

Montgomery County Historic Preservation

Staff Report

<p>ADDRESS: 6912 Westmoreland Avenue, Takoma Park</p> <p>RESOURCE: Takoma Park Historic District</p> <p>APPLICANT: Ronald Whalen; Danny Gomez (agent)</p> <p>REVIEW: HAWP</p> <p>CASE NO. 1153935</p> <p>PROPOSAL: Roof and skylight replacement and retroactive railing installation</p>	<p>MEETING DATE: 5/13/2026</p> <p>REPORT DATE: 5/6/2026</p> <p>PUBLIC NOTICE: 4/29/2026</p> <p>TAX CREDIT ELIGIBLE: Partial</p> <p>STAFF: Devon Murtha</p>
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Staff Recommendation

Staff recommends the HPC approve the HAWP application.

Architectural Description

Significance: Contributing Resource within the Takoma Park Historic District

Date: c. 1910-1920s

Style: Bungalow

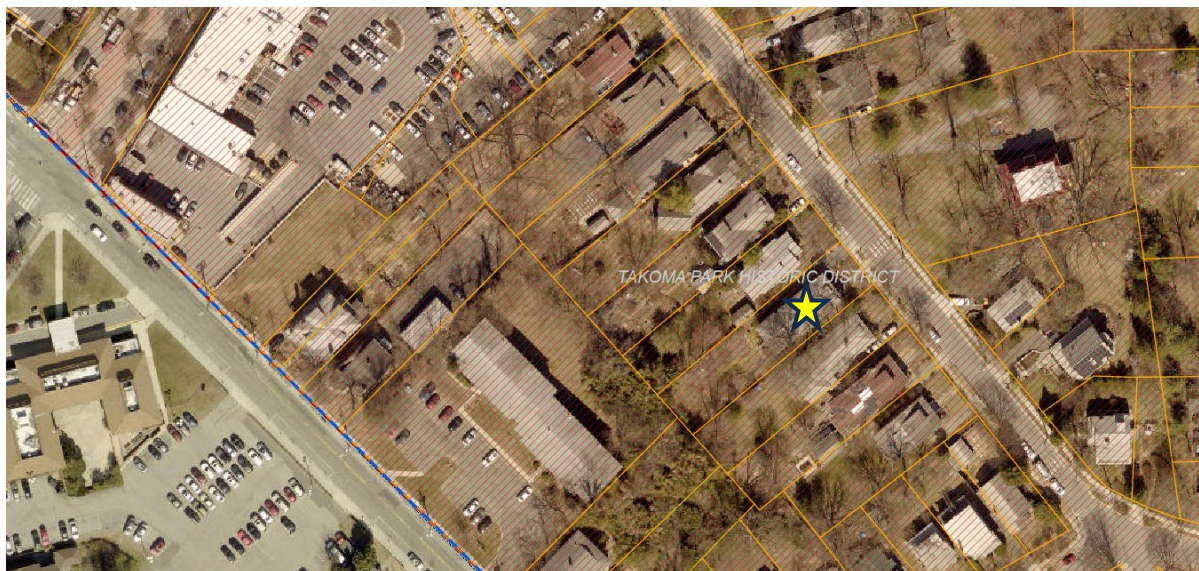


Figure 1: The location of the subject property in the Takoma Park Historic District. The boundary is outlined in red and the property noted with a yellow star.

Proposal

The applicant proposes to remove and replace the existing asphalt shingle roof and install architectural shingles, replace existing skylights, replace flashings, and repaint existing trim, soffit, fascia, porch railings, and window trim. The applicant is also seeking retroactive approval for the installation of new wood railings on the historic front porch stairs.

Applicable Guidelines

When reviewing alterations and new construction within the Takoma Park Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the Takoma Park Historic District Master Plan Amendment (*Guidelines*), Montgomery County Code Chapter 24A-8 (*Chapter 24A-8*), and the Secretary of the Interior's Standards for Rehabilitation (*Standards*). The pertinent information in these documents is outlined below.

