

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	707 New York Avenue, Takoma Park	Meeting Date:	4/22/2026
Resource:	Non-Contributing Resource Takoma Park Historic District	Report Date:	4/15//2026
Applicant:	Mark Hishmeh, Ace Construction LLC (Ben Norkin, Architect)	Public Notice:	4/82026
Review:	HAWP	Tax Credit:	No
Permit No.:	1143852	Staff:	Laura DiPasquale
Proposal:	Demolition of existing house, tree removal, hardscape alterations, and construction of new single-family house		

RECOMMENDATION

Staff recommends the HPC **approve with four (4) conditions** the HAWP application, with final approval authority delegated to staff:

1. The proposed Trex Classic porch railing with charcoal balusters is not approved. The applicant must submit a more compatible railing specification with a single, paintable material with balusters installed between the top and bottom rails.
2. The applicant must submit a tree protection plan and implement any recommendations from the Takoma Park arborist to prevent irreparable damage to any existing trees for the installation of the proposed hardscaping.
3. The proposed gravel driveway must be fully permeable.
4. The applicant must plant one to two large species canopy trees in the southeast side yard of the property.

PROPERTY DESCRIPTION

SIGNIFICANCE: Non-Contributing Resource to the Takoma Park Historic District
STYLE: Colonial Revival
DATE: 1920s-30s



Figure 1: Location of the subject property (outlined in blue with a yellow star) within the Takoma Park Historic District (outlined and hatched in red).



Figure 2: Front and partial side elevation of the existing Non-Contributing house at 707 New York Avenue, with the neighboring Outstanding resource on the adjacent parcel at 703 Takoma Avenue visible on the far right (December 2025, Historic Preservation Division).



Figure 4: Renderings of the proposed house.

APPLICABLE GUIDELINES

The Historic Preservation Office and Historic Preservation Commission (HPC) consult several documents when reviewing alterations and new construction within the Takoma Park Historic District. These documents include the historic preservation review guidelines in the approved and adopted amendment for the *Takoma Park Historic District (Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*, and Historic Preservation Commission Policy No. 24-01: *Policy for the Appropriateness of Substitute Materials for Porch and Deck Flooring (Policy 24-01)*. The pertinent information in these documents is outlined below.

Takoma Park Historic District Guidelines

There are two broad planning and design concepts which apply to all categories. These are:

- The design review emphasis will be restricted to changes that are all visible from the public right-of-way, irrespective of landscaping or vegetation (it is expected that the majority of new additions will be reviewed for their impact on the overall district), and
- The importance of assuring that additions and other changes to existing structures act to reinforce and continue existing streetscape, landscape, and building patterns rather than to impair the character of the historic district.

Non-Contributing/Out-of-Period Resources are either buildings that are of little or no architectural and historical significance to the historic district or are newer buildings that have been constructed outside of the district's primary periods of historical importance. These types of resources should receive the most lenient level of design review. Most alterations and additions to Non-Contributing/Out-of-Period Resources should be approved as a matter of course. The only exceptions would be major additions and alterations to the scale and massing of Non-Contributing/Out-of-Period Resources which will affect the surrounding streetscape and/or landscape and could impair the character of the district as a whole.

Demolition of Non-Contributing/Out-of-Period Resources should be permitted. However, any new building constructed in the place of a demolished building should be reviewed under the guidelines for new construction that follow.

New Construction

The goal of new construction within both residential and commercial historic districts is to be sympathetic to the traditional street and building patterns in that district, while allowing for creative new building designs. In addition to the approach of recalling earlier architectural styles in new buildings, it is appropriate for new structures to reflect and represent the period in which they are built. It is not the intention of these guidelines to inhibit or exclude creative design solutions that may be developed for new buildings in the Takoma Park district. Unique designs which may not adhere strictly to traditional

neighborhood practices, but which are sensitive to and compatible with the fabric of the community should be supported.

Residential Areas

In Takoma Park, there are a number of elements which define the streetscape and building patterns. New construction should consider some of these elements, such as:

- rhythm of houses along the street, including patterns of height , massing, side and front setbacks, and roof pitch
- patterns of open space/landscaping and building coverage, including ample front and back yards, spacing between houses, preservation of important mature trees, etc.
- principal building facades oriented to the street
- covered porches on the front or main facades
- patterns of openings in facades, especially doors and windows, which provide a sense of residential scale and rhythm along the street
- building and roofing materials
- high degree of building craftsmanship, as expressed in detailing and use of materials
- use of decorative stone retaining walls (where required by topographic changes) and occasionally fences to define a sidewalk line and separate yards from street
- orientation of driveways and parking areas to the rear and sides of buildings
- use of outbuildings (e .g. detached garages)
- extensive landscaping, including mature trees and flowering plants (e.g. azaleas)

Public Improvements

Although much of Takoma Park's architectural and historical significance is derived directly from the built environment, there are overall community features which contribute greatly-and are in fact integral-to the historic ambiance of this "garden suburb." These features should be recognized and preserved as part of the setting for this historic district... Existing patterns of building coverage and ample front and back yards that are characteristic of Takoma Park all contribute to the overall environmental setting of the historic district. These features should serve as guides in reviewing subdivisions and in planning new development within the district.

Another feature which is closely related to the sense of open space in the district is the existence of a large number of mature trees and extensive landscaping throughout the community. All public improvements in Takoma Park should strive to create the minimal disturbance possible to these types of natural features. In addition, review of subdivision proposals in the district should emphasize the retention of mature trees and landscaping.

Montgomery County Code, Chapter 24A-8

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to ensure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter.
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the

historic or architectural value of surrounding historic resources or would impair the character of the historic district.

Secretary of the Interior’s Standards for Rehabilitation

The Secretary of the Interior defines rehabilitation as “the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values.” The applicable *Standards* are as follows:

2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

Historic Preservation Commission Policy No. 24-01: Policy for the Appropriateness of Substitute Materials for Porch and Deck Flooring

1. Non-Contributing Resources/Secondary/Spatial – These were constructed after the district’s period of significance or have been so heavily modified that they no longer contribute to the historic district’s character. These resources do not need to use traditional materials. New porch flooring/decking materials for these resources do not need to satisfy the criteria for compatible substitute material.

BACKGROUND

First Preliminary Consultation

The HPC held a preliminary consultation review for the subject property at its January 7, 2026 meeting. At that time, the applicants proposed to subdivide the existing parcel into two lots (the front lot being approximately 8,000 sq.ft. and the rear lot being approximately 12,725 sq.ft.), demolish the existing Non-Contributing house and garage, and construct two single-family houses on the subdivided lots, accessed by a shared 20-foot wide driveway. Three large canopy trees were proposed for removal to accommodate the new construction. At that meeting, HPC generally concurred with the staff findings and recommended a comprehensive reconsideration of the proposal.

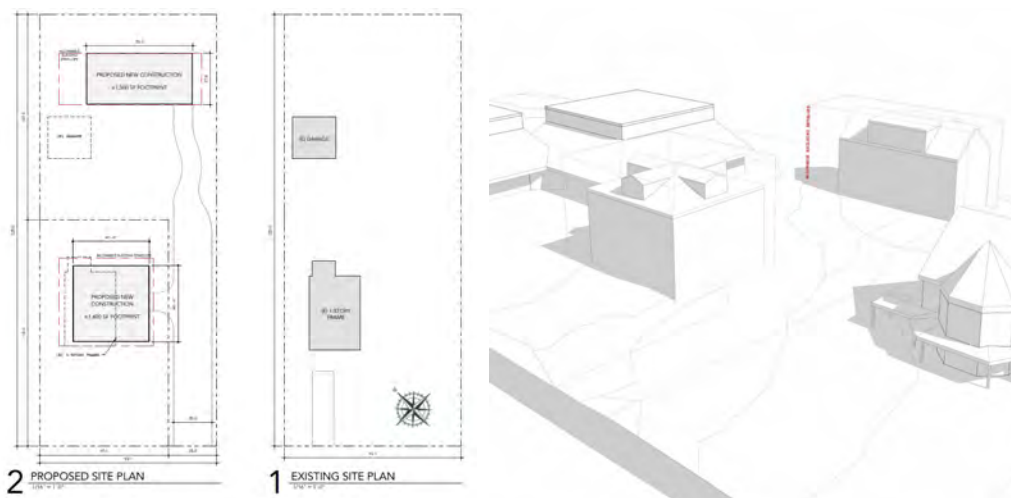


Figure 5: The previously-proposed conceptual site plan and massing rendering reviewed at the January 7, 2026 HPC meeting.

