

Montgomery County Historic Preservation

Staff Report

<p>ADDRESS: 10408 Montgomery Avenue, Kensington</p> <p>RESOURCE: Kensington Historic District</p> <p>APPLICANT: Jubilee Association of Maryland, Inc (Matthew Pohlhaus, Agent)</p> <p>REVIEW: HAWP</p> <p>CASE NO.: 1157859</p> <p>PROPOSAL: Fence replacement, retaining wall reconstruction, awning replacement, hardscape alterations, tree removal and replanting</p>	<p>MEETING DATE: 5/27/2026</p> <p>REPORT DATE: 5/20/2026</p> <p>PUBLIC NOTICE: 5/13/2026</p> <p>TAX CREDIT ELIGIBLE: No</p> <p>STAFF: Devon Murtha</p>
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Staff Recommendation

Staff recommends the HPC approve with one (1) condition the HAWP application, with final design details designated to Staff

1. The applicant must submit material specifications and height information for the proposed fencing and the new dumpster enclosure.

Architectural Description

Significance: Secondary Resource within the Kensington Historic District

Date: 1975

Style: Brick commercial / office building



Figure 1: The location of the subject property (outlined in blue) within the Kensington Historic District (outlined and hatched in red).



Figure 2: View of the subject property from Montgomery Avenue (Montgomery County Planning).

Proposal

The applicants propose to demolish and reconstruct existing asphalt parking lot on the south and west of existing building. Alterations include:

- installation of four (4) drainage structures and piping underneath asphalt parking lot to facilitate adequate stormwater drainage. Shallow (+/- 5') excavation required for placement, and
- re-striping of lot to accommodate 32 parking spaces (4 compact, 26 standard, 2 handicap, and 5 motorcycle spaces),
- repair of wooden fencing on south side of lot,
- replacement of wooden fence on northwest and west of lot,
- demolition of existing 2' tall wooden retaining wall and reconstruction in kind on south side of side,
- removal of sixteen (16) coniferous trees of varying trunk diameters from 6" to 15". The trees will be replaced with sixteen to twenty (16-20) coniferous trees,
- replacement of existing concrete curb stops with rubber curb stops,
- installation of new handicapped parking signs,
- installation of new dumpster enclosure; and,
- replacement of street-facing awnings on the building with slightly larger awnings of same color and style (3' deep and 3' tall).

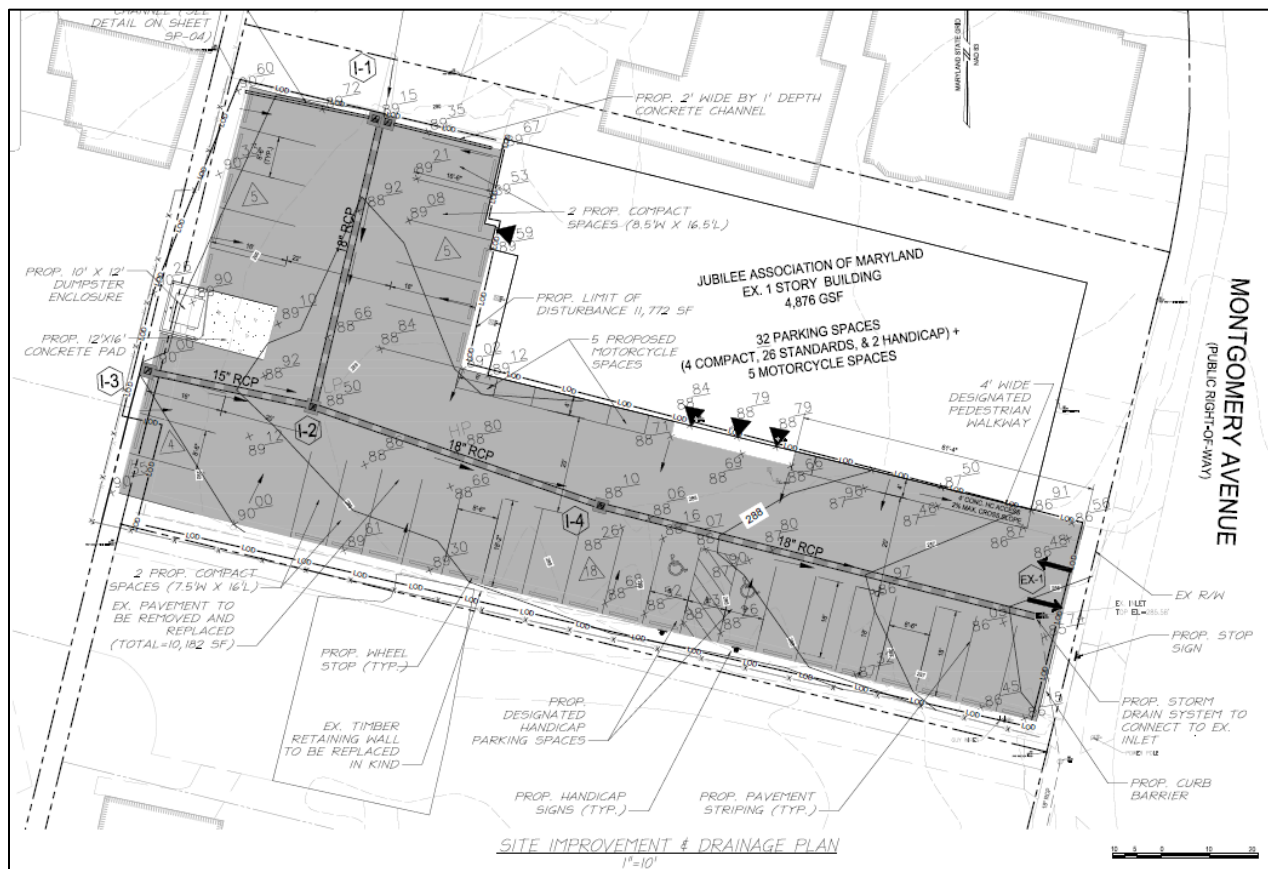


Figure 3: Site plan showing extent of proposal.

Applicable Guidelines

When reviewing alterations and new construction within the Kensington Historic District, several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the *Approved & Adopted Amendment to the Master Plan for Historic Preservation: Kensington Historic District, Atlas #31/6 (Amendment)*, *Vision of Kensington: A Long-Range Preservation Plan (Vision)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Vision of Kensington: A Long-Range Preservation Plan

The HPC formally adopted the planning study, *Vision of Kensington: A Long-Range Preservation Plan*, and is directed by the Executive Regulations, which were approved by the County Council, to use this plan when considering changes and alterations to the Kensington Historic District. The goal of this preservation plan "was to establish a sound database of information from, which to produce a document that would serve the HPC, M-NCPPC, their staff and the community in wrestling with the protection of historic districts amidst the pressures of life in the 21st century." (page 1). The plan provides a specific physical description of the district as it is; an analysis of character-defining features of the district; a discussion of the challenges facing the district; and a discussion of proposed strategies for maintaining the character of the district while allowing for appropriate growth and change.

Montgomery County Code Chapter 24A-8

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to ensure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter.

Secretary of the Interior's Standards for Rehabilitation

- 2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.
- 9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

Staff Discussion

The subject property contains a two-story brick commercial building on a rectangular lot along Montgomery Avenue. It is a Secondary Resource in the Kensington Historic District and was constructed outside of the district's period of significance. The applicant is proposing several alterations to the existing parking lot, including repaving, grading, drainage improvements, and sitework such as the installation of a new concrete pad and garage enclosure, replacement fencing, and replacement of a retaining wall. The work also includes removing sixteen (16) coniferous trees, replanting new trees, and replacing awnings on the building.

Repaving, Drainage, and Grading

Staff supports the proposal for repaving, regrading, and drainage improvements, and the installation of new curbs and wheel stops, finding that the existing parking lot (*Figure 4*) is in poor condition and that the proposed alterations will increase utility and ADA accessibility. Per Chapter 24A-8(b)(1), the alterations will have no impact on the exterior features of the site, which is not historic.