Montgomery County Code Chapter 24A-8

(b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to ensure conformity with the purposes and requirements of this chapter, if it finds that:

- 1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
- 2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an

historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or

- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

Takoma Park Historic District Guidelines

There are two broad planning and design concepts which apply to all categories. These are:

- The design review emphasis will be restricted to changes that are all visible from the public right-of-way, irrespective of landscaping or vegetation (it is expected that the majority of new additions will be reviewed for their impact on the overall district), and
- The importance of assuring that additions and other changes to existing structures act to reinforce and continue existing streetscape, landscape, and building patterns rather than to impair the character of the historic district.

Contributing Resources should receive a more lenient review than those structures that have been classified as Outstanding. This design review should emphasize the importance of the resource to the overall streetscape and its compatibility with existing patterns rather than focusing on a close scrutiny of architectural detailing. In general, however, changes to Contributing Resources should respect the predominant architectural style of the resource. As stated above, the design review emphasis will be restricted to changes that are at all visible from the public right-of-way, irrespective of landscaping or vegetation.

Relevant factors to be considered in reviewing HAWPs on Contributing Resources include:

- all exterior alterations, including those to architectural features and details, should be generally consistent with the predominant architectural style and period of the resource and should preserve the predominant architectural features of the resource; exact replication of existing details and features is, however, not required;
- minor alterations to areas that do not directly front on a public right-of-way -such as vents, metal stovepipes, air conditioners, fences, skylights, etc. -should be allowed as a matter of course;
- alterations to areas that do not directly front on a public right-of-way which involve the replacement of or damage to original ornamental or architectural features are discouraged but may be considered and approved on a case-by-case basis;
- major additions should, where feasible, be placed to the rear of existing structures so that they are less visible from the public right-of-way; additions and alterations to the first floor at the front of a structure are discouraged but not automatically prohibited
- while additions should be compatible, they are not required to be replicative of earlier architectural styles
- second story additions or expansions should be generally consistent with the predominant architectural style and period of the resource (although structures that have been historically single story can be expanded) and should be appropriate to the surrounding streetscape in terms of scale

- and massing
- original size and shape of window and door openings should be maintained, where feasible; some non-original building materials may be acceptable on a case-by-case basis
- artificial siding on areas visible from the public right-of-way is discouraged where such materials would replace or damage original building materials that are in good condition
- alterations to features that are not visible at all from the public right-of-way should be allowed as a matter of course
- all changes and additions should respect existing environmental settings, landscaping, and patterns of open space

Secretary of the Interior's Standards for Rehabilitation

The Secretary of the Interior defines rehabilitation as “the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values.” The applicable *Standards* are as follows:

2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Staff Discussion

The subject property is located at 6912 Westmoreland Avenue and is a Contributing Resource to the Takoma Park Historic District. It is a one-and-a-half-story bungalow with a one-story porch.

Staff notes that most of the work in this proposal would typically not be reviewed by the HPC. Asphalt shingle roof replacements and in-kind replacements can be approved administratively by Staff and routine maintenance, such as painting, does not require a HAWP. These work items are eligible for the Montgomery County Historic Preservation tax credit.

This review was triggered by the recent removal of the existing railings and the installation of new railings of a different design. Staff finds that this work is appropriate and recommends approval. The previous railings were unsubstantial and incompatible with the character of the resource, and that their removal is consistent with *Standard 2*. Staff finds that the new wood railings, installed on both sides of the front steps and on a small portion of the porch, more closely match the design of the rest of the porch, per the *Guidelines*, and are overall compatible with the resource and an improvement to the property. Staff finds that wood is an appropriate material for this resource.



Figure 2: Photo of the subject property c. 1990 (left; Montgomery County Planning) and 2026 (right; Danny Gomez).

Staff Recommendation

Staff recommends that the Historic Preservation Commission approve the HAWP application under the Criteria for Issuance in Chapter 24A-8(b)(1) and (2), having found that the proposal will not substantially alter the exterior features of the historic resource and is compatible in character with the district and the purposes of Chapter 24A;

The Takoma Park Historic District Guidelines;

the Secretary of the Interior's Standards for Rehabilitation #2, #9 and #10;

and with the general condition that the applicant shall present an electronic set of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or devon.murtha@montgomeryplanning.org to schedule a follow-up site visit.