Second Preliminary Consultation

Following the first preliminary consultation review, the applicants revisited the proposed site redevelopment, changing plans to subdivide the parcel and construct two single-family houses, and instead propose construction of one larger single-family house to replace the smaller existing Non-Contributing house and to retain the existing garage. The HPC held a second preliminary consultation on the proposal at its March 11, 2026 meeting. At that meeting, the HPC generally supported the proposal as an improvement over the previous proposal and offered the following comments:

- The demolition of the existing Non-Contributing house should be permitted under the *Guidelines* and Chapter 24A-8(d).
- The proposed house respects the existing patterns of building coverage and sense of open space in the district.
- The overall form, orientation, massing, and materials of the proposed house is compatible with the district and recommendations for new construction in the *Guidelines*. One Commissioner found the size of the proposed building to be overly large and recommended reducing the size of the house to the greatest extent possible.
- The applicants should provide additional information on the building height in comparison to the neighboring property at 703 New York Avenue, and the proposed building should not be taller than the historic building on that property.
- Additional consideration should be given to the first-floor front fenestration, particularly the front door, which appears undersized and overly separated from the adjacent windows. Suggestions included adding a transom and/or sidelights or adding additional windows on the front elevation.
- The dormers should be pulled back 6-8 inches to reduce the visual scale of those elements on the roof.
- There were conflicting opinions on the appropriateness of the proposed window changes between the first floor and upper floors, with some Commissioners expressing confusion over the change in design while others found it acceptable on new construction as it is differentiated from the old.
- The overall footprint of the porch is acceptable as proposed, but the porch column thickness and patterns should be evaluated and more focus given to highlighting the entry. One Commissioner suggested that a railing be included on the porch to prevent students from the neighboring college from sitting on the porch.
- The proposed tree removal is acceptable, provided additional trees are planted on the property.

STAFF DISCUSSION

Revised New Construction Design

Staff finds that the revisions included in the current proposal address many of the HPC's comments from the March 2026 preliminary consultation review. In the revised application, the applicants have maintained the overall form of the proposed construction, but have slightly reduced and broken up the massing by pulling the back rooms in between 18 inches and 2 feet from the rear and 16 inches in from the side to create the appearance of a rear addition. The applicants have also reduced the size of the dormers and pulled them back 2-feet 10-inches from the front elevation. At the first floor, the applicants have also addressed comments about the fenestration, revising the first floor to shift the entry to the left and enhancing the opening with a projecting entrance bay including an entry door flanked by sidelights and topped with a transom. Additional fenestration was also added to the northwest side elevation of the front of the house. The applicants reduced the height of the upper floor fenestration slightly, but maintained the 6-over-1 double-hung first floor windows and 4-light casement window configuration on the upper floors. The applicants addressed comments about the porch column pattern and thickness, increasing the thickness of the proposed columns and adding a railing, which further highlights the proposed front entry.

For the cladding of the proposed house, the applicants propose a combination of smooth-finish 7-inch reveal James Hardie fiber cement lap siding, smooth-finish 9-inch reveal James Hardie fiber cement shiplap siding, and flat panel fiber cement siding with 1x2 battens. For the windows, the applicants propose Pella Reserve aluminum-clad windows with 7/8-inch ogee simulated-divided-light grilles. For the exterior trim, the applicants propose Azek Classic white trim. Roofing would be GAF Timberline HDZ architectural shingles. Staff finds that all of these materials are compatible for use on the proposed house, per *Standard 9* and Chapter 24A-8(b)(2).

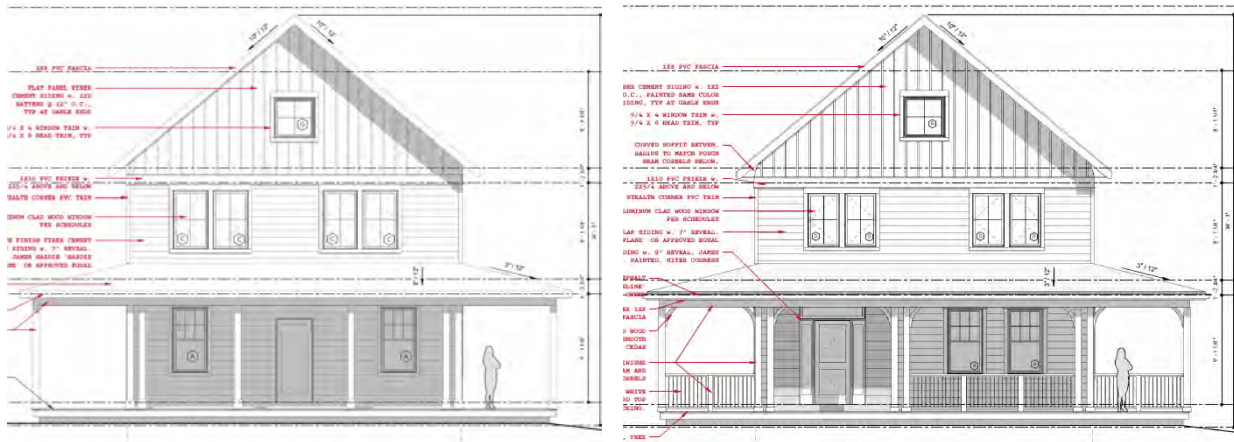


Figure 6: Front elevation of the proposed house from the March 11, 2026 preliminary consultation (left) and revised (right).

On the porch, the applicants propose Trex “Enhance” composite decking with 1-inch square edge boards, and Trex “Select Classic” railings with white rails and charcoal balusters. The structural porch posts and beams would be wrapped in Western Red Cedar trim boards. Staff finds that the proposed decking is consistent with *Policy 24-01*, but finds that the proposed composite railing with aluminum balusters is not compatible or consistent with Chapter 24A-8(b)(2), *Standard 9* owing to the material’s sheen, potential for visible fasteners, and gaps between mixed materials caused by differential thermal expansion that do not reflect the high quality craftsmanship called for in the *Guidelines*. Staff finds that a more traditional design with a single, paintable material for use on the rails, posts, and balusters would be compatible with the *Guidelines* instead of what is proposed



Figure 7: Proposed Pella simulated-divided-light, ogee grilles (left) and proposed Trex Select Classic porch railing (right).

At the March 2026 preliminary consultation review, the HPC also requested additional information on the height of the adjacent historic building at 703 New York Avenue. The applicants have provided additional information showing that the roof peak of the neighboring house will be approximately 4 feet lower than that of the proposed house. While the HPC found that the proposed roof height should not exceed that of the adjacent historic resource, staff notes that approximately 3-feet 3-inches of the height difference is owing to grade change, making the two buildings approximately the same height, discounting grade. While staff would typically find 34 to 35-ft in height for new construction overly tall for a smaller interior lot in the district, given the large size of the proposed lot and its location at the along two of the district boundary lines, the position of the proposed house approximately 70 feet from the adjacent Outstanding resource, and the setback of the proposed house over 50 feet from the public right-of-way, staff finds that the overall height is compatible with the district in this location and will not seriously impair the district or adjacent historic resource, per Chapter 24A-(d).

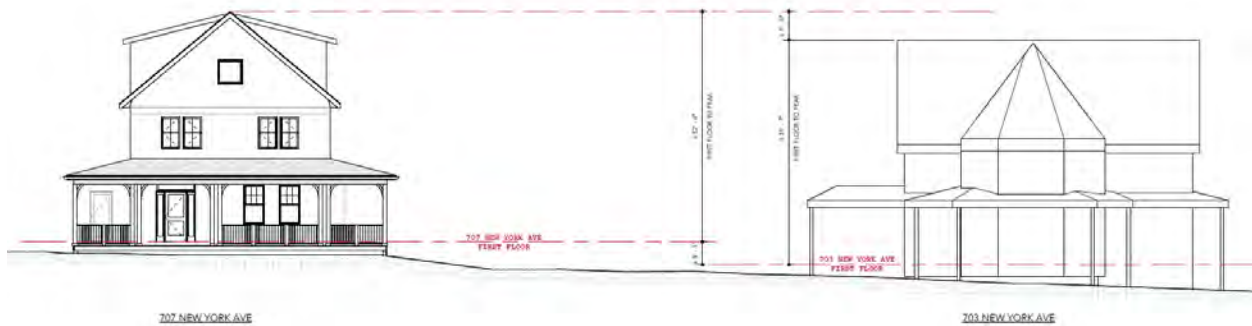


Figure 12: Height comparison of the proposed house at 707 New York Avenue and the neighboring Outstanding resource at 703 New York Avenue.

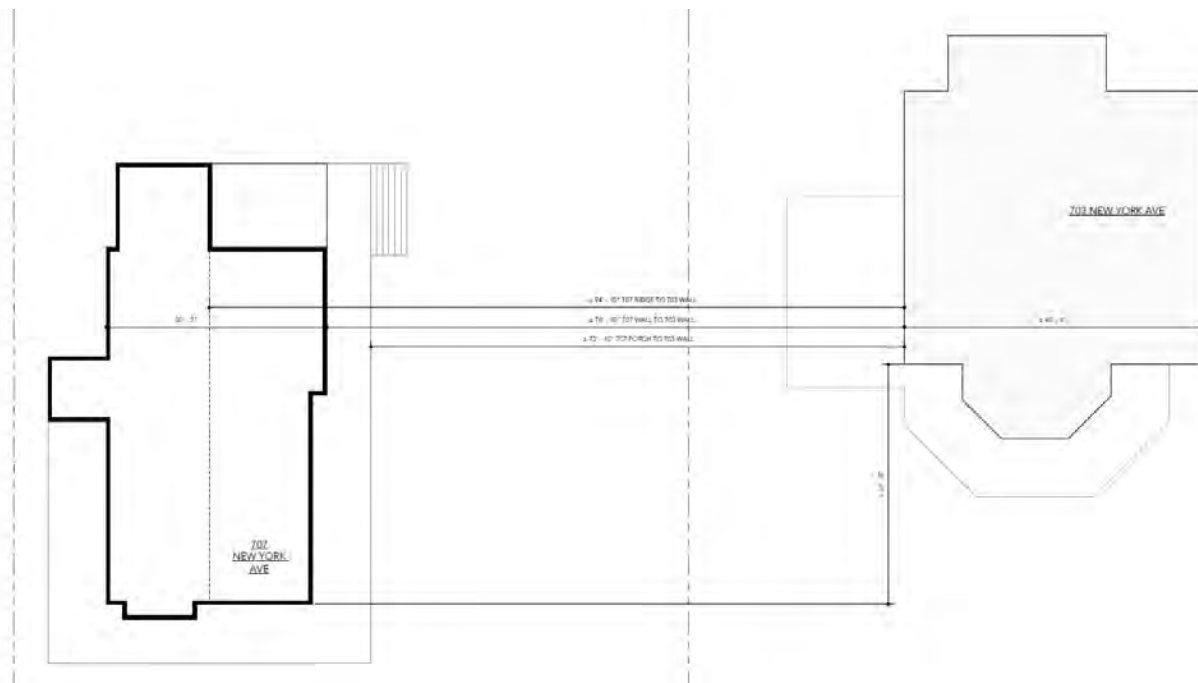


Figure 13: Distances between the proposed house at 707 New York Avenue and the neighboring Outstanding resource at 703 New York Avenue.

