

*Second Preliminary Consultation*  
**MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION**  
**STAFF REPORT**

<b>Address:</b>	10701 Keswick St., Garrett Park	<b>Meeting Date:</b>	1/21/2026
<b>Resource:</b>	Master Plan Site #30/13-1 <b>Truitt-Richter House</b>	<b>Report Date:</b>	1/14/2026
<b>Applicant:</b>	Dan Andrews	<b>Public Notice:</b>	1/7/2026
<b>Review:</b>	Preliminary Consultation	<b>Staff:</b>	Dan Bruechert
<b>Proposal:</b>	Construction of Infill Single Family House and Detached Garage, With Associated Grading, Site Alterations, and Tree Removals		

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**STAFF RECOMMENDATION**

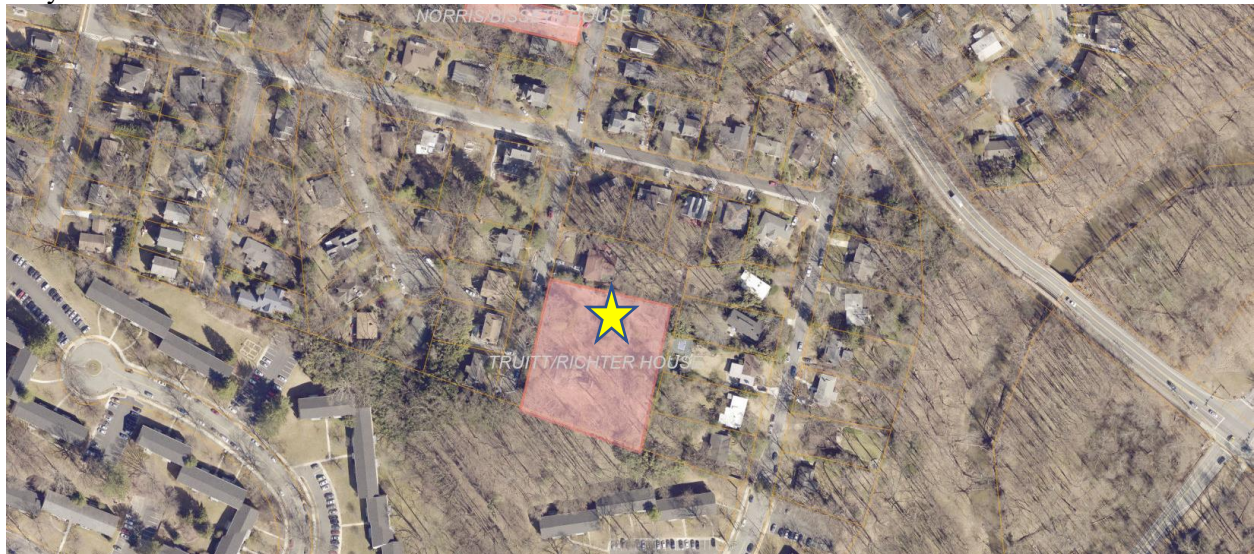
Staff recommends the applicant make any revisions to the proposal based on the HPC’s feedback and return for a third Preliminary Consultation.

**ARCHITECTURAL DESCRIPTION**

**SIGNIFICANCE:** Individually Listed Master Plan Site #30/13-1 *Truitt-Richter House*  
**STYLE:** Colonial Revival  
**DATE:** c.1894

From *Places from the Past*:

“In 1894, Owen K and E.V. Truitt built this Colonial Revival-influenced residence in Garrett Park. Like the Norris-Bissett House, this residence is built on a modest 1 1/2 -story scale.\*<sup>1</sup> Later owner Alexander Richter, architect, designed, in the 1950s several residences in the Richterville subdivision he created on Weymouth Street.”



*Figure 1: The Truitt-Richter House is located on a large lot to the southeast of the Garrett Park Historic District.*

<sup>1</sup> Staff notes the Truitt-Richter House is actually 2 ½ (two and one-half) stories and nearly 40’ (forty feet) tall.

## **BACKGROUND**

On April 9, 2025, the commission approved a HAWP to subdivide the lot at 10701 Keswick St., Garrett Park, to create a second lot large enough to construct a single-family house.

At the December 3, 2025 HPC meeting, the HPC held a Preliminary Consultation to construct a house on the newly created lot within the environmental setting of the Truitt-Richter (Preliminary Consultation Report attached). Commissioners echoed Staff's finding that the proposed house was too large for the environmental setting of the historic house. Commissioners provided a variety of prescriptive revisions that could help to reduce the house size. The Chair recommended considering a different house form, specifically, an L-shaped plan would allow less of the house to be located at the front and could help frame the space between the two houses. The Chair also cited Oak Springs and Hollin Hills in addition to Rock Creek Woods subdivisions for examples of Mid-Century architectural elements that might help the house better fit into the landscape and have less visual impact on the site.

## **PROPOSAL**

The applicant proposes to construct a single-family house on the newly created lot. Site work, tree removals, and an accessory structure are also proposed.

## **APPLICABLE GUIDELINES**

Proposed alterations to individual Master Plan Sites are reviewed under Montgomery County Code Chapter 24A (*Chapter 24A*) and the *Secretary of the Interior's Standards for Rehabilitation*.

Rehabilitation is defined as the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values.

### ***Montgomery County Code; Chapter 24A-8***

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
  - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
  - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
  - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
  - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
  - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship.

### **Secretary of Interior's Standards for Rehabilitation**

- 2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
- 3. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in

- design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
  10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

### **STAFF DISCUSSION**

The subject property is a newly created lot on the north end of the Truitt-Richter House Master Plan Site. The approximately 13,000 ft<sup>2</sup> (thirteen thousand square foot) lot will be accessible from a newly created curb cut on the north end of the lot. The applicant proposes to construct a single-family house on the new lot. In response to the feedback from the HPC from the December 2025 Preliminary Consultation, Staff will focus on the size and massing of the new house.

The HPC generally agreed that a Mid-Century inspired design could be accommodated within the environmental setting. Commissioners provided some general comments, but Staff finds a more in-depth discussion of the house design, materials, hardscaping, and accessory structure is more appropriate once the house footprint and general roof form have positive recommendations from the HPC.

The subject lot is approximately one-third of an acre and runs along the north property boundary from Keswick St. The lot narrows substantially at the rear so that it avoids capturing an existing accessory structure on the eastern side of the property (visible in *Fig. 2*, below).

The Truitt-Richter House environmental setting includes a large number of trees. Dozens of them have been planted by the current owners in the nearly thirty years they have owned the property. Forty-two trees will need to be removed to accommodate any construction on-site. The April 2025 HAWP creating the subject lot included a tree inventory for the entire lot. Neither the Staff nor the HPC identified any trees near the proposed building site that needed to be retained as part of the development.

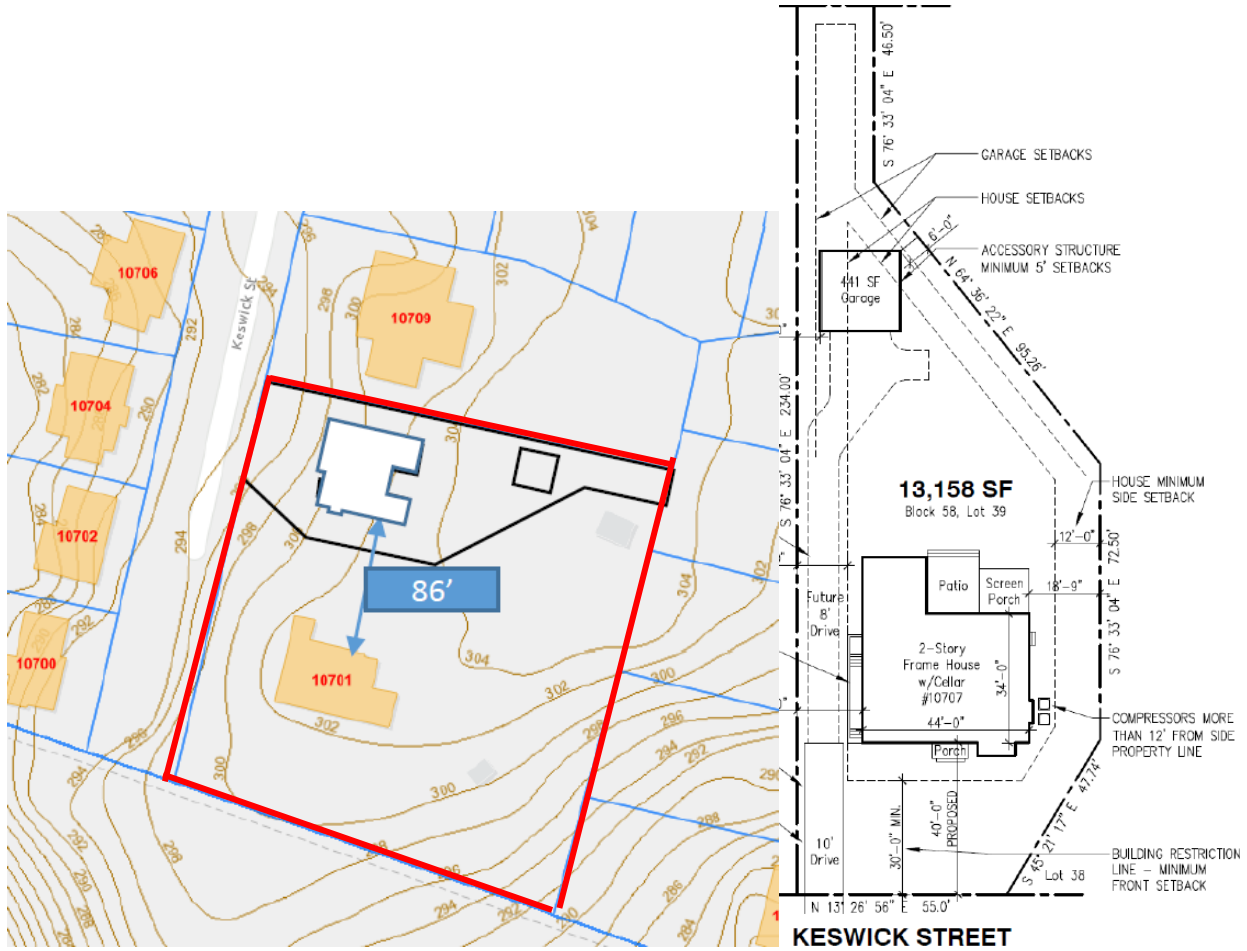


Figure 2: The Truitt-Richter property showing the environmental setting in red (left) and the proposed site plan (right).