Figure 4: View of the south parking lot from Montgomery Avenue (left) and the west parking lot (right).

Sitework, fencing, and tree removal

Staff supports the proposed sitework, finding that much of the proposal, such as the replacement of the retaining wall and the south fence, is in-kind (*Figure 5*). The applicant has not submitted any material specifications for the new fencing and must do prior to final approval documents. Additionally, Staff conceptually supports the construction of new garbage pad and enclosure, but the applicant must submit material specifications and detailed related to the height to ensure compatibility. The proposed tree removal and replanting plan is also compatible with the overall character of the resource, per Chapter 24A-8 and the *Standards*. The existing trees are Leyland Cypress, which are not native to Maryland, and the proposed replacement trees, the Green Giant Arborvitae, have a similar appearance that act well as a screening and windbreak.



Figure 5: Retaining wall to be replaced (left) and fencing (right).

Awnings

Staff supports the installation of new awnings. The existing awnings are not historic and are approximately two feet (2') tall and two feet (2') deep. The new awnings will match the overall appearance of the existing ones, but measure three feet (3') tall and three feet (3') deep, and are generally compatible with the commercial character of the building.

Staff Recommendation

Staff recommends the HPC approve with one (1) condition the HAWP application, with final design details designated to Staff

1. The applicant will submit material specifications and height information for the proposed fencing and the new dumpster enclosure.

under the Criteria for Issuance in Chapter 24A-8(b)(1), (2) and (d), having found that the proposal will not substantially alter the exterior features of the historic resource and is compatible in character with the district and the purposes of Chapter 24A;

Approved & Adopted Amendment to the Master Plan for Historic Preservation: Kensington Historic District, Atlas #31/6,

Vision of Kensington: A Long-Range Preservation Plan,

the *Secretary of the Interior's Standards for Rehabilitation* #2 and #9;

and with the general condition that the applicant shall present an electronic set of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or devon.murtha@montgomeryplanning.org to schedule a follow-up site visit.

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

Description of Work Proposed: Please give an overview of the work to be undertaken:

Work Item 1: _____	
Description of Current Condition:	Proposed Work:

Work Item 2: _____	
Description of Current Condition:	Proposed Work:

Work Item 3: _____	
Description of Current Condition:	Proposed Work:

**HISTORIC AREA WORK PERMIT
CHECKLIST OF
APPLICATION REQUIREMENTS**

	Required Attachments						
Proposed Work	I. Written Description	2. Site Plan	3. Plans/ Elevations	4. Material Specifications	5. Photographs	6. Tree Survey	7. Property Owner Addresses
New Construction	*	*	*	*	*	*	*
Additions/ Alterations	*	*	*	*	*	*	*
Demolition	*	*	*		*		*
Deck/Porch	*	*	*	*	*	*	*
Fence/Wall	*	*	*	*	*	*	*
Driveway/ Parking Area	*	*		*	*	*	*
Grading/Excavation/ Landscaping	*	*		*	*	*	*
Tree Removal	*	*		*	*	*	*
Siding/ Roof Changes	*	*	*	*	*		*
Window/ Door Changes	*	*	*	*	*		*
Masonry Repair/ Repoint	*	*	*	*	*		*
Signs	*	*	*	*	*		*

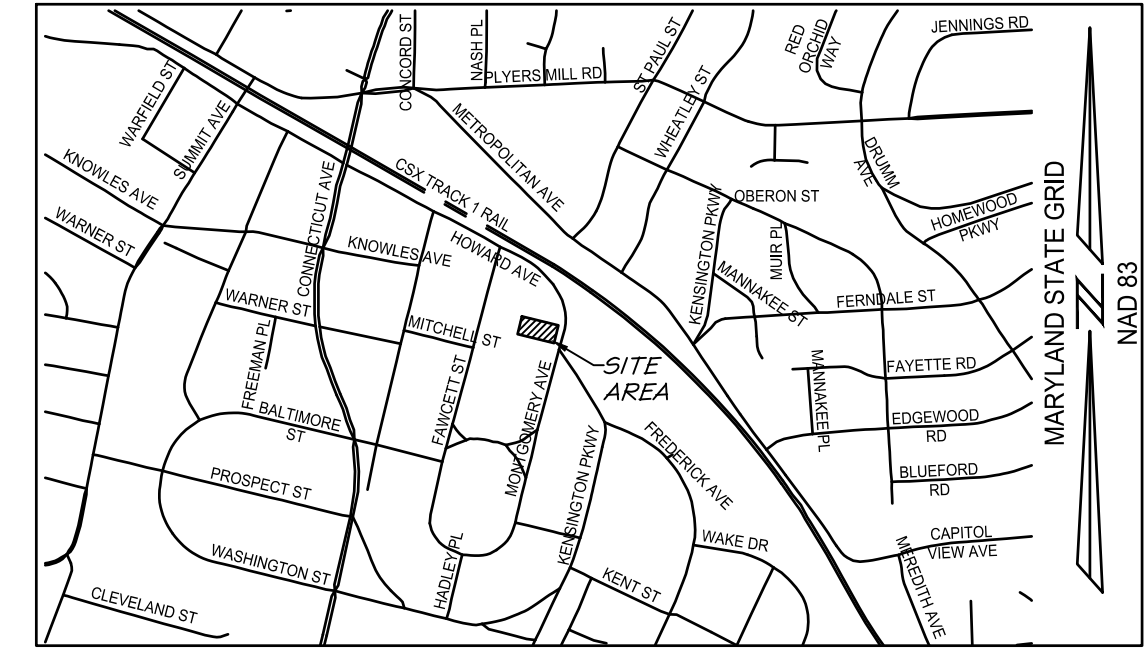
JUBILEE ASSOCIATION OF MARYLAND, INC.

