

Montgomery County Historic Preservation

Staff Report

<p>ADDRESS: 11810 Darnestown Road, Gaithersburg</p> <p>RESOURCE: Pleasant View ME Church/Quince Orchard School (Master Plan Site #24/13)</p> <p>APPLICANT: Pleasant View Historic Site c/o Rev. Gerry Green (Thomas J. Taltavull, Architect)</p> <p>REVIEW: HAWP</p> <p>CASE NO.: 1157107</p> <p>PROPOSAL: Installation of exterior mechanical equipment and associated screening, exterior vents, and vent piping</p>	<p>MEETING DATE: 5/27/2026</p> <p>REPORT DATE: 5/20/2026</p> <p>PUBLIC NOTICE: 5/13/2026</p> <p>TAX CREDIT ELIGIBLE: No</p> <p>STAFF: Laura DiPasquale</p>
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Staff Recommendation

Staff recommends the HPC approve the HAWP application.

Architectural Description

Significance: Individually-Listed Master Plan Site: Pleasant View ME Church/Quince Orchard School (#24/13)

Date: Church (c. 1914); School (c. 1875)

Style: Gothic Revival

Excerpt from *Places from the Past*:

Pleasant View Church is representative of the post-Civil War era growth of the Methodist Church in general, and the Washington Negro Conference in particular. It is estimated that between 1870 and 1910, more than 66% of all new congregations in the county were Methodist. Reflective of the Gothic Revival tradition of church architecture, Pleasant View features lancet or pointed arch windows, and a three-part central entrance tower crowned with a crenelated turret. In 1950, a rear wing was built and the original church renovated to accommodate a pastor's study, choir room and choir loft.

The Howard Brothers built the original church on the site, in 1888. In 1914, that structure was in such poor condition that it was razed and rebuilt. The congregation was established about 1868, when the land was first acquired for a church. Early services were likely held in a nearby house until the church was built. In 1874, a school for black children was established in a Quince Orchard area house. After a fire destroyed the building in 1901, a school building, abandoned by the white population, was moved to the site. The latter, built about 1875, had been located on the opposite (north) side of Darnestown Road.

The Quince Orchard School is representative of the crowded and inadequate facilities that were the result of segregation in the late 1800s. This one-room school served one of the largest groups of black children in the county. In 1940, the school served 122 children in seven grades, making it the fifth largest elementary school for blacks. The following year the building was expanded with two additional rooms. Soon thereafter, the school consolidated with Tobytown and Seneca Colored Schools. After countywide integration of black students with white, the school building was used as a parish house for Pleasant View M.E. Church.



Figure 1: The location of the subject property (shaded in red).

Proposal

The applicants propose to install new HVAC and plumbing systems in the historic church and its 1960's addition. The proposed work includes: the installation of two 6-inch by 12-inch air louvers to be located in the wood band board at the first-floor level on the southeast and northwest side elevations; the installation of three exterior condensing units at the rear of the building, which would be screened by painted wood fencing; the installation of a 9-inch square exhaust fan cap on the rear elevation; and installation of a 2-inch vent pipe through the roof of the rear addition.



Figure 2: Existing front and southeast side elevation (May 2026, Historic Preservation Division).

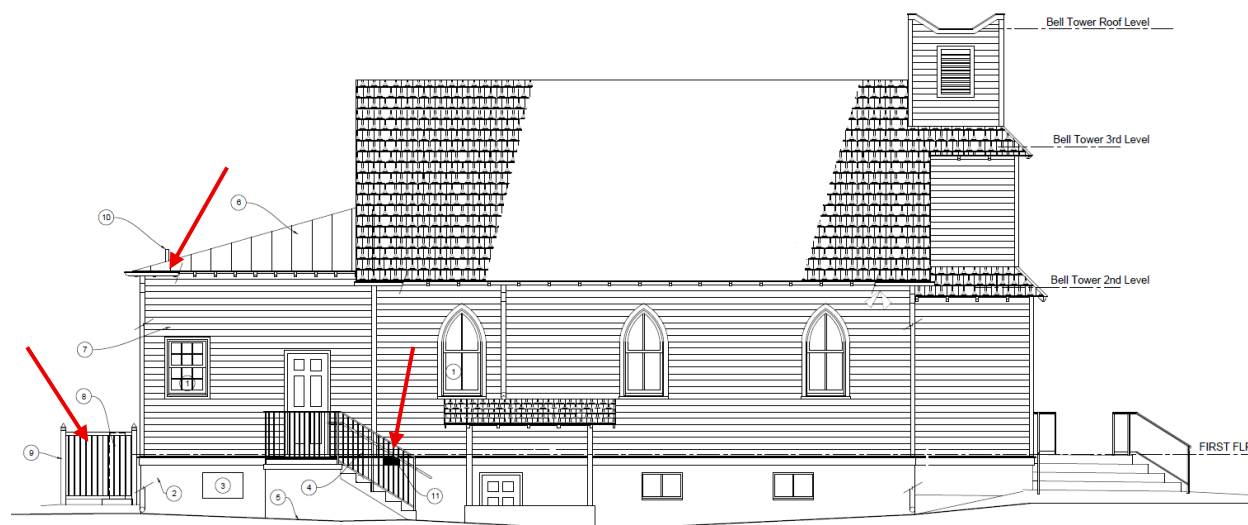


Figure 3: Proposed southeast side elevation drawing. Red arrows point to the new vents and vent piping and mechanical screening.



Figure 4: Existing front and northwest side elevations (May 2026, Historic Preservation Division).