The applicant proposes to construct a contemporary-styled house with Mid-Century elements within the environmental setting of the designated Master Plan Site. While the Truitt-Richter House is within the boundaries of the Garrett Park National Register Historic District, but it is outside of the boundaries of the county-designated Master Plan Historic District. Therefore, the HPC’s evaluation of the proposal and the final HAWP determination must comply with the requirements of Chapter 24A of County Code and the *Secretary of the Interior’s Standards for Rehabilitation*, particularly *Standards #2, 3, 9, and 10*.<sup>2</sup> The Garrett Park Design Guidelines and Master Plan Amendment are not applicable in evaluating this proposal and making a final HAWP determination.

**Location**

The proposed house location is 86’ (eighty-six feet) to the north of the Truitt-Richter House, matching its approximate setback on the lot. A house location on the subject property is limited by the buildable envelope created by the size and shape of the subject lot (see *Figure 2*, above).

Staff finds the location of the proposed house is appropriate under 24A-8(b)(2) and *Standard #2* and was considered by the HPC in the April 2025 HAWP approving the lot subdivision. Commissioners were supportive of the house placement and the distance separating the two houses at the December 2025 Preliminary Consultation.

<sup>2</sup> The National Park Service created a page on their website with a list of considerations for New Construction Within the Boundaries of Historic Properties: <https://www.nps.gov/subjects/taxincentives/new-construction-in-historic-properties.htm>.

**Size**

The Truitt-Richter House is 42' (forty-two feet) wide, with a port cochere that projects an additional 11' 5" (eleven feet, five inches) to the house's north (left). As originally constructed, the historic house had an L-shaped plan and was approximately 40' (forty feet) deep. The 1920s port cochere projects approximately 10' (ten feet) to the front of the house. An HPC-approved 1998 addition added an additional 7' (seven feet), plus an 8' (eight foot) deck off of the rear; expanding the footprint to 42' × 47' (forty-two feet wide by forty-seven feet deep), not including the porches.

The proposed house measures 43' × 36' 6" (forty-three feet wide by thirty-six feet, six inches deep) with a one-story room at the rear that adds 12' 6" (twelve feet, six inches) along the north (left) elevation). The front porch projects 8' (eight feet).

House Width Comparison

	Truitt-Richter House	Proposed Construction
House Width	42'	43'
Porch Extension	11' 5"	8'
<b>Total Width</b>	<b>53' 5"</b>	<b>51'</b>

House Depth Comparison (as measured without porches and decks)

	Truitt-Richter House	Proposed Construction
House Depth	40'	36' 6"
Rear Addition/Extension	7'	12' 6"
<b>Total Depth</b>	<b>47'</b>	<b>49'</b>

**Mass and Form**

The proposed house is constructed as two volumes. The larger left volume is 27' 6" (twenty-seven feet, six inches) wide and has a wrap around porch that extends 6' (six feet) to the north (left) of the house. The wrap around porch includes a shed roof section over the primary entrance. Staff notes the detailing on the porch has been simplified, a treatment that was recommended by a couple of commissioners at the December 2025 Preliminary Consultation. This section of the house has a shed roof with a maximum height of 29' (twenty-nine feet), that that slopes towards the street.

The right volume is 15' 6" (fifteen feet, six inches) wide and has a lower side gable roof with a 24' (twenty-four foot) ridge height. This section of the house has stacked window assemblies.

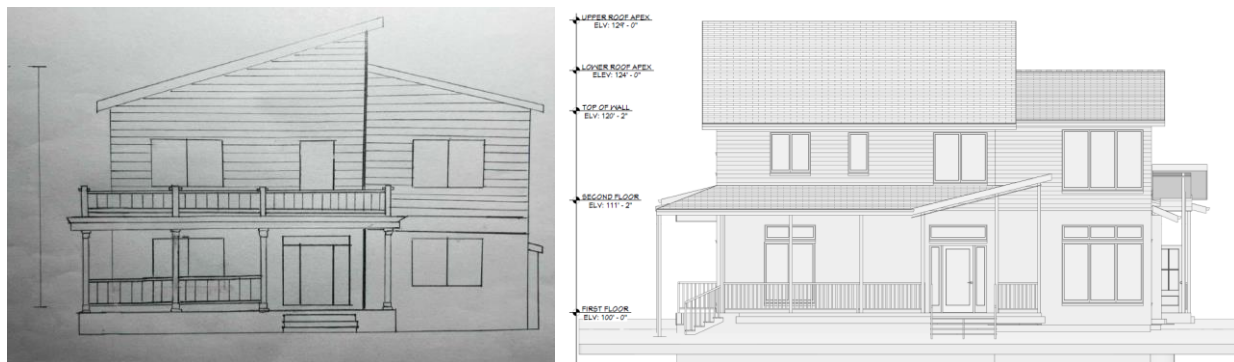


Figure 3: December 2025 submission (left) and revised design (right).

The left side wall is broken up by a gas fireplace bump out and a side porch, with a shed roofed porch.

In the rear of the proposed house, there is a 12' × 16' (twelve feet deep by sixteen feet wide) room with a shed roof on the north side, and a smaller screened in porch on the south side.

### Design

The proposed house is a contemporary design inspired by mid-century architecture and the adjacent Richterville subdivision. The house's design several asymmetrical roof planes on each elevation, punched single and grouped window openings, and utilizes both stucco and fiber cement lap siding.

In the discussions during the previous Preliminary Consultation, commissioners were generally supportive of a Mid-Century inspired design and that its common features, like construction low to the ground and simplicity of form would help achieve the aims of the *Standards* as discussed below.

As with the previous Preliminary Consultation, even though Staff is primarily focused on the size and mass/form of the proposed house, the form of the house is informed in part by the architectural vocabulary chosen by the applicant, so some discussion of the style is warranted in the overall discussion of the proposal and to provide guidance to the applicant moving forward.

### Evaluation

In evaluating the compatibility of new construction in a Master Plan Site, there are a number of general criteria that need to be satisfied. The new construction must be subservient to the historic resource in size, scale, and design. The design also must be compatible with the historic resource but also differentiated in some manner. The *Guidelines for Rehabilitating Historic Buildings* published by the National Park Service recommends the following in such cases:

“Designing new exterior additions to historic buildings or adjacent new construction that are compatible with the historic character of the site and preserves the historic relationship between the building or buildings and the landscape.”

“Introducing new construction on the building site which is visually incompatible in terms of size, scale, design, material, or color, which destroys historic relationships on the site, or which damages or destroys important landscape features, such as replacing a lawn with paved parking areas or removing mature trees to widen a driveway,” is not recommended.<sup>3</sup>

Often Staff encourages applicants to consider the new construction in the form of a carriage house or an agricultural outbuilding as a starting point. Depending on the age of the resource, Staff also recommends looking at historic Sears, Aladdin, or Montgomery Ward kit houses designs for potential examples of design that would be appropriate. These types of buildings (both carriage house and kit houses) were usually smaller with fewer decorative flourishes. The result of this design philosophy is a building that is subservient to the historic resource in size and massing. Taking this a step further, the design and style of the new construction is typically striped-down stylistically so there are fewer architectural embellishments, so the design of the new building does not overwhelm the historic site. This is usually accomplished by eliminating elements from the building trim or cornice and allowing selective compatible substitute materials. A straightforward application of these principles will result in a design that complies with the requirements of *Standard #9* by being subservient to the historic building, and also both compatible *and* differentiated from the historic.

This is not to say there is no room for architectural variation in a historic setting while simultaneously satisfying the *Standards*. Staff acknowledges that it can done, but it is often more challenging. This is

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<sup>3</sup> The Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring, & Reconstructing Historic Buildings, <https://www.nps.gov/orgs/1739/upload/treatment-guidelines-2017-part1-preservation-rehabilitation.pdf>.

particularly the case when the context is limited to one building or setting, rather than a larger district. Staff included some infill designs in its presentation at the December Preliminary Consultation.<sup>4</sup>

As proposed, Staff does not find the proposal to be compatible with the Historic Site nor is it compatible with the approval standards set by Chapter 24A or the *Standards*. As with the previous submission, Staff finds the footprint of the proposed house to be too large to be subservient to the Truitt-Richter House. More specifically, Staff finds the proposed design is substantially too *wide*. Staff finds that the primary consideration should be given to the front elevation both because of traditional architectural hierarchy, but also because these two houses will be experienced from the streetscape.

Staff believes a house of the applicant's desired square footage (approximately 3,225 ft<sup>2</sup>, plus a full basement) could likely be accommodated on the site, but the footprint must be narrowed and, as with Staff's previous recommendations, should incorporate greater side articulation. Staff's recommendation at the last Preliminary Consultation was to reduce the width of the house by approximately 15–20% (fifteen to twenty percent), which would result in a house 32' – 36' (thirty-two to thirty-six feet wide). Depending on the treatment of the roof form (discussed below), an equivalent amount of square footage could potentially be shifted toward the rear in a way that remains subservient to the historic structure.

Staff next evaluated the massing of the proposed building. The proposed front elevation is one foot wider than the historic house (without the porch extensions or porte-cochere) and its roof height is approximately ten feet lower. The lower house section on the right also helps to shift more mass away from the Truitt-Richter House. Staff finds the change to a side shed and gable roof forms helps to shift some the proposed house's apparent mass away from the front wall plane. The eave at the front of the house has now been lowered so it is just above the second story windows, instead of even with the ceiling height. While the changes to the roof form are a positive step in reducing the apparent mass of the house, Staff continues to find that the house was too wide at the front to satisfy the requirements of *Standard #9*.

In its background research for this development proposal, Staff identified several examples of house plans that would generally satisfy the square footage desired by the applicant and the narrower width determined to be critically important by Staff. These designs are not intended to be prescriptive, rather their purpose is to show architectural elements that may help achieve some of the criteria necessary for a project that satisfies the requirements of Chapter 24A and the *Standards*.

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<sup>4</sup> The recording of the December 2025 Preliminary Consultation and Staff Presentation are available here: [https://mncppc.granicus.com/MediaPlayer.php?publish\\_id=942425d2-d12c-11f0-bb28-005056a89546](https://mncppc.granicus.com/MediaPlayer.php?publish_id=942425d2-d12c-11f0-bb28-005056a89546).