SITE IMPROVEMENT & DRAINAGE PLAN

10408 MONTGOMERY AVENUE, KENSINGTON, MD 20895

ELECTION DISTRICT # 13

MONTGOMERY COUNTY, MARYLAND



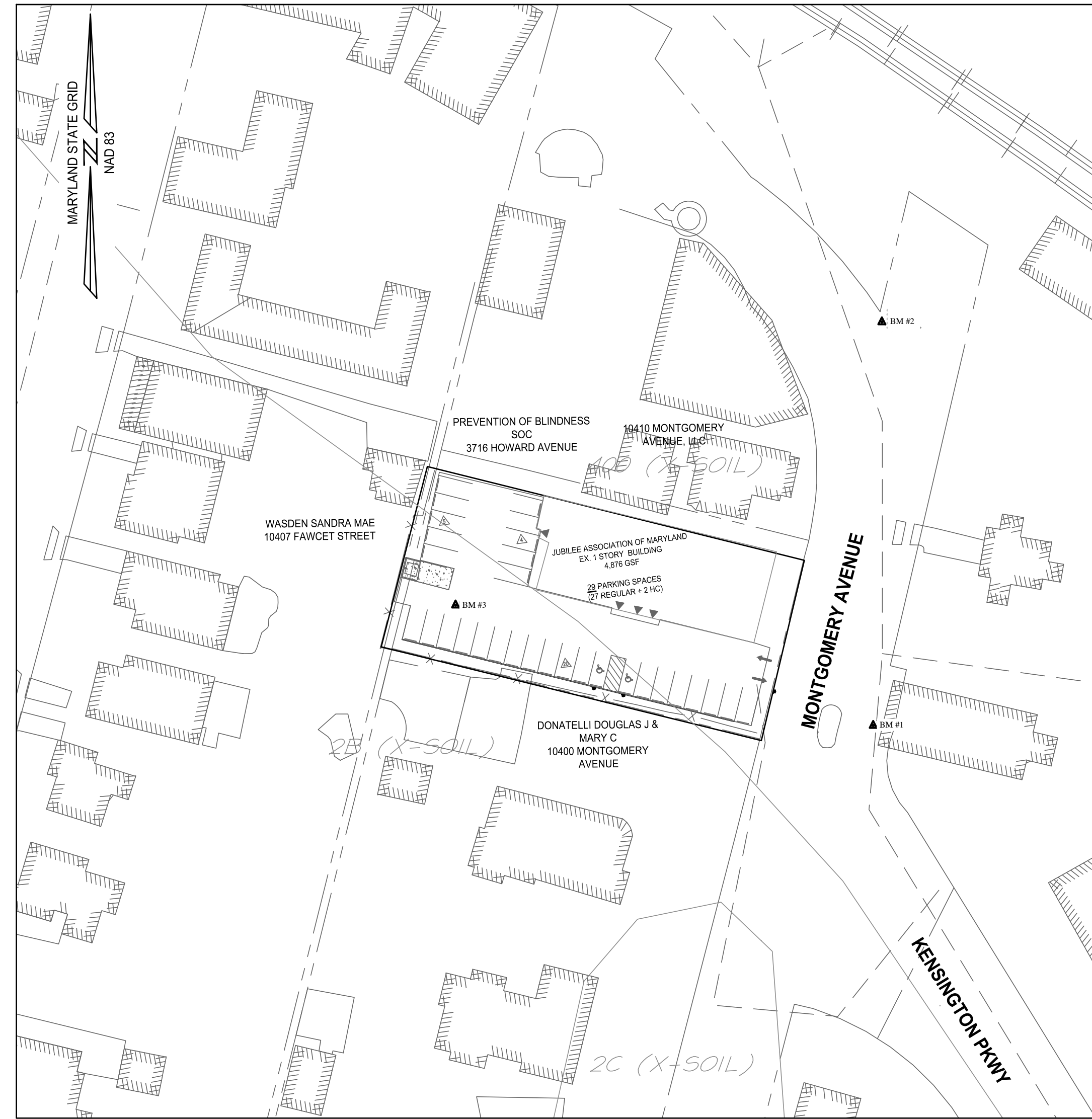
VICINITY MAP
SCALE: 1" = 1000'
1000 500 0 1000 2000

SITE DATA

1. LIMIT OF DISTURBANCE: 0.269 ACRES (11,722 SF)
- TOTAL SITE AREA: 0.430 ACRE (18,751 SF)
2. PROPERTY ADDRESS: 10408 MONTGOMERY AVE., KENSINGTON, MD 20895
3. PROPERTY TAX ACCOUNT NUMBER: 01018625
4. EXISTING USE: OFFICE
 - 4.1. EXEMPTION: NON-PROFIT HOUSING FOR THE ELDERLY
5. PROPOSED USE: OFFICE
 - 5.1. EXEMPTION: NON-PROFIT HOUSING FOR THE ELDERLY
6. WSSC 200 FOOT SHEET: 213N403
7. THE PROPERTY IS ZONED: CRT-2.0

SHEET INDEX

- SP-01 COVER SHEET
- SP-02 EXISTING CONDITIONS AND DEMOLITION PLAN
- SP-03 SITE IMPROVEMENT AND DRAINAGE PLAN
- SP-04 STORM DRAIN PROFILES AND DETAILS
- SP-05 SITE DETAILS



LOCATION MAP

1" = 50'



PROJECT NARRATIVE:

THE PROPOSED SITE IMPROVEMENT FOR THIS PROJECT INCLUDES THE INSTALLATION OF STORM DRAIN SYSTEM, LIMITED PARKING LOT RE-GRADING, PAVEMENT MILLING & OVERLAY, AND RE-STRIPING, ADDITIONAL PARKING SPACES, AND A SECURE DUMPSTER LOCATION.

SITE PLAN NOTES

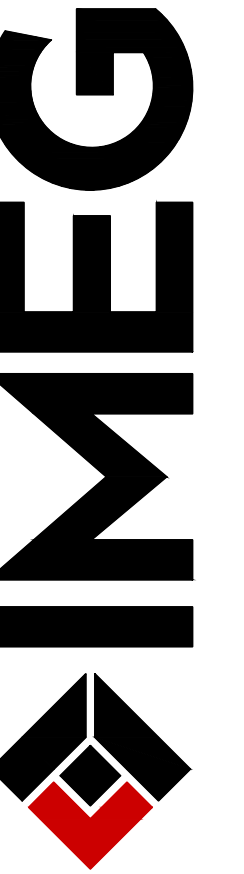
1. THE TOPOGRAPHY SHOWN WAS PREPARED BASED UPON A FIELD SURVEY DONE BY CHRISTOPHER CONSULTANTS FOR IMEG ON 9/20/2022.
2. THE BOUNDARY INFORMATION IS BASED ON A BOUNDARY SURVEY PREPARED BY DIETZ SURVEYING, INC. DEED REF: M.G.R. NO. 19013, FOLIO: 413, TAX MAP HP43.
3. THIS PROPERTY IS WITHIN THE KENSINGTON SECTOR MASTER PLAN ACCORDING TO MCATLAS.
4. GROWTH TIERS: CORRIDOR FOCUSED GROWTH AREAS (PER MCATLAS).
5. WATER AND SEWER CATEGORIES ARE W-1 AND S-1, RESPECTIVELY.

STORMWATER MANAGEMENT & EROSION & SEDIMENT CONTROL NOTES

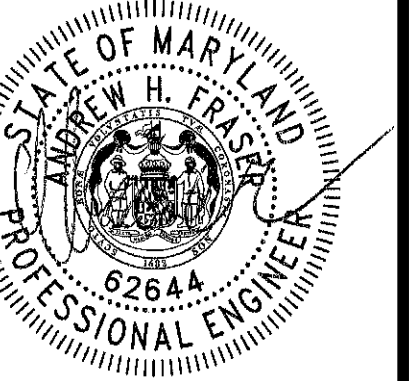
1. THE PROPOSED LIMIT OF DISTURBANCE FOR THE SITE IMPROVEMENTS IS LESS THAN 5,000 SF. THEREFORE, NO STORMWATER MANAGEMENT OR EROSION SEDIMENT CONTROL PERMITS ARE REQUIRED PER THE MARYLAND DEPARTMENT OF THE ENVIRONMENT OR MONTGOMERY COUNTY DEPARTMENT OF PERMITTING SERVICES REGULATIONS.
2. AREAS THAT ARE TO BE MILL AND OVERLAY, WEDGE AND LEVEL TO PROVIDE POSITIVE SLOPES AND DRAINAGE ARE NOT COUNTED TOWARD THE LIMIT OF DISTURBANCE.
3. CONTRACTOR TO PROVIDE PERIMETER CONTROLS IN THE FORM OF SILT FENCE OR SUPER SILT FENCE AS NOTED ON THE PLAN WITH INLET PROTECTION FOR THE EXISTING INLET ON-SITE.
4. ALL AREAS MUST BE STABILIZED IMMEDIATELY TO PREVENT ANY SEDIMENT FROM LEAVING THE SITE.
5. CONTRACTOR TO IMPLEMENT BEST PRACTICES FOR SEQUENCE OF CONSTRUCTION DURING THE INSTALLATION OF PERIMETER CONTROLS, SITE DEMOLITION, GRADING, STORM DRAIN INSTALLATION, AND FINAL PAVING.

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 62844, EXPIRATION DATE 03/21/2028.