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

Description of Work Proposed: Please give an overview of the work to be undertaken:

Work Item 1: _____	
Description of Current Condition:	Proposed Work:

Work Item 2: _____	
Description of Current Condition:	Proposed Work:

Work Item 3: _____	
Description of Current Condition:	Proposed Work:

**HISTORIC AREA WORK PERMIT
CHECKLIST OF
APPLICATION REQUIREMENTS**

	Required Attachments						
Proposed Work	I. Written Description	2. Site Plan	3. Plans/ Elevations	4. Material Specifications	5. Photographs	6. Tree Survey	7. Property Owner Addresses
New Construction	*	*	*	*	*	*	*
Additions/ Alterations	*	*	*	*	*	*	*
Demolition	*	*	*		*		*
Deck/Porch	*	*	*	*	*	*	*
Fence/Wall	*	*	*	*	*	*	*
Driveway/ Parking Area	*	*		*	*	*	*
Grading/Excavation/ Landscaping	*	*		*	*	*	*
Tree Removal	*	*		*	*	*	*
Siding/ Roof Changes	*	*	*	*	*		*
Window/ Door Changes	*	*	*	*	*		*
Masonry Repair/ Repoint	*	*	*	*	*		*
Signs	*	*	*	*	*		*

ROOF REPLACEMENT, POWER WASH AND PAINT



DG Exteriors LLC
 211 Crabb Ave
 Rockville, MD 20850
 service@dgehomes.com
 (240) 883-1265

For: Ronald Whalen
 Job Address: 6912 Westmoreland Avenue
 Takoma Park, MD 20912
 Rondwhalen@gmail.com
 (301) 593-3966

Job Id 2603-8366412-01	Job # 024-366	Estimate # 0160	Estimate Amount \$32,170.00
Estimate Date 03/17/2026	Contractor license # 05-161407		

#	Type	Name	(Price / Unit) x Qty	Line Total
1	ACTIVITY	Full Roof Replacement	(\$23,320.00 / EA) x 1.00	\$23,320.00
		Description: Remove and dispose existing asphalt shingles — 28 SQ @ \$80.00 — \$2,240.00		
		Install ½" OSB roof decking layover over existing plank decking — 28 SQ @ \$193.00 — \$5,404.00		
		Install GAF Timberline HDZ architectural shingles — 28 SQ @ \$305.00 — \$8,540.00		
		Install GAF FeltBuster synthetic underlayment — 28 SQ @ \$28.00 — \$784.00		
		Install Ice & Water Shield leak barrier — 6 SQ @ \$115.00 — \$690.00		
		Drip edge (eaves and rakes) — 248 LF @ \$4.50 — \$1,116.00		
		Starter strip shingles — 248 LF @ \$3.25 — \$806.00		
		GAF Cobra Snow Country ridge vent — 70 LF @ \$11.00 — \$770.00		
		Ridge cap shingles — 231 LF @ \$4.75 — \$1,097.25		
		Detach and reset existing gutter guards along eaves — 140 LF @ \$7.00 — \$980.00		
		Velux skylight Replacement CO6 — 1 EA — \$950		
		Replace plumbing pipe boots — 2 EA @ \$80.00 — \$160.00		
		Step flashing replacement — 23 LF @ \$7.50 — \$172.50		
		Valley metal flashing — 119 LF @ \$8.50 — \$1,011.50		
		Job site protection, tarping, magnetic nail sweep, and debris removal — 1 LS — \$1,050.00		
		Permit, delivery, logistics, and project management — 1 LS — \$558.75		
2	ACTIVITY	Exterior Power Wash - Full Home	(\$1,550.00 / EA) x 1.00	\$1,550.00
		Description: Complete exterior cleaning of the home including soft washing of all siding to remove algae, mildew, and organic buildup. This includes cleaning of all soffit, fascia, exterior window frames and glass (approximately 15 windows), front porch area including ceiling, railings, and steps, as well as pressure washing of all concrete surfaces including the front porch slab, steps, and base perimeter around the home. All gutters and gutter faces will be cleaned, with gutter guards carefully detached and reset as needed to ensure proper cleaning. Includes site setup, protection of landscaping, and full cleanup upon completion.		