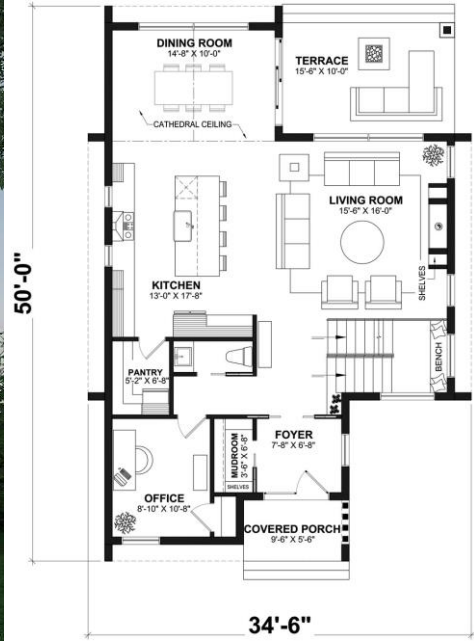


Figure 4: Contemporary house design, only 34' 6" wide and nearly 3,400 ft<sup>2</sup>.

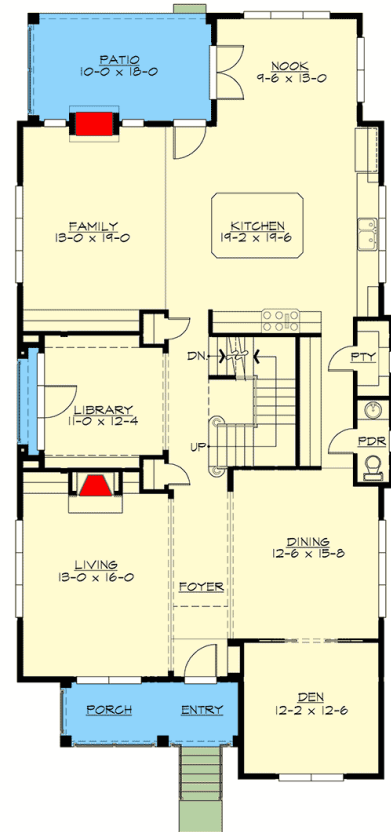


Figure 5: 35'-wide house with five bedrooms and 4,500 ft<sup>2</sup> including the full basement.

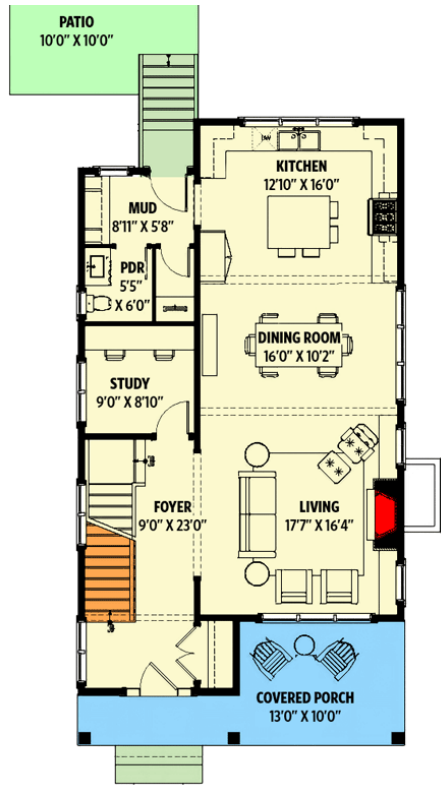


Figure 6: "Contemporary Coastal Farmhouse" with five bedrooms, 26' 5" wide.

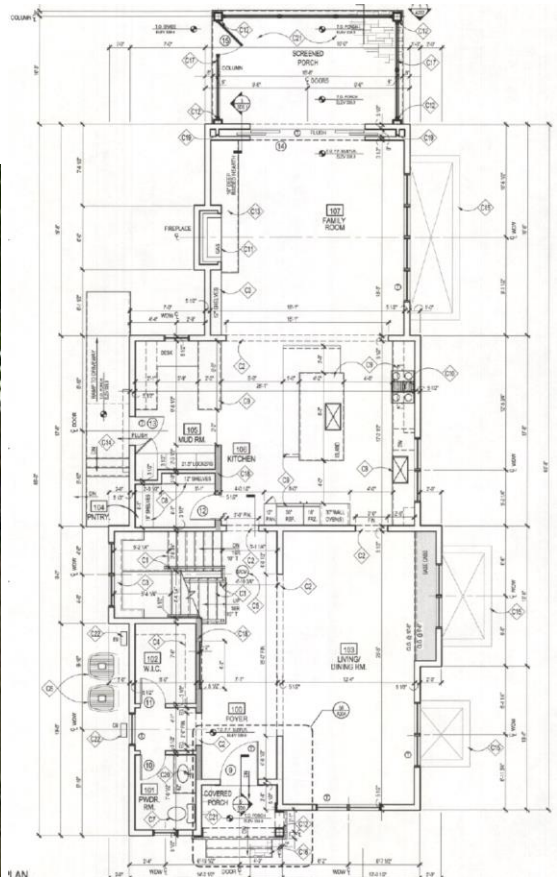


Figure 7: 10915 Kenilworth Ave. is 26' wide at the front with a maximum width of 32'. Tax data calculates the above grade living area as 3,189 ft<sup>2</sup>, though the house includes a full basement and detached garage.

As with the previous Preliminary Consultation, Staff finds a house with a mid-century or contemporary architectural influences could be compatibly designed to fit within the environmental setting of the Truitt-Richter House. In looking to the typical characteristics of situated modern design, often found in architect-designed or influenced subdivisions in Montgomery County, Staff finds the general horizontal orientation of the buildings, simple roof forms, and earth tones all help to create buildings that are intended to blend in with (or recede into) the surrounding landscape. Staff finds a design that utilizes these characteristics and does not visually compete with the historic house, could utilize materials or some other design consideration to help the design achieve the architectural compatibility necessary under *Standard #9*.

Staff requests feedback from the HPC on:

- The appropriateness of the revised roof form;
- The appropriateness of the house size;
- The compatibility of the proposed house mass/form.

Staff additionally requests the HPC provide prescriptive recommended revisions to the proposal.

#### **Additional Considerations (Tree Removals, Site Grading, and Accessory Structure)**

To accommodate the house construction, the applicant proposes to remove 42 (forty-two) trees and conduct minor regrading on the site. The majority of the proposed trees are smaller than 6” d.b.h. (six inches diameter at breast height) and are located in the footprint of the proposed house. Additionally, the submitted Forest Conservation Plan will require the replanting of 16 (sixteen) trees as mitigation (four red maples, four white oaks, four chestnuts, and four black gum trees). Staff finds any house construction could not be accomplished without the tree removals and regrading, and notes the applicant proposes to reconstruct the two existing retaining walls at the front of the property.

No commissioners raised objection to the proposed tree removals and replanting at the December 2025 Preliminary Consultation.

At the rear of the newly created subject lot, behind the house, the applicant proposes to construct a two-car garage with occupiable space on the half-story above. The garage will be sided in fiber cement lap siding with a concrete foundation, asphalt shingles and multi-lite casement windows. Staff finds the size and scale of the garage are compatible and will not overwhelm either the Truitt-Richter House or the proposed new construction. Staff additionally finds the proposed accessory structure’s location to be appropriate. Finally, Staff finds the traditional form and design elements including, the wall dormers, horizontal siding, and exterior stairs are compatible with the design of the Truitt-Richter House. Staff encourages the applicant to continue to develop plans for this structure that are compatible with the character of the site.

Staff requests feedback from the HPC regarding the tree removals, regrading, and any additional comments regarding the accessory structure.

#### **STAFF RECOMMENDATION**

Staff recommends the applicant make the recommended revisions to the proposal and to return for a third Preliminary Consultation. At that time architect produced drawings with scale and dimensions would be helpful for the evaluation.

**Historic Preservation Commission Preliminary Consultation Report**

Address: 10701 Keswick St., Garrett Park

Applicant(s): Dan Andrews

Proposal: Single Family House Construction, Related Site Work, and Tree Removals

Staff Contact: Dan Bruechert

HPC Commissioners Providing Comments: Karen Burditt (Chair), Jeff Hains (Vice Chair), Marc Dominniani, Sandra Prather, Zara Nasar, Jonathan Kaplan, James Doman

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**Recommendations**

The commissioners all found the location to be appropriate for an infill house.

The commissioners echoed Staff's identified concerns regarding the massing of the house being too large for the environmental setting of the historic house.

- One commissioner mentioned the importance of the perceived massing from the street.

Commissioners discussed the height is driven largely by the roof form and that because it was space that was not being utilized as interior space could be reduced.

- One commissioner comment found the roof distracting.
- The Vice Chair suggested if you were going to proceed with revisions to this scheme to lower the spring point of the roof which would allow to roof to come down by a 1' or 1 ½'.

Another commissioner suggested rotating some of the rooms 90 degrees which would reduce the overall width of the house design by potentially a couple of feet.

Multiple commissioners indicated their support for a front porch, but one commissioner encouraged a stripped-down version that would eliminate the bases and capitals from the columns and the railing if necessary and that the house design should drive the porch design.

The Chair cited Oak Springs and [Hollin Hills](#) in southern Fairfax County as neighborhoods to explore for inspiration. Staff also recommends [Rock Creek Woods](#) and Hammond Wood subdivisions. Midcentury could be an appropriate style, but the massing, height, and size of the house must be addressed first.

The Chair also recommended considering an L-shaped plan that would allow less of the house to be located at the front and would help to frame the space between the houses.

