

# Montgomery County Historic Preservation

## Staff Report

<p><b>ADDRESS:</b> 6704 Westmoreland Avenue, Takoma Park</p> <p><b>RESOURCE:</b> Takoma Park Historic District</p> <p><b>APPLICANT:</b> Miles and Vanessa Ryan (Brian McCarthy, Architect)</p> <p><b>REVIEW:</b> HAWP</p> <p><b>CASE NO.:</b> 1152012 REVISION</p> <p><b>PROPOSAL:</b> Revisions to previously-approved HAWP for mudroom construction and <u>front door replacement</u></p>	<p><b>MEETING DATE:</b> 5/27/2026</p> <p><b>REPORT DATE:</b> 5/20/2026</p> <p><b>PUBLIC NOTICE:</b> 5/13/2026</p> <p><b>TAX CREDIT ELIGIBLE:</b> No</p> <p><b>STAFF:</b> Laura DiPasquale</p>
---	---

---

### Staff Recommendation

Staff recommends the HPC approve with four (4) conditions the HAWP application (including the two conditions of the original HAWP approval), with final approval authority delegated to staff:

1. The front yard fencing must be below 4-ft in height.
2. The applicant must submit installation details and simulated-divided-light muntin dimensions and profiles for the windows proposed for replacement on the main block.
3. The applicant must submit a shop drawing/specification drawing of the final front door design, which must be a Craftsman-style wood door with three or six lights.
4. The applicant must submit the final decking and stair tread material specifications for the proposed stair and landing, which must be wood or satisfy the compatible substitute materials criteria in *Policy 24-01*.

---

### Architectural Description

**Significance:** Contributing Resource within the Takoma Park Historic District

**Date:** c. 1915-25

**Style:** Craftsman



Figure 1: The location of the subject property (outlined in blue) at the southern edge of the Takoma Park Historic District (hatched and outlined in red).



Figure 2: View of the subject property from Westmoreland Avenue.

## Proposal

The applicants propose to modify an existing extension along the northwest side elevation of a non-historic addition to construct a one-story, 50-square foot mudroom vestibule accessed by a new landing, set of stairs, and ramp. The applicants also propose to replace the existing 6-panel door with a new Craftsman-style wood door.



Figure 3: Front and partial northwest side elevations of the subject property from Westmoreland Avenue. A red arrow points to the existing side extension to be modified.

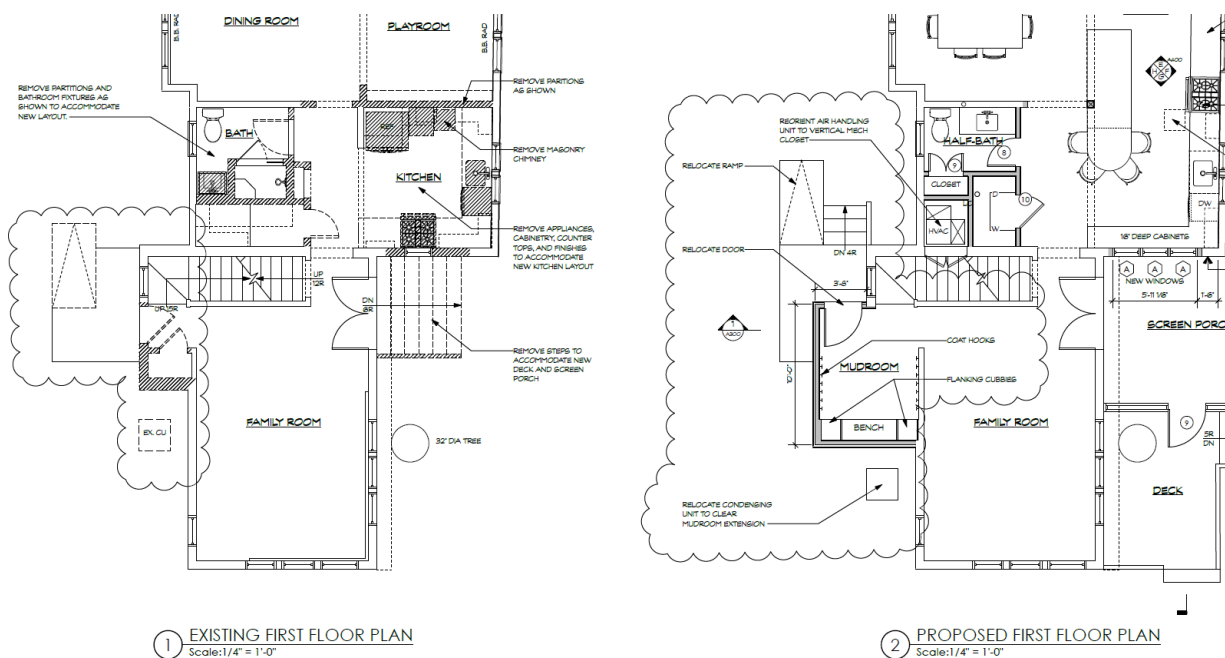


Figure 4: Existing and proposed first-floor plans.

---

## Applicable Guidelines

The Historic Preservation Office and Historic Preservation Commission (HPC) consult several documents when reviewing alterations and new construction within the Takoma Park Historic District. These documents include the historic preservation review guidelines in the approved and adopted amendment for the *Takoma Park Historic District (Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, the *Secretary of the Interior's Standards for Rehabilitation (Standards)*, and Historic Preservation Commission Policy No. 24-01: *Policy for the Appropriateness of Substitute Materials for Porch and Deck Flooring (Policy 24-01)*. The pertinent information in these documents is outlined below.

### **Takoma Park Historic District Guidelines**

There are two broad planning and design concepts which apply to all categories. These are:

- The design review emphasis will be restricted to changes that are all visible from the public right-of-way, irrespective of landscaping or vegetation (it is expected that the majority of new additions will be reviewed for their impact on the overall district), and
- The importance of assuring that additions and other changes to existing structures act to reinforce and continue existing streetscape, landscape, and building patterns rather than to impair the character of the historic district.

A majority of the buildings in the Takoma Park Historic District have been assessed as being “Contributing Resources.” While these buildings may not have the same level of architectural or historical significance as Outstanding Resources or may have lost some degree of integrity, collectively, they are the basic building blocks of the Takoma Park district. They are important to the overall character of the district and the streetscape due to their size, scale, and architectural qualities, rather than for their particular architectural features.

Contributing Resources should receive a more lenient level of design review than those structures that have been classified as Outstanding. This design review should emphasize the importance of the resource to the overall streetscape and its compatibility with existing patterns rather than focusing on a close scrutiny of architectural detailing. In general, however, changes to Contributing Resources should respect the predominant architectural style of the resource.

#### *Residential Areas*

In Takoma Park, there are a number of elements which define the streetscape and building patterns.

- Use of decorative stone retaining walls (where required by topographic changes) and occasionally fences to define a sidewalk line and separate yards from street.
- Sidewalks and planting strips along the street.
- Orientation of driveways and parking areas to the rear and side of buildings.
- Extensive landscaping, including mature trees and flowering plants (e.g. azaleas).

The following guidance which pertains to this project are as follows:

- Minor alterations to areas that do not directly front on a public right-of-way – such as vents, metal stovepipes, air conditioners, fences, skylights, etc. – should be allowed as a matter of course;
- All changes and additions should respect existing environmental settings, landscaping, and patterns of open space.

### **Montgomery County Code Chapter 24A-8**

(b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to ensure conformity with the purposes and requirements of this chapter, if it finds that:

- 1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
- 2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or

(d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

### **Secretary of the Interior’s Standards for Rehabilitation**

The Secretary of the Interior defines rehabilitation as “the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values.” The applicable *Standards* are as follows:

2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

### **Historic Preservation Commission Policy No. 24-01: Policy for the Appropriateness of Substitute Materials for Porch and Deck Flooring**

4. Contributing Resources – These are significant for their contribution to the district as a whole and prioritize retaining the architectural style, overall volume, and size. Porch floors on ‘Contributing’ resources may be a compatible substitute material (discussed below), provided the material matches the building’s historic character and construction methods. Historic rear porches for ‘Contributing’ resources may be constructed using a compatible substitute material. Non-historic

porches and decks on ‘Contributing’ resources that are not visible from the public right-of-way may be constructed using substitute materials.

6. Compatible substitute materials for replacement porch flooring/decking – On buildings where a substitute material is acceptable under this policy, the material must satisfy the following criteria:
  - It must match the dimensions and installation method (i.e.) of the existing material or a historically appropriate porch flooring, (e.g., boards must run perpendicular to the house for porches);
  - It must be millable;
  - It can be painted without voiding the product warranty; or,
    - Has a uniform appearance consistent with painted wood;
  - It has a minimal (or no) stamped or embossed texture on the surface; and,
  - It has a finished edge that appears as a cut solid board.

---

## Staff Discussion

### *Background*

At its April 8, 2026 meeting, the HPC reviewed HAWP application #1152012 for numerous alterations at the subject property including fence installation, hardscape alterations, porch restoration, fenestration alterations and door and window replacement, chimney removal, and construction of a screened porch and deck. The HPC approved the original HAWP with two conditions:

1. Front yard fencing must be below 4-ft in height.
2. The applicant must submit installation details and simulated-divided-light muntin dimensions and profiles for the windows proposed for replacement on the main block.

### *Revised Proposal – Addition*

Since the approval at the April 8, 2026 meeting, the applicants have expanded their project scope and now seek to modify an existing side entrance vestibule on a rear addition constructed in 1993 and replace the front door.<sup>1</sup> The new addition would be approximately 50 square feet and clad in cedar shingle siding with fiberglass composition roofing. The existing door would be salvaged and reinstalled on the new street-facing elevation of the addition and would be accessed by a new wood stair, ramp and landing. One existing condensing unit would be relocated towards the rear of the side elevation to accommodate the new construction. Staff supports the proposed alterations and recommends approval, pending review of final details. Staff notes that, while the applicants identify the ramp as being “relocated,” no record exists of a HAWP approval for the existing landing or ramp, so these elements are to be treated as new construction.