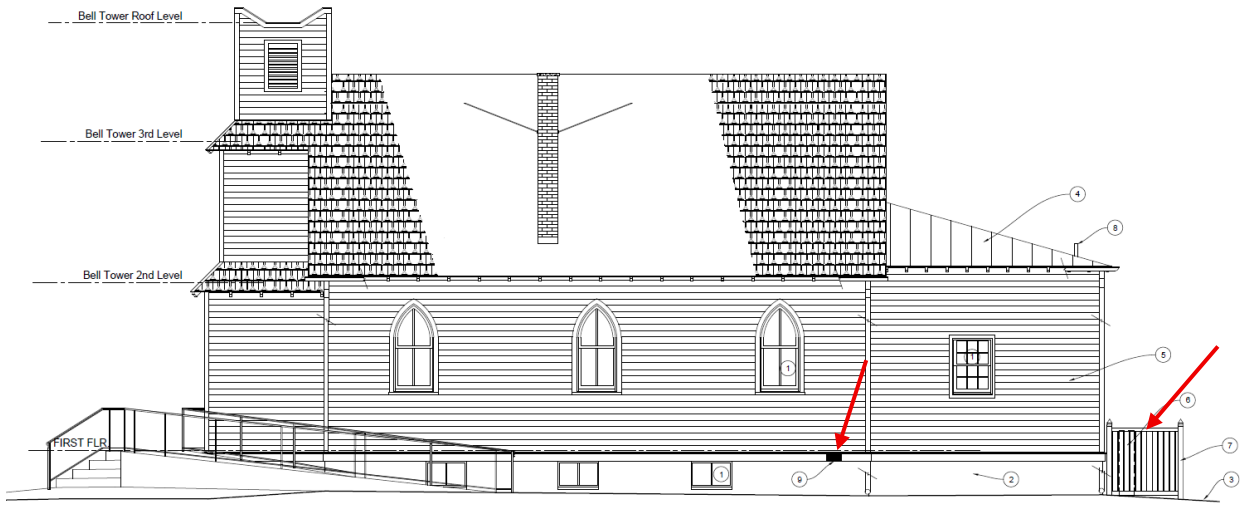


Figure 5: Proposed northwest elevation drawing showing the proposed louver and screened mechanical equipment.

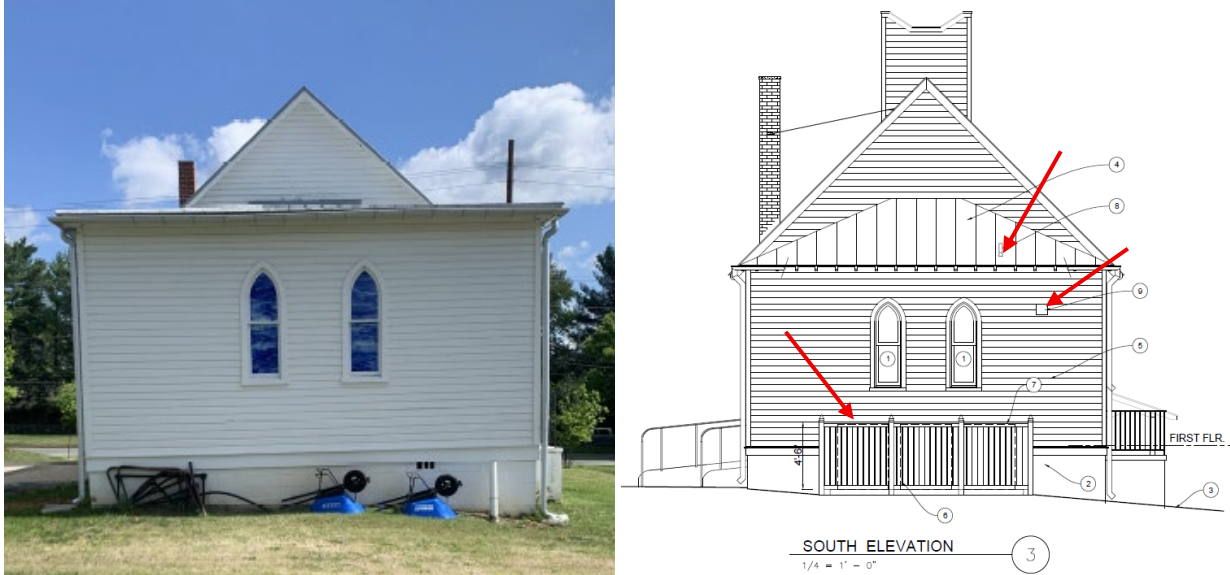


Figure 6: Left, photograph of the existing rear elevation of the church and 1960's addition. Right, drawing of the proposed rear elevation showing the proposed mechanical equipment and screening, as well as the proposed exhaust vent cap and vent pipe.

Applicable Guidelines

In accordance with section 1.5 of the Historic Preservation Commission Rules, Guidelines, and Procedures (Regulation No. 27-97) (“Regulations”), in developing its decision when reviewing a Historic Area Work Permit application for an undertaking at a Master Plan site the Commission uses section 24A-8 of the Montgomery County Code (“Chapter 24A”), the Secretary of the Interior’s Standards and Guidelines for Rehabilitation (“Standards”), and pertinent guidance in applicable master plans. [Note: where guidance in an applicable master plan is inconsistent with the Standards, the master plan guidance shall take precedence (section 1.5(b) of the Regulations).] The pertinent information in these documents, incorporated in their entirety by reference herein, is outlined below.

Montgomery County Code Chapter 24A-8

(b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to ensure conformity with the purposes and requirements of this chapter, if it finds that:

- 1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
- 2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or

Secretary of the Interior's Standards for Rehabilitation

The Secretary of the Interior defines rehabilitation as “the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values.” The applicable *Standards* are as follows:

9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Staff Discussion

Staff supports the proposed project and recommends approval. Staff finds that the project limits alteration of materials on the historic church building to the installation of two louvered vents within wood bandboard at the first-floor level towards the rear on the side elevations. Staff finds that the proposed placement limits visibility and will not have a substantial impact on the historic features of the property or destroy historic materials that characterize the property, in keeping with Chapter 24A-8(b)(1) and *Standard 9*. Staff further finds that the flat wood bandboard, which shows evidence of previous patching, could easily be repaired if the louvers were removed in the future, in keeping with *Standard 10*. Staff finds that the proposed white finish will blend with the color of the existing building, and is compatible with the historic resource per Chapter 24A-8(b)(2).



Figure 7: Location of the proposed louver on the west side elevation, shown with a red arrow. Evidence of previous patching of the bandboard is evident.

Staff also finds that the exterior mechanical units and surrounding painted wood screening, one exhaust fan cap, and one plumbing vent on the rear of the 1960's addition have been appropriately placed so as to have the least visual and physical impact on the historic resource possible, and to be removable in the future without compromising the integrity of the historic resource, in keeping with *Standards 9 and 10* and Chapter 24A-8(b)(1) and (2).