- Return for an additional preliminary consultation
- Return for a HAWP in accordance with the Commission's recommendations

**ZONING PARAMETERS:**

ZONING: R-90 OVERLAY

**SETBACKS:**

- FRONT YARD: 30' (21' FOR PORCH)
- SIDE YARDS: 12' MIN/25' COMBINED  
5' for GARAGE
- REAR YARD: 25' (21' FOR PORCH)  
5' for GARAGE

**LOT COVERAGE:**

- HOUSE: 18% x 13,158 = 2,368 SF ALLOWED, 2,190 SF PROPOSED
- HOUSE + GARAGE: 20% x 13,158 SF = 2,631 SF ALLOWED, 2,631 SF PROPOSED

COMPRESSORS MORE THAN 12' FROM SIDE PROPERTY LINE

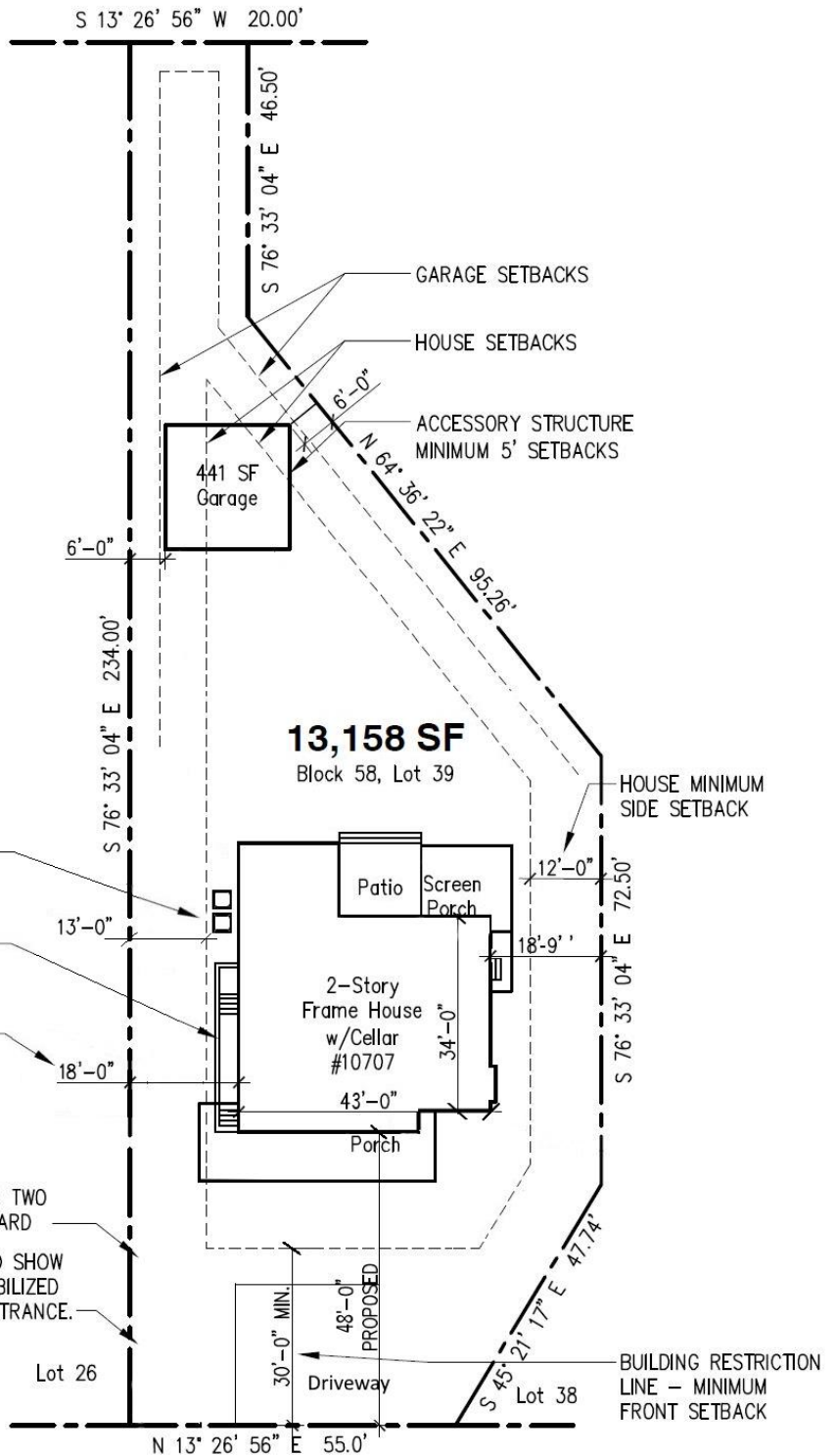
AREAWAY

HOUSE PROPOSED SIDE SETBACK

PARKING PAD FOR TWO CARS IN FRONT YARD

CIVIL ENGINEER TO SHOW LOCATION OF STABILIZED CONSTRUCTION ENTRANCE.

PROPERTY LINES BASED ON SUBDIVISION PLAN BY PACKARD & ASSOCIATES, LLC.

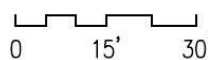


**KESWICK STREET**

Block 58, Lot 37

**ARCHITECTURAL SITE PLAN**

SCALE: 1" = 30'



**GARRETT PARK**

Garrett Park, MD  
Montgomery County



**NORTH**

NO.	DESCRIPTION	BY	DATE

SHEET TITLE:  
**SHEET TITLE**

PROJECT DESCRIPTION:  
**PROJECT**

DRAWINGS PROVIDED BY:  
**DESIGNER**

DATE:

SCALE:  
1/4" = 1'-0"

SHEET:  
**A-1**



**FRONT ELEVATION**

● UPPER ROOF APEX  
 ELEV: 129' - 0"  
 ● LOWER ROOF APEX  
 ELEV: 124' - 0"  
 ● TOP OF WALL  
 ELEV: 120' - 2"  
 ● SECOND FLOOR  
 ELEV: 111' - 2"  
 ● FIRST FLOOR  
 ELEV: 100' - 0"  
 ● BASEMENT  
 ELEV: 90' - 1"



8'      2'-6"      34'      12'-6"  
 49'

RIGHT ELEVATION

NO.	DESCRIPTION	BY	DATE

SHEET TITLE:

PROJECT DESCRIPTION:

DRAWINGS PROVIDED BY:

DATE:

SCALE:  
1/4" = 1'-0"

SHEET:  
**A-2**

● UPPER ROOF APEX  
ELV: 129' - 0"

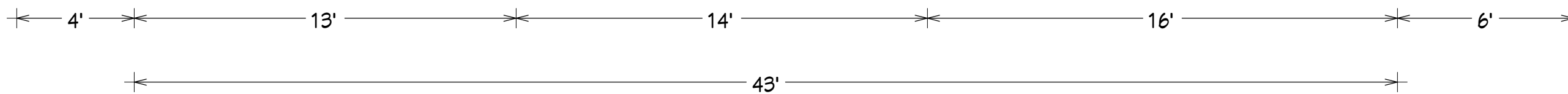
● LOWER ROOF APEX  
ELV: 124' - 0"

● TOP OF WALL  
ELV: 120' - 2"

● SECOND FLOOR  
ELV: 111' - 2"

● FIRST FLOOR  
ELV: 100' - 0"

● BASEMENT  
ELV: 90' - 1"



REAR ELEVATION

NO.	DESCRIPTION	BY	DATE

SHEET TITLE:

PROJECT DESCRIPTION:

DRAWINGS PROVIDED BY:

DATE:

SCALE:  
1/4" = 1'-0"

SHEET:  
**A-3**

● UPPER ROOF APEX  
ELV: 129' - 0"

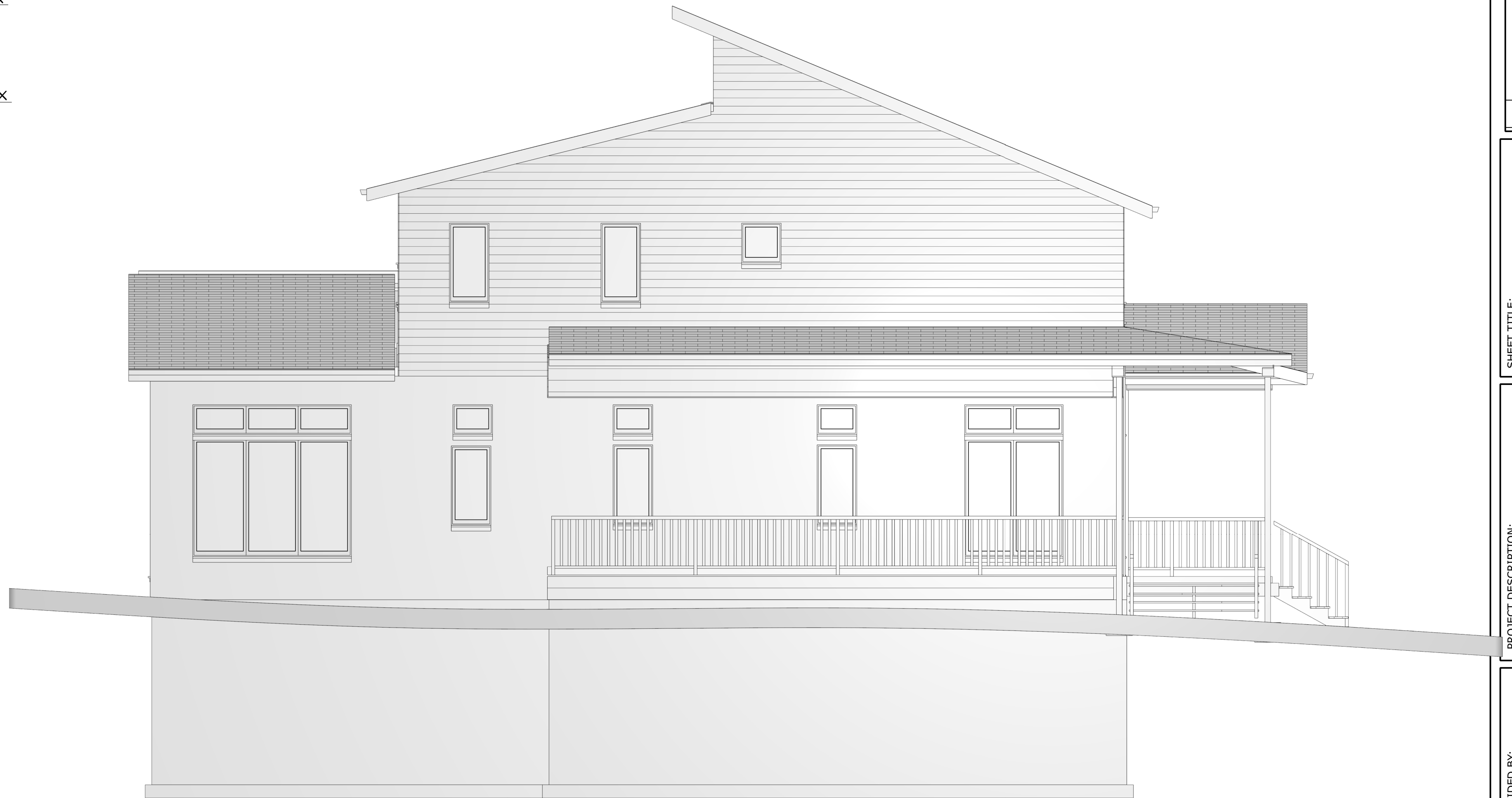
● LOWER ROOF APEX  
ELV: 124' - 0"

● TOP OF WALL  
ELV: 120' - 2"

● SECOND FLOOR  
ELV: 111' - 2"

● FIRST FLOOR  
ELV: 100' - 0"

● BASEMENT  
ELV: 90' - 1"



12'-6"      36'-6"      8'  
49'

### LEFT ELEVATION

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PROJECT DESCRIPTION:

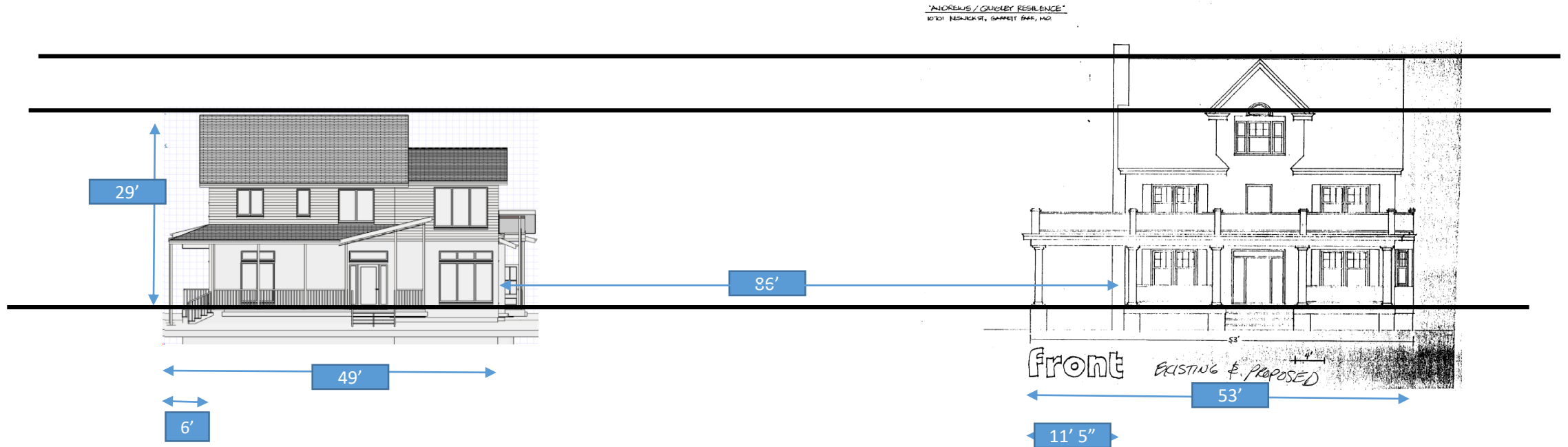
DRAWINGS PROVIDED BY:

DATE:

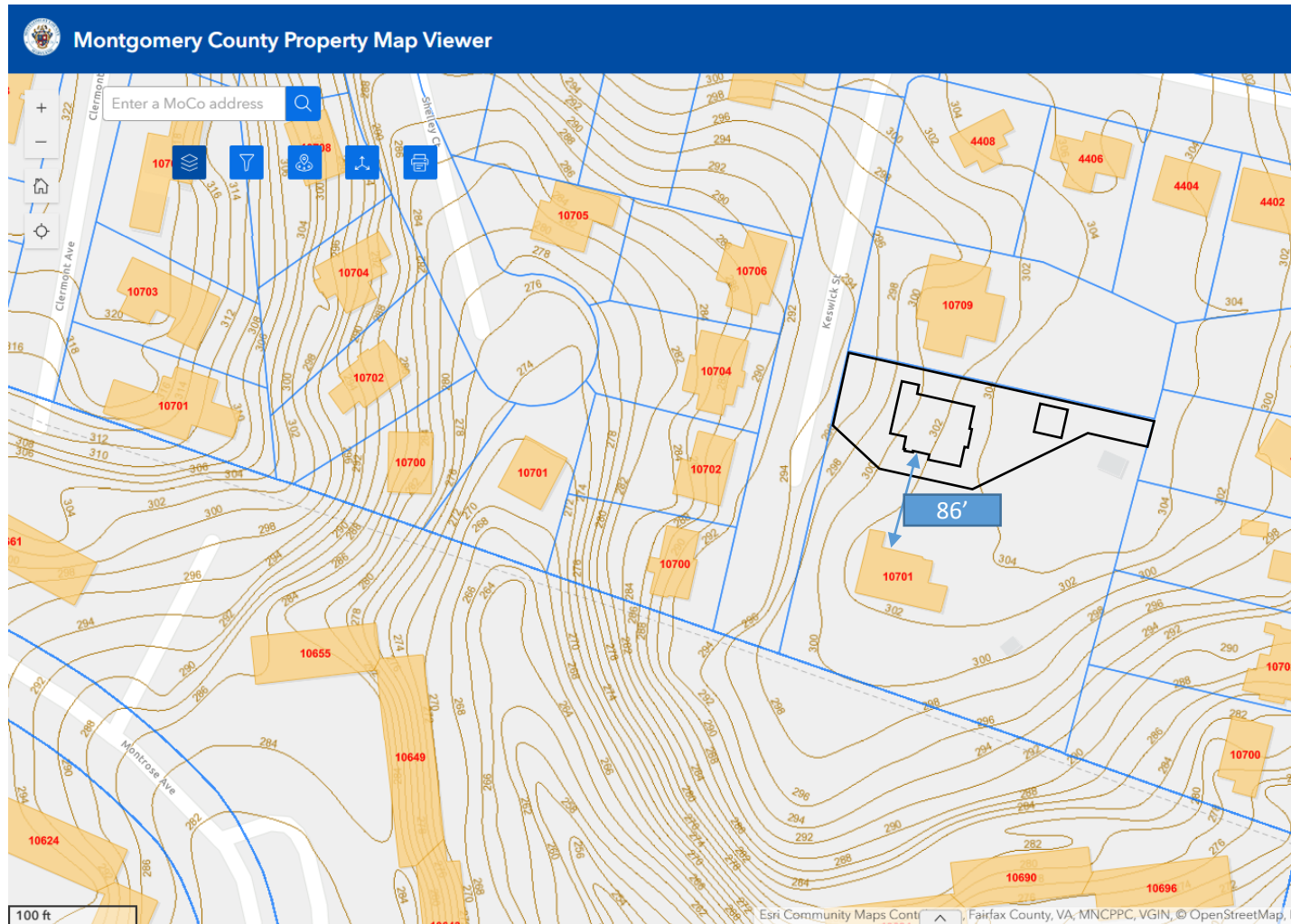
SCALE:  
1/4" = 1'-0"