3	ACTIVITY	Exterior Painting - Windows, Soffit, Porch, & Trim	(\$7,300.00 / EA) x 1.00	\$7,300.00
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Description: EXTERIOR PAINTING – WINDOWS, SOFFIT, PORCH & TRIM

Complete preparation and painting of all exterior wood trim including window trim (approximately 15 windows), soffit, fascia, and front porch areas. Work includes scraping, sanding, caulking, sealing joints, and priming all exposed or repaired surfaces. Finish includes application of high-quality exterior paint with two coats to ensure durability and uniform appearance. Front porch trim, railings, and steps will be painted with a color matched to the existing porch finish. Includes front entry door and surrounding trim, as well as final detail work, touch-ups, and cleanup.

Total	\$32,170.00
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Note:

All work included in this proposal is intended to preserve the existing historical character and appearance of the property in accordance with Takoma Park Historic Preservation guidelines. No changes are being made that would alter the architectural style, visible design, or historical nature of the home. The existing asphalt roofing system will be removed and replaced with new architectural asphalt shingles in a similar style and color, and the existing skylight will be removed and replaced with the same brand and comparable model to maintain the original appearance and roofline consistency.

Attached Images

IMG_1090.jpeg

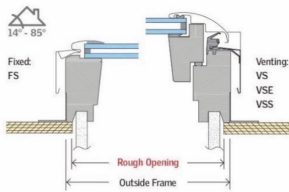
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Deck-Mounted Skylights

Size Chart and Codes

Model Size	A06	C01	C04	C06	C08	C12	D26	D06	M02	M04	M06	M08	S01	S06
Previous Model Size	056	J01	J04	J06	J08	J12	J50	J56	302	304	306	308	602	606
Rough Opening (W"xH")	34 1/4 x 45 1/4	21 x 26 3/8	21 x 37 3/8	21 x 45 1/4	21 x 54 1/4	21 x 70 1/4	22 1/4 x 22 1/4	22 1/4 x 45 1/4	30 1/4 x 30	30 1/4 x 37 1/4	30 1/4 x 45 1/4	30 1/4 x 54 1/4	44 1/4 x 26 1/4	44 1/4 x 45 1/4
Outside Frame (W"xH")	15 1/4 x 46 1/4	21 1/4 x 27 1/4	21 1/4 x 38 1/4	21 1/4 x 46 1/4	21 1/4 x 54 1/4	21 1/4 x 70 1/4	23 1/4 x 23 1/4	23 1/4 x 46 1/4	30 1/4 x 30 1/4	30 1/4 x 38 1/4	30 1/4 x 46 1/4	30 1/4 x 54 1/4	44 1/4 x 27 1/4	44 1/4 x 46 1/4
Daylight Square Feet	Fixed: 356	356	443	543	652	852	278	594	515	664	813	977	692	1236
Ventalt	—	227	350	438	534	—	—	—	411	548	686	836	557	1073
Fits On Center	36"	24"	24"	24"	24"	24"	24"	24"	36"	36"	36"	36"	36" or 24"	36" or 24"

¹ FS Fixed skylight only. ² Not available for VSE Electric ventin skylight.