---

<sup>1</sup> 1993 Historic Area Work Permit for the existing rear addition: [37-3-93Z\\_Takoma Park Historic District\\_6704 Westmoreland Avenue\\_08-18-1993.pdf](#)

Staff finds that the proposed mudroom addition modifies non-historic material and does not damage or obscure any historic or character-defining features of the property, and that the proposed materials are compatible with the historic resource, in keeping with *Standards 2 and 9*, and Chapter 24A-8(b)(2). Staff finds that, while the addition will be visible from the public right-of-way, given its set back from the street, and diminutive size at approximately 50 square feet, the proposed addition will not substantially alter the exterior features of the resource or streetscape of the district, consistent with the *Guidelines* and Chapter 24A-8(b)(1). Staff finds that the proposed stair, ramp, and landing, which would partially extend alongside the side elevation of the historic main block, will likewise not obscure or damage historic materials, and will not have a substantial impact on the historic resource, per Chapter 24A-8(b)(1). Staff notes that the material for these elements is not identified in the drawings, but that the applicants have indicated in correspondence with staff that they will likely be pressure treated wood. Staff finds that either wood or a compatible substitute material such as Aeratis which was approved for the reconstructed front porch stair treads, would be compatible with the resource per Chapter 24A-8(b)(2) and *Standard 9*, and appropriate under *Policy 24-01*, and recommends that the HPC delegate final approval authority of the material specification to staff.



Figure 5: Existing northwest side elevation photograph.

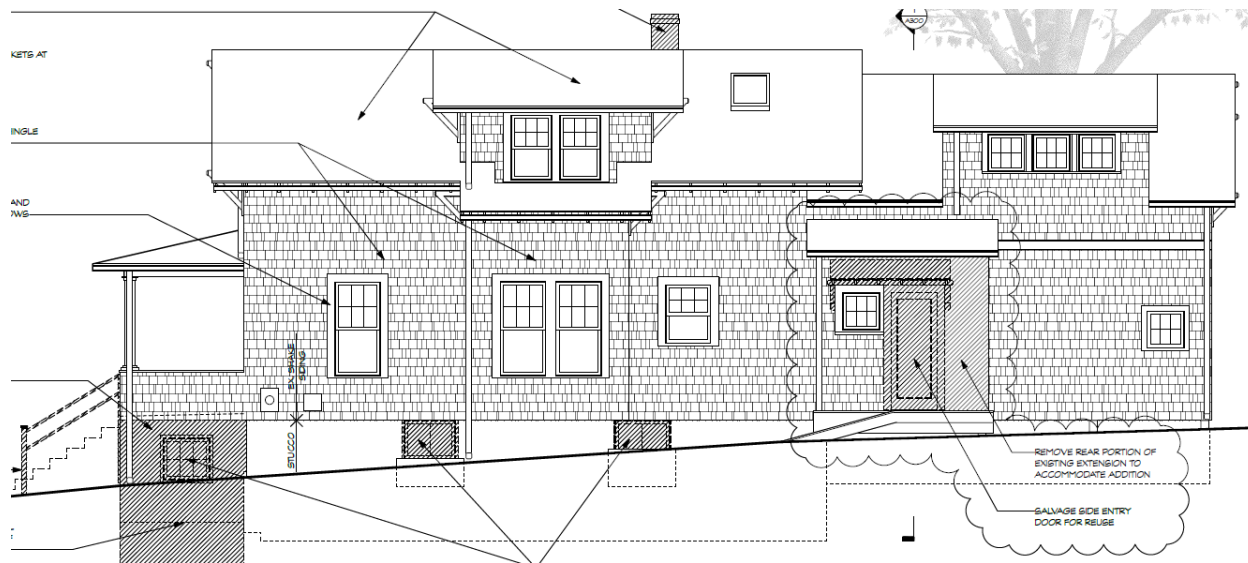


Figure 6: Existing/demolition northwest side elevation drawing.

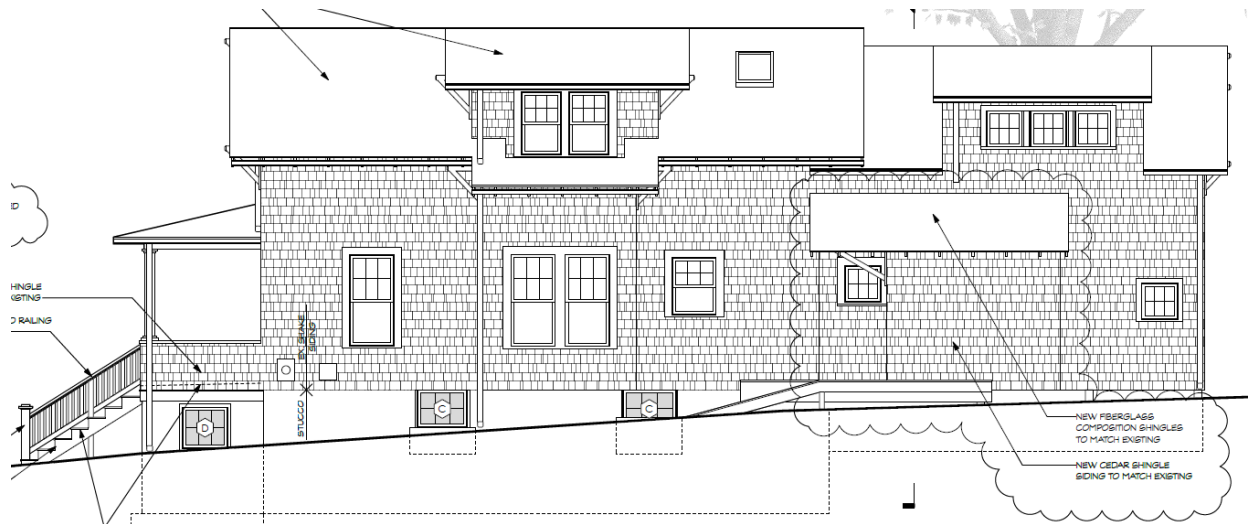


Figure 7: Proposed northwest side elevation drawing.

### Front Door Replacement

In addition to the alterations to the side elevation, the applicants propose to replace the front door. Staff finds that the existing door, which is a six-panel wood door with glazing in the top two panels, is compatible with, but not likely original to, the historic house. The applicants propose a Craftsman-style door, but have not provided a final specification for the door. Staff finds that a Craftsman-style wood door would be compatible with the style of the historic house, but finds the proportions of the two-light configuration shown in the proposed front elevation drawing are not in keeping with that of the windows on the historic house, and suggests that more vertically-oriented glazing, either in the form of three or six

panes would be more compatible with the historic resource, in keeping with Chapter 24A-8(b)(2) and Standard 9. Staff recommends that the HPC delegate approval authority of the final door design to staff.

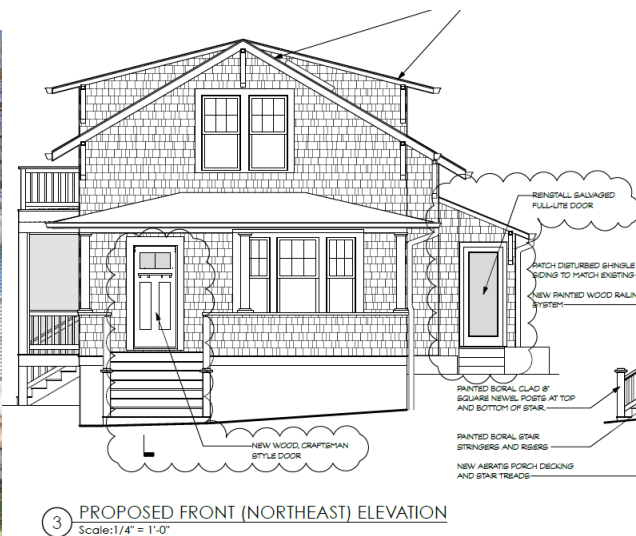


Figure 8: Left, existing front elevation drawing. Right, proposed front elevation drawing.

## Staff Recommendation

Staff recommends that the Commission **approve with four (4) conditions** the HAWP application:

1. The front yard fencing must be below 4-ft in height.
2. The applicant must submit installation details and simulated-divided-light muntin dimensions and profiles for the windows proposed for replacement on the main block.
3. The applicant must submit a shop drawing/specification drawing of the final front door design, which must be a Craftsman-style wood door with three or six lights.
4. The applicant must submit the final decking and stair tread material specifications for the proposed stair and landing, which must be wood or satisfy the compatible substitute materials criteria in *Policy 24-01*.

under the Criteria for Issuance in Chapter 24A-8(b)(1) and (2), having found that the proposal, as modified by the conditions, will not substantially alter the exterior features of the historic resource and is compatible in character with the purposes of Chapter 24A;

*The Takoma Park Historic District Guidelines;*

*the Secretary of the Interior's Standards for Rehabilitation 2 and 9;*

and with Historic Preservation Commission Policy No. 24-01: *Policy for the Appropriateness of Substitute Materials for Porch and Deck Flooring;*

and with the general condition that the applicant shall present an electronic set of drawings, if applicable, to HPC staff for review and stamping prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the HPC as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the HPC staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-495-2167 or [laura.dipasquale@montgomeryplanning.org](mailto:laura.dipasquale@montgomeryplanning.org) to schedule a follow-up site visit.

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

SEE ATTACHED MEMORANDUM, ADDENDUM A

Description of Work Proposed: Please give an overview of the work to be undertaken:

SEE ATTACHED MEMORANDUM, ADDENDUM B



1400 Spring Street, Suite 320  
Silver Spring, Maryland 20910  
bfmarch.com (301) 585-2222

Memorandum

6 May 2026

To: Historic Preservation Commission (HPC)  
Maryland-National Capital Park & Planning Commission  
c/o Department of Permitting Services, Montgomery County

From: Brian McCarthy

Re: Historic Area Work Permit #1152012  
6704 Westmoreland Avenue, Takoma Park Historic District  
**Written Description of Project**

**Addendum a.**

The property is a 1-1/2-story wood frame Craftsman bungalow (with unfinished cellar) on an 8,700 square foot lot located at 6704 Westmoreland Avenue near 1<sup>st</sup> Avenue. The site slopes up gradually from the street to the back of the house, then fairly dramatically behind the house. The residence, built circa 1920, is designated as a contributing resource in the Takoma Park Historic District. The main form features a northeast-facing, gabled front façade with a ridge that runs from front to back. The roof has projected rakes, low, deep eaves, and partial shed dormers. A previous owner expanded the house with a 1-1/2 story rear addition that faithfully mimics the style and materials of the main house.

The original construction features a one-story covered porch across the front façade. The porch roof is hipped, though much shallower than the main roof. The main entrance on the left side of the porch leads to an entry foyer and staircase that ascends along the left/southeastern exterior wall. The living room occupies the rest of the front third of the original main floor. The middle third features a dining room behind the living room and play area behind the foyer and stair. The rear third includes the kitchen and a full bath. The addition provided a new family room with full-lite doors to the wide side yard on the left and the driveway on the right. The second floor features two bedrooms and a full bath in the original portion and a primary bedroom (and second staircase) in the addition.

The basement is unfinished with exposed terracotta tile foundation walls on the interior and a stucco finish on the exterior. There is also low-headroom cellar space under the front porch. The porch foundation walls appear to be block, not terracotta, and stress cracks are evident.

On the exterior, the house and addition are clad in roughly 5" exposure painted cedar shingles. The deep eaves and rakes feature exposed rafters, with painted wood brackets supporting the fly rafters on the rakes. The roofing material is three-tab fiberglass composition shingles. The painted wood windows are typically double hung with a 6 over 1 muntin pattern. The addition is a mix of clad wood double hung windows with a few awnings mixed in. The original house also features a modest

brick chimney tucked behind the shed dormer on the left/southeastern façade. The chimney vents two gas fired appliances. There is no fireplace.

A concrete driveway hugs the right/northwestern edge of the property. The driveway leads to a detached, one-car garage/shed about 5 ft behind the rear addition. The garage is bermed into the hillside and the retaining walls are cracked and in the process of failing.

A mature, 32” diameter tree sits a foot or two off the left side of the rear addition.

#### **Addendum b.**

The vast majority of the proposed scope of the project was reviewed and approved at the April 8<sup>th</sup> HPC hearing. Since that time the owners have decided they would also like to expand the existing side entry to create a true mudroom. This feature is not original to the house; it is part of the rear addition built by a previous owner.

The side door is just off the driveway and the owners find themselves predominantly using this entry point to ferry their young children to and from the car or stroller. As you can see the existing space just inside the side door is quite small – it’s barely enough space for one person, let alone two adults and two children. The coat closet is also very small and the two doors cannot be open at the same time. Consequently, the owners are eager to expand the floor area while also providing more storage space clear of the swing of the outside door. The new mudroom also eliminates the lower roof canopy, consolidating to one roof form.

New trim and column cladding will be Boral TruExteriors and siding, where impacted, will be restored to match the current painted cedar shingles.

We feel the proposed modification are consistent with and sympathetic to the resource, and the historic district at large.

# RYAN RENOVATION

6704 Westmoreland Ave. Takoma Park, Maryland 20912 Project #2519

## PROJECT DESCRIPTION

THE PROJECT SCOPE INCLUDES GENERAL INTERIOR REMODEL (KITCHEN, BATHROOMS, AND BASEMENT), REBUILDING THE FRONT PORCH FOUNDATION, ADDING A SCREEN PORCH / DECK, AND A MODEST EXTENSION OF THE DRIVEWAY SIDE ENTRY. SITEWORK INCLUDES A WOOD FENCE AND WIDENING OF THE CONCRETE DRIVEWAY.



1400 Spring Street, Suite 320  
Silver Spring, MD 20910-2755  
Tel: 301.585.2222  
bfmarch.com

**OWNER**  
Miles & Vanessa Ryan  
6704 Westmoreland Ave.  
Takoma Park, Maryland 20912 (978) 430-1528

**STRUCTURAL ENGINEER**  
Robert Wixson, APAC Engineering, Inc.  
8555 16th St. Suite 200  
Silver Spring, Maryland 20910 (301) 565-0543

**MECHANICAL CONSULTANT**  
Gallant Mechanical  
13001 Cleveland Drive  
Rockville, Maryland 20850 (240) 750-4988

## ZONING SITE PLAN

Scale: 1" = 10'-0"

SITE PLAN BASED ON BOUNDARY SURVEY BY AC SURVEYING LLC DATED 12/26/2025 AND FIELD OBSERVATIONS BY BENNETT FRANK MCCARTHY ARCHITECTS, INC.

LOT 35, BLOCK 17  
MONTGOMERY COUNTY, MD  
SUBDIVISION: PINECREST  
ZONE: R-60

### BUILDING FLOOR AREA - STORIES

LEVEL	EX. AREA	ALTERED AREA	NEW AREA	TOTAL AREA
BASEMENT	916 SF	808 SF		916 SF
FIRST	1108 SF	336 SF	185 SF	1294 SF
SECOND	968 SF	258 SF		968 SF
TOTALS	2992 SF	1402 SF	185 SF	3179 SF

### BUILDING HEIGHT (ABOVE AVE. FRONT GRADE- XXX'-XX")

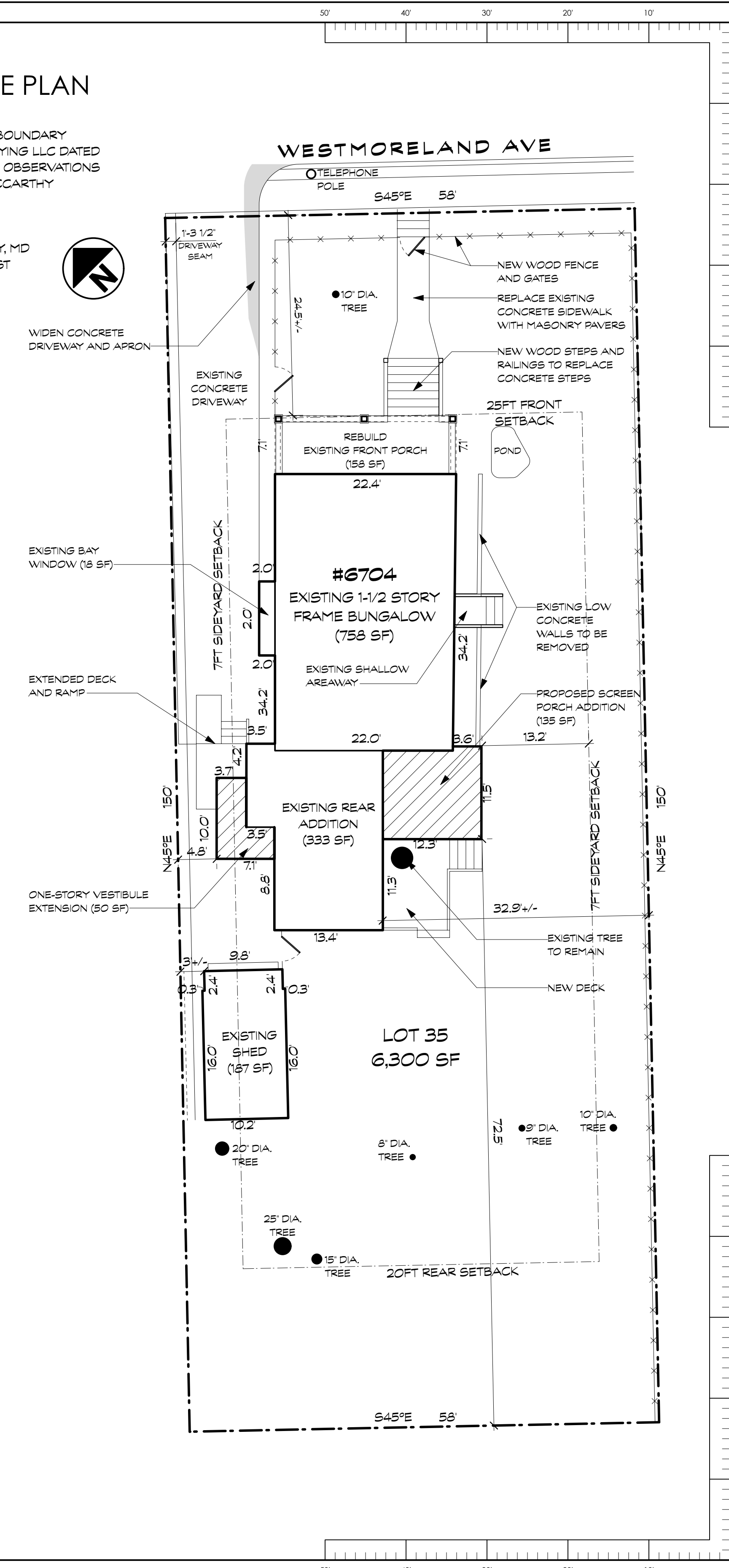
	EXISTING	ADDITION
RIDGE	25'-2 1/2"	
MEAN	21'-0 1/4"	
EAVE	18'-2 3/4"	

### SITE PLAN SUMMARY- LOT COVERAGE

TOTAL LOT AREA	6300 SF	100.0%
EXISTING LOT COVERAGE	1436 SF	22.8%
--FOOTPRINT OF EXISTING HOUSE	758 SF	
--EXISTING REAR ADDITION	333 SF	
--EXISTING FRONT PORCH	158 SF	
--EXISTING OUTBUILDINGS	187 SF	
PROPOSED INCREASE	185 SF	2.9%
--SCREEN PORCH ADDITION	135 SF	
--VESTIBULE ADDITION	50 SF	
PROPOSED LOT COVERAGE	1621 SF	25.7%

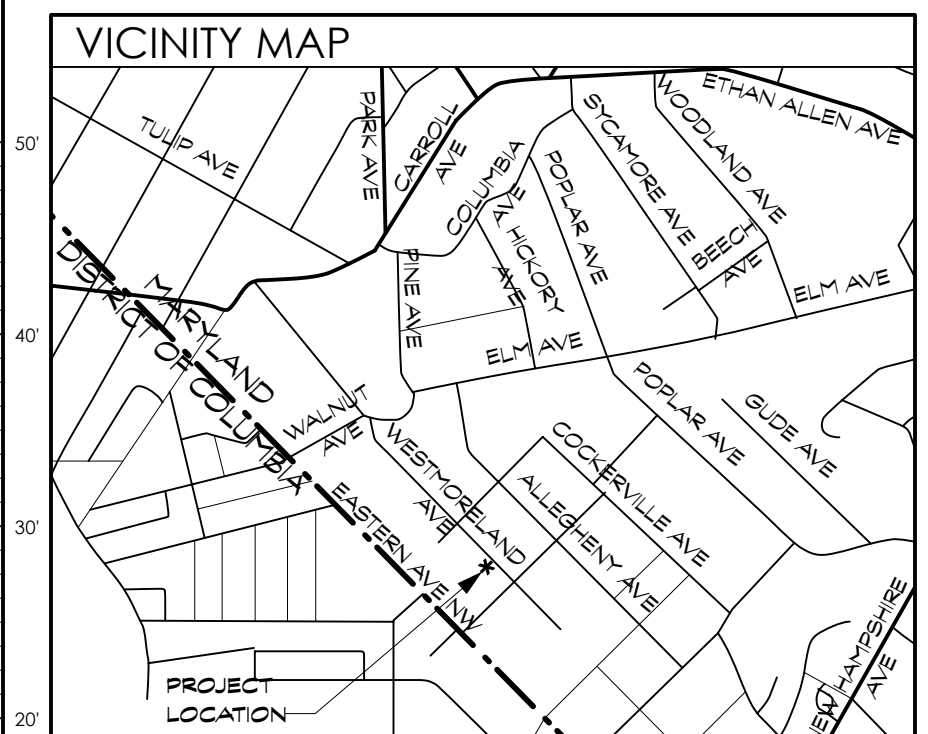
### ZONING SITE PLAN LEGEND

FIRST FLOOR ADDITION	
SECOND FLOOR ADDITION	
PROPERTY LINE	
SETBACKS	



### DRAWING LIST

REV.	SHEET	TITLE
	A000	COVERSHEET
	A100	CELLAR DEMOLITION & SCHEMATIC PLANS
	A101	DEMOLITION & PROPOSED 1ST FLOOR PLANS
	A102	DEMOLITION & PROPOSED 2ND FLOOR PLANS
	A200	DEMOLITION & PROPOSED ELEVATIONS
	A201	DEMOLITION & PROPOSED ELEVATIONS



DATE	ISSUE	REV.
05/05/2026	PROGRESS SET	

ABBREVIATIONS	CONC	CONCRETE	ELEV.	ELEVATION	JB	JUNCTION BOX	OH	OPPOSITE HAND	SPRK	SPRINKLER
AND	CONT	CONTINUOUS	ELEC	ELECTRICAL	LB	LOAD BEARING WALL	OSB	ORIENTED STRAND BOARD	STL	STEEL
AT	D	DRYER	EXP	EXPANSION	LBW	LOAD BEARING WALL	FLAM	PLASTIC LAMINATE	TBO	TO BE DETERMINED
ABOVE FINISHED FLOOR	DH	DOUBLE HUNG	EQ	EQUAL	LVL	LAMINATED VENEER LUMBER	PLYWD	PLYWOOD	TEMP	TEMPER
APPT	DIA	DIAMETER	ETR	EXISTING TO REMAIN	MARB	MARBLE	PT	PRESSURE TREATED	T&G	TONGUE AND GROOVE
BLDG	DM	DIMENSION	EX	EXISTING	MATL	MATERIAL	R	RISER	TOS	TOP OF SLAB
BSMT	DN	DOWN	FF	FINISH FLOOR	MAX	MAXIMUM	REF	REFRIGERATOR	TYP	TYPICAL
BSMT	DR	DOOR	FN	FINISH	MDO	MEDIUM DENSITY OVERLAY	RO	ROUGH OPENING	UNO	UNLESS NOTED OTHERWISE
CJ	DS	DOWNSPROUT	FLR	FLOOR	MIN	MINIMUM	RGD	REQUIRED	V&F	VERIFY IN FIELD
CAB	DTL	DETAIL	GA	GAUGE	MANU	MANUFACTURER	RM	ROOM	W	WASHER
CABINET	DW	DISHWASHER	GWB	GYPSPUM WALL BOARD	MTL	METAL	SC	SOLID CORE	W	WITH
CENTER LINE	DWS	DRAWING	HB	HOSE BIB	MECH	MECHANICAL	SHT	SHEET	WC	TOILET / WATER CLOSET
CLR	DW	DISHWASHER	HC	HOLLOW CORE	NIC	NOT IN CONTRACT	SHWR	SHOWER	WD	WOOD
CLEAR	EFS	EXTERIOR FINISHING SYSTEM	HT	HEIGHT	NTS	NOT TO SCALE	SH	SIMILAR	W/O	WITHOUT
CMU		CONCRETE MASONRY UNIT	HT	HEIGHT	NTS	NOT TO SCALE	SH	SIMILAR	W/O	WITHOUT
COND		CONDITION	HDWR	HARDWARE	OC	ON CENTER	SPEC	SPECIFICATION	W/M	WELDED WIRE MESH

SYMBOLS	DESCRIPTION
	DOOR TAG; DOOR REFERENCE (SEE DOOR SCHEDULE)
	WINDOW TAG; WINDOW REFERENCE (SEE WINDOW SCHEDULE)
	WALL TAG; WALL TYPE REFERENCE (SEE WALL / PARTITION TYPES)

	CENTERLINE
	DRAWING CALL-OUT; DRAWING NUMBER SHEET REFERENCE
	ELEVATION CALL-OUT; VIEW DIRECTION DRAWING NUMBER SHEET REFERENCE
	ELEVATION MARKER; ELEVATION
	BENCHMARK; LOCATION REFERENCE SPOT LOCATION
	SECTION CUT CALL-OUT; DRAWING REFERENCE SECTION CUT LOCATION
	SECTION CUT; SHEET REFERENCE DIRECTION OF VIEW

PROJECT DATA
JURISDICTION: Montgomery County, MD
BUILDING CODE: 2021 IRC & Montgomery County Amendments
BUILDING USE GROUP: Single Family, Detached
CONSTRUCTION TYPE: 5B- Combustible, Unprotected
FIRE SUPPRESSION SYSTEM: N/A

CERTIFICATION
I certify that these contract documents were prepared under my supervision or approved by me and I am a duly licensed registered architect under the laws of the state of Maryland.
License #: xxxxxx
Expiration: mm/dd/yy

RYAN #2519

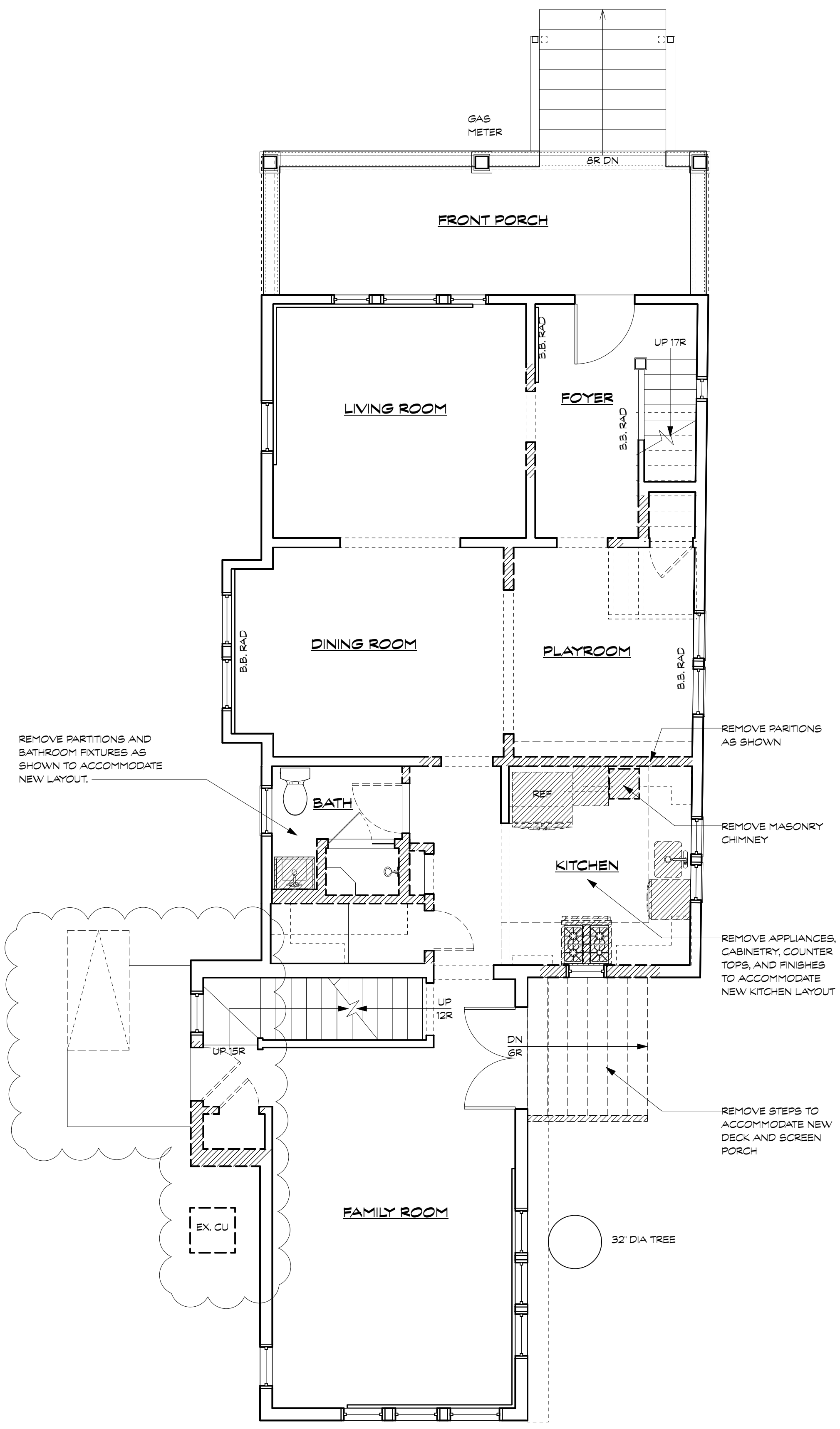


DATE	ISSUE - REMARKS
05/05/2026	PROGRESS SET

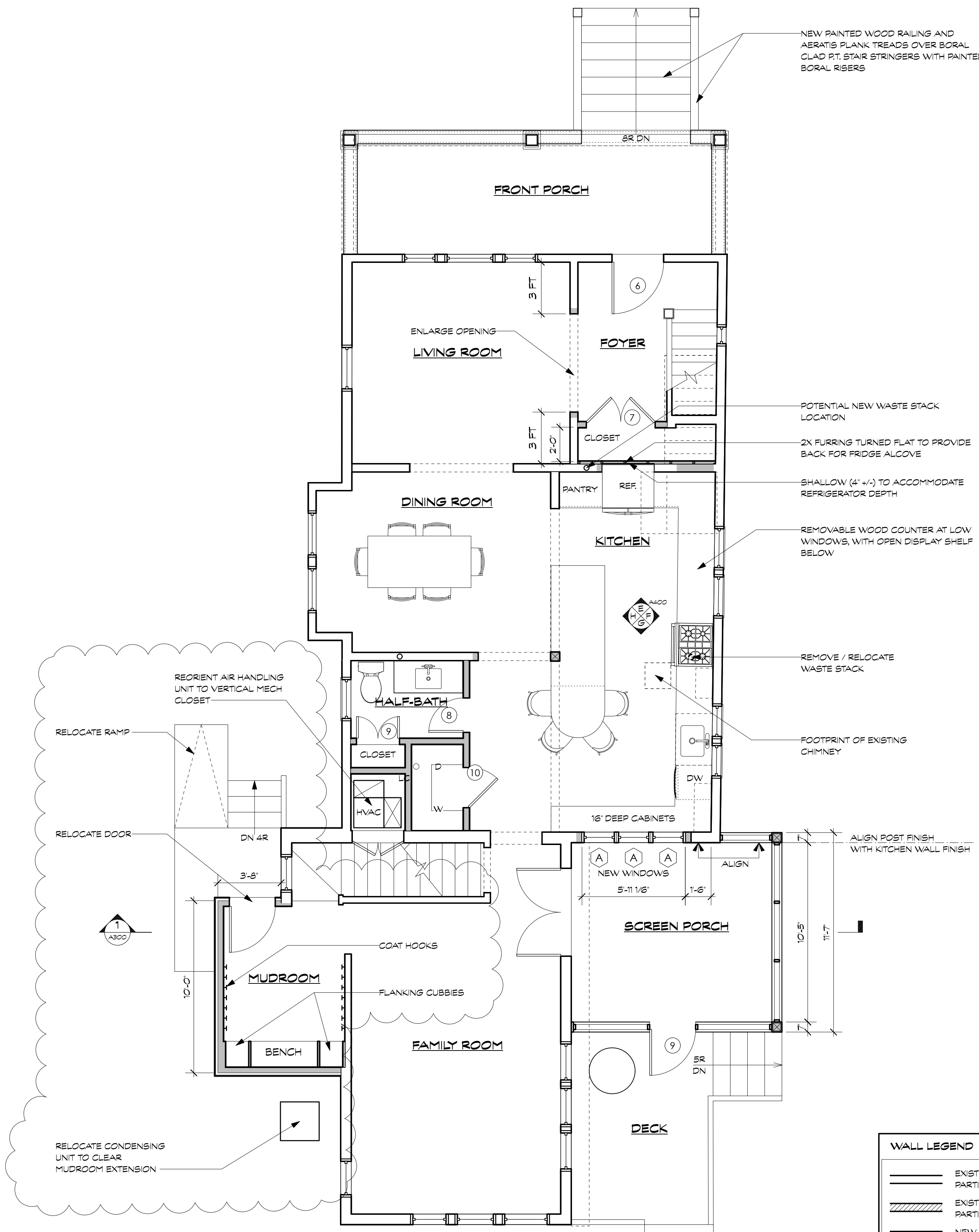
I certify that these contract documents were prepared under my supervision or approved by me and I am a duly licensed registered architect under the laws of the state of Maryland.

License #: xxxxxx  
Expiration: mm/dd/yy

© 2026 BFM Architecture Inc.



1 EXISTING FIRST FLOOR PLAN  
Scale: 1/4" = 1'-0"



2 PROPOSED FIRST FLOOR PLAN  
Scale: 1/4" = 1'-0"

WALL LEGEND	
	EXISTING WALLS AND PARTITIONS TO REMAIN
	EXISTING WALLS AND PARTITIONS TO BE REMOVED
	NEW WOOD FRAMED WALLS AND PARTITIONS
	NEW LOW WALLS
	NEW CMU WALLS

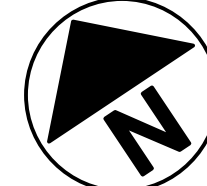
- GENERAL NOTES:
- DO NOT SCALE THE DRAWINGS
  - NEW CONSTRUCTION DIMENSIONED TO FRAMING (U.N.O)
  - EXISTING CONSTRUCTION DIMENSIONED TO FINISH (U.N.O)

**RYAN RENOVATION**  
6704 Westmoreland Ave. Takoma Park, Maryland 20912  
Project #2519

PROGRESS SET

5 MAY 2026

DEMOLITION & PROPOSED 1ST FLOOR PLANS  
**A101**



DATE	ISSUE - REMARKS
05/05/2026	PROGRESS SET

I certify that these contract documents were prepared under my supervision or approved by me and I am a duly licensed registered architect under the laws of the state of Maryland.

License #: xxxxxx  
Expiration: mm/dd/yy

© 2026 BFM Architecture Inc.

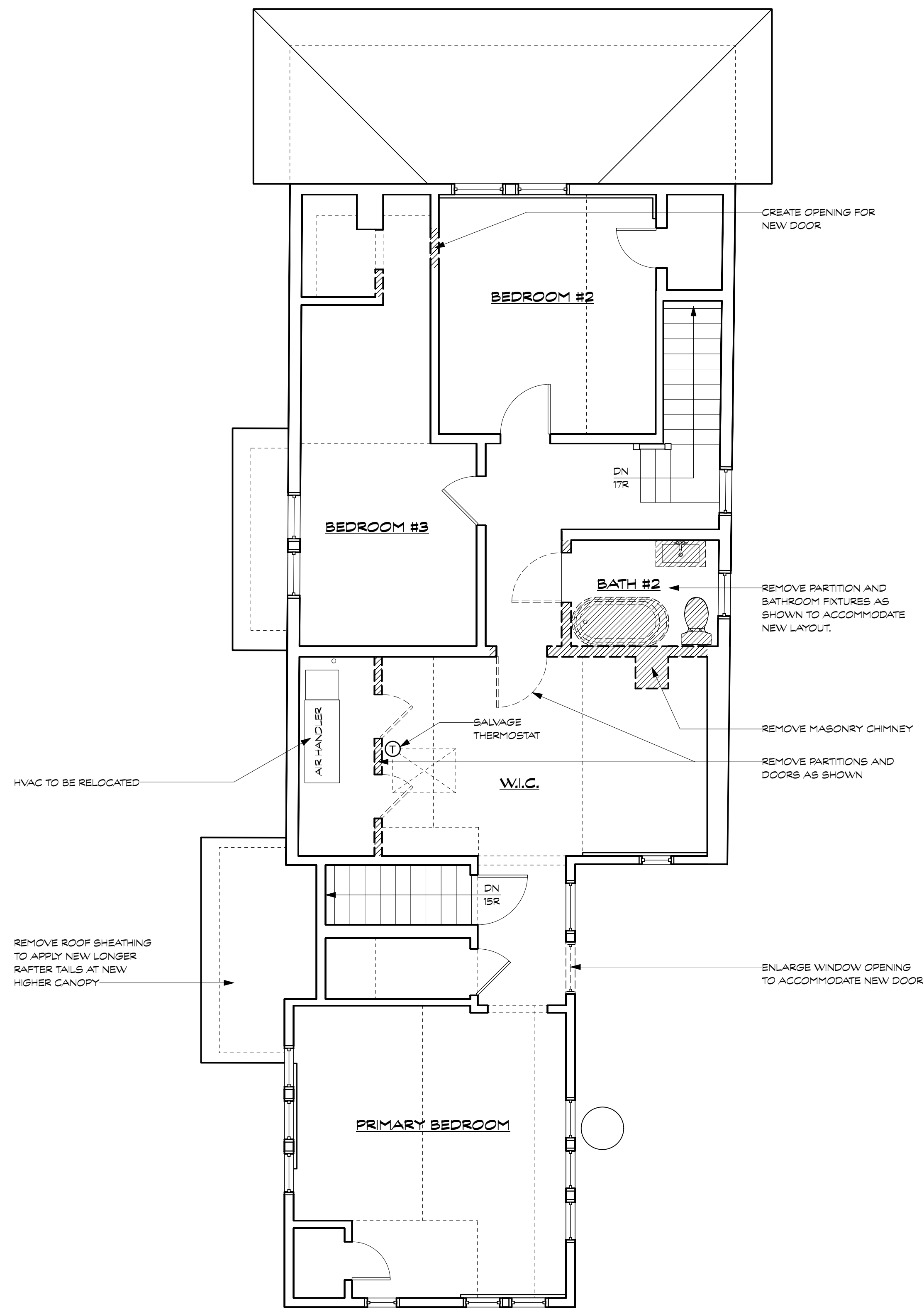
**RYAN RENOVATION**  
6704 Westmoreland Ave. Takoma Park, Maryland 20912  
Project #2519

PROGRESS SET

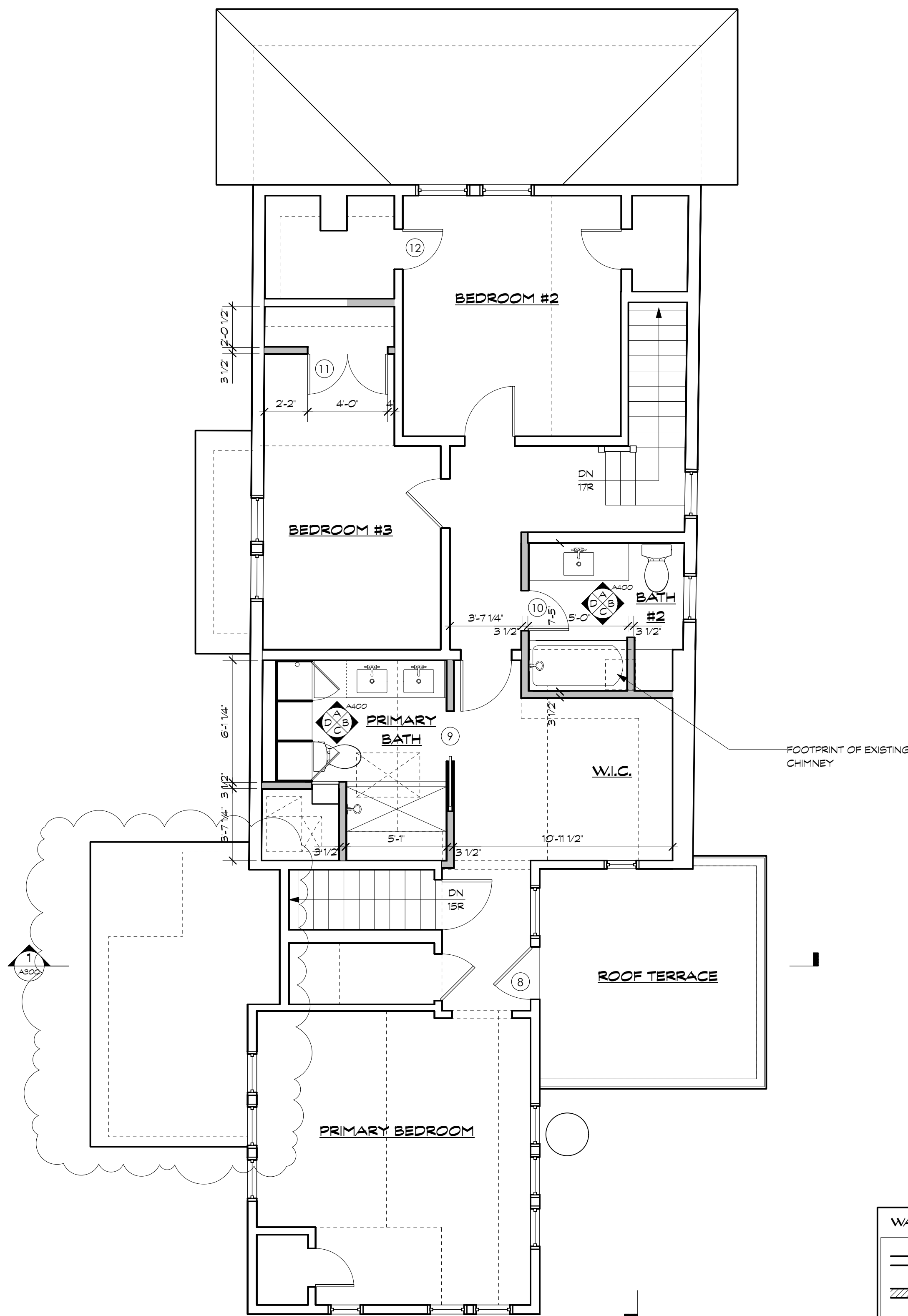
5 MAY 2026

DEMOLITION & PROPOSED 2ND FLOOR PLANS

**A102**



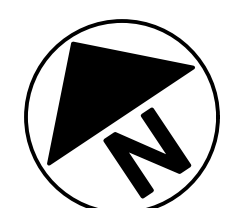
**1 SECOND FLOOR DEMOLITION PLAN**  
Scale: 1/4" = 1'-0"



**2 PROPOSED SECOND FLOOR PLAN**  
Scale: 1/4" = 1'-0"

WALL LEGEND	
	EXISTING WALLS AND PARTITIONS TO REMAIN
	EXISTING WALLS AND PARTITIONS TO BE REMOVED
	NEW WOOD FRAMED WALLS AND PARTITIONS
	NEW LOW WALLS
	NEW CMU WALLS

- GENERAL NOTES:**
- DO NOT SCALE THE DRAWINGS
  - NEW CONSTRUCTION DIMENSIONED TO FRAMING (U.N.O)
  - EXISTING CONSTRUCTION DIMENSIONED TO FINISH (U.N.O)

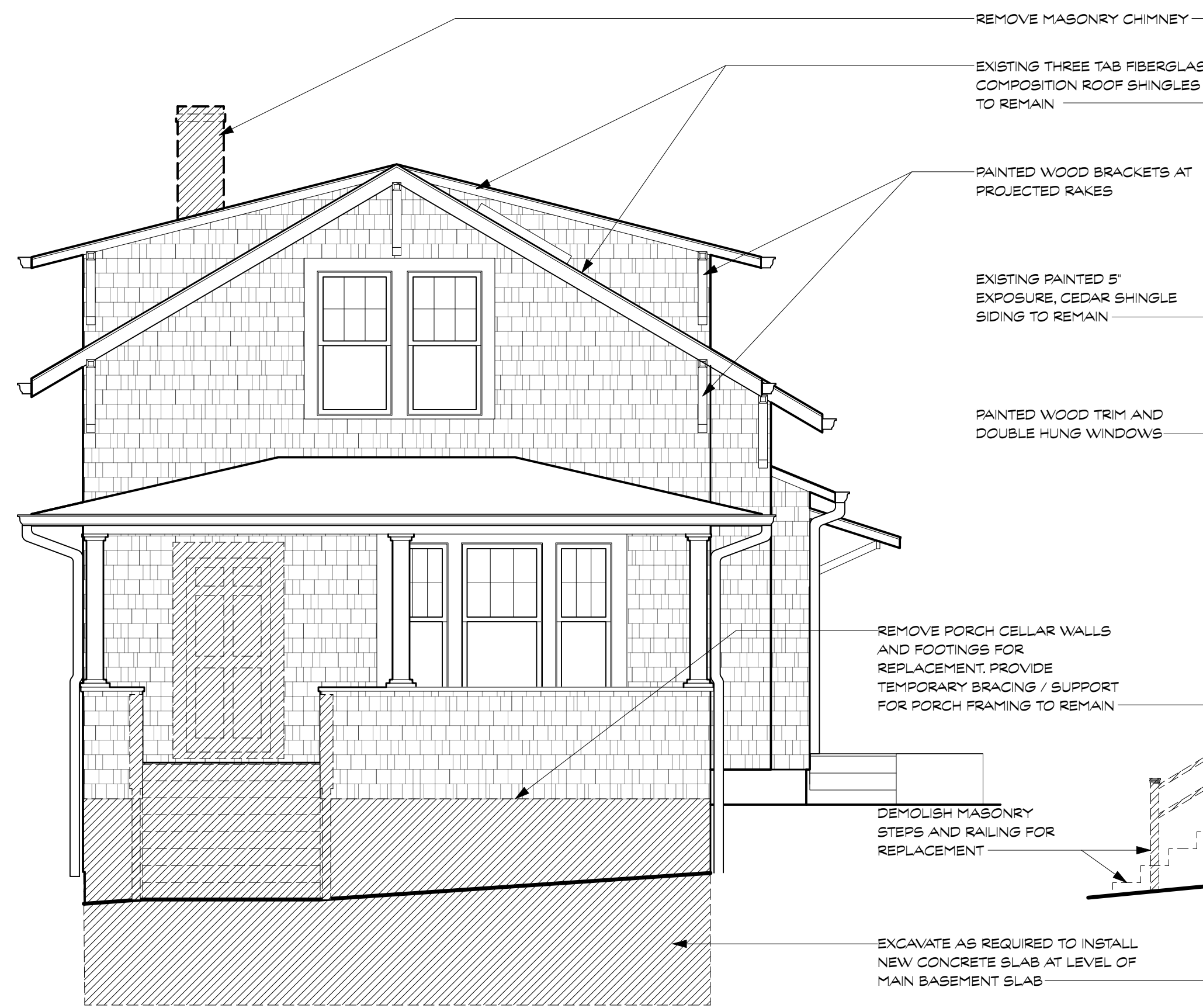


DATE	ISSUE - REMARKS
05/05/2026	PROGRESS SET

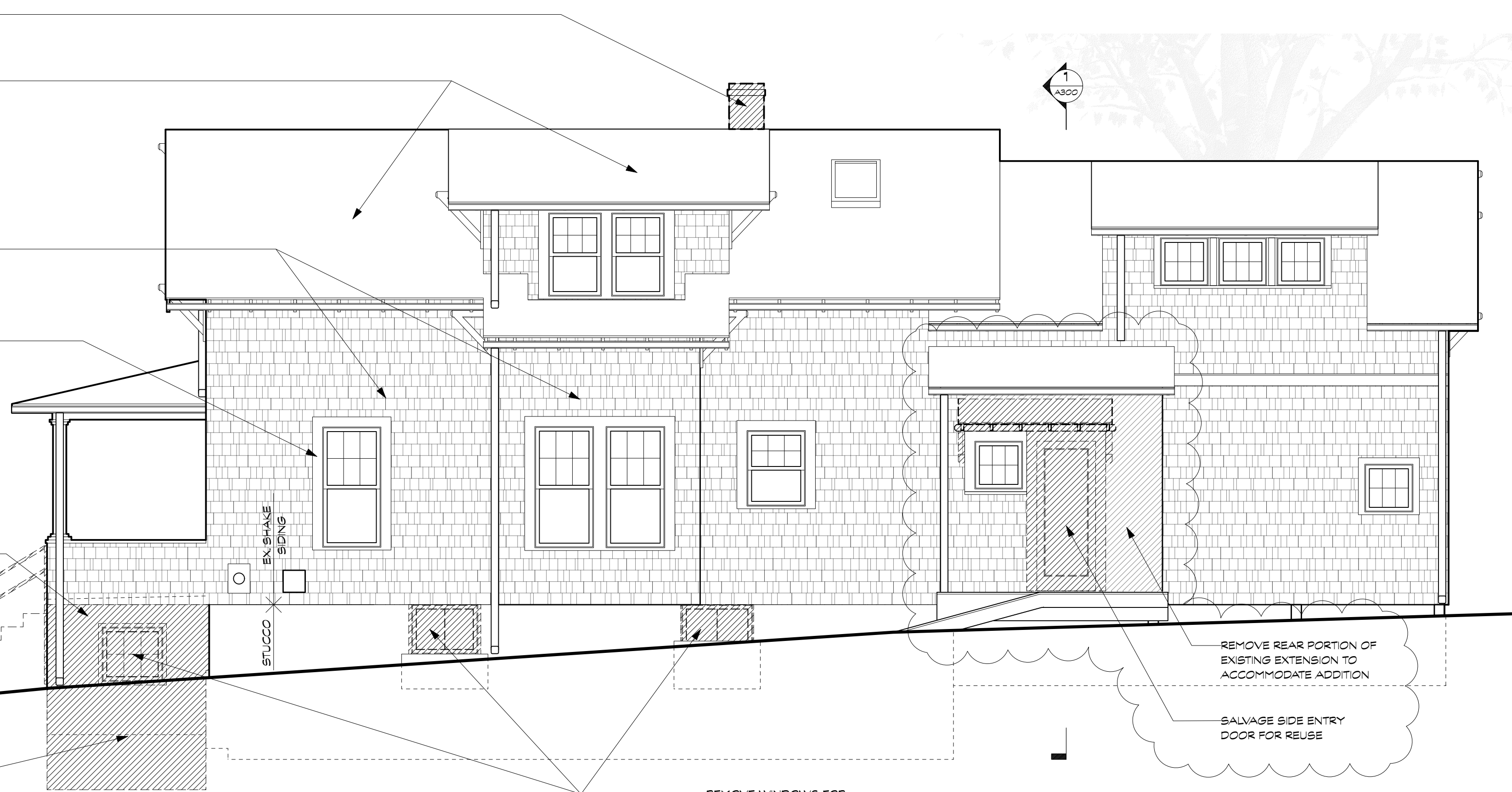
I certify that these contract documents were prepared under my supervision or approved by me and I am a duly licensed registered architect under the laws of the state of Maryland.

License # : xxxxxx  
Expiration : mm/dd/yy

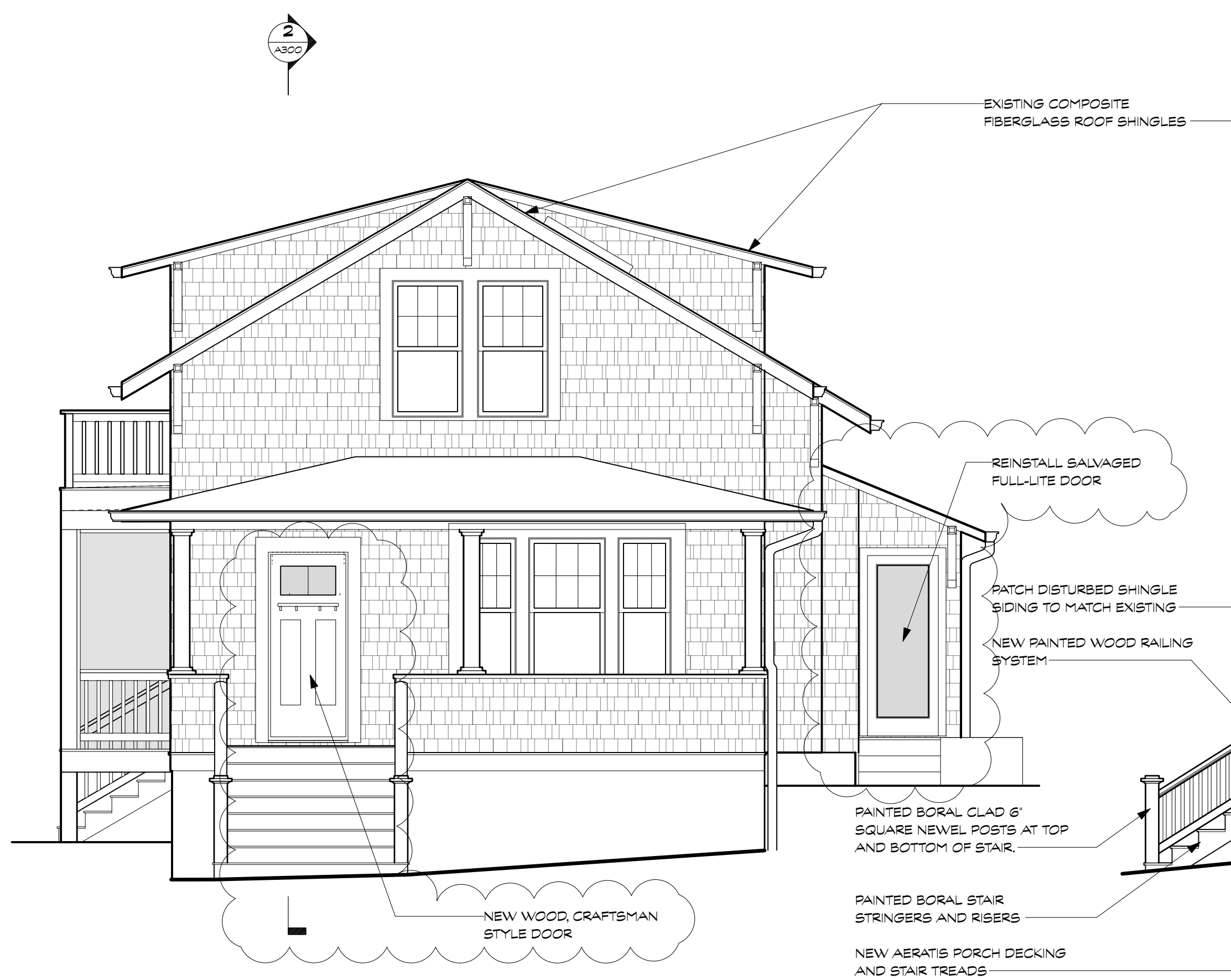
© 2026 BFM Architecture Inc.



1 EXISTING FRONT (NORTHEAST) ELEVATION  
Scale: 1/4" = 1'-0"



2 EXISTING SIDE (NORTHWEST) ELEVATION  
Scale: 1/4" = 1'-0"



3 PROPOSED FRONT (NORTHEAST) ELEVATION  
Scale: 1/4" = 1'-0"



4 PROPOSED SIDE (NORTHWEST) ELEVATION  
Scale: 1/4" = 1'-0"

**RYAN RENOVATION**  
6704 Westmoreland Ave. Takoma Park, Maryland 20912  
Project #2519

PROGRESS SET

5 MAY 2026

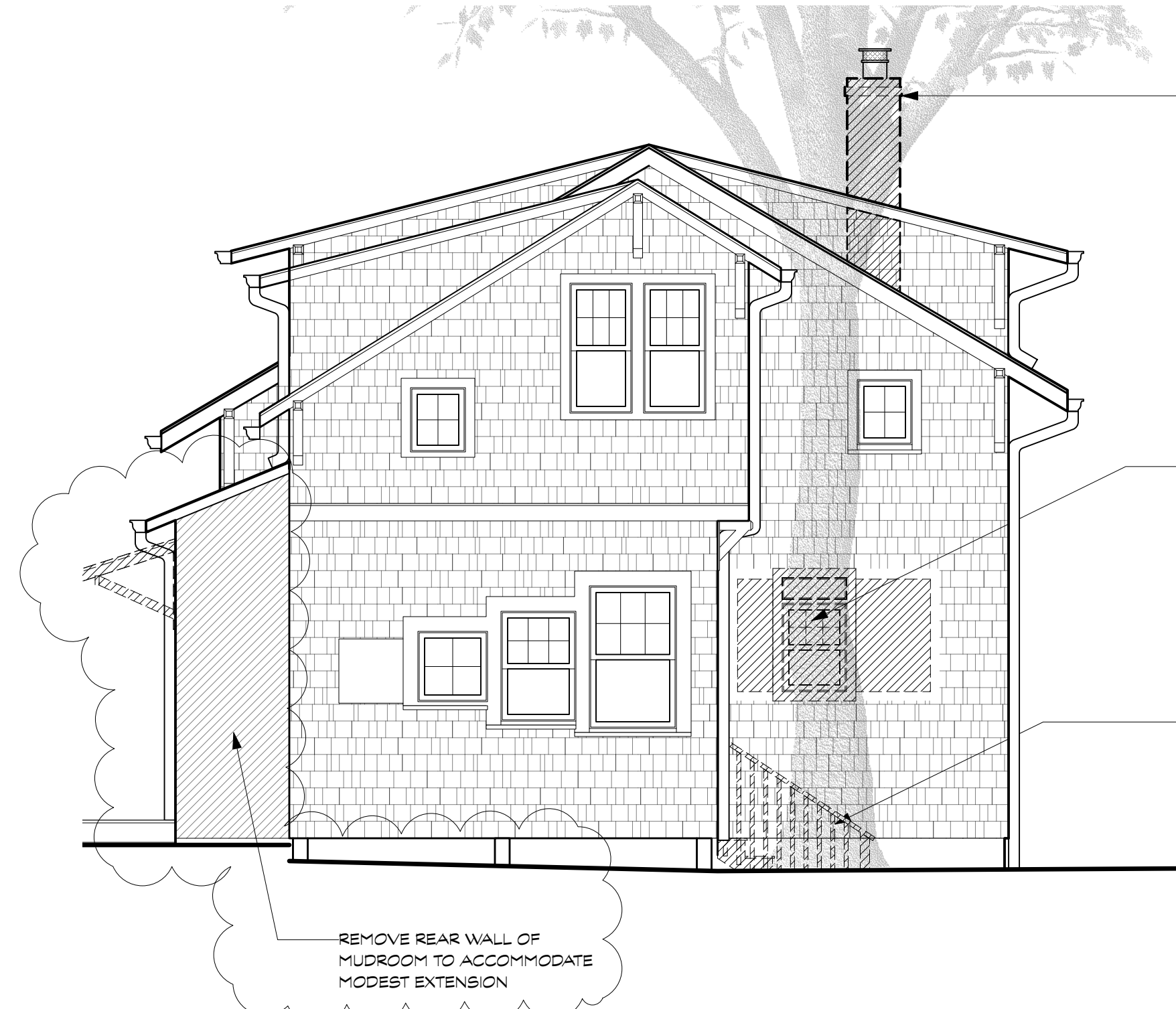
DEMOLITION & PROPOSED ELEVATIONS

**A200**

DATE	ISSUE - REMARKS
05/05/2026	PROGRESS SET

I certify that these contract documents were prepared under my supervision or approved by me and I am a duly licensed registered architect under the laws of the state of Maryland.  
License #: xxxxxx  
Expiration: mm/dd/yy

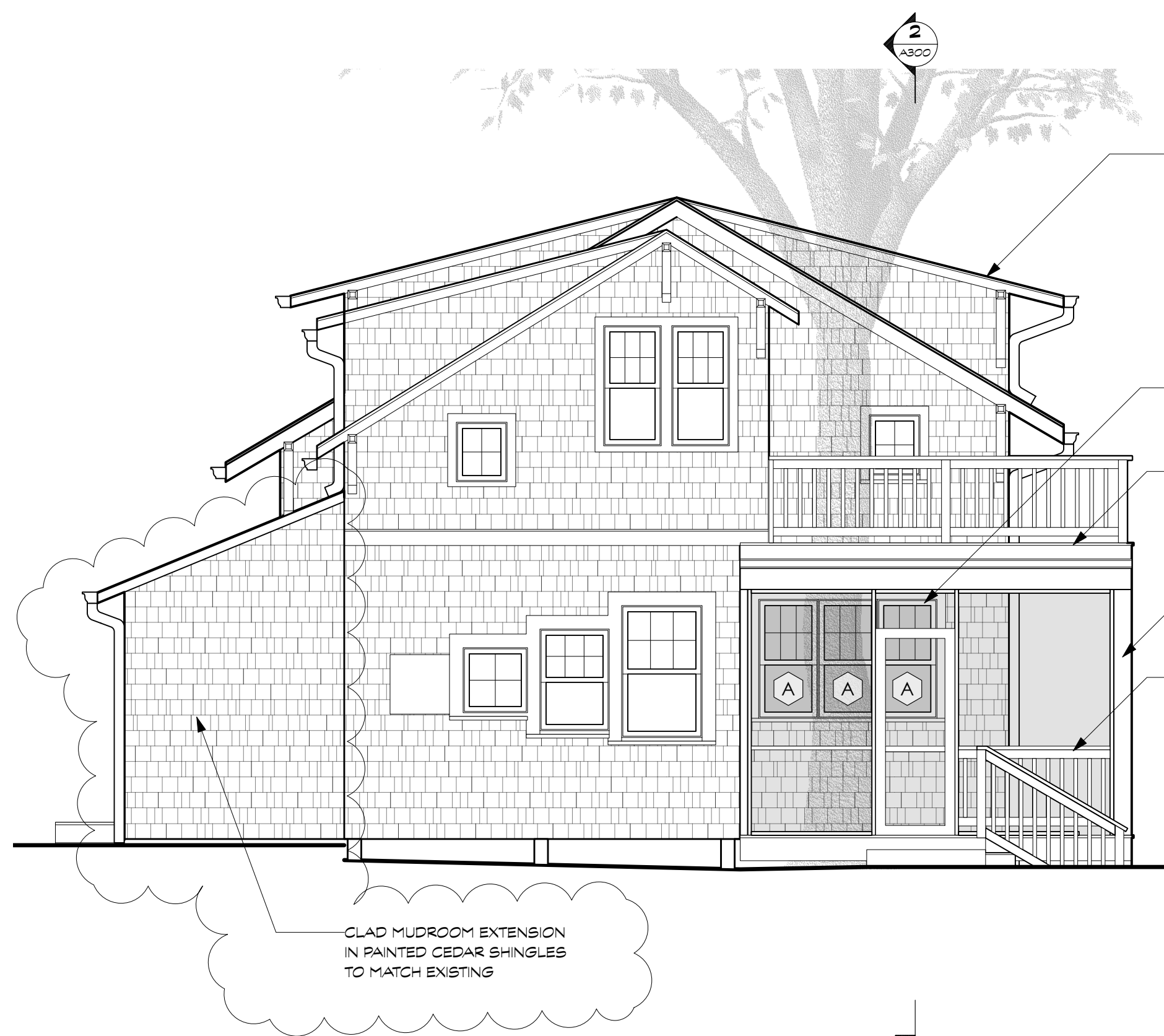
© 2026 BFM Architecture Inc.



1 DEMOLITION REAR (SOUTHWEST) ELEVATION  
Scale: 1/4" = 1'-0"



2 DEMOLITION SIDE (SOUTHEAST) ELEVATION  
Scale: 1/4" = 1'-0"



3 PROPOSED REAR (SOUTHWEST) ELEVATION  
Scale: 1/4" = 1'-0"



4 PROPOSED SIDE (SOUTHEAST) ELEVATION  
Scale: 1/4" = 1'-0"

**RYAN RENOVATION**  
6704 Westmoreland Ave. Takoma Park, Maryland 20912  
Project #2519

PROGRESS SET

5 MAY 2026

DEMOLITION & PROPOSED ELEVATIONS

**A201**

**Existing Property Condition Photographs (duplicate as needed)**



Detail: 6704 WESTMORELAND AVE.(NORTH) FRONT



Detail: 6704 WESTMORELAND AVE.(NORTH-WEST) CORNER.

**Existing Property Condition Photographs (duplicate as needed)**



Detail: 6704 WESTMORELAND AVE. (SOUTH-WEST) CORNER



Detail: 6704 WESTMORELAND AVE. REAR

**Existing Property Condition Photographs (duplicate as needed)**



Detail: 6704 WESTMORELAND AVE. (SOUTH-EAST) FAMILY ROOM ENTRY



Detail: 6704 WESTMORELAND AVE. (EAST) SIDE

**Existing Property Condition Photographs (duplicate as needed)**



Detail: 6704 WESTMORELAND AVE. (NORTH-EAST) CORNER



Detail: CONTEXT: 6702 WESTMORELAND AVE.

**Existing Property Condition Photographs (duplicate as needed)**



Detail: CONTEXT: 6706 WESTMORELAND AVE.



Detail: CONTEXT: 6701 WESTMORELAND AVE.

**Existing Property Condition Photographs (duplicate as needed)**



Detail: CONTEXT: 6705 WESTMORELAND AVE.



Detail: CONTEXT: 6707 WESTMORELAND AVE.

**Existing Property Condition Photographs (duplicate as needed)**



Detail: 6704 WESTMORELAND AVE. LOW STONE WALLS



Detail: 6704 WESTMORELAND AVE. MASONRY PORCH STEPS

**Existing Property Condition Photographs (duplicate as needed)**



Detail: 6704 WESTMORELAND AVE. PORCH SIDING

---



Detail: 6704 WESTMORELAND AVE. PORCH SEPARATION

---

**Existing Property Condition Photographs (duplicate as needed)**



Detail: 6704 WESTMORELAND AVE. CRACKED PORCH FOUNDATION



Detail: 6704 WESTMORELAND AVE. CRACKED PORCH FOUNDATION

**Existing Property Condition Photographs (duplicate as needed)**



Detail: 6704 WESTMORELAND AVE. PORCH ROOF



Detail: 6704 WESTMORELAND AVE. PORCH ROOF RAFTERS

**Existing Property Condition Photographs (duplicate as needed)**



Detail: 6704 WESTMORELAND AVE. PORCH COLUMN CAP



Detail: 6704 WESTMORELAND AVE. PORCH COLUMN BASE

**Existing Property Condition Photographs (duplicate as needed)**



Detail: 6704 WESTMORELAND AVE. SHED

---



Detail: 6704 WESTMORELAND AVE. SHED CRACKED FOUNDATION

---

**Existing Property Condition Photographs (duplicate as needed)**



Detail: 6704 WESTMORELAND AVE. SHED (EAST-FACE)



Detail: 6704 WESTMORELAND AVE. FAILING PORCH LINTEL