SHEET:  
**A-4**

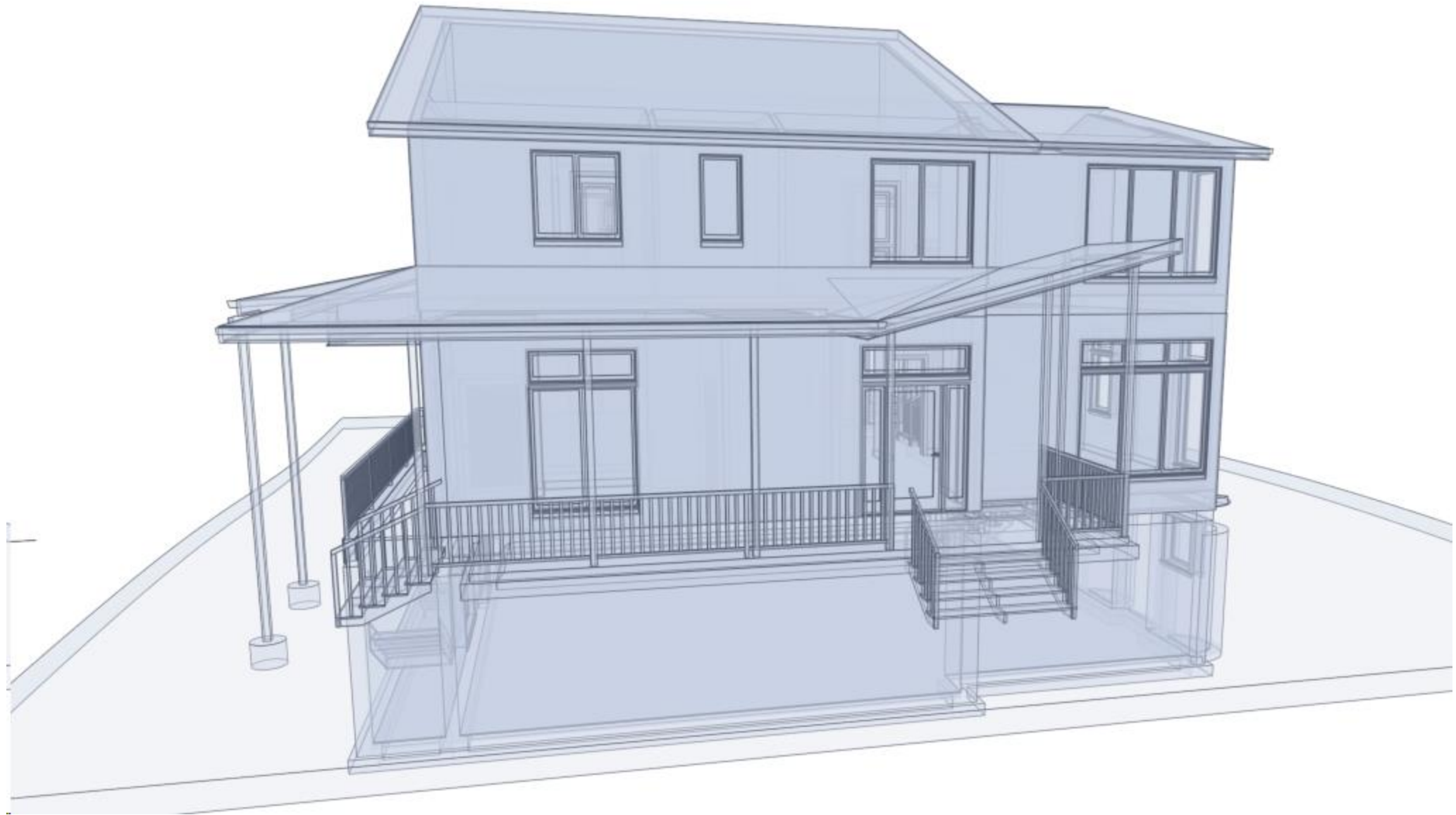
# Comparative front elevations



# Two + foot contour difference



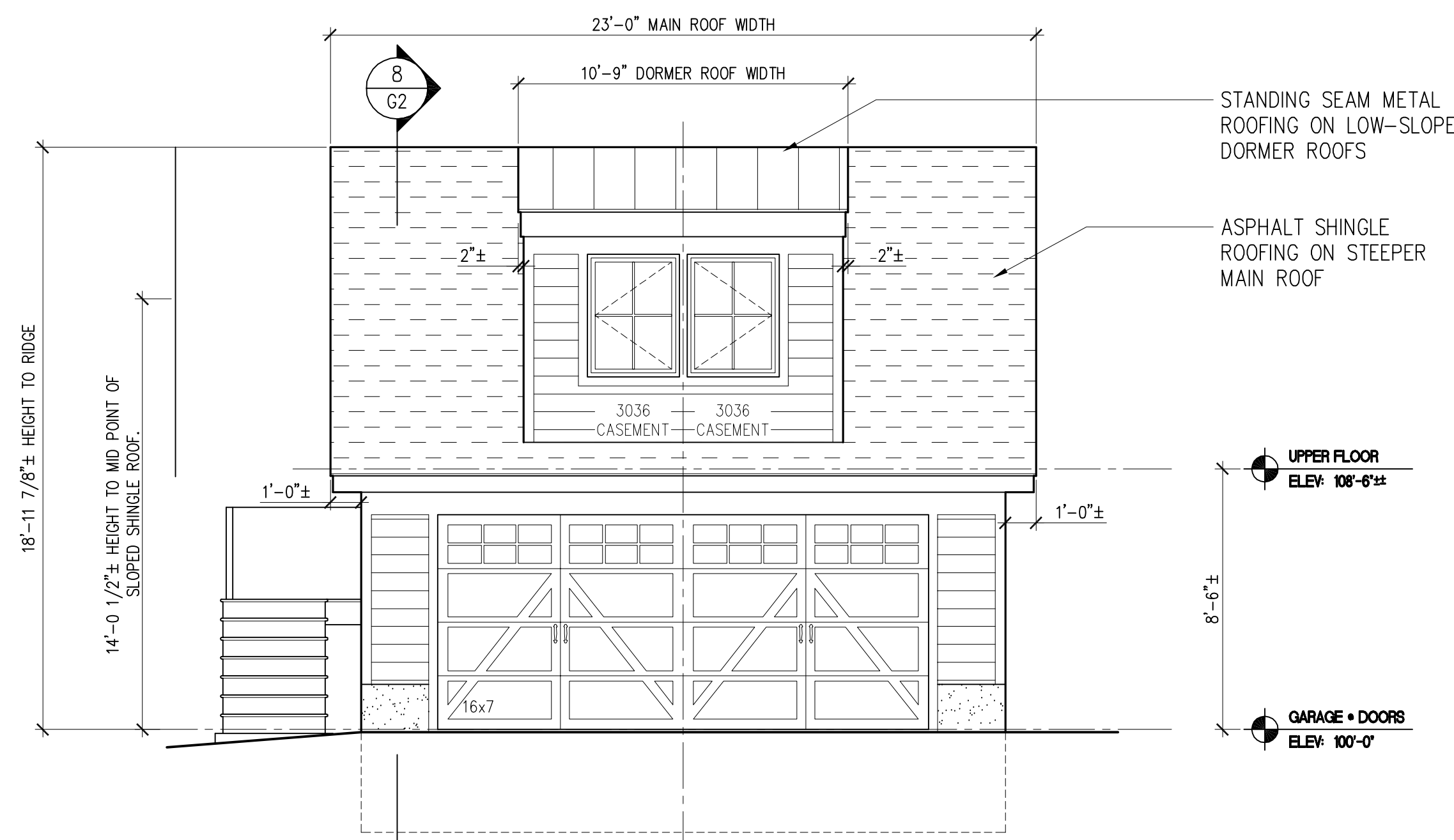
The screenshot displays the mcatlas.org mapping viewer interface. On the left, a vertical sidebar lists various map layers, each with a search icon and a three-dot menu. The layers listed are: Boundary, Points, (In Progress), (Adopted), City Funding Area, ts, Floodplains, gions (RSC), Protection Areas, ion Buffers - One Mile, ion Buffers - Half Mile, ea Work Permits, Reservation Program Database, Areas with MPDU Requirement MP, Areas with MPDU Requirement HI, strative Letters, ds, and Street Names (CLINES). The main map area shows a residential neighborhood with orange-outlined lots and grey building footprints. A specific building footprint is highlighted with a thick black outline. A street labeled 'Keswick St' runs vertically through the map. At the top of the map area, there is a search bar with the text 'Find address or place' and a search icon. Below the search bar are several navigation and tool icons, including a plus sign, a minus sign, a home icon, a clock icon, a 3D map icon, a terrain icon, and a street view icon.





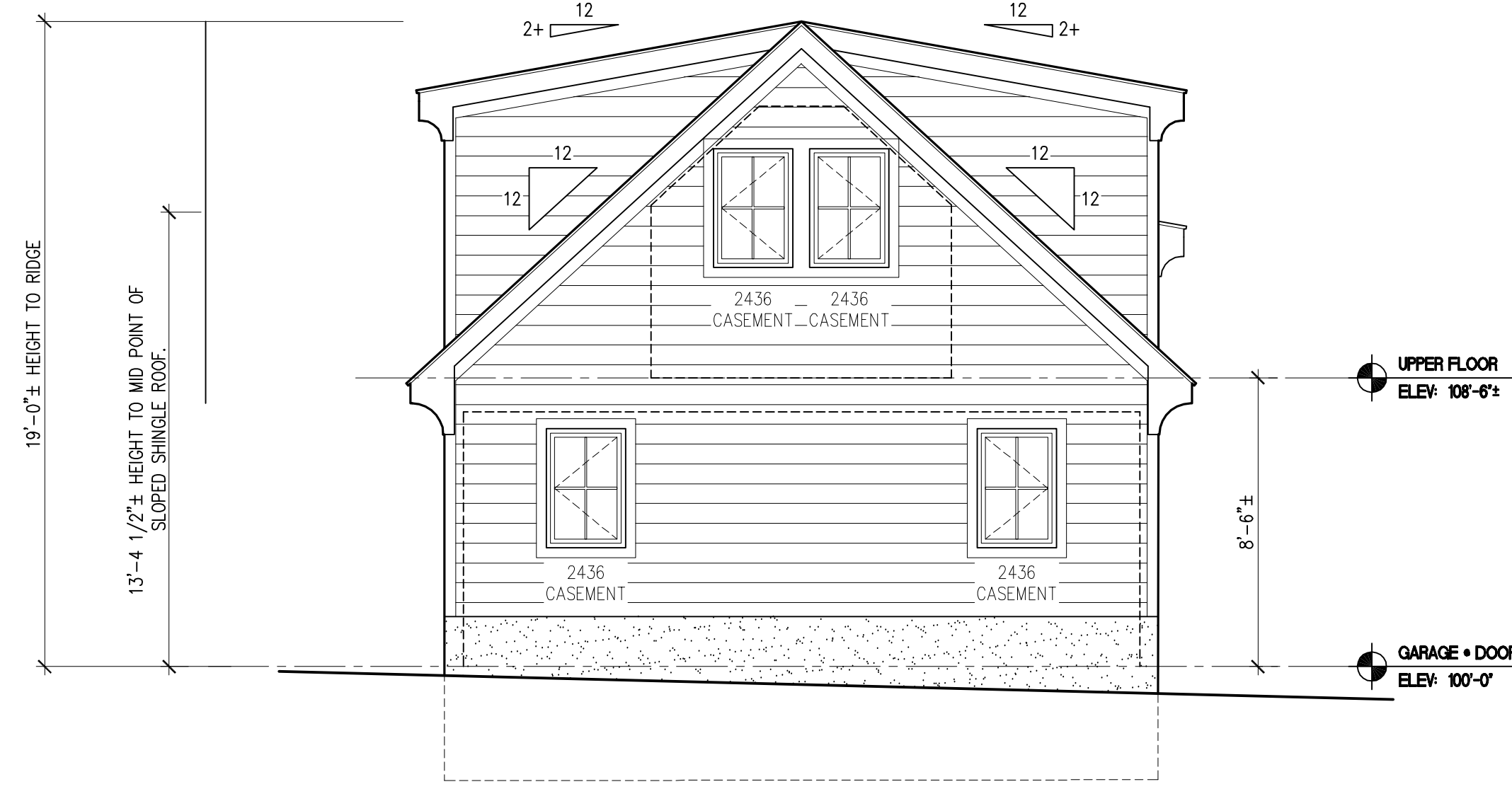




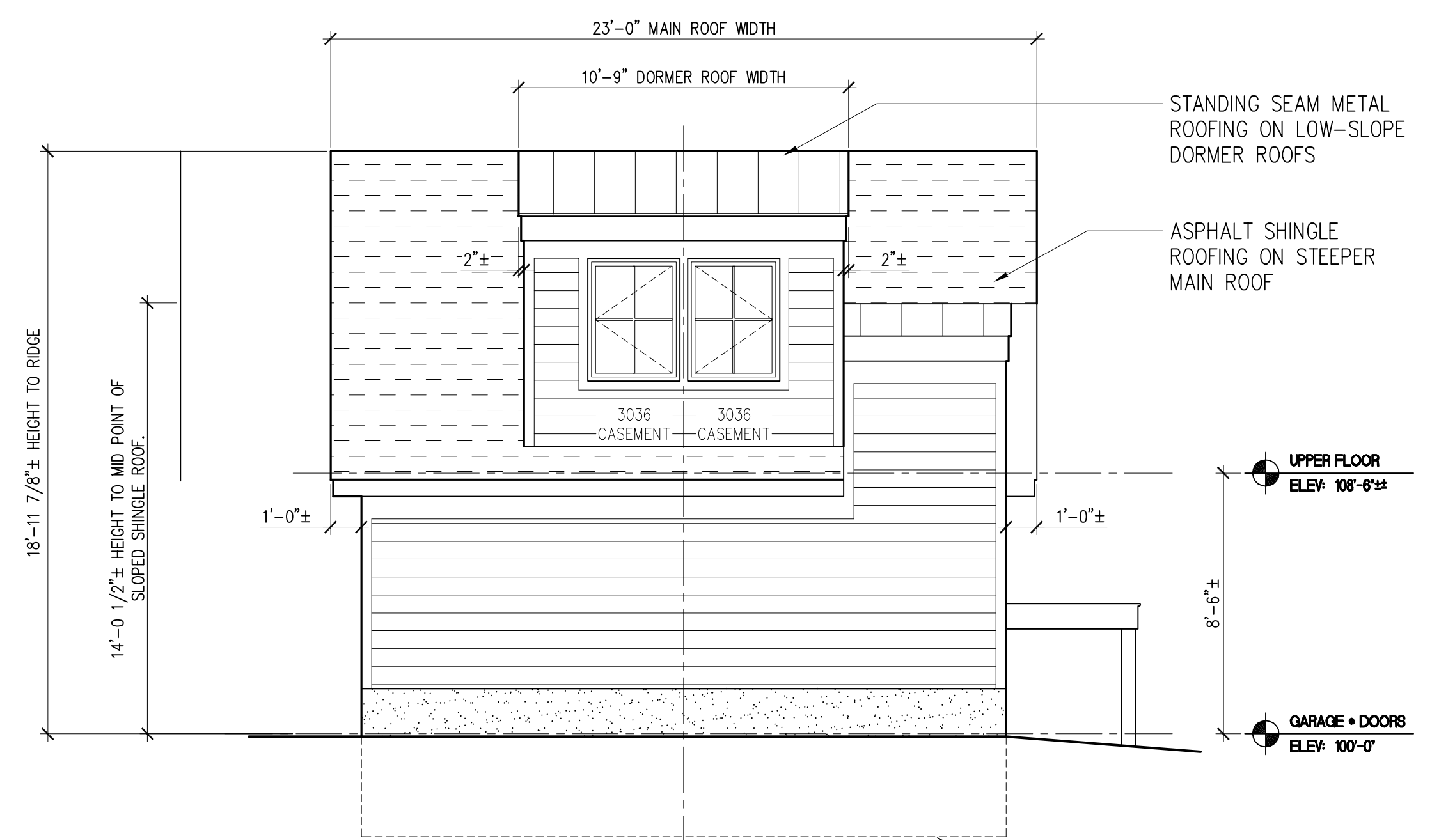


**1 FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"

CENTERLINE OF GARAGE, GARAGE DOORS, DORMER AND UPPER WINDOWS.