FS - Fixed skylight
 VS - Manual venting skylight
 VSE - Electric venting skylight
 VSS - Solar Covered "Fresh Air" skylight

FS C06 2 0 0 4

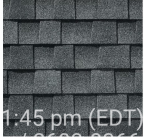
Model	Sizes	Interior finish	Cladding	Glazings
FS VS VSE VSS	A06 C01 C04 C06 C08 C12 D26 D06 M02 M04 M06 M08 S01 S06	0 Stain grade wood 2 White 9 Special	0 Aluminum 1 Copper 9 Special	04 Clean, Quiet & Safe glass 05 Low E7 Temp 06 Impact 08 White lami 10 Snowload 99 Special



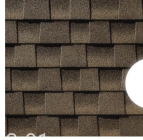
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Pewter Gray



Barkwood

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Attached Images

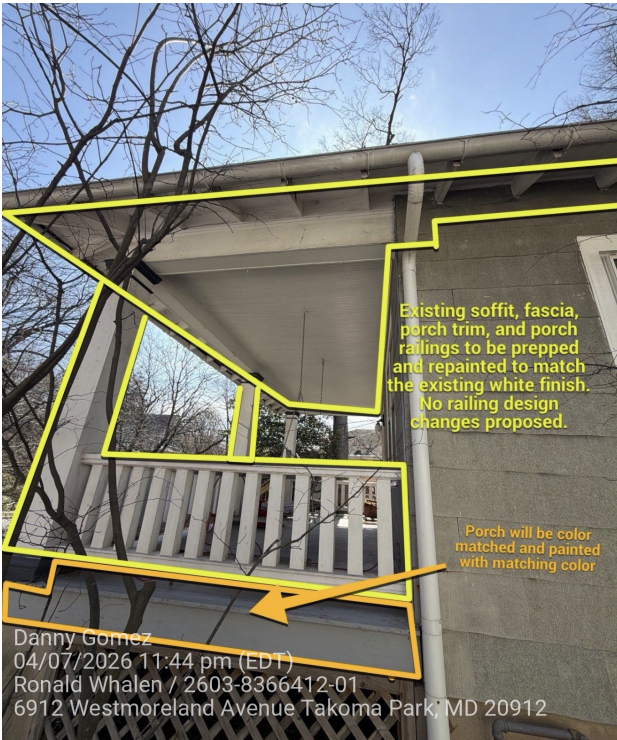
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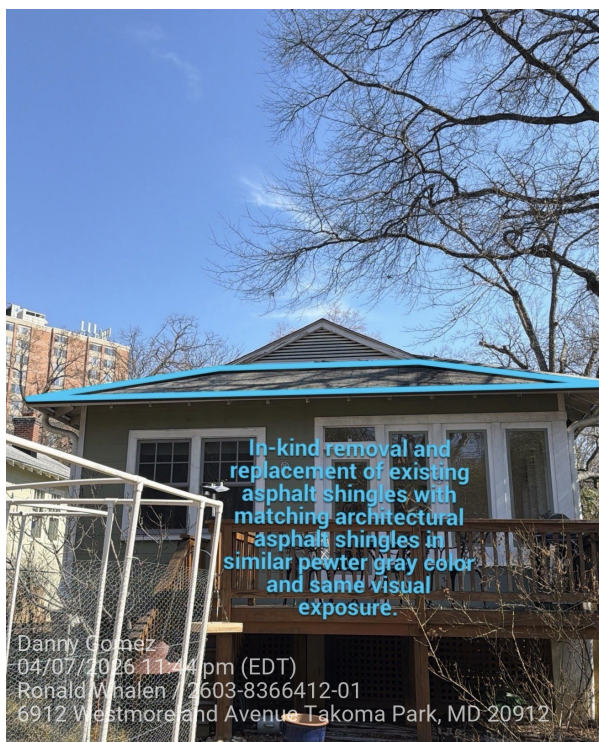
Ronald Whalen/2603-8366412-01
6912 Westmoreland Avenue
Takoma Park, MD 20912

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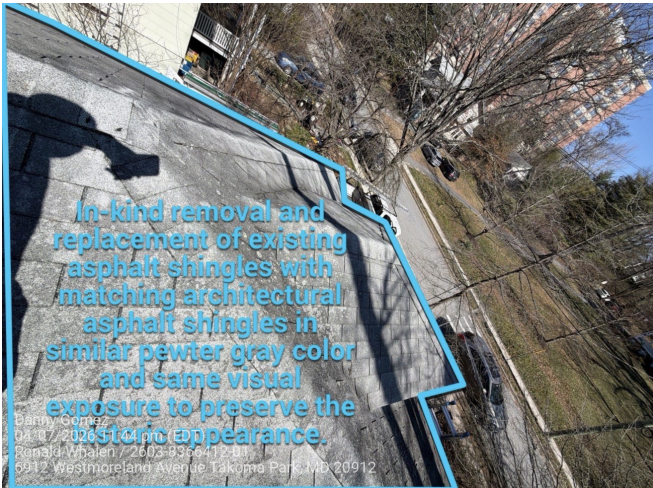
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Attached Images

