

# Montgomery County Historic Preservation

## Staff Report

<p><b>ADDRESS:</b> 19330 Mateny Hill Road</p> <p><b>RESOURCE:</b> Germantown Historic District</p> <p><b>APPLICANT:</b> ATD LANDSCAPING LLC</p> <p><b>REVIEW:</b> HAWP</p> <p><b>CASE NO.</b> 1153395</p> <p><b>PROPOSAL:</b> ADA ramp construction and hardscaping alterations</p>	<p><b>MEETING DATE:</b> 5/13/2026</p> <p><b>REPORT DATE:</b> 5/6/2026</p> <p><b>PUBLIC NOTICE:</b> 4/29/2026</p> <p><b>TAX CREDIT ELIGIBLE:</b> No</p> <p><b>STAFF:</b> Devon Murtha</p>
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### Staff Recommendation

Staff recommends the HPC approve the HAWP application.

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### Architectural Description

**Significance:** Outstanding Resource within the Germantown Historic District

**Date:** 1922

**Style:** Art Deco



Figure 1: The location of the subject property in the Germantown Historic District. The boundary of the district is outlined in red and the resource is noted with a yellow star.

## Proposal

The applicant proposes to construct an ADA ramp with a seven inch (7") rise on the left side (east) elevation of the subject property. The ramp will be concrete with metal handrails. The applicant is also planning to install curbing around the property.

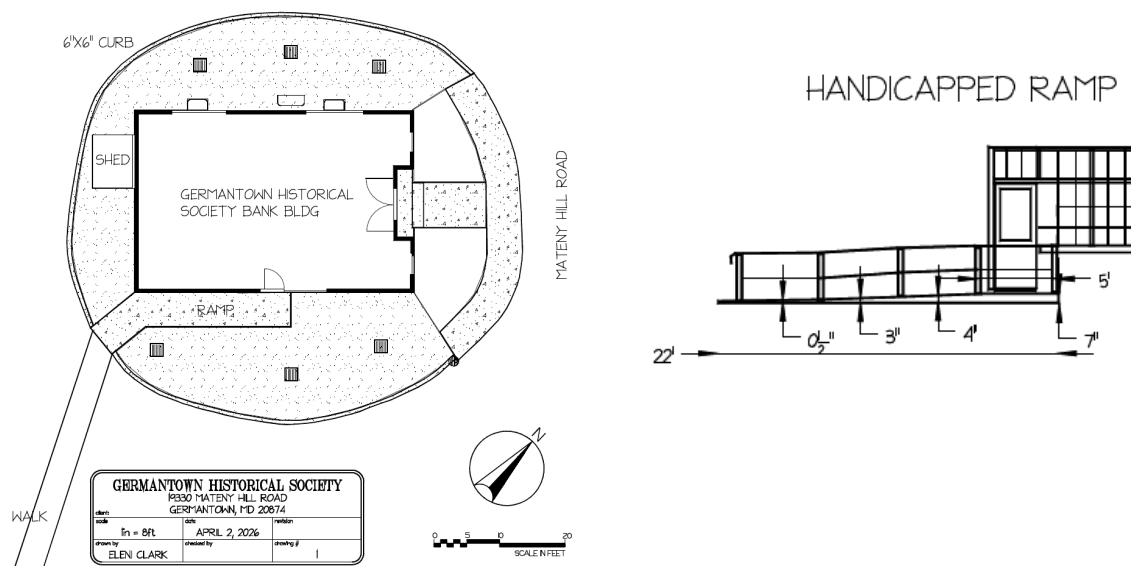


Figure 2: Site plan (left) and proposed ramp (right).



Figure 3: Proposed black aluminum powder coated railings.

## Applicable Guidelines

When reviewing alterations and new construction within the Germantown Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the Montgomery County Code Chapter 24A-8 (*Chapter 24A-8*) and the Secretary of the Interior's Standards for Rehabilitation (*Standards*). The pertinent information in these documents is outlined below.

### **Montgomery County Code Chapter 24A-8**

(b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to ensure conformity with the purposes and requirements of this chapter, if it finds that:

- 1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
- 2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or

(d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

### **Secretary of the Interior's Standards for Rehabilitation**

The Secretary of the Interior defines rehabilitation as “the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values.” The applicable *Standards* are as follows:

2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

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## Staff Discussion

The subject property is located at 19330 Mateny Hill Road in the Germantown Historic District, and is described as “noteworthy” in the Germantown Master Plan Amendment.<sup>1</sup> There are no design guidelines for this district, but individual buildings identified as “noteworthy” and “outstanding” in the Master Plan Amendment are to be reviewed with scrutiny, similar to Outstanding resources in other districts. The building is a one-story bank building executed in the Art Deco style. The building is sited within a parking lot.



Figure 4: Germantown Bank Building in c.1950 (left; Germantown Historical Society) and in 2026 (right; Montgomery County Planning).

The applicant is proposing to install a new curb on the existing site, and to construct a concrete ADA ramp on the left side of the building to access an existing door.

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<sup>1</sup> See the full amendment here: [1989 Germantown Master Plan Amendment](#).



Figure 5: View of side elevation, with approximate location of ramp annotated with a yellow box.

Staff supports the proposal and recommends approval. The ramp will not substantially alter the exterior features of the historic resource, per Chapter 24A-8(b). The alteration is a minor addition to a largely utilitarian, secondary alteration, and will have no impact on the primary elevation or the overall massing of the building. Staff finds that the proposed materials, which include a concrete ramp and aluminum railings, are generally compatible with the resource, per *Standard 2*, and will have no impact on the historic character of the site. Per *Standard 10*, this alteration is reversible.

Staff also recommends approval of the site work, which includes a new curb measured 6" by 6." It appears that the surrounding sidewalk was demolished in c.2020 (*Figure 5*). Staff could not locate a HAWP for this work. Staff find that the sidewalk was not historic, and finds its demolition to be appropriate, per Chapter 24A-8(b).

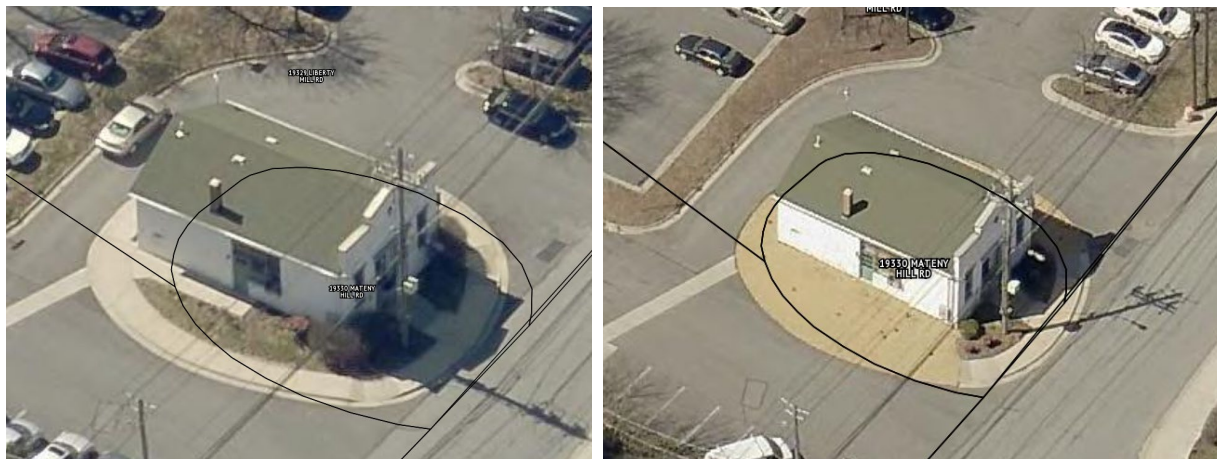


Figure 6: Aerial view of the subject property in 2019 (left) and 2021 (right).

Staff notes that the applicant has not submitted any information about the site work aside from the proposal to install a curb and the installation of the ramp. Staff also notes that the site plan references a shed, which was not included in the description of work and was not reviewed by Staff. The applicant should return for a new HAWP if proposing any additional hardscaping, including new sidewalks, or alterations to the site.

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## Staff Recommendation

Staff recommends that the Historic Preservation Commission approve the HAWP application under the Criteria for Issuance in Chapter 24A-8(b)(1) and (2), having found that the proposal will not substantially alter the exterior features of the historic resource and is compatible in character with the district and the purposes of Chapter 24A;

*the Secretary of the Interior's Standards for Rehabilitation #2 and 10;*

and with the general condition that the applicant shall present an electronic set of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or [devon.murtha@montgomeryplanning.org](mailto:devon.murtha@montgomeryplanning.org) to schedule a follow-up site visit.

**Description of Property:** Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

**Description of Work Proposed:** Please give an overview of the work to be undertaken:

Work Item 1: _____	
Description of Current Condition:	Proposed Work:

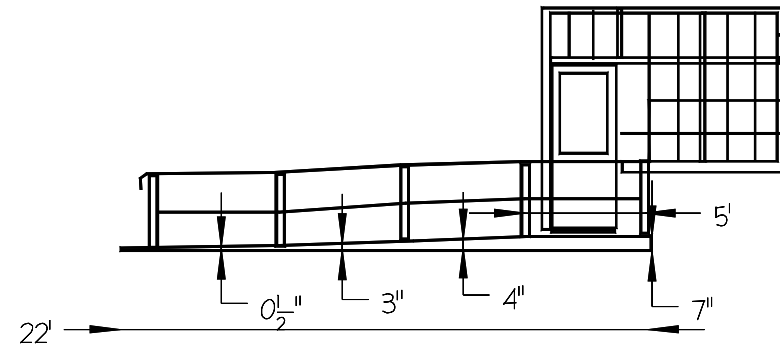
Work Item 2: _____	
Description of Current Condition:	Proposed Work:

Work Item 3: _____	
Description of Current Condition:	Proposed Work:

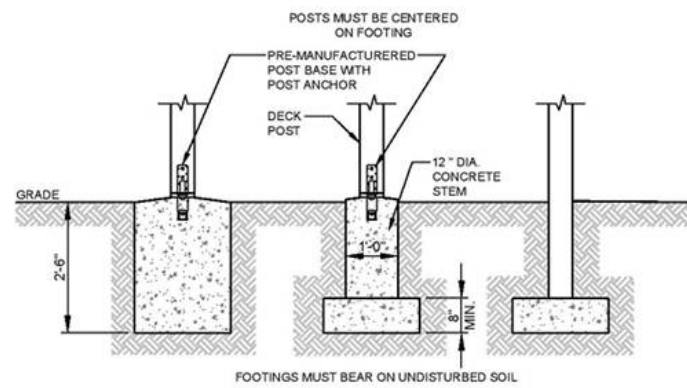
**HISTORIC AREA WORK PERMIT  
CHECKLIST OF  
APPLICATION REQUIREMENTS**

	Required Attachments						
Proposed Work	I. Written Description	2. Site Plan	3. Plans/ Elevations	4. Material Specifications	5. Photographs	6. Tree Survey	7. Property Owner Addresses
New Construction	*	*	*	*	*	*	*
Additions/ Alterations	*	*	*	*	*	*	*
Demolition	*	*	*		*		*
Deck/Porch	*	*	*	*	*	*	*
Fence/Wall	*	*	*	*	*	*	*
Driveway/ Parking Area	*	*		*	*	*	*
Grading/Excavation/ Landscaping	*	*		*	*	*	*
Tree Removal	*	*		*	*	*	*
Siding/ Roof Changes	*	*	*	*	*		*
Window/ Door Changes	*	*	*	*	*		*
Masonry Repair/ Repoint	*	*	*	*	*		*
Signs	*	*	*	*	*		*

HANDICAPPED RAMP

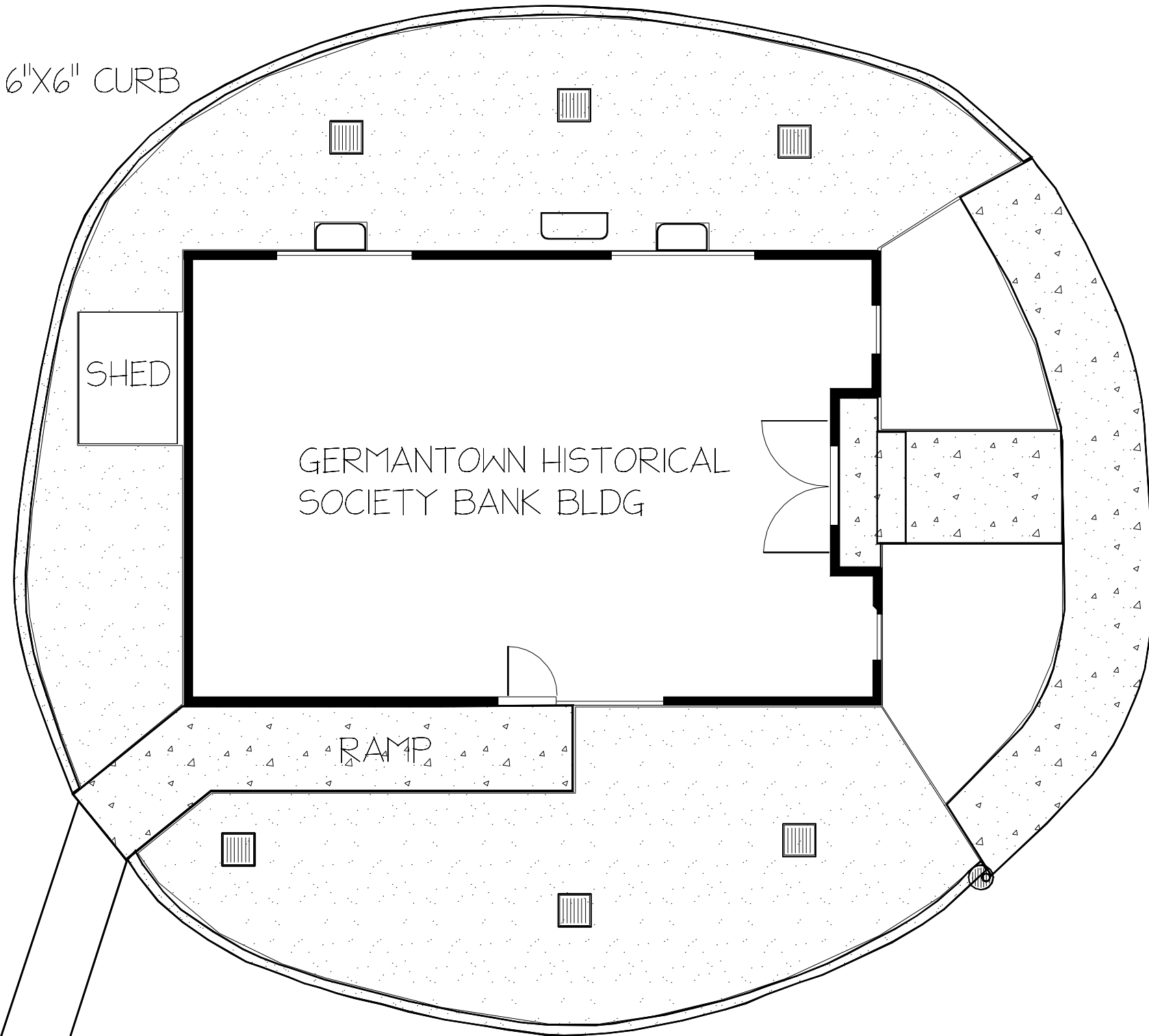


RAMP FOOTINGS



HANDICAPPED WALK

6"X6" CURB

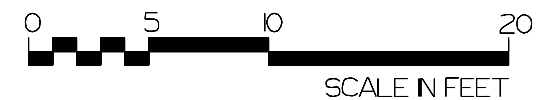
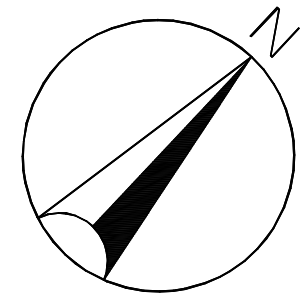


MATENY HILL ROAD

GERMANTOWN HISTORICAL SOCIETY

19330 MATENY HILL ROAD  
GERMANTOWN, MD 20874

client:		
scale	date	revision
1 in = 8 ft	APRIL 2, 2026	
drawn by	checked by	drawing #
ELENI CLARK		1













→ Eucb

10/10/10