Hardscaping

New to the current proposal is the addition of a 20-foot by 20-foot gravel driveway extension and paver walkway in front of the house. While staff would typically discourage the installation of parking in front of the house, staff finds that, based on the site restrictions and existing curb cut, as well as the driveway discussion at the first preliminary consultation review, the proposed parking is acceptable provided it will not damage the existing adjacent 22.5-inch Northern Red Oak or 19.5-inch d.b.h. Maple trees (see *Figure 15*). Staff recommends that the applicants submit a tree protection plan and Takoma Park arborist's assessment demonstrating that the proposed work will not irreparably damage any existing trees.

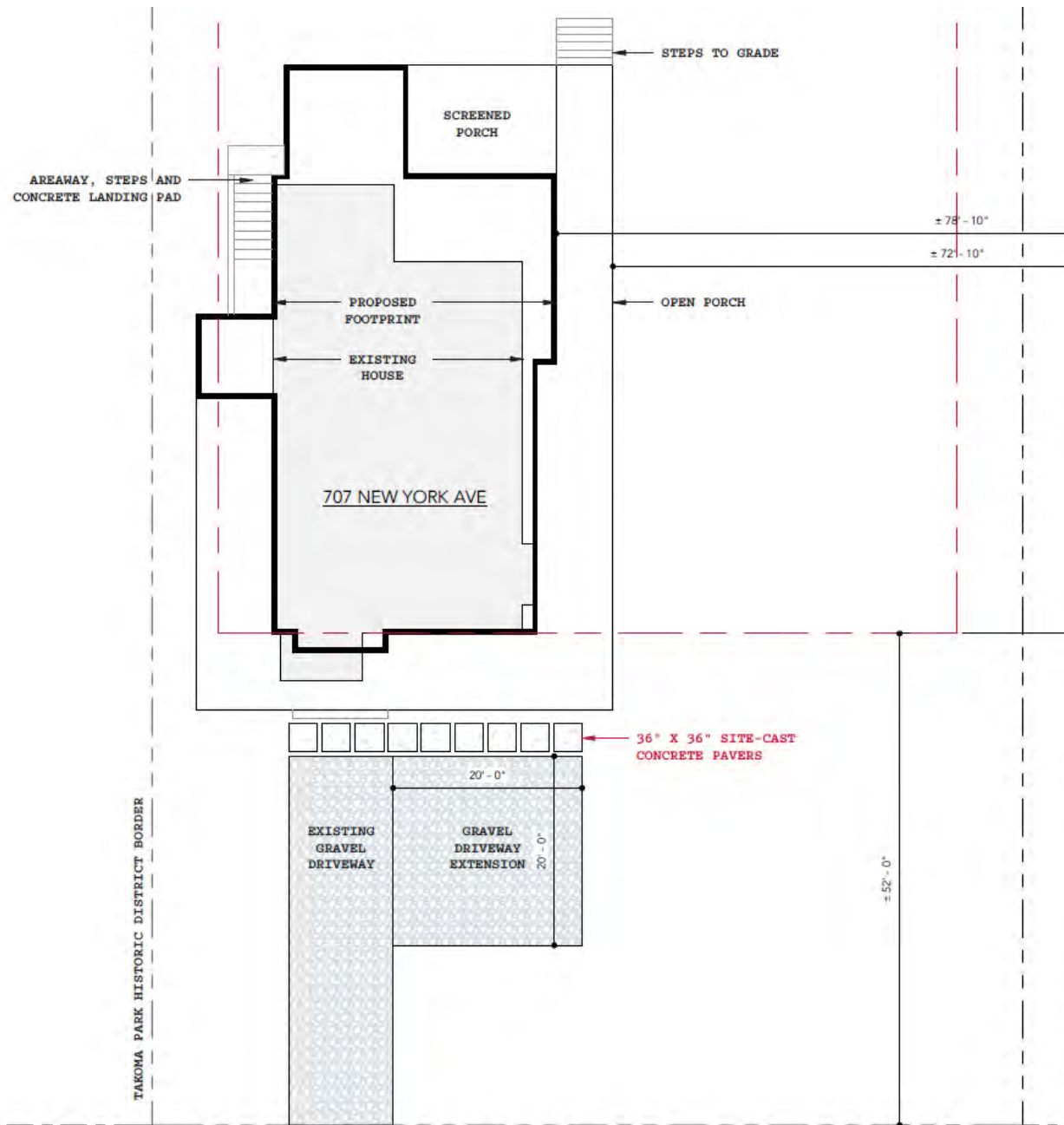


Figure 14: Detail of the proposed site plan showing the proposed gravel driveway extension and concrete paver walkway.

Tree Removal and Replanting

To accommodate the new construction, the applicants propose to remove two existing mature trees, a 32-inch dbh Northern Catalpa and a 31-inch dbh White Oak. At the March 2026 HPC meeting, the HPC agreed to the removal of these two trees, provided new canopy trees were planted on site, as the district’s tree canopy is important to its significance, per the *Guidelines*. The applicants have included a replanting plan in their current proposal calling for the planting of one White Oak (a large species canopy tree) in the rear yard and two Virginia Pine trees (medium size trees) in the front yard, near the street. Staff finds that the placement of two medium-size trees along the front property line makes sense given the overhead power lines, but finds that these trees will not contribute significantly to the overall district tree canopy and recommends that one to two additional large-species trees be planted in the side yard.

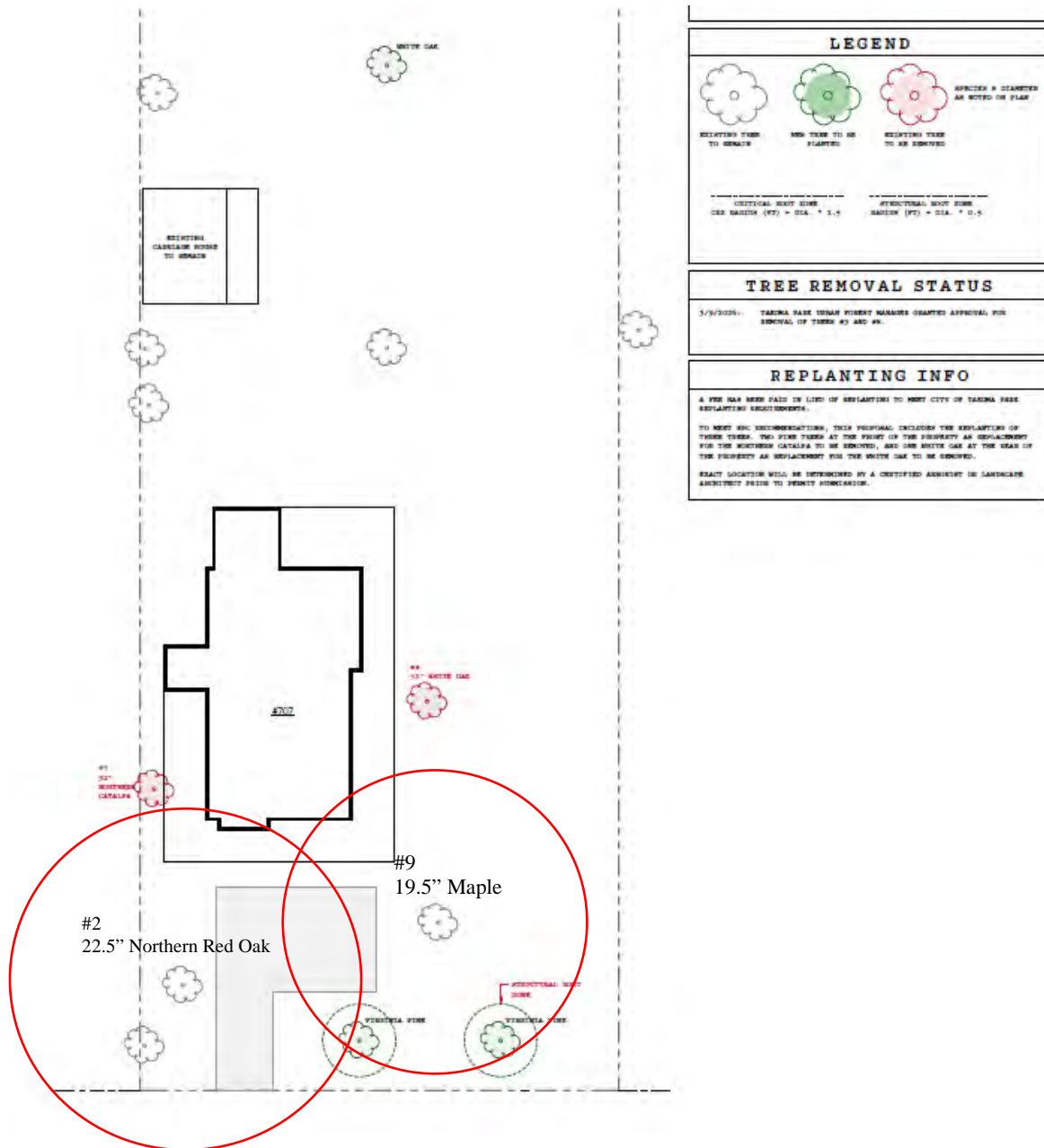


Figure 15: The proposed tree removal and replanting plan. Red circle overlays show the critical root zones of the existing trees adjacent to the driveway and proposed driveway extension, based on the March 2026 preliminary consultation review tree survey