Figure 8: View towards the southeast side elevation of the subject property. The mechanical equipment at the rear of the structure may become visible at this distance, but would be screened behind new wood fencing.

Staff Recommendation

Staff recommends that the Commission approve the HAWP application under the Criteria for Issuance in Chapter 24A-8(b)(1) and (2), having found that the proposal will not substantially alter the exterior features of the historic resource and is compatible in character with the purposes of Chapter 24A;

and with the *Secretary of the Interior's Standards for Rehabilitation 9 and 10*;

and with the general condition that the applicant shall present an electronic set of drawings, if applicable, to HPC staff for review and stamping prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the HPC as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the HPC staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-495-2167 or laura.dipasquale@montgomeryplanning.org to schedule a follow-up site visit.

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

Description of Work Proposed: Please give an overview of the work to be undertaken:

Work Item 1: _____	
Description of Current Condition:	Proposed Work:

Work Item 2: _____	
Description of Current Condition:	Proposed Work:

Work Item 3: _____	
Description of Current Condition:	Proposed Work:

**HISTORIC AREA WORK PERMIT
CHECKLIST OF
APPLICATION REQUIREMENTS**

	Required Attachments						
Proposed Work	1. Written Description	2. Site Plan	3. Plans/ Elevations	4. Material Specifications	5. Photographs	6. Tree Survey	7. Property Owner Addresses
New Construction	*	*	*	*	*	*	*
Additions/ Alterations	*	*	*	*	*	*	*
Demolition	*	*	*		*		*
Deck/Porch	*	*	*	*	*	*	*
Fence/Wall	*	*	*	*	*	*	*
Driveway/ Parking Area	*	*		*	*	*	*
Grading/Exc avation/Land scaing	*	*		*	*	*	*
Tree Removal	*	*		*	*	*	*
Siding/ Roof Changes	*	*	*	*	*		*
Window/ Door Changes	*	*	*	*	*		*
Masonry Repair/ Repoint	*	*	*	*	*		*
Signs	*	*	*	*	*		*

Historic Preservation Easement Program Change/Alteration Request Application

*This form is intended to be used by Maryland Historical Trust (MHT) Easement Property Owners and/or the Authorized Project Contact to initiate review of projects which require approval of the Director of the MHT as per the Deed of Easement. All **Change/Alteration Request Applications** must be submitted along with pertinent supplemental information in hard copy with an original signature at least one week prior to the scheduled meeting date. Easement Program staff will evaluate the application for completeness and may require additional information to facilitate review by the Easement Committee and Director. The application review period (as specified by each Deed of Easement) will not commence until Easement Program staff has deemed the application to be complete.*

Return the **Change/Alteration Request Application**, and other information to:
Historic Preservation Easement Program
Maryland Historical Trust, 100 Community Place, Crownsville, MD 21032
mht.easements@maryland.gov

Easement Property Information:

Name of Easement Property:		Pleasant View United Methodist Church	
Alternative Name:			
Address of Property:		11810 Darnestown Road	
		Gaithersburg, Maryland 20878	County: Montgomery
Maryland Inventory of Historic Places # (if known): M 24-13 (for more information visit http://mht.maryland.gov/research_survey.shtml)			
Scope of Easement:	<input checked="" type="checkbox"/> Exterior <input type="checkbox"/> Interior <input type="checkbox"/> Archaeology	Is the scope of work located inside the easement boundary?	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
What does the Easement protect? (Check all that apply)			

*For a copy of the easement document, please contact Kathy Monday (410) 697-9575/ kathy.Monday@maryland.gov

Property Owner Information:

Name of Current Property Owner:		Pleasant View United Methodist Church c/o Gerard A. Green, Jr.	
Address of Property Owner: (If different than property address)		12410 Fellowship Lane	
		Gaithersburg, Maryland 20878	Date of Purchase: NA
Work/Home Telephone:	301-318-4630	Fax:	
Mobile Telephone:		Email:	therevjr@msn.com

If application is completed by someone other than owner (only complete if applicable):

Name of Authorized Project Contact:		Thomas J. Taltavull	
Relationship to owner:		Architect	
Address of Authorized Project Contact:		20650 Plum Creek Court	
		Gaithersburg, Maryland 20882	
Daytime Telephone:	301-840-1847	Fax:	
Mobile Telephone:	301-466-5272	Email:	tom@tjtarchitects.com

Project Funding Information:

Is this project being funded by any of the following sources? <i>Please check all that apply:</i>	<input type="checkbox"/> MHT Capital Grant (FY _____) <input type="checkbox"/> MHT Loan <input checked="" type="checkbox"/> MHAA Capital Grant (FY <u>2026</u>) <input type="checkbox"/> AAHPP Grant (FY _____) <input type="checkbox"/> Historic Tax Credits (<input type="checkbox"/> Residential/ <input type="checkbox"/> Commercial) <input type="checkbox"/> Bond Bill (Chapter _____/Year _____) <input type="checkbox"/> Other State/Federal Funding _____ <input type="checkbox"/> Other Funding _____
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Please check that you have included the following information as part of your complete application:

Required: <input checked="" type="checkbox"/> Change/Alteration Request Application <input checked="" type="checkbox"/> Detailed Work Description <input checked="" type="checkbox"/> Printed Photographs & CD; properly labeled/identified	As Necessary (Recommended): <input checked="" type="checkbox"/> Site Plan/Drawings/Plans (dated : <u>4/29/2026</u>) <input type="checkbox"/> Product Information/Specifications <input type="checkbox"/> Other _____
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The Easement Property Owner and/or the Authorized Proposal Contact is encouraged to keep a duplicated copy of all application information sent to the MHT, including photos and plans, as the MHT staff may need to discuss the application with the applicant prior to submission to the Easement Committee.

Signature of Owner or Authorized Representative/Date: Thomas J. Paltanall / 04/29/2026

Detailed Work Description Form

(Include all construction, reconstruction, improvement, enlargement, painting and decorating, alteration, demolition, maintenance or repair, and excavation)

Work Item # 1

Architectural/Landscape feature: South Elevation of church	Describe, in detail, the proposed work and impact on existing feature:	
Approximate date of feature: circa 1960	Be sure to include details and specifications on proposed products	
Describe existing feature and its condition:	Photo no. 1-3	Drawing no. A000, A001, A002, A003
The south elevation of church is an addition built circa 1960, consisting of concrete block foundation, wood framed walls with wood siding and recently installed standing seam metal roofing. There are two gothic arched double hung windows with blue colored glass.	The existing church currently does not have a mechanical heating and air conditioning system. The proposed work is to install a new heat pump system which will need three outdoor condensing units proposed to be ground mounted on concrete pads. A wood fence enclosure for the new units is proposed to screen them from view. See attached drawings for locations and elevation drawings and photos.	

Work Item #2

Architectural/Landscape feature: South Elevation of 1960's addition	Describe, in detail, the proposed work and impact on existing feature:	
Approximate date of feature: circa 1960's	<i>Be sure to include details and specifications on proposed products</i>	
Describe existing feature and its condition:	Photo no. 1- 3	Drawing no. A000, A001, A002, A003
The existing south elevation is as described in work item #1	The proposed interior work is to construct a restroom on the southeast corner of the building. The church never had indoor plumbing. The restroom will require an exhaust fan and will need to be ducted to the outside. The exterior where the duct penetrates the exterior wall will require a metal louver. See attached elevation drawing showing the size and location of the exhaust louver.	

Work Item # 3

Architectural/Landscape feature: The East and West elevations at the wood bandboard	Describe, in detail, the proposed work and impact on existing feature:	
Approximate date of feature: 1914	<i>Be sure to include details and specifications on proposed products</i>	
Describe existing feature and its condition:	Photo no. 1 - 3	Drawing no. A000, A001, A002, A003
The original foundation wood band board	The new mechanical heating and air conditioning system requires by code an outside fresh air intake which will need metal 6" high by 12" wide louver to connect to the interior outside air supply duct. The louvers will be located in the 8 inch band board on the west and east elevations.	

** Please print this page again to include as many work items as necessary.*

Work Item #4

Architectural/Landscape feature: Standing Seam Metal Roofing	Describe, in detail, the proposed work and impact on existing feature:	
Approximate date of feature: 2020	<i>Be sure to include details and specifications on proposed products</i>	
Describe existing feature and its condition:	Photo no. 1-3	Drawing no. A000, A001, A002 A003
The standing seam metal roofing on the 1960's addition to the church was recently installed in 2020.	The proposed ADA restroom to be located in the 1960 addition at the south east corner will require a 2 inch vent pipe that will penetrate the roof.	

Work Item #

Architectural/Landscape feature:	Describe, in detail, the proposed work and impact on existing feature:	
Approximate date of feature:	<i>Be sure to include details and specifications on proposed products</i>	
Describe existing feature and its condition:	Photo no.	Drawing no.

* Please print this page again to include as many work items as necessary.



Photo 1- Pleasant View United Methodist Church - West Elevation -04/30/2026



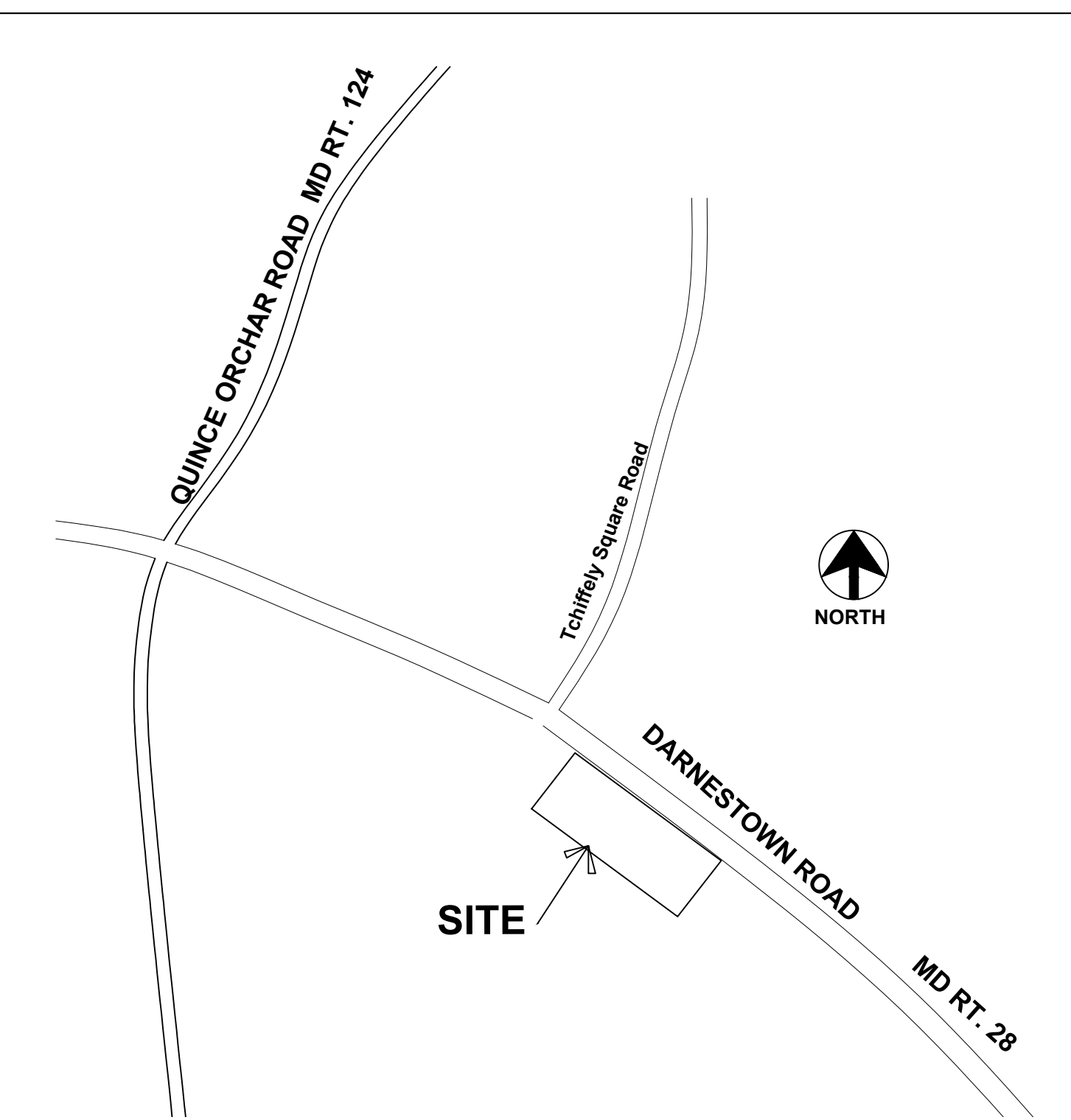
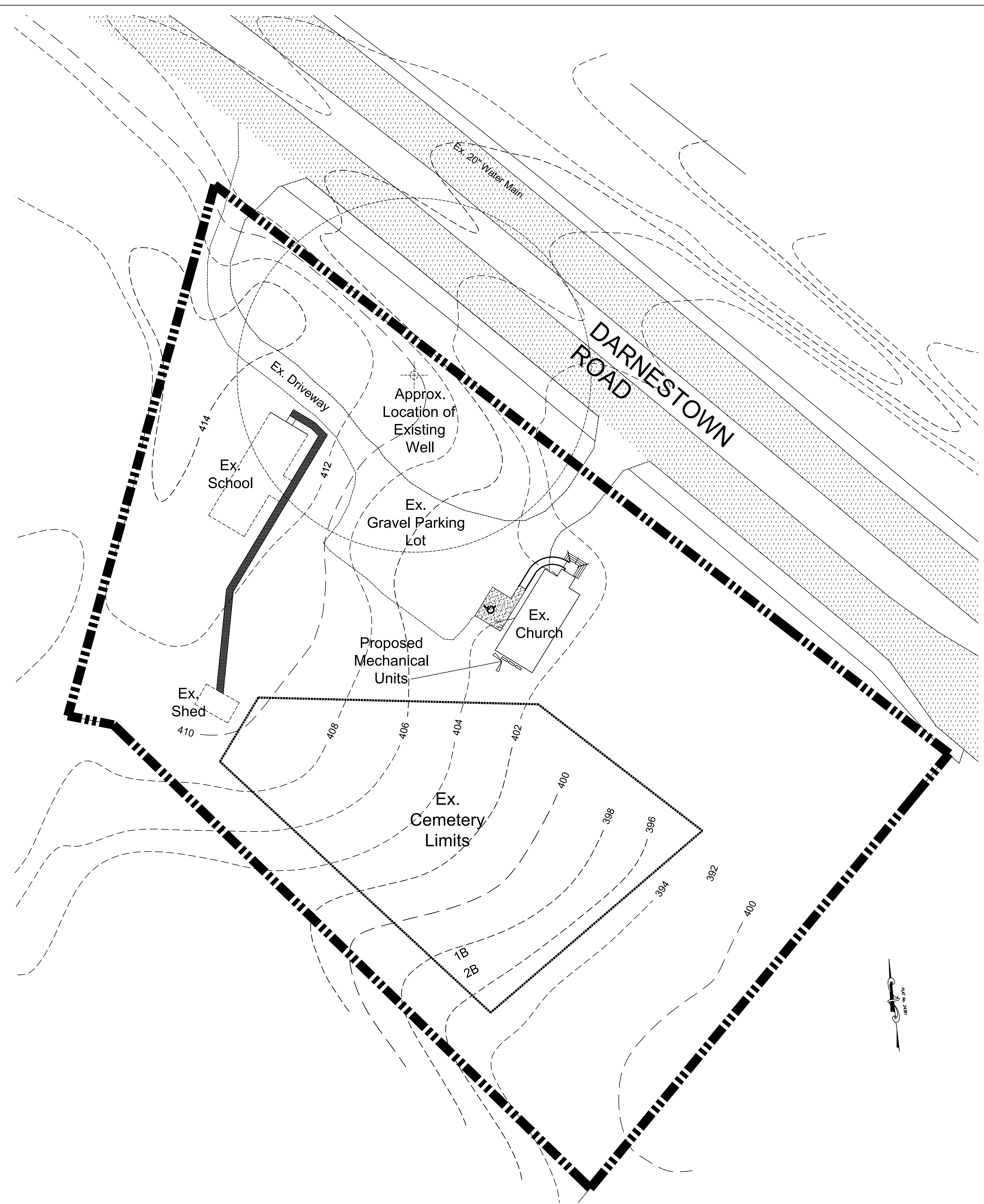
Photo 2 - Pleasant View United Methodist Church - South Elevation -04/30/2026



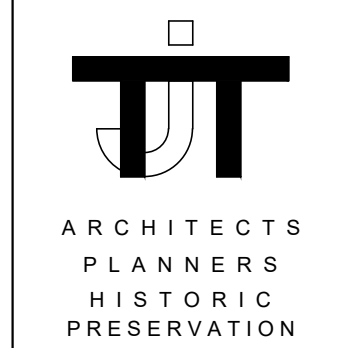
Photo 3 - Pleasant View United Methodist Church - East Elevation -04/30/2026

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PROPOSED SITE PLAN
1" = 30'



VICINITY MAP



THOMAS J. TALTAVULL
ARCHITECT
20650 PLUM CREEK COURT
GAITHERSBURG, MARYLAND 20882
301.840.1847

Professional Certification.
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland, License No. 9083, Expiration Date: 6-13-2026.

Professional Seal

Revisions

Drawing Title

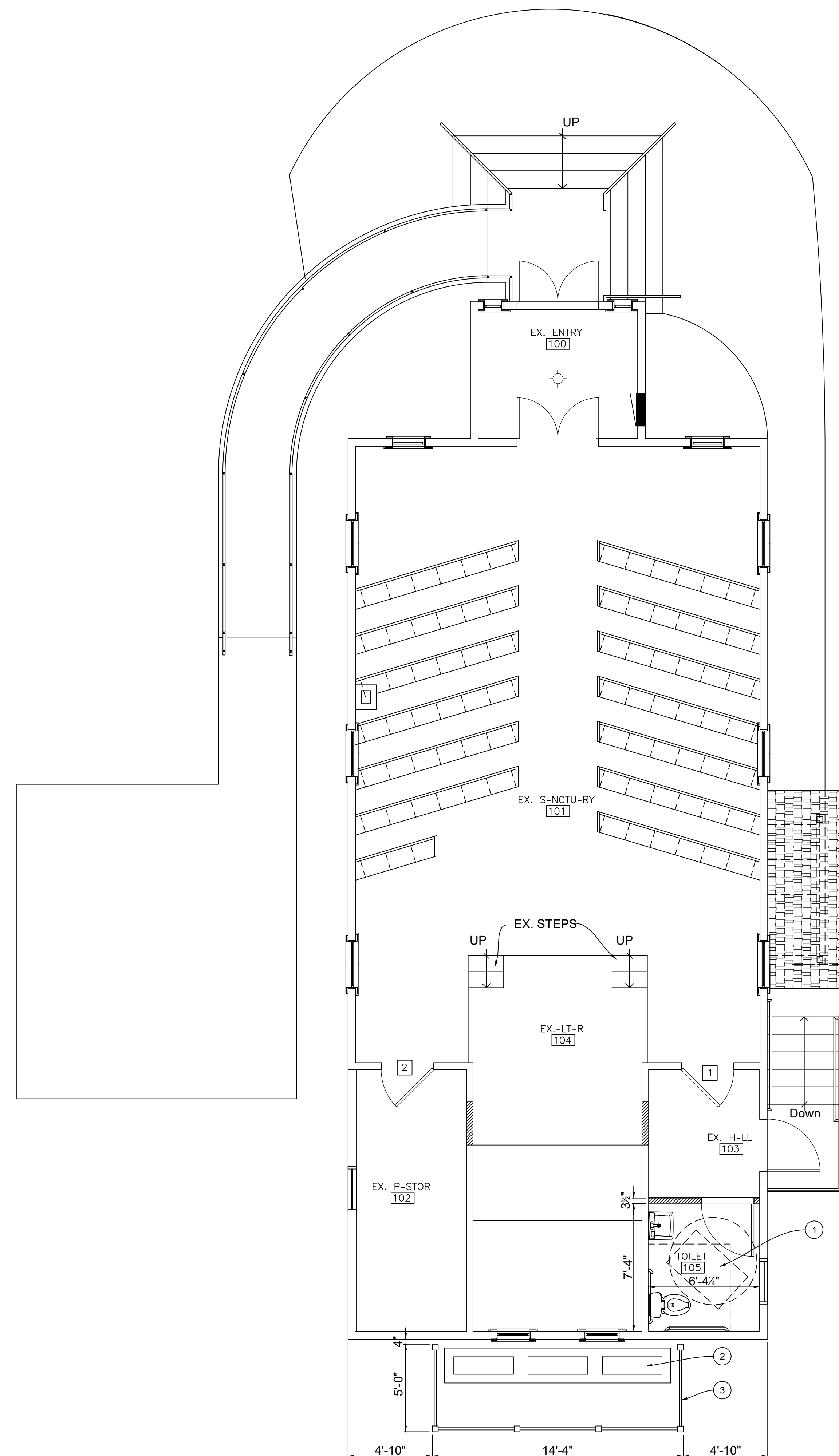
SITE PLAN

Date: April 29, 2026

Interior Alterations to:
PLEASANT VIEW UNITED METHODIST CHURCH
PLEASANT VIEW HISTORICAL SITE
11810 Darnestown Road
Gaithersburg, Maryland 20878

Drawing Number

A000



PROPOSED FLOOR PLAN NOTES:

- ① PROPOSED ADA RESTROOM
- ② PROPOSED OUTDOOR MECHANICAL UNITS ON 4" CONCRETE PAD.
- ③ PROPOSED WOOD FENCE TO SCREEN MECH. UNITS.

PROPOSED FLOOR PLAN

1/4" = 1' - 0"

Revisions

Drawing Title

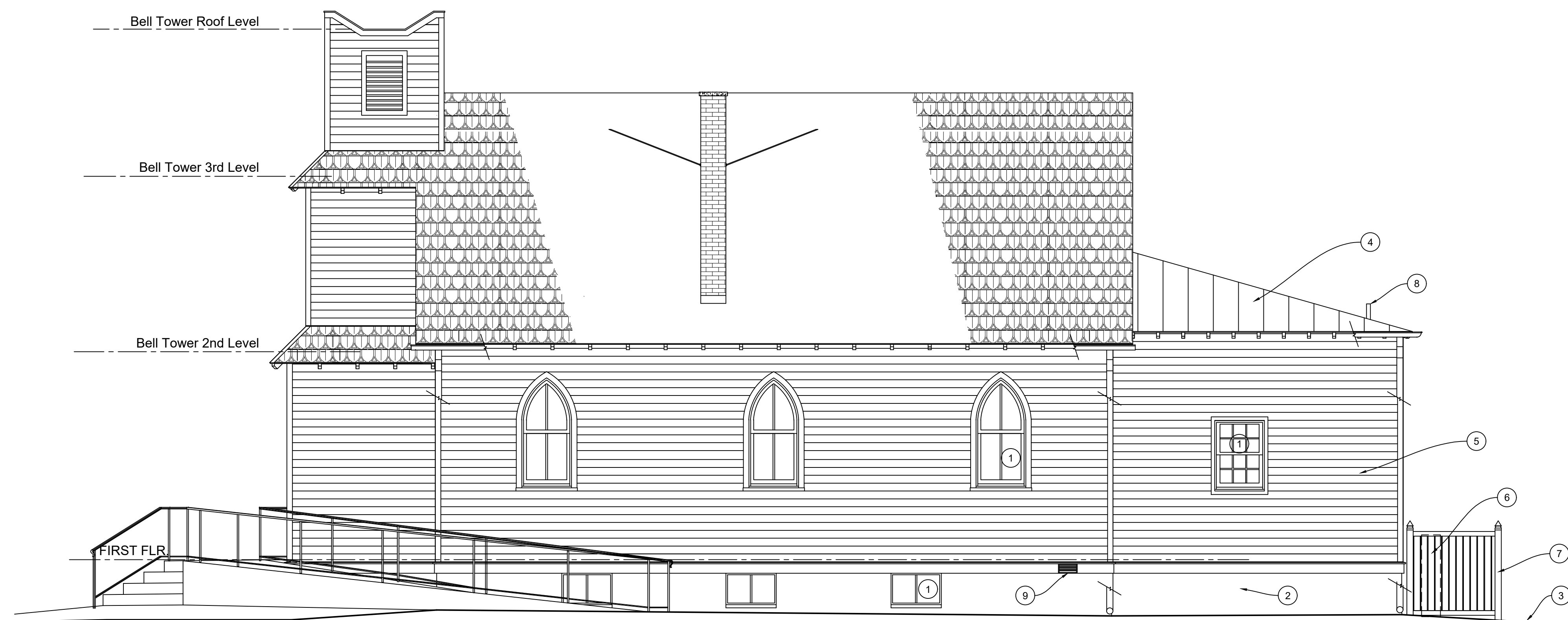
FLOOR PLAN

Date: April 29, 2026

Interior Alterations to:
PLEASANT VIEW UNITED METHODIST CHURCH
PLEASANT VIEW HISTORICAL SITE
11810 Darnestown Road
Gaithersburg, Maryland 20878

Drawing Number

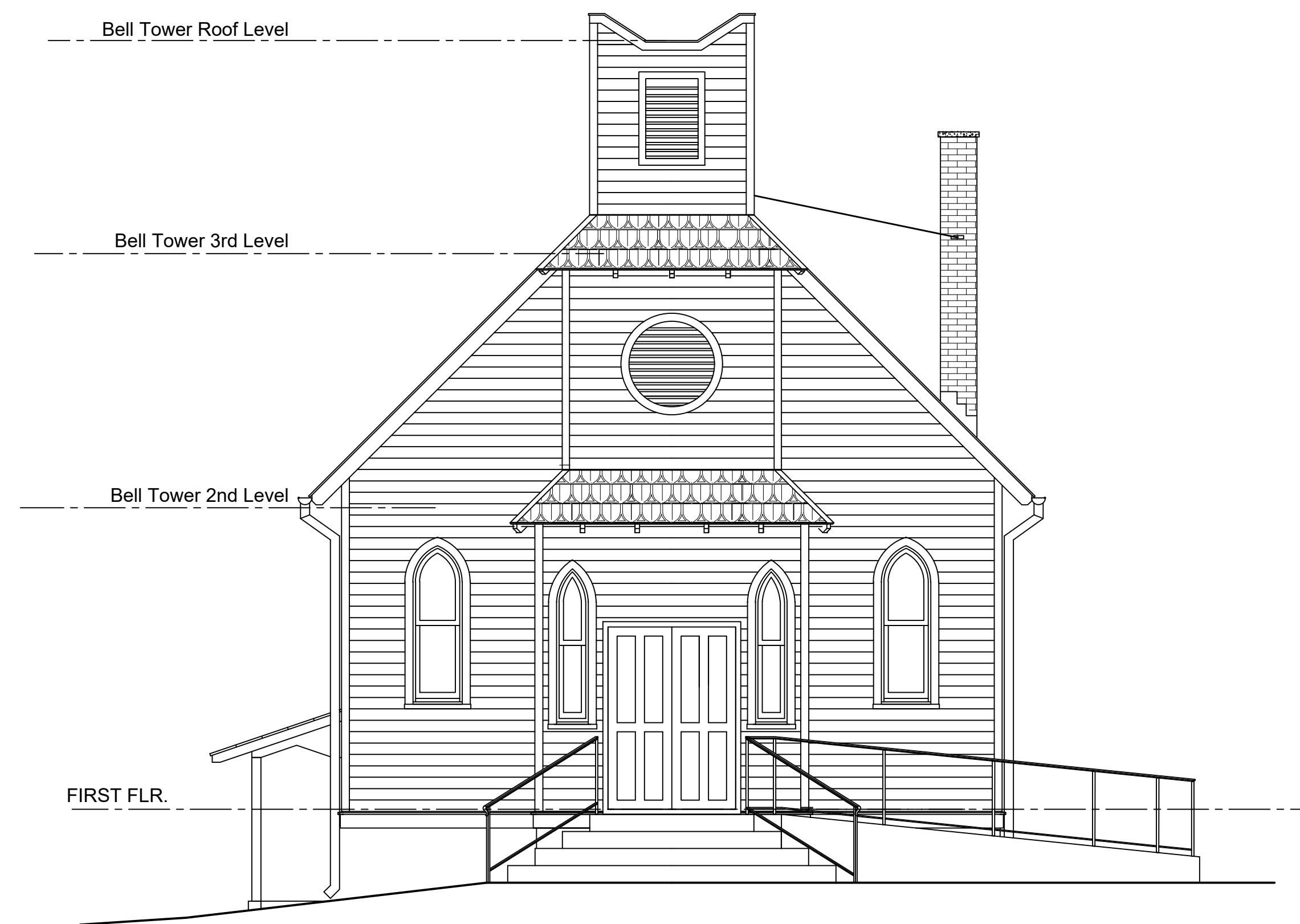
A001



WEST ELEVATION NOTES:

- ① EXISTING WINDOWS
- ② EXISTING CMU FOUNDATION WALL
- ③ LINE OF EXISTING GRADE
- ④ EXISTING 1" LOW PROFILE STANDING SEAM METAL ROOFING
- ⑤ EXISTING WOOD SIDING AND BAND BOARD.
- ⑥ PROPOSED OUTDOOR MECHANICAL UNITS ON 4" CONCRETE PAD SHOWN AS DASHED LINES.
- ⑦ PROPOSED 4' x 6" HIGH WOOD FENCE PAINTED, TO SCREEN NEW MECHANICAL UNITS. FENCE TO BE PRESSURE TREATED 4 x 4 WOOD POSTS, 2 x 4 TOP AND BOTTOM RAIL W/ 1 x 4 WOOD FENCE BOARDS SPACE 3/4" APART. PAINTED.
- ⑧ PROPOSED PLUMBING VENT THRU ROOF.
- ⑨ PROPOSED 6" x 12" OUTDOOR AIR INTAKE METAL LOUVER

WEST ELEVATION
1/4" = 1' - 0"



NORTH ELEVATION
1/4" = 1' - 0"