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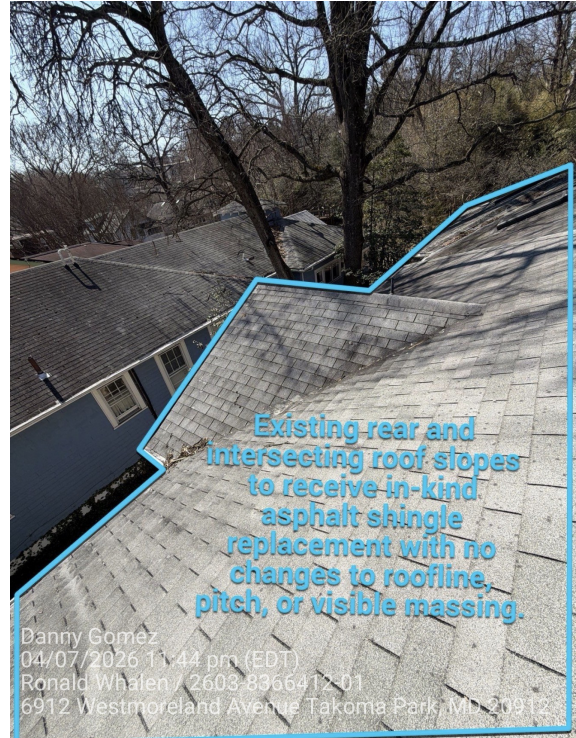
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DG Exteriors – Historic Area Work Permit Exhibit Packet (Renewed)

Property: 6912 Westmoreland Ave, Takoma Park, MD 20912

Exhibit A	Front Elevation
Exhibit B	Main Roof Plane
Exhibit C	Dormer Roof + Trim
Exhibit D	Dormer Returns / Fascia
Exhibit E	Porch Columns + Railings
Exhibit F	Side Elevations

Exhibit A – Existing front elevation to remain unchanged. Proposed work consists of in-kind asphalt roof replacement and repainting only.

Exhibit B – Main roof planes to receive in-kind asphalt shingle replacement in matching Pewter Gray.

Exhibit C – Dormer roof slope, trim, and fascia to remain unchanged and be repainted to match.

Exhibit D – Dormer returns, soffit, and fascia to remain in place with no profile changes.

Exhibit E – Existing porch columns, railings, trim, and skirt lattice to remain and be repainted.

Exhibit F – Side elevation trim, soffit, fascia, and window surrounds to remain unchanged.



DEPARTMENT OF PERMITTING SERVICES

Marc Elrich
County Executive

Rabbiah Sabbakhan
Director

HISTORIC AREA WORK PERMIT APPLICATION

Application Date: 4/8/2026

Application No: 1153935
AP Type: HISTORIC
Customer No: 1550875

Comments

Supporting documents, including the completed HAWP application, proposal, exhibit packet, photo report, and material references, have been emailed to the Historic Preservation staff email provided for review and coordination.

Affidavit Acknowledgement

The Contractor is the Primary applicant authorized by the property owner
This application does not violate any covenants and deed restrictions

Primary Applicant Information

Location Systems would not identify the address below: 6912 Westmoreland Avenue, Takoma Park, MD 20912
Othercontact Gomez (Primary)

Historic Area Work Permit Details

Work Type RESREP
Scope of Work In-kind roof replacement with similar matching asphalt shingles in similar Pewter Gray, same skylight replacement in existing opening, and repainting of existing trim, soffit, fascia, porch railings, and skirt boards to match existing white finish. No changes to roofline or historic character.