4035 Ridge Top Rd, Suite 601
Fairfax, VA 22030 P 703.273.6820
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**JUBILEE SITE IMPROVEMENT
& DRAINAGE PLAN**
10408 MONTGOMERY AVENUE
MAP 67B4, AND 67C4 PLATS A-2236, AND A-0002
13TH ELECT DISTRICT,
MONTGOMERY COUNTY, MD 20895

DATE	REVISION	DESCRIPTION
01/11/2024	01/11/2024	

PROJECT No.: 22018.002.00
DRAWING No.: 110332
DATE: 4/19/2026
SCALE: AS NOTED
DESIGN: MK
DRAWN: MK
CHECKED: SSK

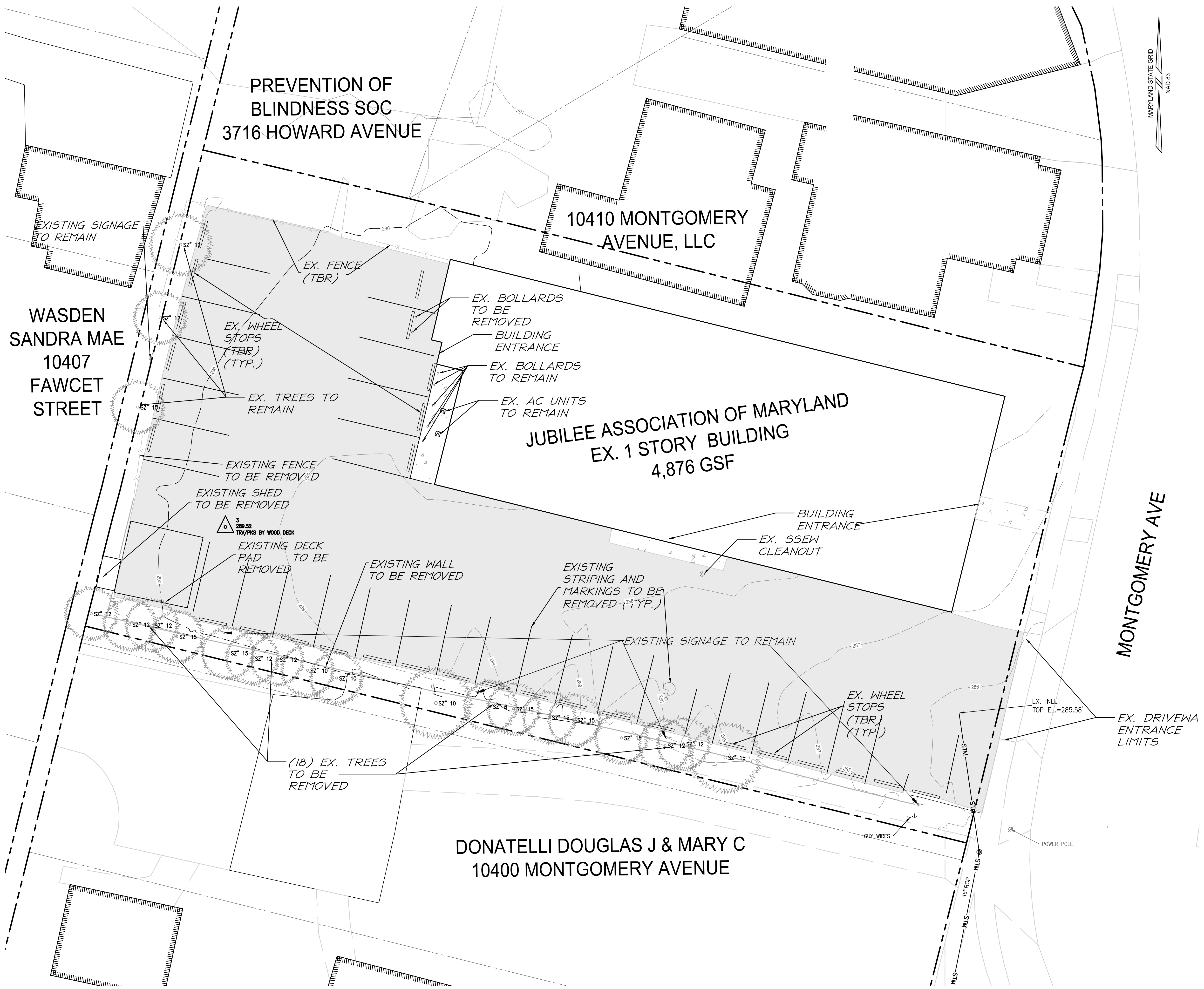
SHEET TITLE:
COVER SHEET

SHEET No.
SP-01

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LEGEND

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	EX. ADJACENT PROPERTY LINE
	EX. BUILDING OUTLINE
	EX. FENCE
	EX. CURB AND GUTTER
	EX. TREE LINE
	EX. STORM PIPE
	EX. WATERLINE
	EX. SANITARY SEWER
	EX. OVERHEAD ELECTRIC
	EX. UNDERGROUND TELEPHONE
	EX. UNDERGROUND COMM. LINE
	EX. GAS LINE
	EX. SIDEWALK
	EX. ACCESS EASEMENT
	EX. TEMP CONST. EASEMENT
	EX. WATERLINE EASEMENT
	EX. SANITARY EASEMENT
	EX. POWERLINE EASEMENT
	EX. STORM GRATE INLET
	EX. SPOT SHOT
	EX. SIGN
	EX. SANITARY MANHOLE
	EX. TELEPHONE MANHOLE
	EX. UTILITY POLE
	EX. GUY WIRE
	EX. VAULT
	LIMITS OF DISTURBANCE
	EX. ASPHALT PVM (TBR)
	EX. CONCRETE PVM (TO REMAIN)



EXISTING CONDITIONS AND DEMOLITION PLAN
GRAPHIC SCALE 1"=10'



IMEG
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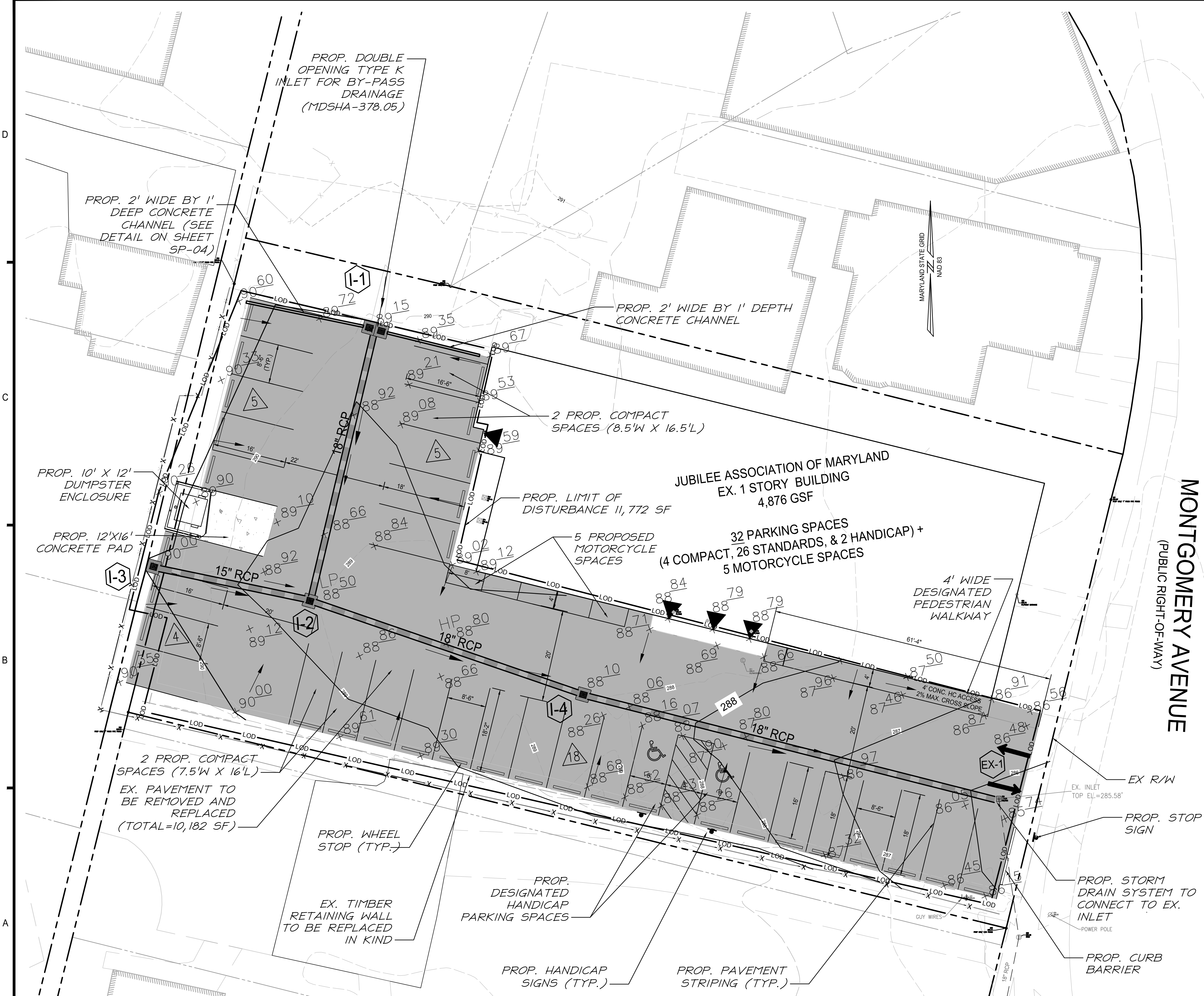
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DRAWING No.: 110332
DATE: 4/19/2026
SCALE: 1" = 10'
DESIGN: MK
DRAWN: MK
CHECKED: SSK

SHEET TITLE:
EXISTING CONDITIONS & DEMOLITION PLAN

SHEET No.
SP-02

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I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 62644, EXPIRATION DATE 03/21/2028.

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	EX. ADJACENT PROPERTY LINE
	EX. BUILDING OUTLINE
	EX. FENCE
	EX. CURB AND GUTTER
	EX. TREE LINE
	EX. STORM PIPE
	EX. WATERLINE
	EX. SANITARY SEWER
	EX. OVERHEAD ELECTRIC
	EX. UNDERGROUND TELEPHONE
	EX. UNDERGROUND COMM. LINE
	EX. GAS LINE
	EX. SIDEWALK
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	EX. TELEPHONE MANHOLE
	EX. UTILITY POLE
	EX. GUY WIRE
	EX. VAULT
	LIMITS OF DISTURBANCE
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	PROPOSED INT. CONTOUR MINOR
	PROPOSED PROPERTY LINE
	PROPOSED PROPERTY SETBACK
	PROPOSED BUILDING OUTLINE
	PROPOSED FENCE
	PROPOSED CURB & GUTTER
	PROPOSED PARKING LINE
	PROPOSED STORM PIPE
	PROPOSED WATERLINE
	PROPOSED SANITARY SEWER
	PROPOSED TREE LINE
	ACCESSIBLE CURB RAMP
	ACCESSIBLE PARKING SPACE
	BOLLARD
	PROPOSED SPOT ELEVATION
	PROPOSED PARKING COUNT
	PROPOSED STORM STRUCTURE NUMBER
	PROPOSED STORM LABEL
	PROPOSED STORM MANHOLE
	PROPOSED STORM INLET STRUCTURE
	BORINGS
	PROPOSED SANITARY SEWER LABEL
	PROPOSED SANITARY SEWER CLEANOUT
	PROPOSED WATER VALVE
	PROPOSED WATER FITTINGS



JUBILEE SITE IMPROVEMENT & DRAINAGE PLAN
 10408 MONTGOMERY AVENUE
 MAP 67B4, AND 67C4 PLATS A-2236, AND A-0002
 13TH ELECT DISTRICT,
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DATE	REVISION	DESCRIPTION
01/11/2024	MM/G	