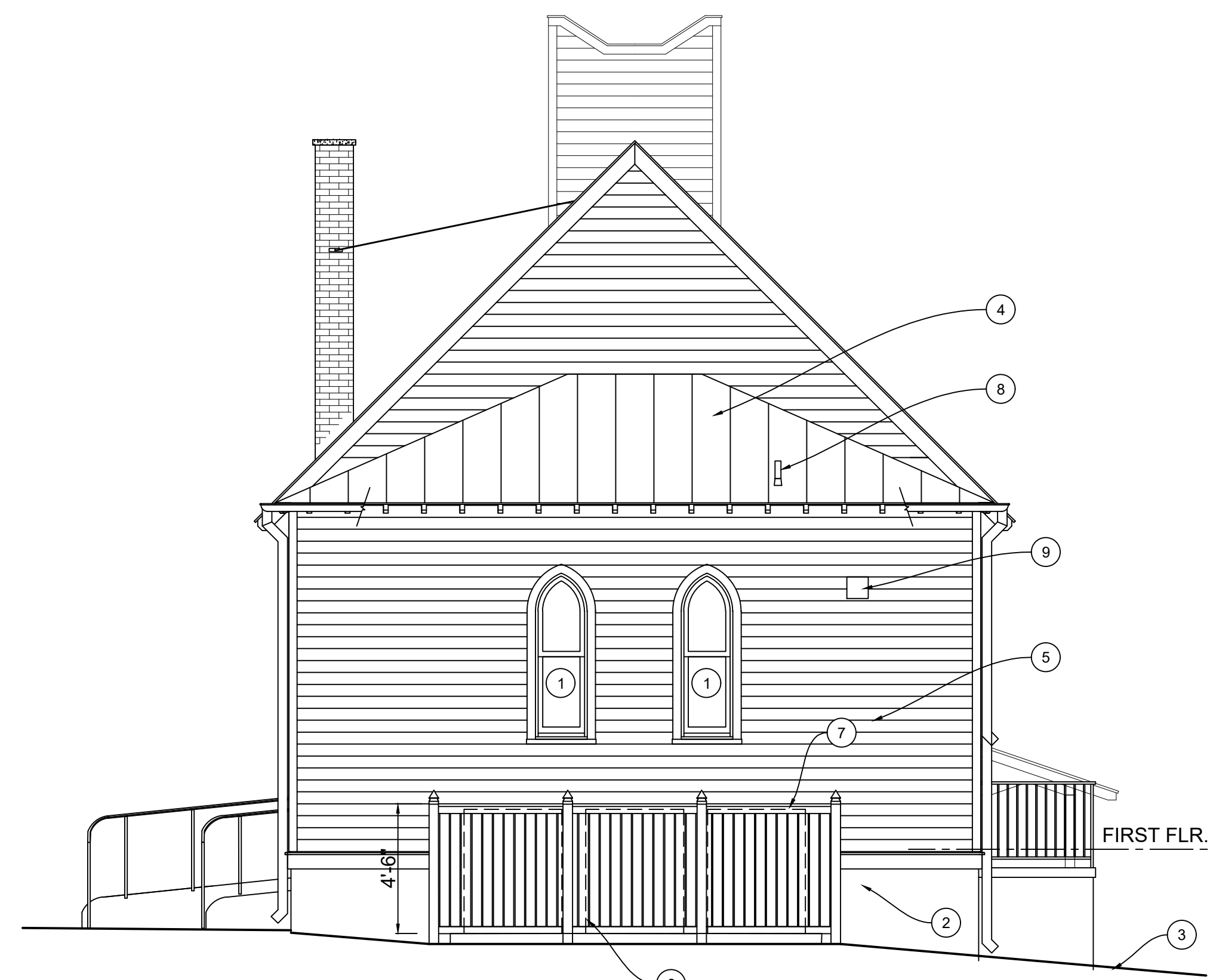
EAST ELEVATION NOTES:

- ① EXISTING WINDOWS
- ② EXISTING CMU FOUNDATION WALL
- ③ EXISTING WOOD CRAWL SPACE ACCESS PANEL
- ④ EXISTING METAL STAIR RAILING AND CONCRETE STEPS
- ⑤ LINE OF EXISTING GRADE
- ⑥ EXISTING 1" LOW PROFILE STANDING SEAM METAL ROOFING
- ⑦ EXISTING WOOD SIDING AND BAND BOARD.
- ⑧ PROPOSED OUTDOOR MECHANICAL UNITS, ON 4" CONCRETE PAD. SHOWN AS DASHED LINES.
- ⑨ PROPOSED 4' x 6" HIGH WOOD FENCE PAINTED, TO SCREEN NEW MECHANICAL UNITS. FENCE TO BE PRESSURE TREATED 4 x 4 WOOD POSTS, 2 x 4 TOP AND BOTTOM RAIL W/ 1 x 4 WOOD FENCE BOARDS SPACE 3/4" APART. PAINTED.
- ⑩ PROPOSED PLUMBING VENT THRU ROOF.
- ⑪ PROPOSED 6" x 12" OUTDOOR AIR INTAKE METAL LOUVER

EAST ELEVATION

1/4" = 1' - 0"

2



SOUTH ELEVATION NOTES:

- ① EXISTING WINDOWS
- ② EXISTING CMU FOUNDATION WALL
- ③ LINE OF EXISTING GRADE
- ④ EXISTING 1" LOW PROFILE STANDING SEAM METAL ROOFING
- ⑤ EXISTING WOOD SIDING.
- ⑥ PROPOSED OUTDOOR MECHANICAL UNITS, W/ 4" CONCRETE SLAB ON GRADE. DASHED LINES
- ⑦ PROPOSED 4' x 6" HIGH WOOD FENCE PAINTED, TO SCREEN NEW MECHANICAL UNITS. FENCE TO BE PRESSURE TREATED 4 x 4 WOOD POSTS, 2 x 4 TOP AND BOTTOM RAIL W/ 1 x 4 WOOD FENCE BOARDS SPACE 3/4" APART. PAINTED.
- ⑧ PROPOSED PLUMBING VENT THRU ROOF.
- ⑨ PROPOSED WALL CAP FOR BATHROOM EXHAUST FAN.

SOUTH ELEVATION

1/4" = 1' - 0"

3

Revisions
Drawing Title
BUILDING ELEVATIONS

Date: April 29, 2026

Interior Alterations to:
PLEASANT VIEW UNITED METHODIST CHURCH
PLEASANT VIEW HISTORICAL SITE
11810 Darnestown Road
Gaithersburg, Maryland 20878

Drawing Number

A003