**2 RIGHT ELEVATION**  
SCALE: 1/4" = 1'-0"



**3 REAR ELEVATION**  
SCALE: 1/4" = 1'-0"

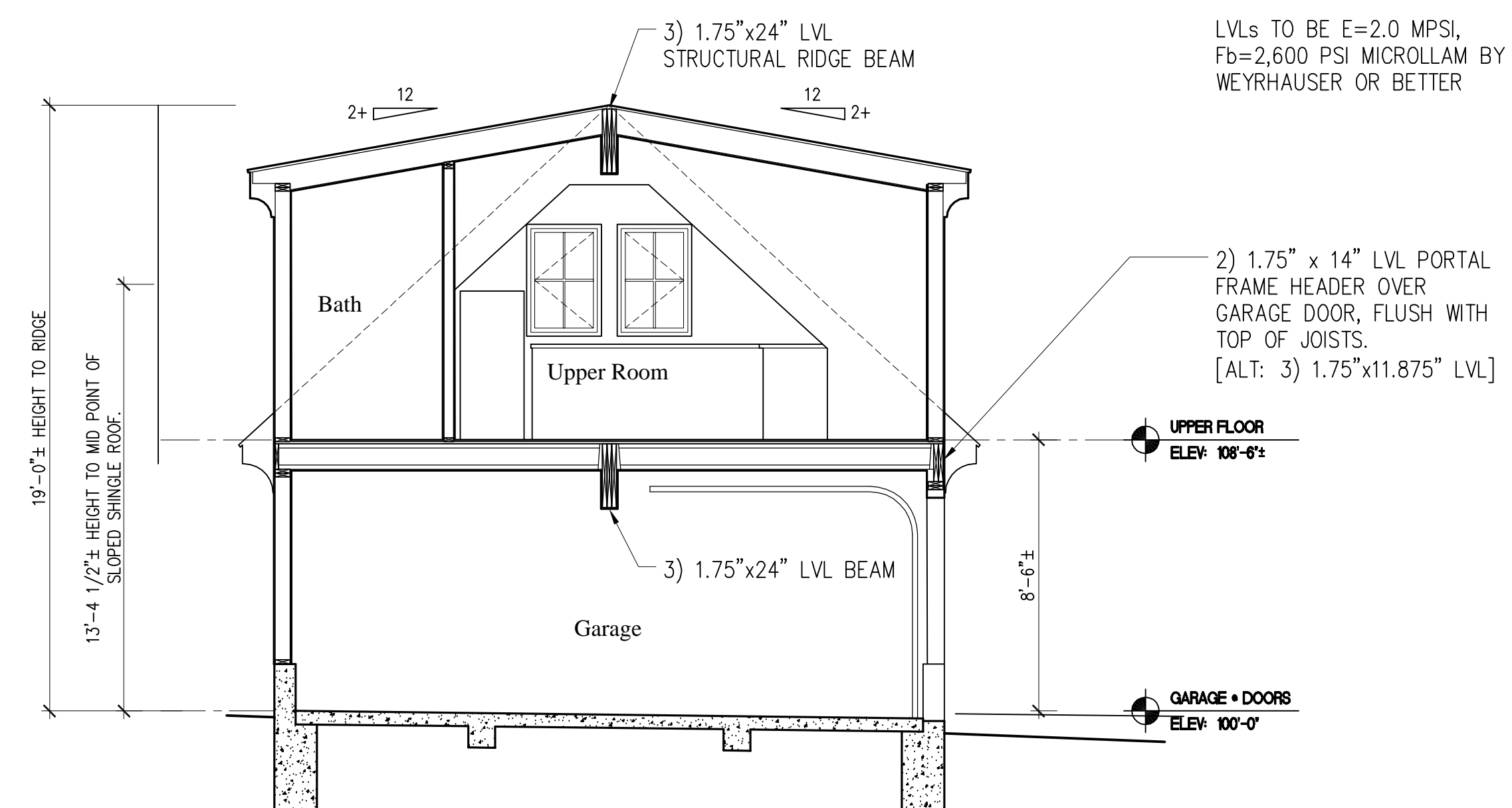
CENTERLINE OF GARAGE, GARAGE DOORS, DORMER AND UPPER WINDOWS.