PROJECT No.: 22018.002.00
 DRAWING No.: 110332
 DATE: 4/19/2026
 SCALE: 1" = 10'
 DESIGN: MK
 DRAWN: MK
 CHECKED: SSK

SITE IMPROVEMENT & DRAINAGE PLAN

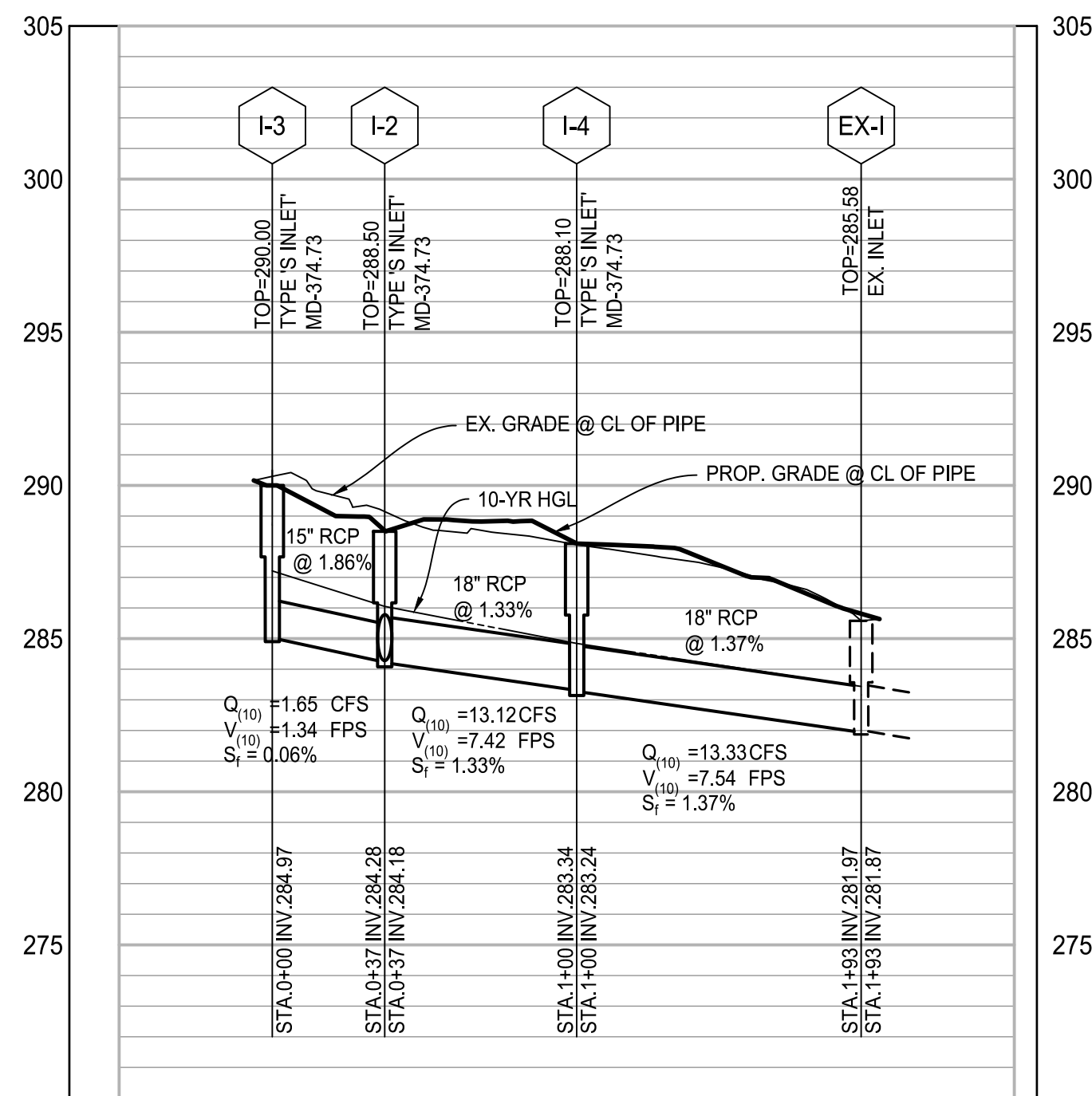
SHEET No. **SP-03**

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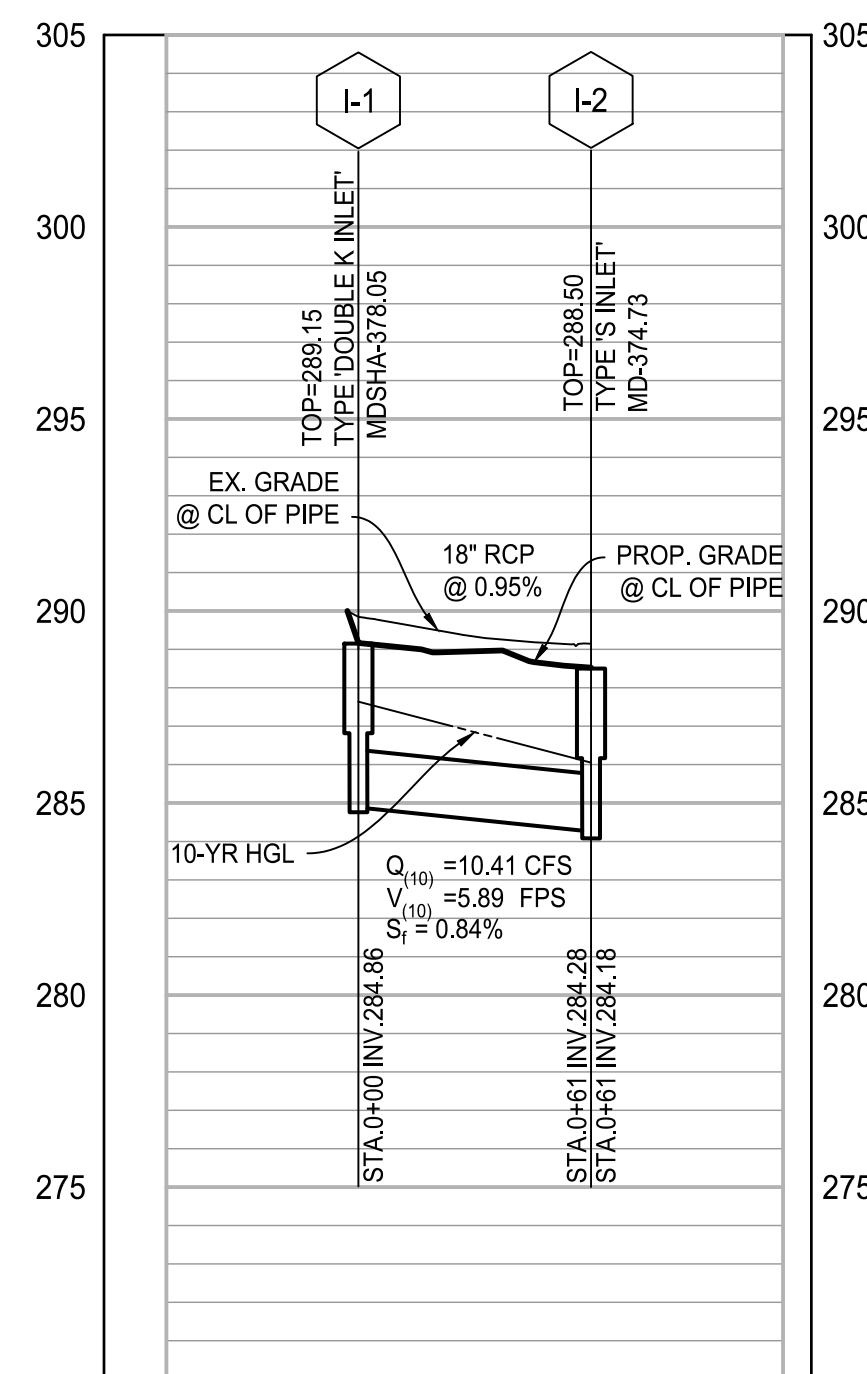


SITE IMPROVEMENT & DRAINAGE PLAN
 1"=10'

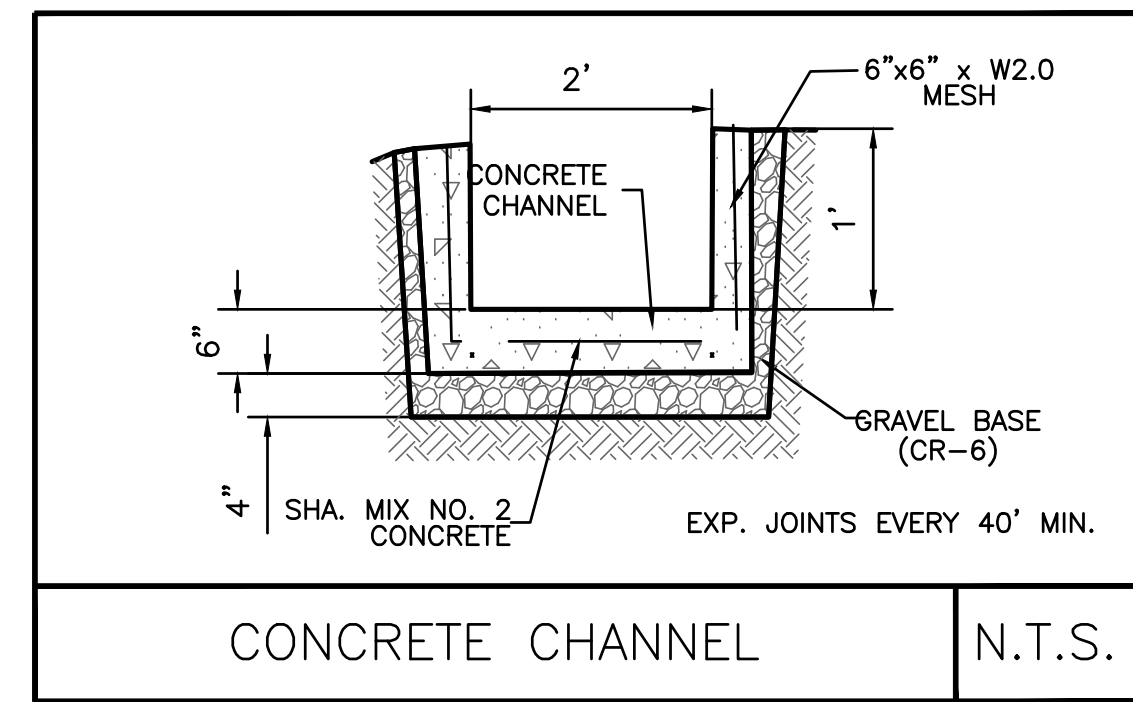
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HORZ. SCALE: 1"=50'
VERT. SCALE: 1"=5'
**STORM
I-3 TO EX-1
PROFILE**

