYPICAL NEW EXTERIOR WALL: 2x6 WOOD STUDS 16" O.C. W/ INSULATION (SEE SHEET '08001' FOR INSULATION LOCATION & INFORMATION) W/ 1/2" ZIP SHEATHING, W/ DUTCH COVERLAP SIDING, INTERIOR FINISH TO BE 1/2" GYP. BD.

TYPICAL NON-BEARING INTERIOR PARTITION: U.N.O. 2x4 WOOD STUDS 16" O.C. W/ 1/2" GYP. BD. EACH SIDE

KEY

- (EXISTING WALL)
- (NEW FRAME WALL)
- (SMOKE/CARBON MONOXIDE DETECTOR)
- (SMOKE DETECTOR)



Consultant

Project

NORDBERG RESIDENCE

17 W IRVING ST, CHEVY CHASE, MD 20815

Owner

Developer

PERMIT SET	04-23-2026
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GTM Project No. 24.0043
Checked By GTM/LEO

Drawn By TH/FSC
Scale AS NOTED

Sheet Title

FIRST FLOOR PLAN

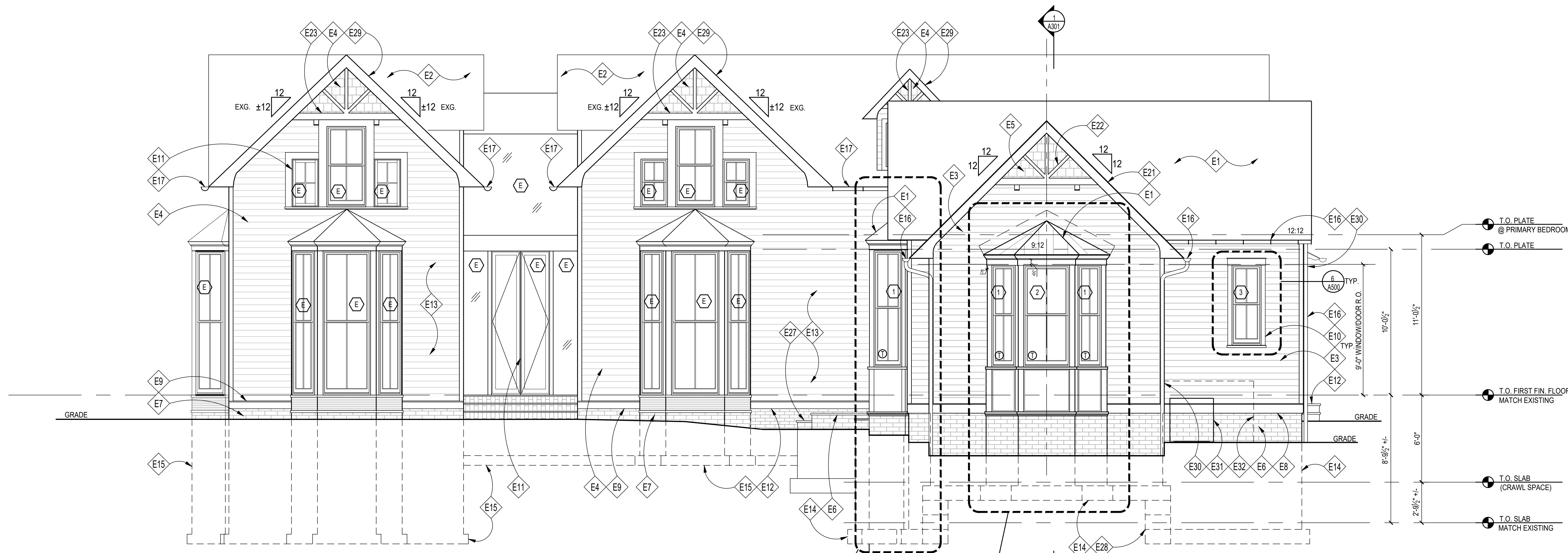
Sheet No. **A101**
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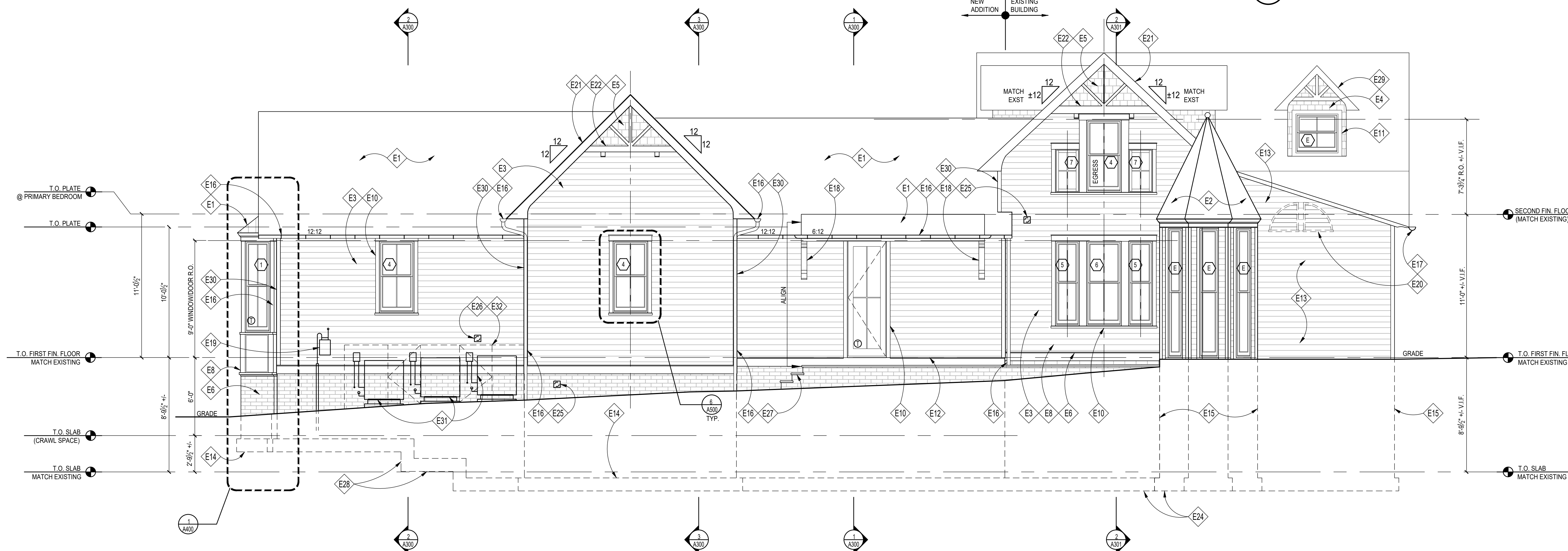
3 EXISTING FRONT ELEVATION
SCALE: 1/8"=1'-0"



4 EXISTING RIGHT SIDE ELEVATION
SCALE: 1/8"=1'-0"



1 FRONT ELEVATION
SCALE: 1/4"=1'-0"



2 RIGHT SIDE ELEVATION
SCALE: 1/4"=1'-0"

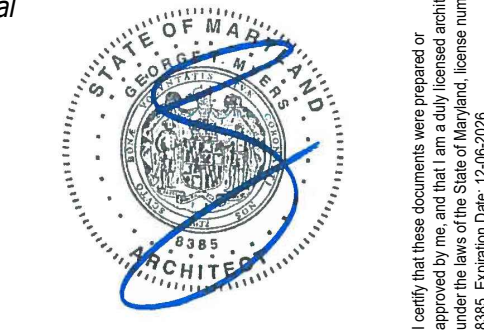
ELEVATION NOTES

- E1 NEW ROOF SHINGLES TO MATCH EXISTING; SEE ROOF PLAN
- E2 EXISTING ROOF SHINGLES TO REMAIN
- E3 PTD. FIBRECEMENT DUTCHCOVE LAP SIDING, PROFILE & REVEAL TO MATCH EXISTING. INSTALL ON CEDAR BREATHER OR RAINDRAIN MESH
- E4 EXISTING SIDING TO REMAIN; REPAIR/REPAINT AS REQ'D
- E5 PTD. COMPOSITE SHINGLE SIDING TO MATCH EXISTING; SEE DETAIL '17A500'
- E6 NEW THIN BRICK VENEER, MATCH EXG. SIZE, TEXTURE/FINISH AND COLOR
- E7 EXISTING BRICK TO REMAIN; REPOINT AS REQ'D
- E8 PTD. AZEK SKIRT BOARD, MATCH EXISTING
- E9 EXISTING SKIRT BOARD; REPAIR/REPAINT AS REQ'D
- E10 PTD. AZEK WINDOW/DOOR TRIM, MATCH EXISTING
- E11 EXISTING WINDOWS, TYP.; SCRAPER, REPAIR, & PAINT EXISTING WINDOW & TRIM AS REQ'D
- E12 FLAGSTONE OVER CONC. PATIO/STOOP W/ STEPS TO GRADE, FIELD VERIFY RISE/RUN
- E13 EVALUATE CONDITION OF EXISTING SIDING; FOR NEW SIDING ON EXG. WALLS - G.C. TO ADDRESS AIR & WEATHER BARRIER AND PROVIDE RAINDRAIN MESH AS REQ'D
- E14 PROPOSED FOUNDATION & FOOTINGS BELOW, SEE FOUNDATION PLAN FOR MORE INFO
- E15 APPROX. LINE OF EXISTING FOUNDATION & FOOTINGS BELOW, VERIFY IN FIELD
- E16 NEW GUTTERS & DOWNSPOUTS, SEE ROOF PLAN
- E17 EXISTING GUTTERS & DOWNSPOUTS TO REMAIN, EVALUATE & REPAIR AS REQ'D, SEE ROOF PLAN
- E18 TIMBER BUILD WOOD BRACKET 10T17, PTD.
- E19 GAS METER, FIELD VERIFY FINAL LOCATION
- E20 EXISTING LOUVERS TO BE REMOVED
- E21 PTD. PVC DECORATIVE BARGE BOARD TO MATCH EXISTING, SEE DETAIL '17A500'
- E22 PTD. PVC GABLE BRACKET TO MATCH EXISTING, SEE DETAIL '17A500'
- E23 EXISTING GABLE BRACKET TO REMAIN, REPAIR/REPAINT AS REQ'D
- E24 ALIGN NEW FOOTINGS WITH EXISTING, FIELD VERIFY; COORDINATE W/ STRUCTURAL DRAWINGS
- E25 WALL VENT CAP FOR BATHROOM EXHAUST FAN(S), COLOR & MATERIAL T.B.S.
- E26 WALL VENT CAP FOR LAUNDRY RM DRYER EXHAUST, COLOR & MATERIAL T.B.S.
- E27 STEPS TO GRADE, THIN BRICK RISERS AND FLAGSTONE TREADS, FIELD VERIFY RISE/RUN, COORD. W/ CIVIL & STRUCTURAL DWGS
- E28 STEPPED FOOTING AS ABLE PROVIDED EXISTING SOIL CONDITIONS ARE SUITABLE, MIN 36" FROST LINE DEPTH
- E29 EXISTING DECORATIVE BARGE BOARD TO REMAIN, REPAIR/REPAINT AS REQ'D
- E30 PTD. PVC CORNER BOARD TO MATCH EXISTING
- E31 NEW CONDENSOR UNIT, FIELD VERIFY FINAL LOCATION, COORD. W/ MECHANICAL ENGINEER AS REQ'D
- E32 CONDENSOR UNIT SCREENING ENCLOSURE WITH LATTICE PANEL OR EQ., PROVIDE ACCESS GATES AS SHOWN

NOTE:
 1. VERIFY ALL EXTERIOR RISER & TREAD DIMENSIONS IN FIELD
 2. EXISTING HOUSE TO BE PAINTED
 3. ALL EXTERIOR TRIM TO BE DIMENSIONALLY STABLE NON-PVC COMPOSITE PRODUCT SUITABLE TO RECEIVE DARK PAINT FINISH
 (T) = TEMPERED GLASS (E) = EGRESS UNIT



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NORDBERG RESIDENCE

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Owner

Developer

PERMIT SET 04-23-2026

Issue Description Date

GTM Project No. 24.0043
 Checked By GTM/LEO
 Drawn By TH/FSC
 Scale AS NOTED

Sheet Title

FRONT & RIGHT SIDE ELEVATIONS

Sheet No. **A200**

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CONDENSOR UNIT PRIVACY SCREENING
DESIGN INTENT (17 W IRVING ST)