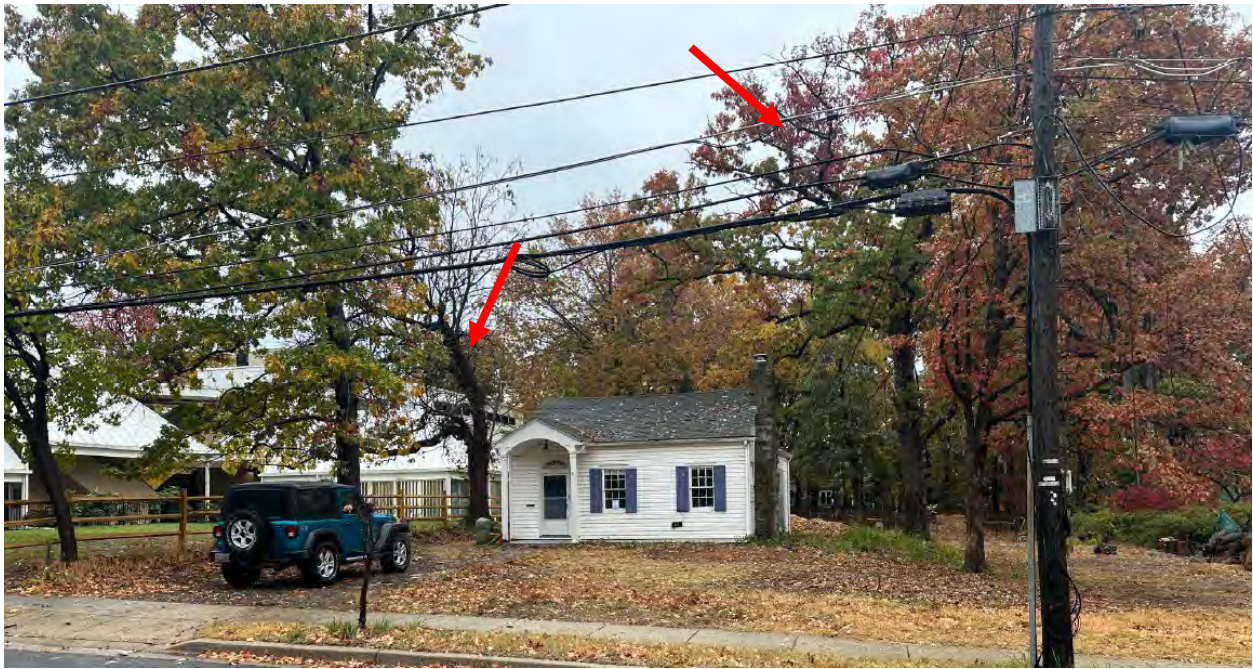


Figure 16: Photograph of the subject property with red arrows pointing to the trees proposed for removal. Two additional trees were removed from the property in fall 2025.

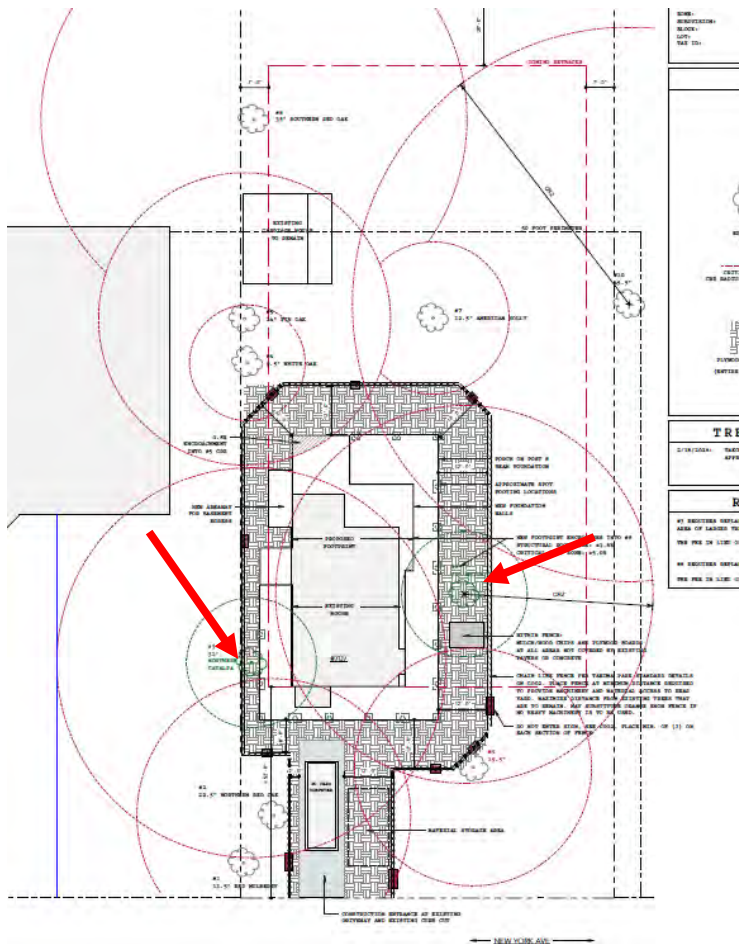


Figure 17: Proposed site plan and tree survey from the March 2026 preliminary consultation showing the existing trees and their critical root zones, and proposed tree removal. The trees proposed for removal are shown in green and are highlighted by red arrows.

STAFF RECOMMENDATION

Staff recommends that the Commission **approve with four (4) conditions** the HAWP application:

1. The proposed Trex Classic porch railing with charcoal balusters is not approved. The applicant must submit a more compatible railing specification with a single, paintable material with balusters installed between the top and bottom rails.
2. The applicant must submit a tree protection plan and implement any recommendations from the Takoma Park arborist to prevent irreparable damage to any existing trees for the installation of the proposed hardscaping.
3. The proposed gravel driveway must be fully permeable.
4. The applicant must plant one to two large species canopy trees in the southeast side yard of the property.

under the Criteria for Issuance in Chapter 24A-8(b)(1) and (2), and (d), having found that the proposal, as modified by the conditions, will not substantially alter the exterior features of the historic resource and is compatible in character with the district and the purposes of Chapter 24A;

and with the *Secretary of the Interior's Standards for Rehabilitation #2 and 9*;

and with *Policy 24-01*;

and with the general condition that the applicant shall present an electronic set of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion;

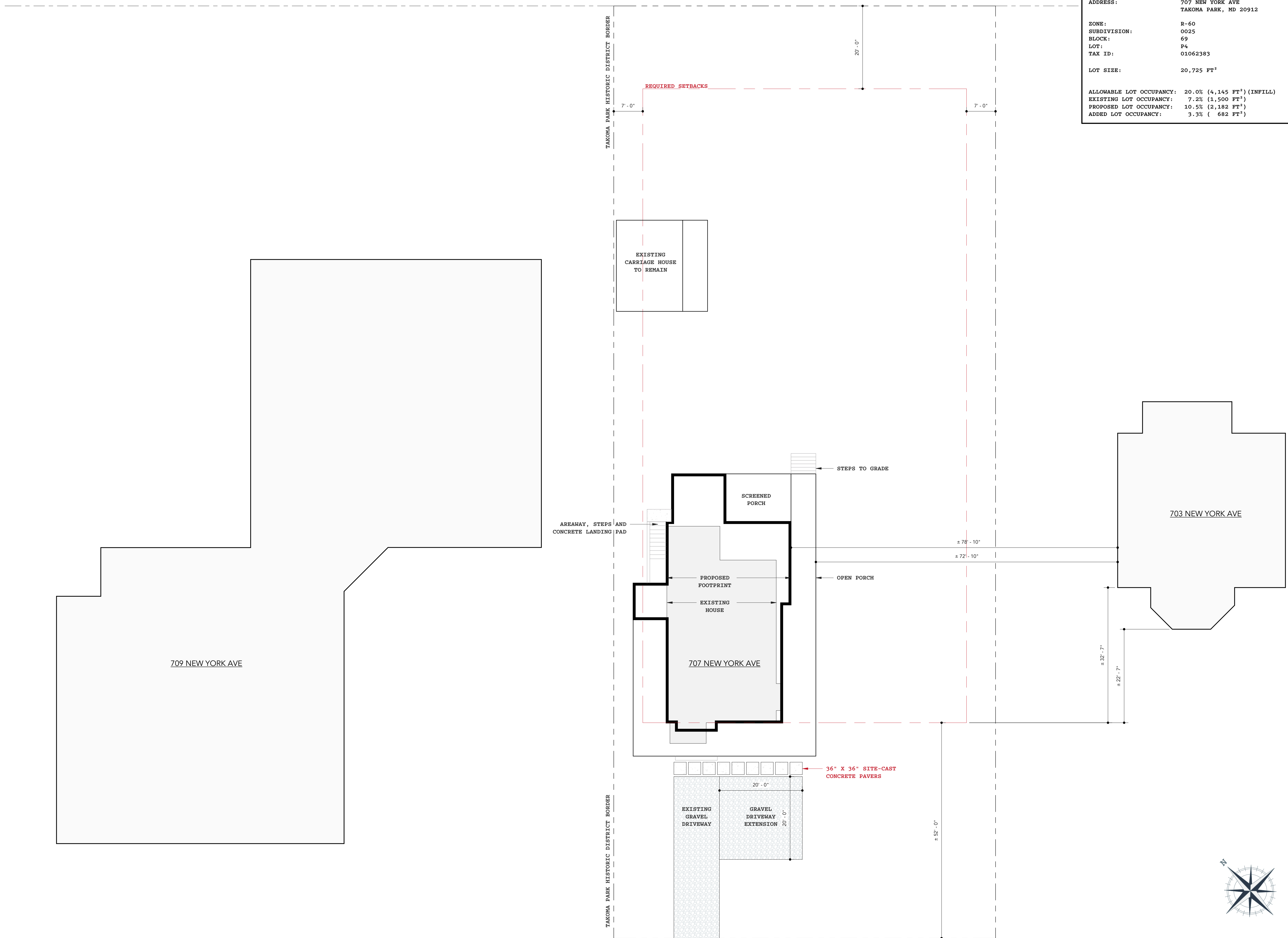
and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-495-2167 or laura.dipasquale@montgomeryplanning.org to schedule a follow-up site visit.

ZONING INFORMATION	
ADDRESS:	707 NEW YORK AVE TAKOMA PARK, MD 20912
ZONE:	R-60
SUBDIVISION:	0025
BLOCK:	69
LOT:	P4
TAX ID:	01062383
LOT SIZE:	20,725 FT ²
ALLOWABLE LOT OCCUPANCY:	20.0% (4,145 FT ²) (INFILL)
EXISTING LOT OCCUPANCY:	7.2% (1,500 FT ²)
PROPOSED LOT OCCUPANCY:	10.5% (2,182 FT ²)
ADDED LOT OCCUPANCY:	3.3% (682 FT ²)

BEN NORKIN
- ARCHITECTURE -

7204 TRESPOTT AVE
TAKOMA PARK, MD 20912 202 - 578 - 7094

BENNORKINARCHITECTURE.COM



ACE CONSTRUCTION

BUILDER NAME
BUILDER CONTACT
BUILDER ADDRESS

CLIENT NAME

PROJECT ADDRESS
707 NEW YORK AVE - TAKOMA PARK, MD 20912

REVISION LOG		
REV #	DATE	DESCRIPTION

STATUS: **SCHEMATIC DESIGN**

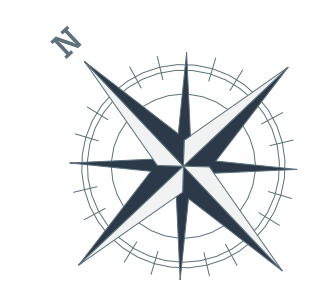
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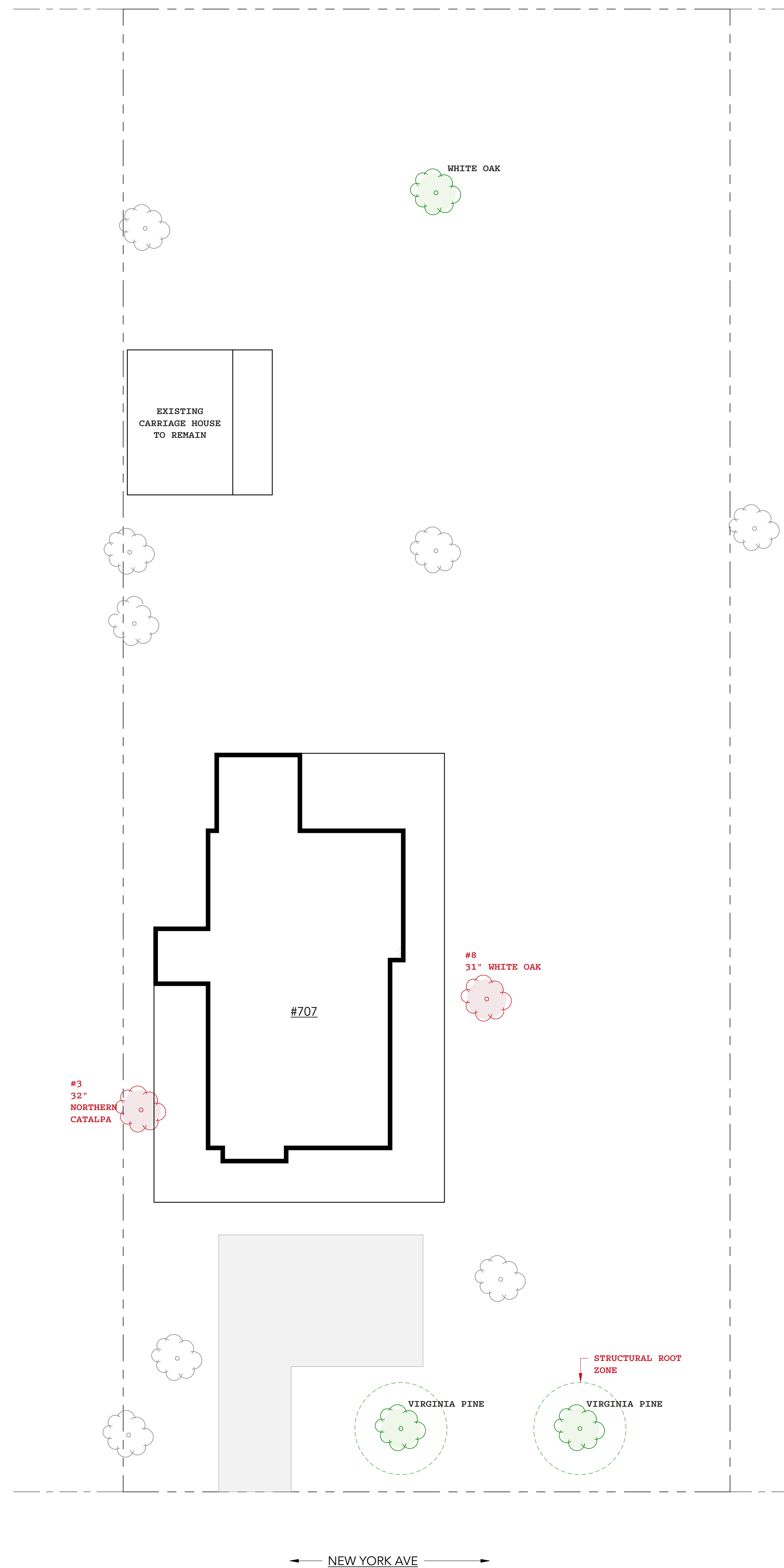
BNA PROJECT NUMBER: **25014**

SHEET NAME: **SITE PLAN**

SHEET NO.: **HPC 0**

SCALE: **3/32" = 1'-0"**





PROPERTY INFORMATION	
ADDRESS:	707 NEW YORK AVE TAKOMA PARK, MD 20912
ZONE:	R-60
SUBDIVISION:	0025
BLOCK:	69
LOT:	P4
TAX ID:	01062383

LEGEND		
EXISTING TREE TO REMAIN	NEW TREE TO BE PLANTED	EXISTING TREE TO BE REMOVED
SPECIES & DIAMETER AS NOTED ON PLAN		
CRITICAL ROOT ZONE CRZ RADIUS (FT) = DIA. * 1.5		STRUCTURAL ROOT ZONE RADIUS (FT) = DIA. * 0.5

TREE REMOVAL STATUS	
3/9/2026:	TAKOMA PARK URBAN FOREST MANAGER GRANTED APPROVAL FOR REMOVAL OF TREES #3 AND #8.

REPLANTING INFO	
A FEE HAS BEEN PAID IN LIEU OF REPLANTING TO MEET CITY OF TAKOMA PARK REPLANTING REQUIREMENTS.	
TO MEET HPC RECOMMENDATIONS, THIS PROPOSAL INCLUDES THE REPLANTING OF THREE TREES. TWO PINE TREES AT THE FRONT OF THE PROPERTY AS REPLACEMENT FOR THE NORTHERN CATALPA TO BE REMOVED, AND ONE WHITE OAK AT THE REAR OF THE PROPERTY AS REPLACEMENT FOR THE WHITE OAK TO BE REMOVED.	
EXACT LOCATION WILL BE DETERMINED BY A CERTIFIED ARBORIST OR LANDSCAPE ARCHITECT PRIOR TO PERMIT SUBMISSION.	

BEN NORKIN
- ARCHITECTURE -
7204 TRESPOTT AVE
TAKOMA PARK, MD 20912
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ACE CONSTRUCTION

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707 NEW YORK AVE - TAKOMA PARK, MD 20912

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BUILDER CONTACT
BUILDER ADDRESS

REVISION LOG		
REV #	DATE	DESCRIPTION

STATUS: **SCHEMATIC DESIGN**

DPS PERMIT NUMBER:

BNA PROJECT NUMBER: **25014**

SHEET NAME: **TREE REPLANTING**

SHEET NO.: **HPC 1**

SCALE: **As indicated**



ACE CONSTRUCTION

BUILDER NAME
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BUILDER ADDRESS

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PROJECT ADDRESS
707 NEW YORK AVE - TAKOMA PARK, MD 20912

REVISION LOG		
REV #	DATE	DESCRIPTION

STATUS: **SCHEMATIC DESIGN**

DPS PERMIT NUMBER:

BNA PROJECT NUMBER: **25014**

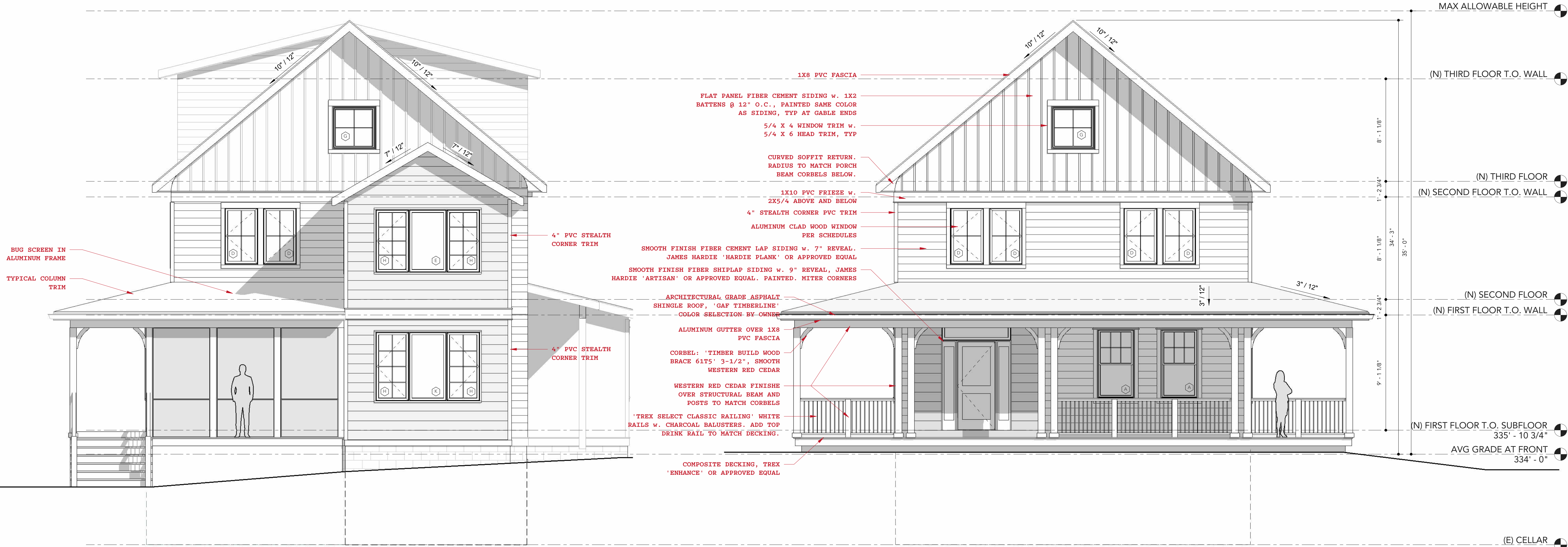
SHEET NAME: **ELEVATIONS**

SHEET NO.: **HPC 3**

SCALE: **1/4" = 1'-0"**

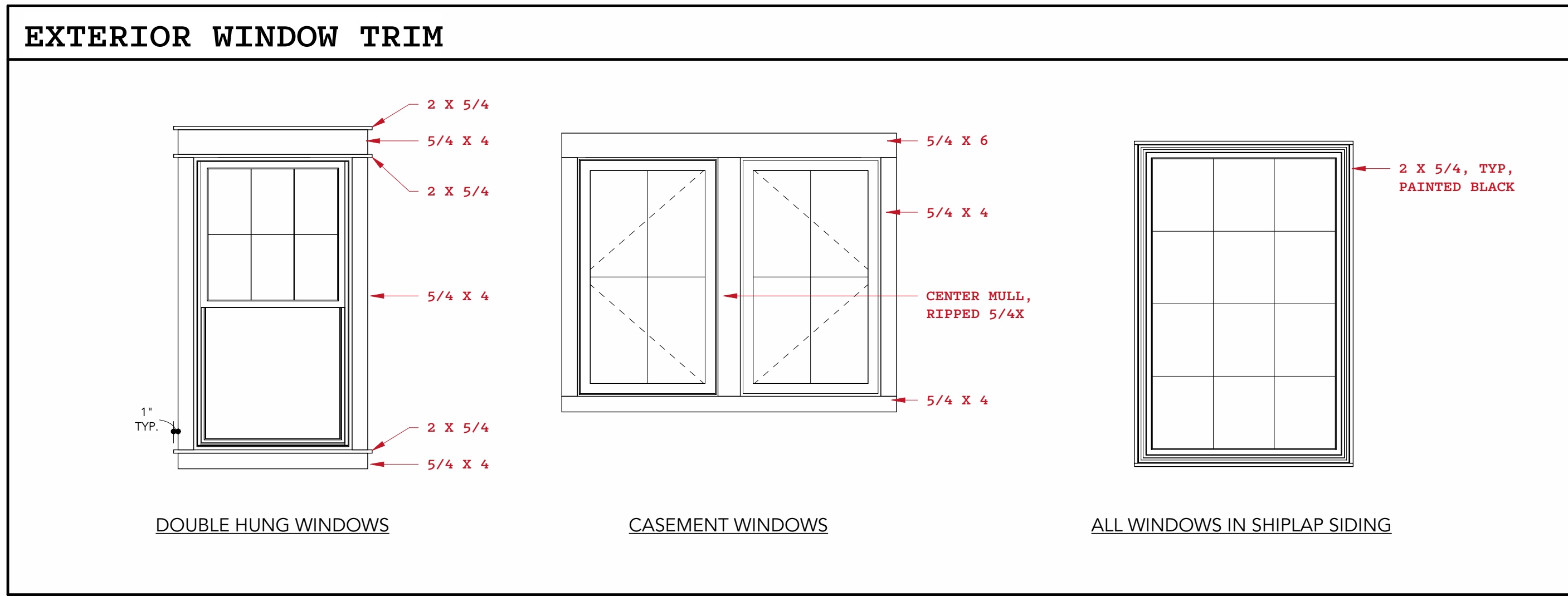
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2 REAR ELEVATION
1/4" = 1'-0"

1 FRONT ELEVATION
1/4" = 1'-0"



WINDOW SCHEDULE

MARK	QTY	UNIT SIZES		TYPE	TEMPERED	SPECIFICATION	COMMENTS
		WIDTH	HEIGHT				
A	18	35 1/2"	65 1/2"	DOUBLE HUNG	*		
B	3	47 1/2"	71 1/2"	FIXED			
C	1	35 1/2"	59 1/2"	CASEMENT			
D	23	31 1/2"	53 1/2"	CASEMENT			
E	1	35 1/2"	59 1/2"	FIXED			
F	1	23 1/2"	47 1/2"	CASEMENT	*		
G	2	41 1/2"	41 1/2"	FIXED			
H	8	31 1/2"	<varies>	CASEMENT			
J	1	65 1/2"	17 1/2"	FIXED			
K	1	35 1/2"	65 1/2"	FIXED			

NOTES:

- ALL WINDOWS TO BE PELLA 'RESERVE' ALUMINUM CLAD WOOD WINDOWS.
- EXTERIOR COLOR AS SELECTED BY ARCHITECT, INTERIOR COLOR SELECTED BY OWNER.
- ALL WINDOWS:
 - A. SHGC = 0.40 (MAX)
 - B. U-FACTOR = 0.30 (MAX)

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- ARCHITECTURE -

7204 TRECOTT AVE
TAKOMA PARK, MD 20912

202 - 578 - 7094

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2 RIGHT SIDE ELEVATION
1/4" = 1'-0"

ACE CONSTRUCTION

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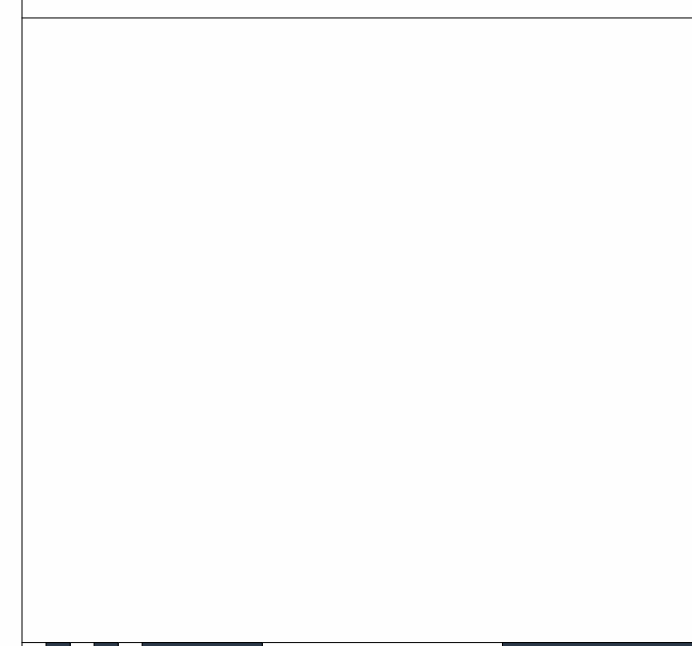
DPS PERMIT NUMBER:

BNA PROJECT NUMBER: **25014**

SHEET NAME: **ELEVATIONS**

SHEET NO.: **HPC 4**

SCALE: **As indicated**



ACE CONSTRUCTION

CLIENT NAME

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BUILDER CONTACT

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PROJECT ADDRESS
707 NEW YORK AVE - TAKOMA PARK, MD 20912

REV #	DATE	DESCRIPTION

STATUS: **SCHEMATIC DESIGN**

DPS PERMIT NUMBER:

BNA PROJECT NUMBER: **25014**

SHEET NAME:
ELEVATIONS

SHEET NO.:
HPC 5

SCALE: **1/4" = 1'-0"**



SMOOTH FINISH FIBER SHIPLAP SIDING w. 9" REVEAL, JAMES HARDIE 'ARTISAN' OR APPROVED EQUAL. PAINTED, MITER CORNERS

SMOOTH FINISH FIBER CEMENT LAP SIDING w. 7" REVEAL, JAMES HARDIE 'HARDIE PLANK' OR APPROVED EQUAL

1 LEFT SIDE ELEVATION
1/4" = 1'-0"



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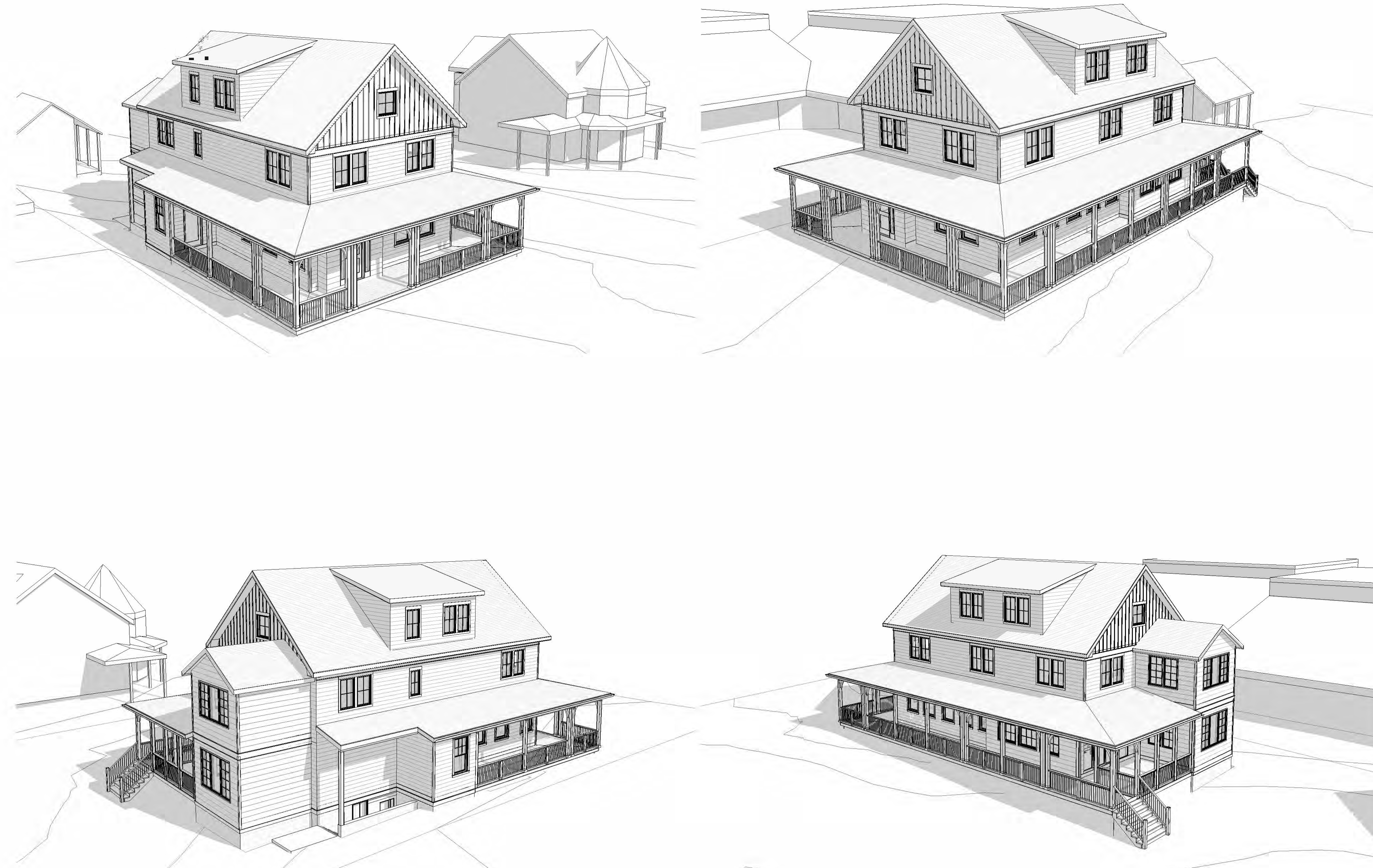
DPS PERMIT NUMBER:

BNA PROJECT NUMBER: **25014**

SHEET NAME:
3D VIEWS

SHEET NO.:
HPC 6

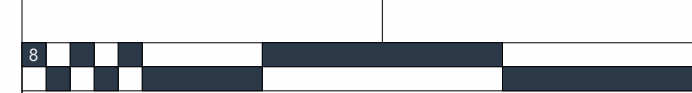
SCALE:



ACE CONSTRUCTION

CLIENT NAME
BUILDER NAME
BUILDER CONTACT
BUILDER ADDRESS

PROJECT ADDRESS
707 NEW YORK AVE - TAKOMA PARK, MD 20912



REVISION LOG

REV #	DATE	DESCRIPTION

STATUS: **SCHEMATIC DESIGN**

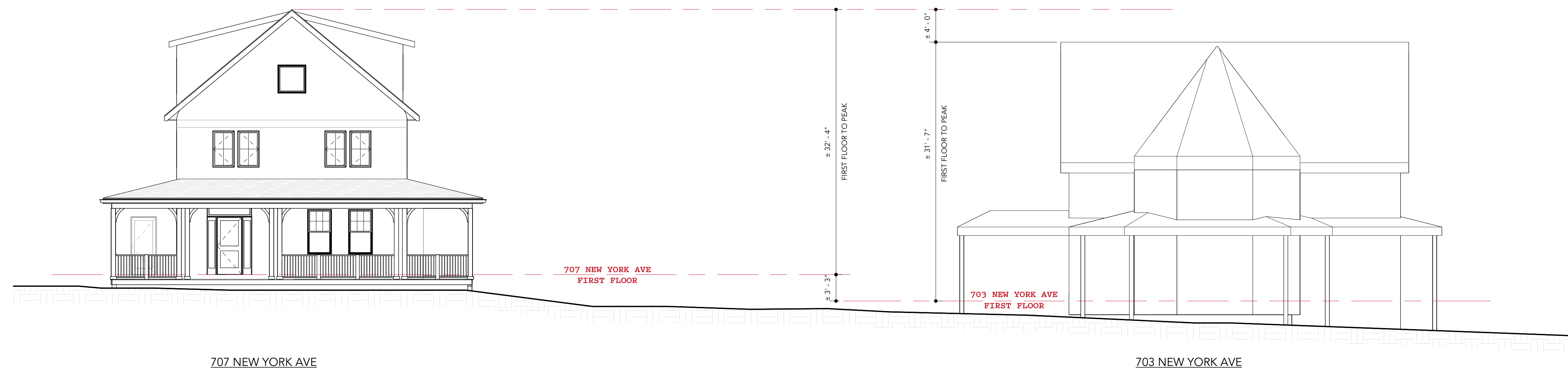
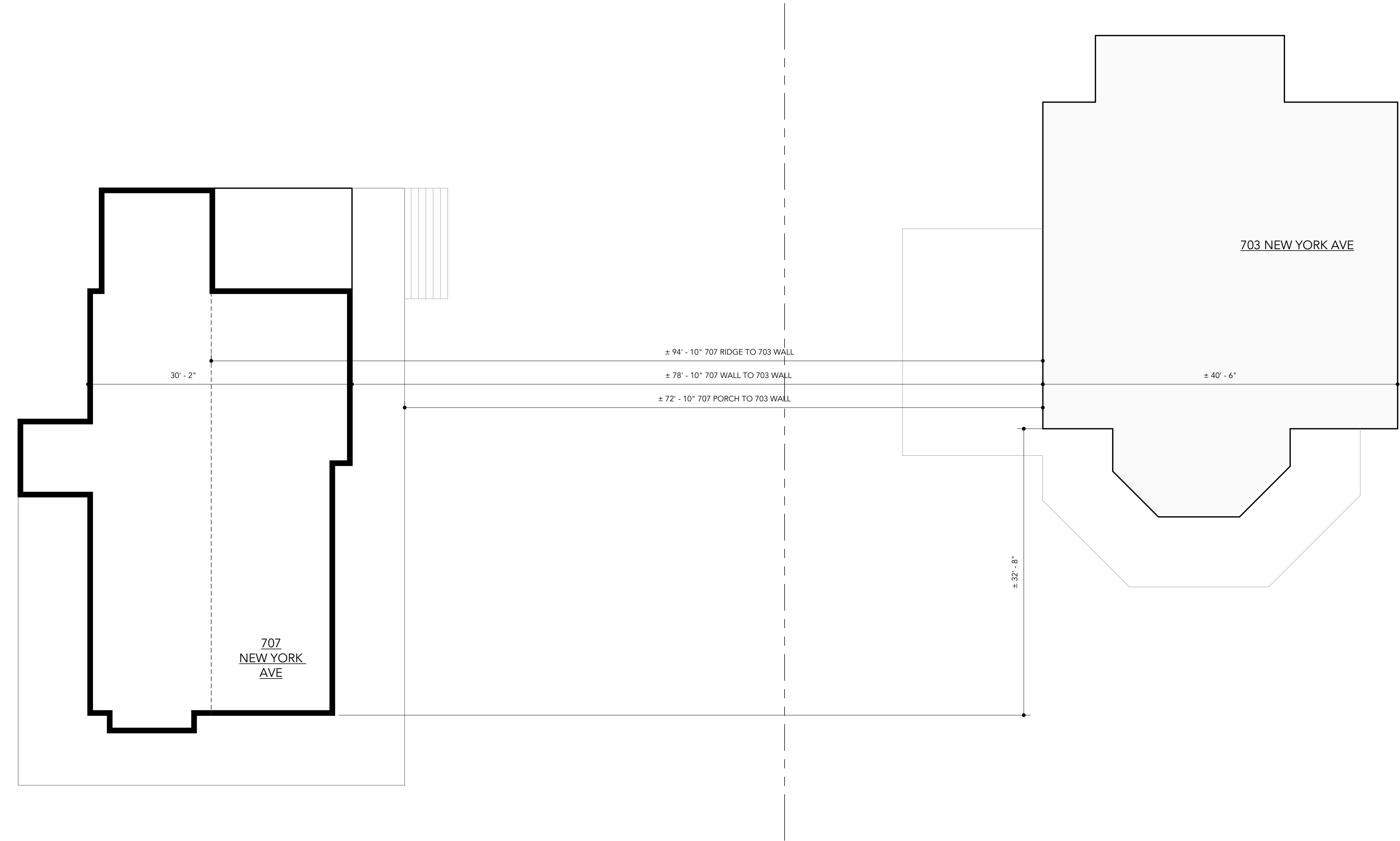
DPS PERMIT NUMBER:

BNA PROJECT NUMBER: **25014**

SHEET NAME:
3D VIEWS

SHEET NO.:
HPC 7

SCALE:



2 HEIGHT COMPARISON
1/8" = 1'-0"

ACE CONSTRUCTION

CLIENT NAME	BUILDER NAME
PROJECT ADDRESS 707 NEW YORK AVE - TAKOMA PARK, MD 20912	BUILDER CONTACT
	BUILDER ADDRESS

REVISION LOG		
REV #	DATE	DESCRIPTION

STATUS: SCHEMATIC DESIGN

DPS PERMIT NUMBER:

BNA PROJECT NUMBER: 25014

SHEET NAME: HEIGHT COMPARISON

SHEET NO.: HPC 8

SCALE: 1/8" = 1'-0"

707 NEW YORK AVE SPECIFICATIONS

SIDING

James Hardie smooth finish fiber cement siding, as indicated in the Elevations. Paint color as selected by owner.

EXTERIOR TRIM

1) Soffits, frieze, base trim, battens, window trim and other exterior trim to be AZEK Classic White Trim, size as indicated in Elevation drawings.

Technical Data Sheet:

https://azekexteriors.com/docs/default-source/default-document-library/ae_technicaldatasheet_classictrim_0925.pdf

2) Around porch structural posts and beams: Western Red Cedar S4S trim boards, manufacturer tbd.

EXTERIOR DECKING

Trex 'Enhance' composite decking, 1" Square Edge Board. Color as selected by owner.

3-Part Specification: <https://online.flippingbook.com/view/262580228/>

Product Brochure: <https://online.flippingbook.com/view/738587368/>

EXTERIOR RAILING

Trex 'Select Classic' railing. Classic white rails, charcoal balusters. To be installed between structural posts on deck as shown in Elevations.

Product Homepage: <https://www.trex.com/products/railing/select/#classic-tab>

ROOFING

GAF 'Timberline HDZ' architectural grade shingles, color as selected by owner.

Product Spec Sheet: [https://www.gaf.com/en-us/document-](https://www.gaf.com/en-us/document-library/documents/specifications/timberline-hdz-shingles-spec-sheet-resgn467hdz.pdf)

[library/documents/specifications/timberline-hdz-shingles-spec-sheet-resgn467hdz.pdf](https://www.gaf.com/en-us/document-library/documents/specifications/timberline-hdz-shingles-spec-sheet-resgn467hdz.pdf)

Product Brochure: <https://www.gaf.com/en-us/document-library/documents/brochures-&-literature/timberline-hdz-brochure-restz145.pdf>

(continued on next page)

WINDOWS

Pella 'Reserve' Traditional Aluminum clad wood windows. Casement, fixed and double hung windows as shown in Elevations.

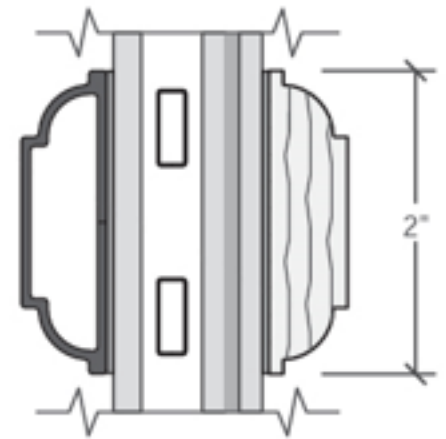
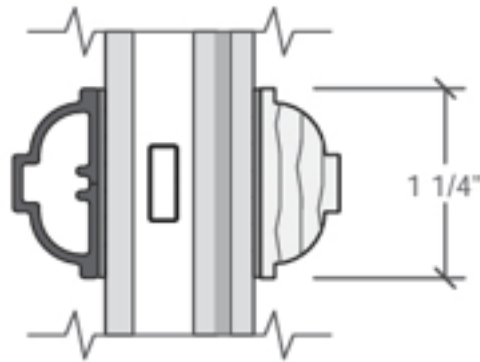
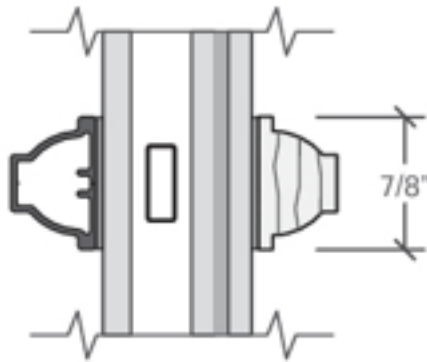
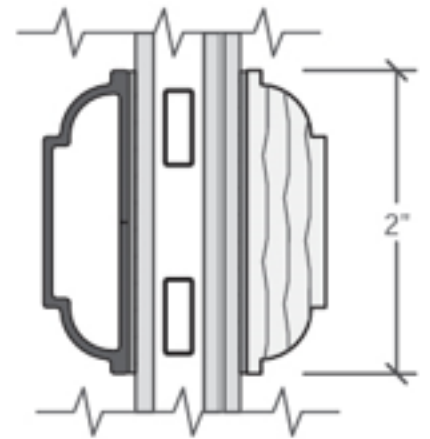
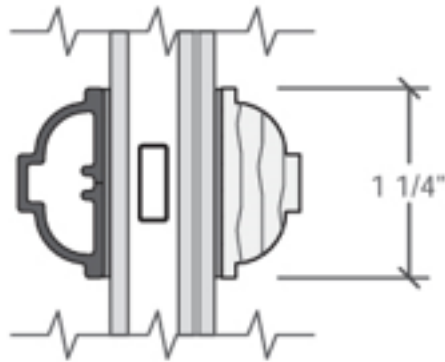
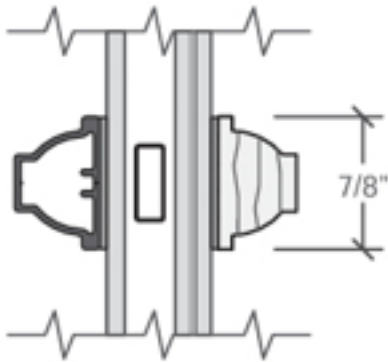
Complete product information, including sill, jamb and head conditions:

Casement & Fixed: https://media.pella.com/professional/adm/Clad-Wood/Pella-Reserve_Casement.pdf

Double Hung: https://media.pella.com/professional/adm/Clad-Wood/Pella-Reserve_DoubleHung.pdf

Ogee Grilles

Clad Exterior - Wood Interior



7/8" Regular

1 1/4" Regular

2" Regular











2EC2960











































FOR RENT
77-1365

DC RECYCLES





HAS BEEN IDENTIFIED

REMOVAL IS EXPECTED DURING THE WEEK OF:

If you have any questions, please
contact the Urban Forest Manager at
UrbanForest@cityofchicago.gov or
312.762.3100. For more information, visit
www.cityofchicago.gov/urbanforest