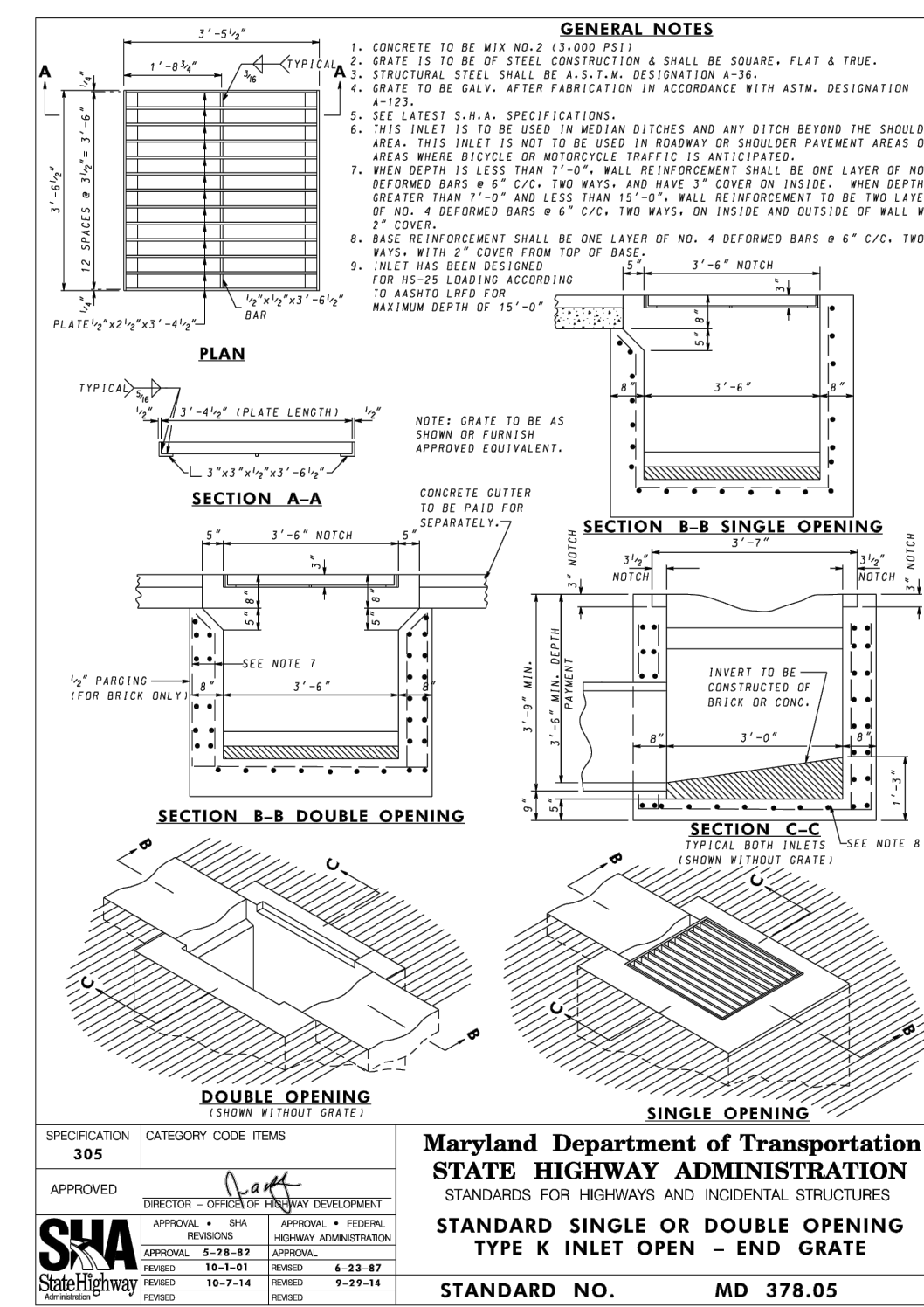
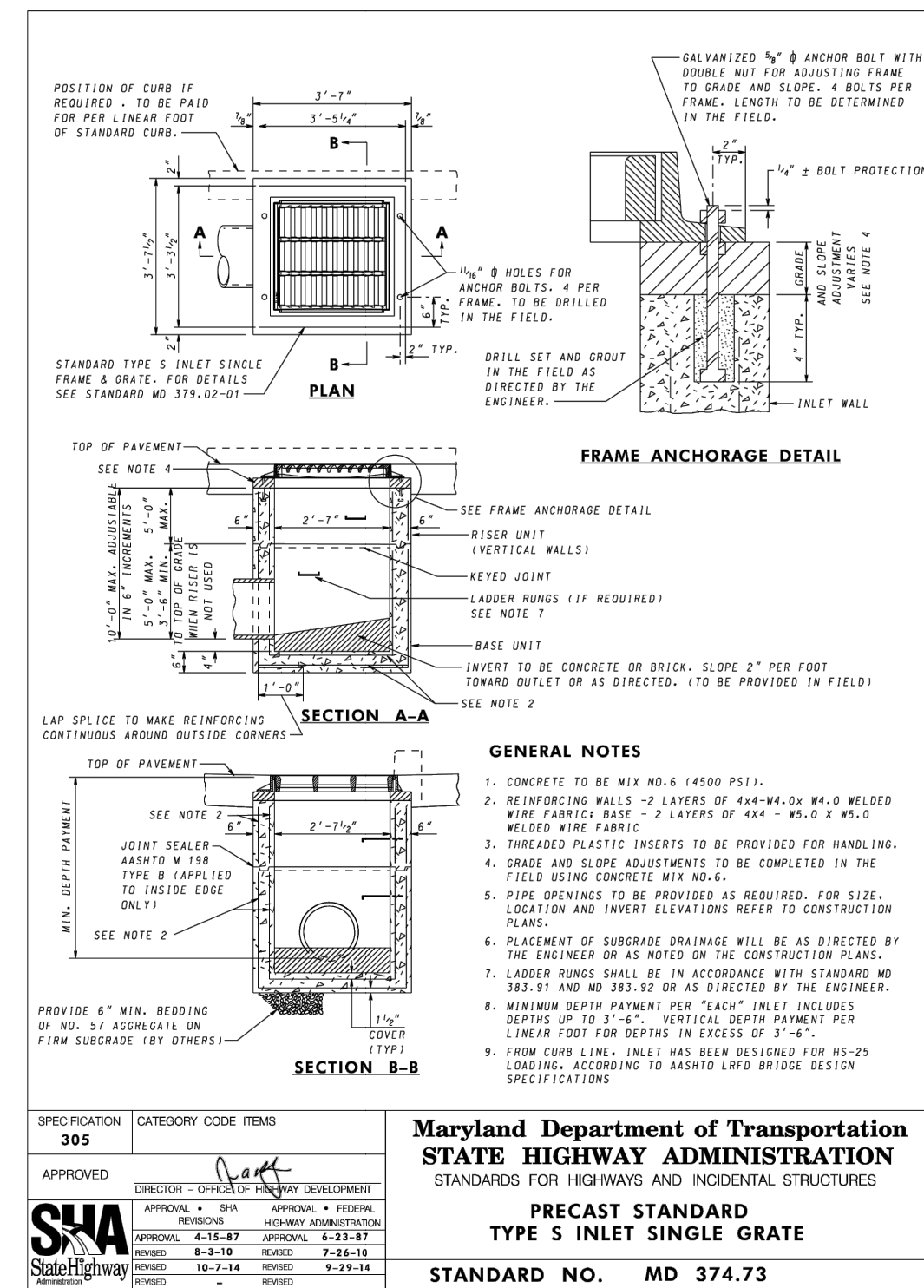


HORZ. SCALE: 1"=50'
VERT. SCALE: 1"=5'
**STORM
I-1 TO I-2
PROFILE**



General Notes for Storm Drain Construction
All storm drains shall be constructed in accordance with the latest Edition of the Standard Specifications of the Maryland State Highway Administration and Montgomery County.

1. Type of structure refers to the latest Design Standards of Montgomery County Department of Transportation, Standard Details of the Washington Suburban Sanitary Commission, and Book of Standards of the Maryland State Highway Administration, unless otherwise noted.
2. Where the drop on the main line through a structure can be accommodated by an invert slope of 1.5:1 or flatter, a rounded channel lined with sewer brick on edge shall be built to the crown of the pipes.
3. Information concerning underground utilities was obtained from available records. The Contractor shall determine the exact location and elevation of the utilities by digging test pits by hand at all utility crossings, well in advance of trenching. If clearances are less than specified on this plan or less than 12" when not specified, contact the Montgomery County Department of Permitting Services ROW Inspector and the appropriate utility owner before proceeding with construction.
4. Where any part of the storm drain system is located in a fill section, provide select fill material compacted to 95% AASHTO T-99 density from approved subgrade to the structure bottom slabs and/or the pipe bedding.
5. All storm drain pipes shall be installed with class "C" bedding as shown on Montgomery County Department of Transportation, "RCP Supporting Strength" loading charts in Appendix C.
6. Call "Miss Utility" at 1-800-257-7777 - 48 hours prior to beginning excavation to determine the location of existing utilities (see also <http://www.missutility.net/maryland/>).
7. All storm drain construction on this plan, except driveway culverts, to be maintained by MCDOT unless otherwise noted on the plans.
8. All field modifications are subject to MCDPS field inspector approval.



STORM DRAIN STRUCTURE SCHEDULE						LOCATION	
STR NO.	TOP ELEV	INV IN	INV IN	INV OUT	TYPE	NORTHING	EASTING
EX-1	285.58	281.97	---	281.87	EXISTING INLET	495,130.79	1,291,763.57
I-1	289.15	---	---	284.86	STANDARD DOUBLE OPENING TYPE K INLET	495,232.25	1,291,628.62
I-2	288.50	284.28	284.28	284.18	PRECAST STANDARD TYPE S INLET SINGLE GRATE	495,173.48	1,291,614.61
I-3	290.00	---	---	284.97	PRECAST STANDARD TYPE S INLET SINGLE GRATE	495,181.19	1,291,580.12
I-4	288.10	283.34	---	283.24	PRECAST STANDARD TYPE S INLET SINGLE GRATE	495,153.25	1,291,673.44

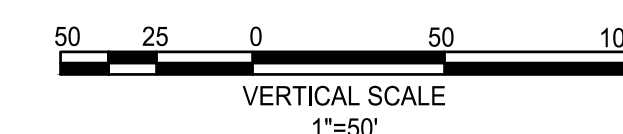
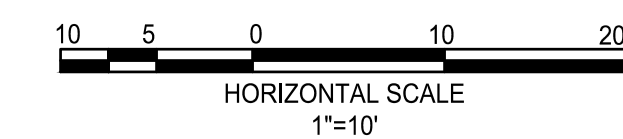
● COORDINATES TO CENTERLINE OF STRUCTURE

STORM DRAIN PIPE SCHEDULE				
FROM	TO	SIZE	TYPE	PIPE LENGTH*
I-1	I-2	18"	RCP CLASS IV	58.15 LF
I-3	I-2	15"	RCP CLASS IV	34.54 LF
I-2	I-4	18"	RCP CLASS IV	60.11 LF
I-4	EX-1	18"	RCP CLASS IV	90.80 LF

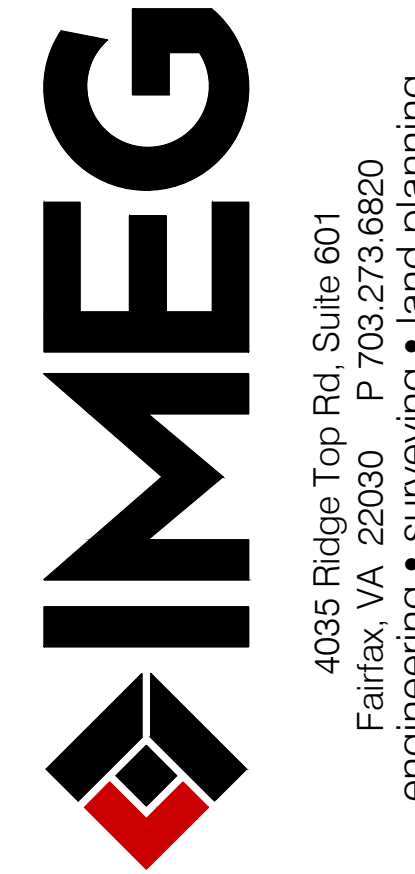
* EXCLUDES PIPE LENGTH TO STRUCTURE CENTER

STORM DRAIN PIPE TOTALS		
SIZE	TYPE	LENGTH ●
15"	RCP CLASS IV	37'
18"	RCP CLASS IV	216'

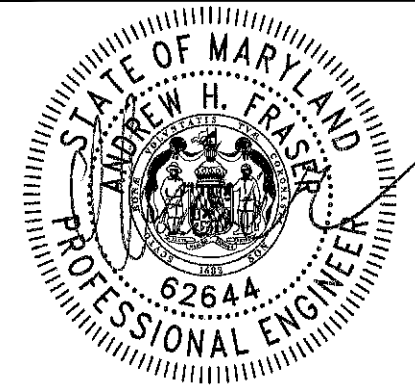
● LENGTHS TO CENTERLINE OF STRUCTURES



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SCALE: AS NOTED
DESIGN: MK
DRAWN: MK
CHECKED: SSK

SHEET TITLE:
**STORM DRAIN
PROFILES &
DETAILS**

SHEET No.
SP-04

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KEASINGERBY VESTRAL SMILES
Susan Ho, D.D.S.
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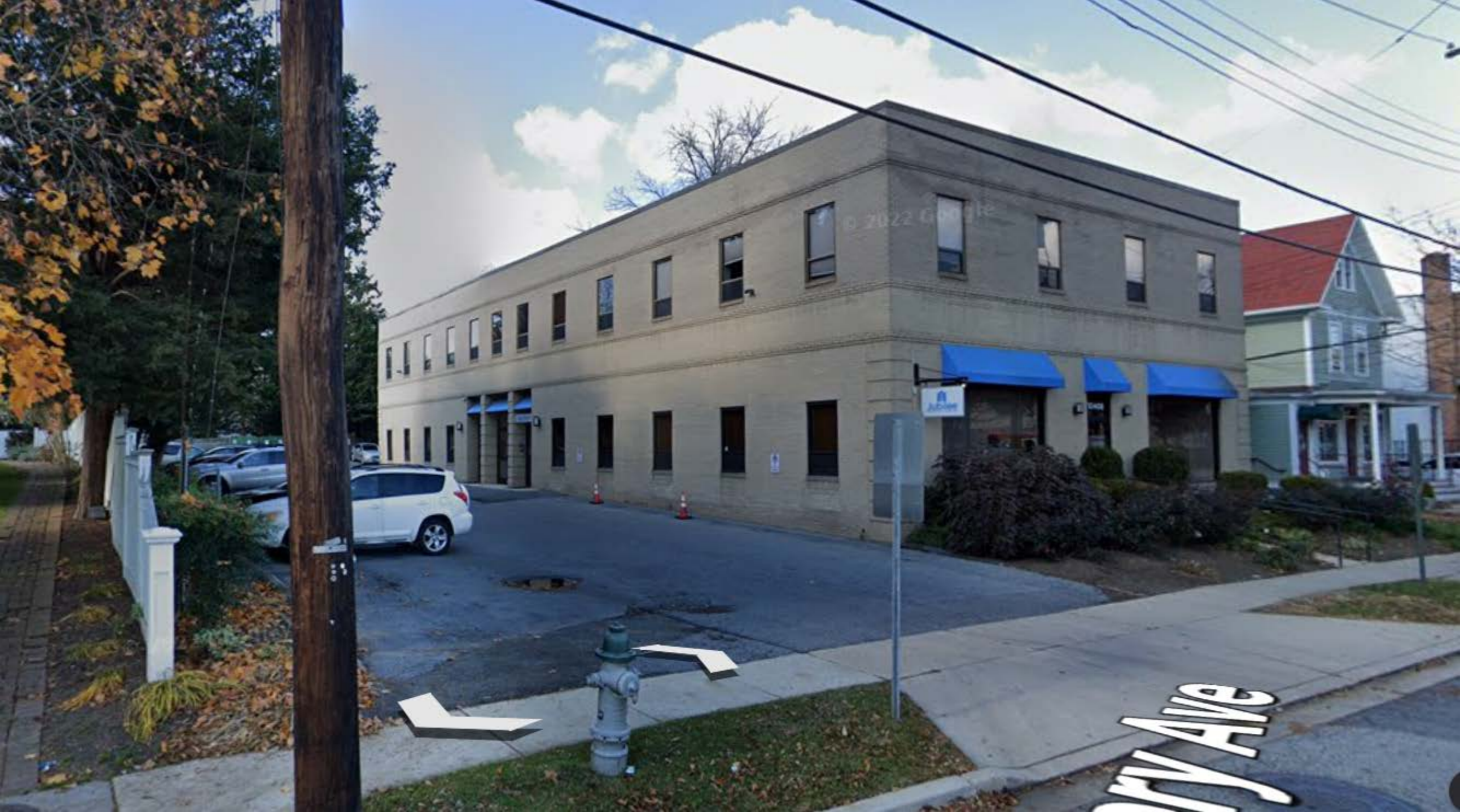
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Julien

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NO
PARKING
ANY
TIME
←

1 HOUR
PARKING
9:00 AM
TO 5:00 PM
→















REMOVED
ONLY