BOTTOM OF FOOTINGS MINIMUM 30" BELOW AREAWAY

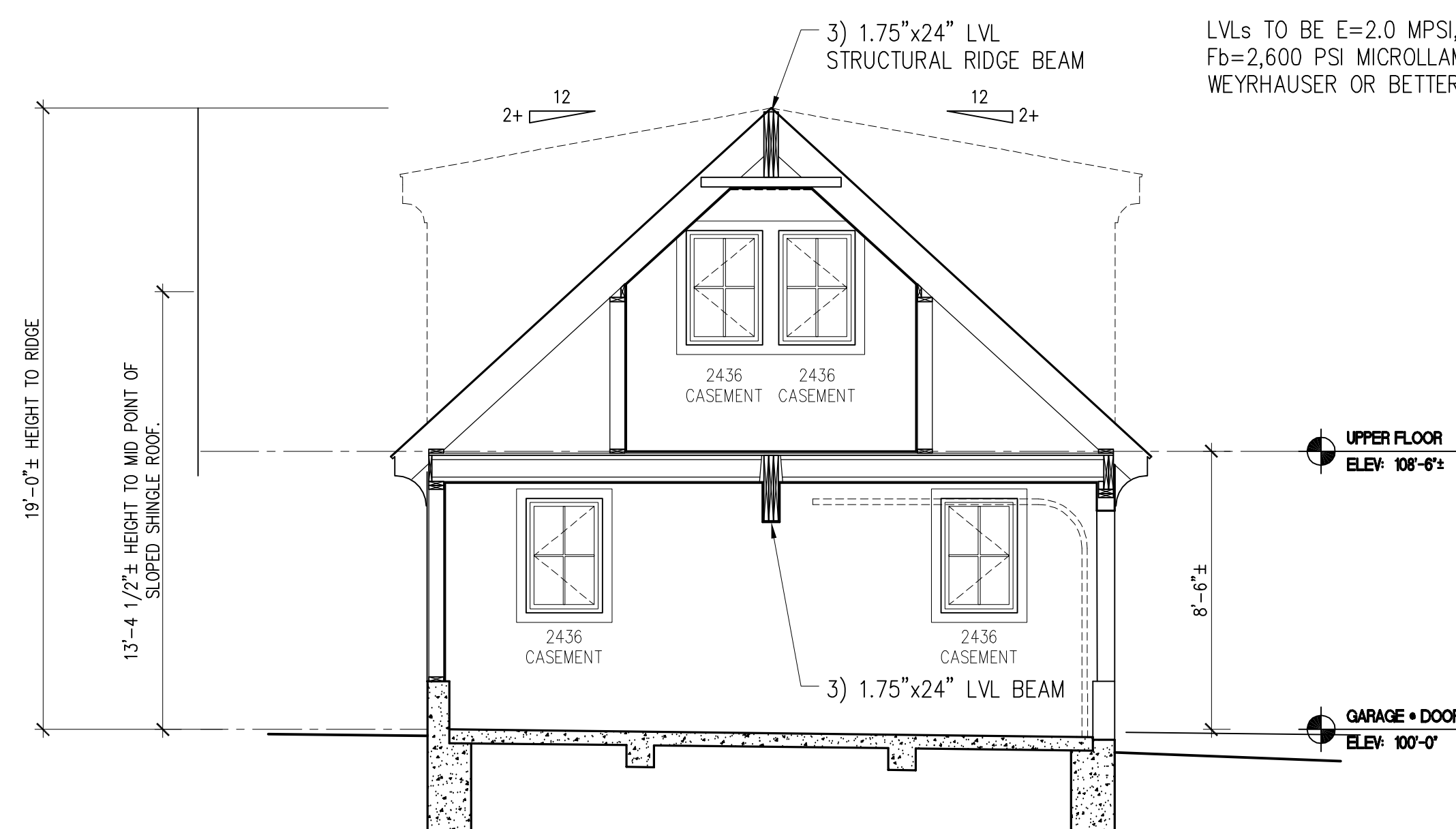


**4 LEFT ELEVATION**  
SCALE: 1/4" = 1'-0"

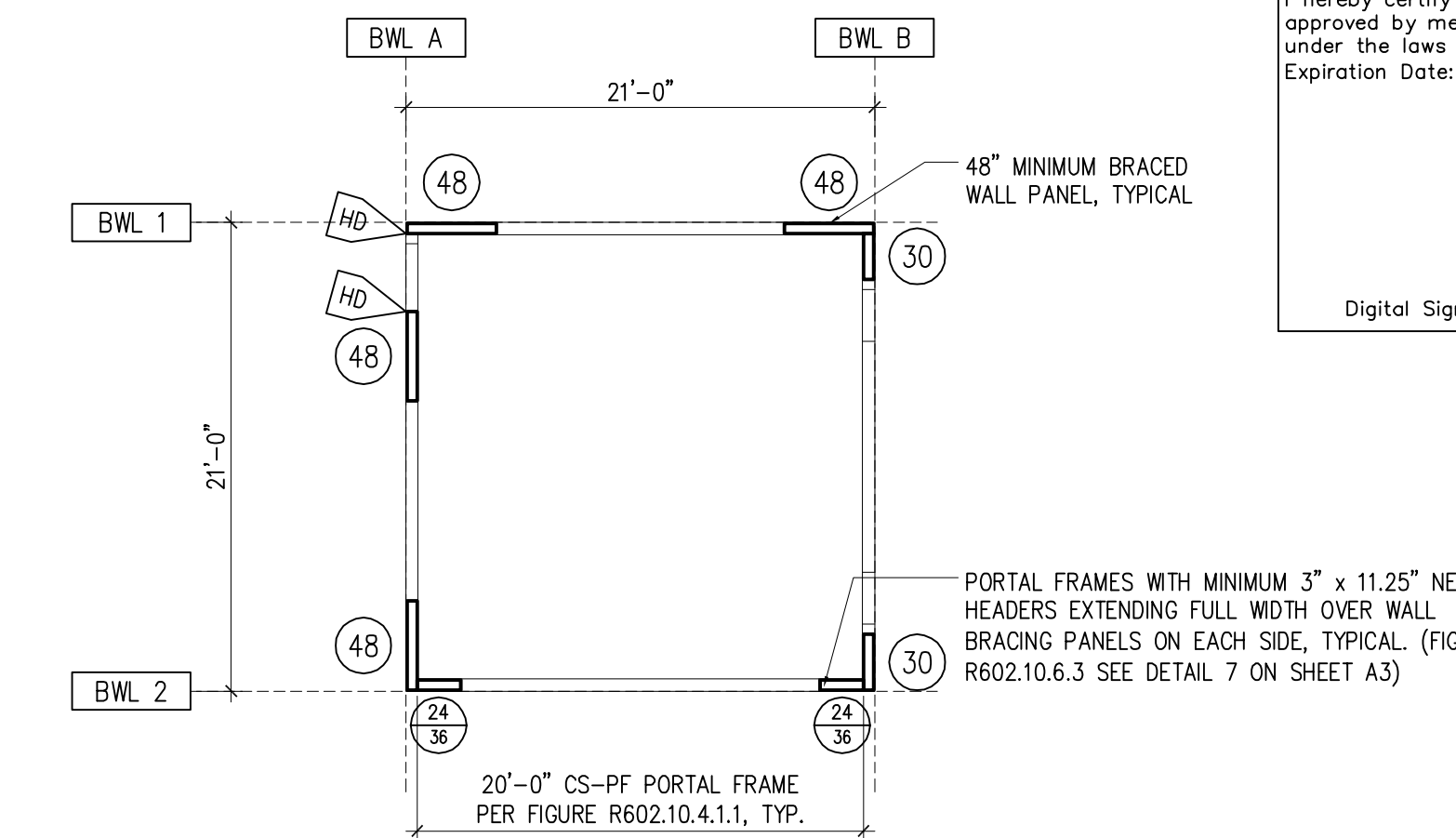
**THERMAL DESIGN FOR SPACE ABOVE GARAGE:**  
1) FLOOR: R-19 OVER GARAGE, BELOW UPPER LEVEL.  
2) WALLS: R-21 IN EXTERIOR WALLS.  
3) ROOF/CEILING: R-38 BETWEEN RAFTERS EXTENDING AT FULL THICKNESS OVER THE EXTERIOR WALL PLATES.  
4) NOTES ON A6 APPLY TO THE SPACE ABOVE THE GARAGE.



**5 GARAGE SECTION A-A**  
SCALE: 1/4" = 1'-0"



**6 GARAGE SECTION B-B**  
SCALE: 1/4" = 1'-0"



**7 GARAGE FIRST FLOOR WALL BRACING**  
SCALE: 1/8" = 1'-0"

MINIMUM WALL BRACING LENGTH [Table R602.10.1.3(1)]					
WALL LINE	SPACING	BWL	TYPE	BRACING REQUIRED:	NOTES
BWL 1	21'	2	CS-WSP	4.4' 8"	
BWL 2	21'	2	PF	4.4' 6"	PORTAL FRAME AT GARAGE DOOR
BWL A	21'	2	CS-WSP	4.4' 5"	
BWL B	21'	2	CS-WSP	4.4' 8"	

TABLE REQUIREMENTS ADJUSTED FOR < 8' (0.90) WALL HEIGHT.

**FRAMING NOTES:**

- CS-WSP = CONTINUOUS SHEATHING WITH WOOD STRUCTURAL PANELS.
- 48 DENOTES MIN. 48" WIND BRACING PANEL.
- # DENOTES A WIND BRACING PANEL THE MINIMUM LENGTH INDICATED, IN INCHES.
- PROVIDE SQUASH BLOCKING BELOW ALL POSTS & MULTIPLE STUDS.
- ACTUAL LENGTH OVER CONTRIBUTING LENGTH (FOR CS-PF, CONTRIBUTING LENGTH = 1.5 ACTUAL LENGTH PER TABLE R602.10.5)
- HD DENOTES MIN. 800# HOLD DOWN STRAP.

**WALL BRACING:**

ALL EXTERIOR WALLS SHALL BE BRACED PER R602.10. NO INTERIOR WALL BRACING IS NEEDED IN THE GARAGE ON THIS PROPERTY.

ALL EXTERIOR WALLS SHALL BE CONTINUOUSLY SHEATHED IN WOOD STRUCTURAL PANELS IN CONFORMANCE WITH IRC R602.10.4. BRACED WALL PANELS SHALL BEGIN NO MORE THAN 10.0 FEET FROM EACH END OF EACH BRACED WALL LINE AND THE DISTANCE BETWEEN BRACED WALL PANELS SHALL NOT BE GREATER THAN 20.0 FEET.

**MINIMUM LENGTH OF BRACED WALL PANELS PER TABLE R602.10.10.5:**

FIRST FLOOR: < 8' CEILINGS:  
NEXT TO OPENINGS UP TO 64" HIGH: 24"  
NEXT TO 80" HIGH OPENINGS: 32"  
NEXT TO 84" HIGH OPENINGS: 35"  
EACH LEG OF 8' HIGH PORTAL FRAME: 16" MIN.

**THERMAL ENVELOPE:**

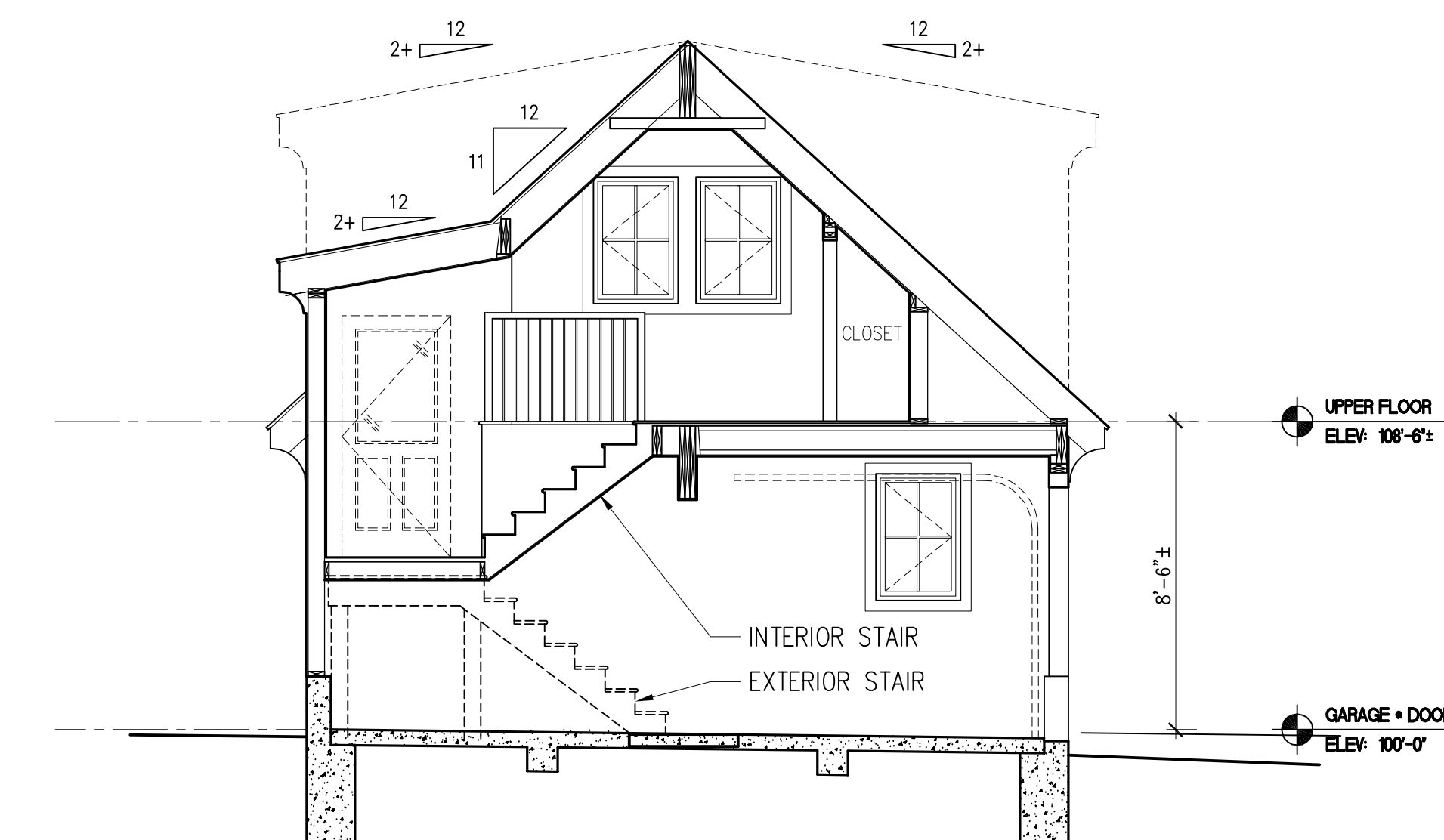
GARAGE WALLS: NONE, UNCONDITIONED SPACE

DORMER WALLS: R-20 MINIMUM

GARAGE CEILING: R-30 MINIMUM

UPPER FLOOR CEILING: R-49 MINIMUM

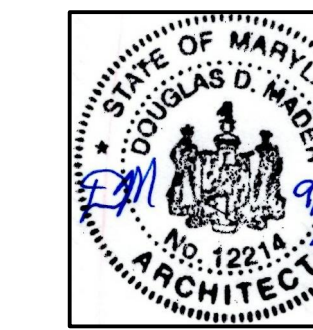
SEE SHEET A6 FOR ENERGY CONSERVATION DETAILS



**8 GARAGE SECTION C-C**  
SCALE: 1/4" = 1'-0"

PROFESSIONAL CERTIFICATION:  
I hereby certify that these drawings were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland, License No. 12214. Expiration Date: 8/24/2027.

Digital Signature above for Douglas Mader, AIA



**Douglas Mader, AIA**  
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**GARAGE ELEVATIONS**

Job #: 25-05  
Drawn by: DDM  
Date: 9/23/26  
Revisions: