

*Preliminary Consultation*  
**MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION**  
**STAFF REPORT**

<b>Address:</b>	7315 Brookeville Rd., Chevy Chase	<b>Meeting Date:</b>	1/21/2026
<b>Resource:</b>	Individually Listed Master Plan Site <b>Simpson Family House (35/72)</b>	<b>Report Date:</b>	1/14/2026
<b>Applicant:</b>	Paul and Brandy Carlson Matt McDonald, Architect	<b>Public Notice:</b>	1/7/2026
<b>Review:</b>	Preliminary Consultation	<b>Staff:</b>	Dan Bruechert
<b>Proposal:</b>	Partial demolition, construction of new one-story rear addition and screened porch, and hardscape alterations.		

**STAFF RECOMMENDATION**

Staff recommends the applicant make any revisions recommended by the HPC and return for a HAWP.

**ARCHITECTURAL DESCRIPTION**

**SIGNIFICANCE:** *Individually Listed Master Plan Site: Simpson Family House (35/72)*  
**STYLE:** Queen Anne/Colonial Revival  
**DATE:** 1905



*Figure 1: The Simpson House was constructed on a 3.2-acre site that has been subdivided over the years.*

From the *1999 Chevy Chase Individual Sites – Amendment to the Approved and Adopted Master Plan for Historic Preservation*:

“The subject property is one of 20 individual sites located in Chevy Chase Section 3, Section 5, and in the vicinity of Martin’s Additions.

The Simpson Family House was built by and inhabited by a prominent local family of carpenter-builders. The property served as the headquarters for the Simpson-Troth building consortium which built many houses in the Chevy Chase area. In 1905, John Simpson, Jr. purchased the 3.2 acre lot from No Gain’s Griffith family and constructed the house. After his death in 1919, his brother Frank moved to the house from his Williams Lane residence. Frank and John, Jr. and their seven siblings had grown up in the area, on Jones Mill Road, and were strongly influenced by their family’s close knit relationship and by their father’s occupation as a builder. Many of them either worked or had spouses or children in the construction business, and their extended families worked together.

The Simpson Family House represents the manufacturing business which once took place on the property. The center of the construction business, the land was once dotted with barns and outbuildings for milling, woodworking, and warehousing.

The Simpson Family House is an outstanding, well-preserved example of an American Foursquare house, characterized by its two-story cubic shape, low pyramidal roof, hipped dormers and full width porch. This example is particularly noteworthy for its refined details including slender paired porch columns set on brick piers, substantial hip roofed dormers with battered walls, Union Jack sash windows, and side bay window with roof balustrade.”

## **BACKGROUND**

The HPC approved a HAWP at the subject property on March 26, 2021 to demolish a non-historic rear addition, remove the existing swimming pool, and construct a new addition at the rear with a screened-in porch.

On January 6, 2021, the HPC held a Preliminary Consultation to evaluate the proposed design. Revisions included reducing the projection on the left elevation from 9’ (nine feet), which commissioners were divided about, to 2’ 4” (two feet, four inches), and eliminating the proposed porte-cochere.

## **PROPOSAL**

The applicant proposes to demolish the existing screened-in porch, construct a one-story rear addition in its place, and construct a new screened-in porch to the rear.

## **APPLICABLE GUIDELINES**

Proposed alterations to individual Master Plan Sites are reviewed under Montgomery County Code Chapter 24A (Chapter 24A) and the *Secretary of the Interior’s Standards for Rehabilitation*. Rehabilitation is defined as the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values.

**Montgomery County Code; Chapter 24A-8**

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to ensure conformity with the purposes and requirements of this chapter, if it finds that:
  - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
  - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or

**Secretary of the Interior’s Standards for Rehabilitation:**

- 2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
- 9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportions, and massing to protect the integrity of the property and its environment.
- 10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

**STAFF DISCUSSION**

The subject property is a two-story American Foursquare with a full width front porch. In 2021, the HPC approved a HAWP that included the demolition of a non-historic rear additions, filled in the swimming pool, and constructed an addition at the rear with a screened in porch (see *Figure 2*, below). Demolishing the existing garage and the construction of a new detached garage was also approved.



**Figure 2: Existing right elevation showing the historic (left) and contemporary addition (right).**

The applicant proposes to demolish the existing rear screened-in porch, construct a rear one-story addition, and construct a new screened in porch.

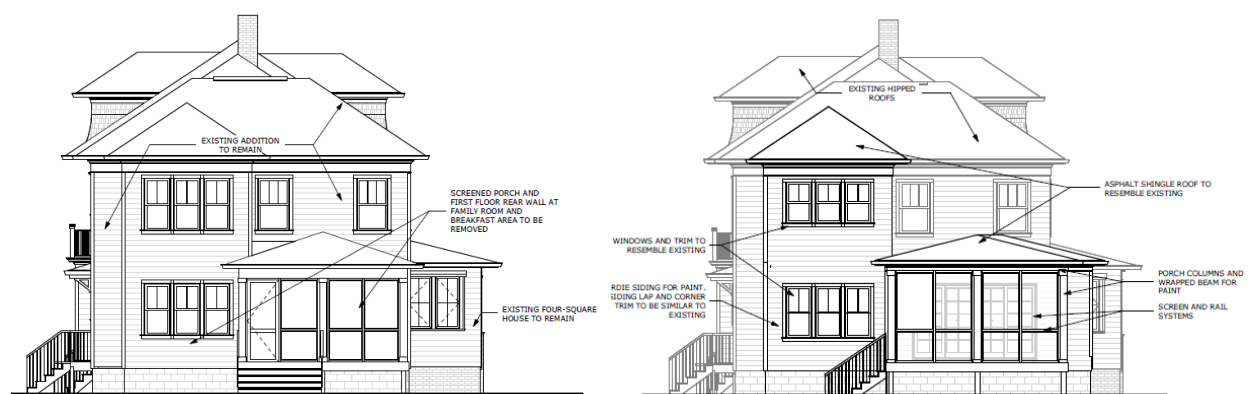
Finally, the applicant proposes to revise the existing hardscaping behind the house.

### Partial Demolition

The existing screened-in porch was approved by the HPC in March 2021, is not historic, and touches the non-historic addition. Staff finds demolition of this non-historic construction will not impact the historic character of the site and it should be approved under 24A-8(b)(1) and (2) and *Standards #2 and 10*.

### Rear Addition

At the rear of the addition, the applicant proposes to construct a new one-story rear addition. The addition will be approximately 18' × 30' (eighteen feet deep by thirty feet wide) and will project beyond the right wall plan by 4' (four feet). The addition will have a hipped roof and will match the trim, window, and door details from the 2021 approval. Materials for the proposed addition will match the 2021 addition including fiber cement siding, architectural shingles, clad windows, and a brick foundation.



**Figure 3: Approved 2021 rear elevation (left) and proposed revision (right).**

Staff finds the materials are appropriate, as they are consistent with what the HPC previously approved for new construction at the subject property several years ago.

The primary purpose for this Preliminary Consultation is consideration of the appropriateness of the size, placement, and massing of the proposed addition, or any additional construction at the subject property. The subject property is an individually listed Master Plan site, so even though its construction is associated with the larger Chevy Chase Village Historic District, it is only to be evaluated under 24A and the *Standards*.

To better organize the analysis of the proposed new construction, Staff will divide the analysis into three different sections, see the proposed floor plan in *Figure 4*, below. First, the two-story bump out in the southeast corner of the house (Section #1). The second section will focus on the extension on the northern portion of the rear elevation (Section #2). Finally, the third section will evaluate the appropriateness of the new rear screened-in porch (Section #3).

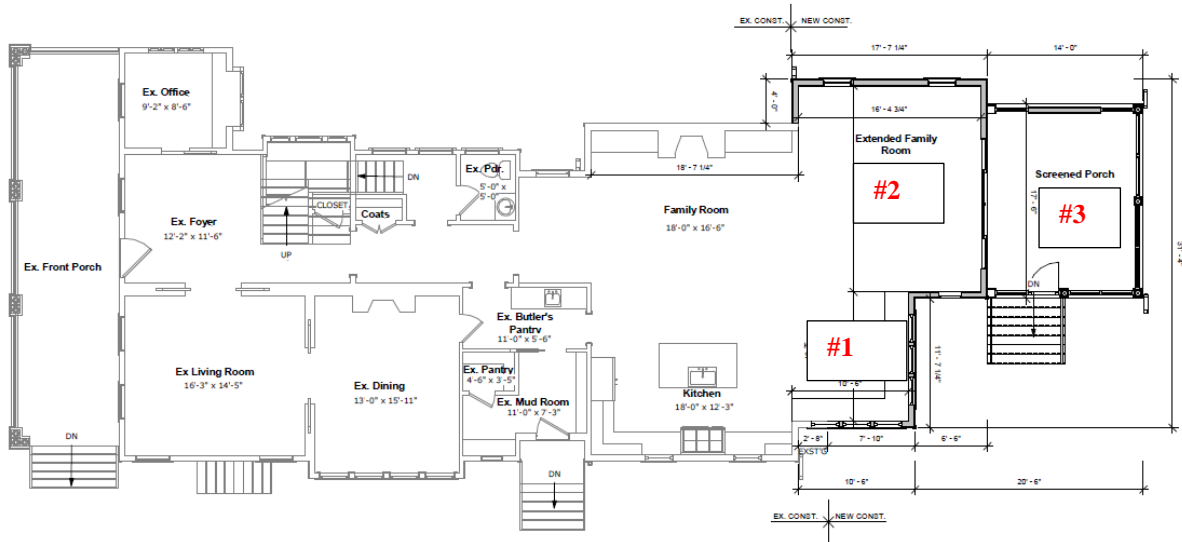


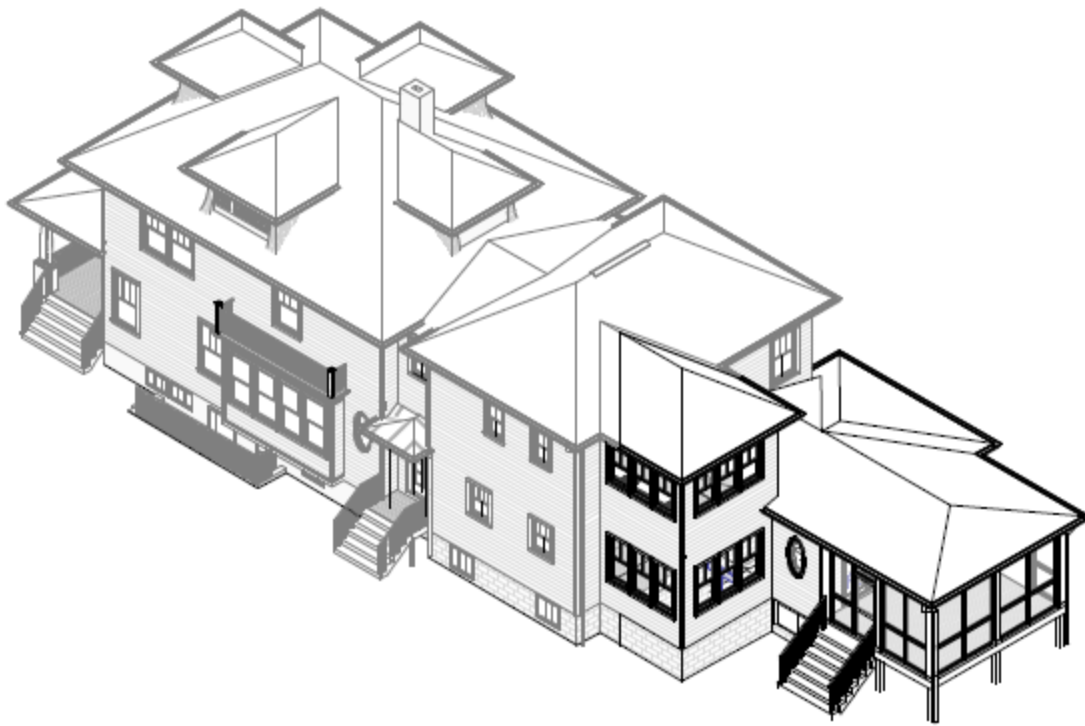
Figure 4: Proposed floorplan with the sections discussed in the Staff Report labeled.

#### Section#1

In the southeast corner of the house, the applicant proposes to construct an addition, approximately 7' × 11' 7" (seven feet deep by eleven feet, seven inches wide). This section of the addition (shown as #1) will have a hipped roof with a triple sash window assemblies on both the first and second stories of the south and east elevations. This addition is inset from the 2021 addition by at least two feet. Staff finds this section of the addition reads a new construction separate from the historic Foursquare. Staff finds that while this construction will add to the massing, it does not detract from house's historic form and finds the design is compatible with the historic house detailing (see Fig. 6). Staff finds this portion of the rear addition is appropriate under 24A-8(b)(2) and *Standards* #2, 9, and 10.



Figure 5: The projecting bay, circled in yellow, will extend approximately 7' (seven feet) further to the rear.



*Figure 6: Bird's eye axonometric showing the rear of the subject house with the new construction highlighted.*

#### *Section#2*

On the northern half of the rear addition (shown as #2), the applicant proposes to construct an addition in place of the historic screened in porch. This section of the addition is 17' 7 1/4" × 18' 6 1/4" (seventeen feet, seven and one-quarter inches deep, by eighteen feet, six and one quarter inches wide) and has a hipped roof and multi-lite sash windows matching the others installed in the addition. Unlike the southern addition, which is inset from the wall planes, this section of the addition projects beyond the existing wall plane by 4' (four feet). Additions are typically required to be inset of the historic construction so that the historic massing is preserved and so the historic construction retains its primacy. The 2021 approved addition projects 2' 4" (two feet, four inches) beyond the wall plane of the historic. The HPC concurred with Staff's evaluation and recommendation as part of that HAWP that the projection would not impact the historic character for two reasons. First, a portion of the front porch had historically been enclosed to create an office. This space projects 8' 6" (eight feet, six inches) and obscures much of the northern elevation when viewed from Brookville Rd. (see *Fig. 7*, below) The second reason the HPC found the projection would not have a substantial impact on the character of the house was the design of the proposed hyphen. The hyphen was inset from the historic wall plane and designed to create a visual break to separate the historic from the new construction. Staff notes that several commissioners supported a larger 9' (nine foot) setback when the concept was originally presented to the HPC at the January 2021 Preliminary Consultation. The proposed addition will project an additional 4' (four feet) from the addition's north wall plane, meaning the north wall plane of the proposed addition projects 6' 7" (six feet, seven inches) from the historic wall plane. This wall will still be inset from the historic office enclosure at the front of the historic house by nearly 2' (two feet).

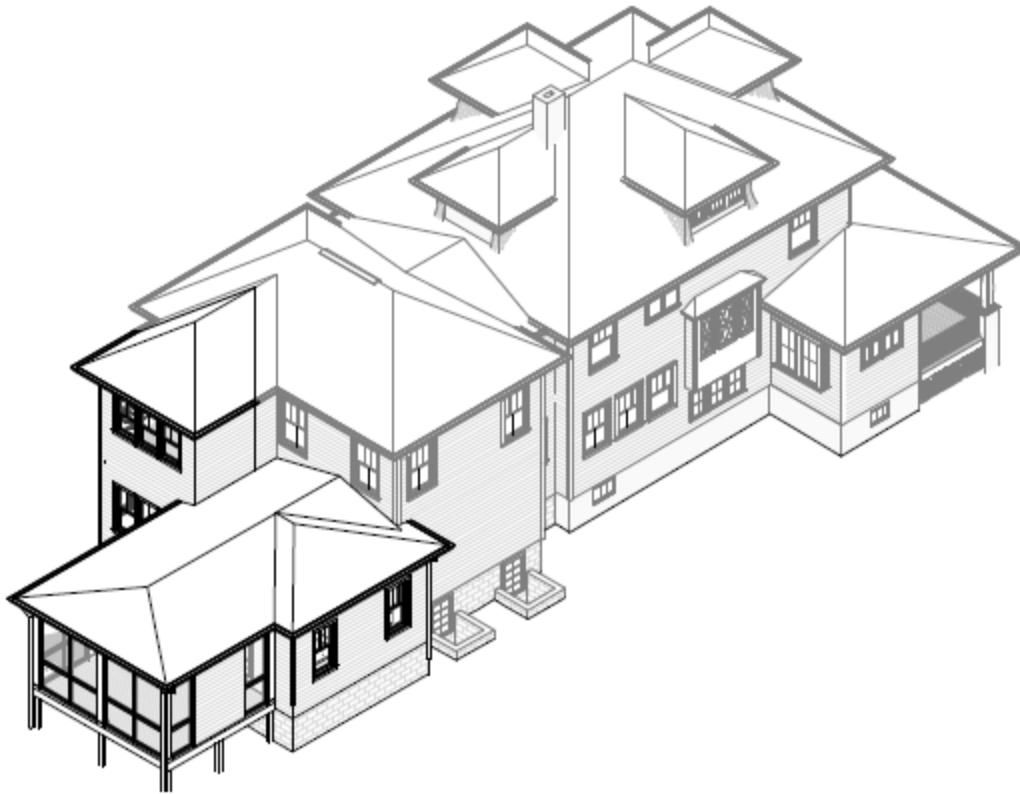


**Figure 7: Perspective showing the left side of the house with the addition and existing screened-in porch visible to the rear.**

Staff finds even though the addition projects beyond the wall plane, it is appropriate for several reasons. First, the proposed addition is only one-story tall, which minimizes the impact of the addition's overall massing to the historic portion of the Simpson House (per *Standard #2* and 24A-8(b)(2)). Second, this section of the addition is more than 20' (twenty feet) to the rear of the historic rear wall plane. This amount of separation ensures the addition reads as distinct construction that is differentiated from the historic (per *Standard #9*). Third, this section of the addition only touches new fabric, so it will not impact any of the historic materials at the Master Plan Site. Fourth, it will be feasible to demolish this portion of the addition in the future and return the house to its historic configuration (per *Standard #10*).

### *Section#3*

The final portion under consideration is the proposed screened in porch (#3 in the floorplan shown in *Figure 4*). This will be constructed to the rear of the norther portion of the addition and will be covered in a hipped roof, with wrapped columns and beams, and a new set of side-loading stairs. The majority of the north elevation of the porch will have a solid wall of fiber cement clapboards, flanked by two large screens. The screened in porch measures 14' × 17' 6" (fourteen feet deep by seventeen feet, six inches wide) which is nearly identical to the size of the existing screened in porch. Staff finds the proposed screened-in porch will largely be obscured by the addition to its west (discussed above). Staff additionally finds that the materials and design are consistent with the HPC's previously approved rear porch.



*Figure 8: Bird's eye axonometric view from the northwest.*

Staff finds the overall impact of the proposed additions is appropriate under the requisite guidance. However, Staff also finds that no additional construction could be accommodated at the subject property, beyond what is currently proposed, without detracting from the historic character of the site.

### **Hardscape Alterations**

Behind the house, there is a rectangular paved patio and widened driveway, which provides access to the side-loading garage. The applicant proposes to remove the existing patio to accommodate the proposed new construction, discussed above.



*Figure 9: 2025 aerial photograph of the front half of the subject property.*

Information presented by the landscape architect appears to be preliminary and the site plan is not dimensioned. New hardscaping includes:

- A cobble stone garage apron;
- A rectangular flagstone patio;
- A flagstone fire pit area;
- A cabana with an outdoor kitchen;
- A flagstone pad and storage/trash enclosure adjacent to the garage; and
- Associated retaining walls, privacy walls, and plantings.

Based on Staff's observations of the site, no existing trees will be impacted by the new hardscaping.

Staff finds the nearly .75-acre site can accommodate additional hardscaping without detracting from the overall historic character.

Generally, Staff finds the type of work proposed is compatible with the site and with dimensions and full specifications, Staff expects to support the work. Staff notes the run of the stairs on the landscape plans and the submitted architectural plans is not consistent and should be clarified before the HAWP submission.

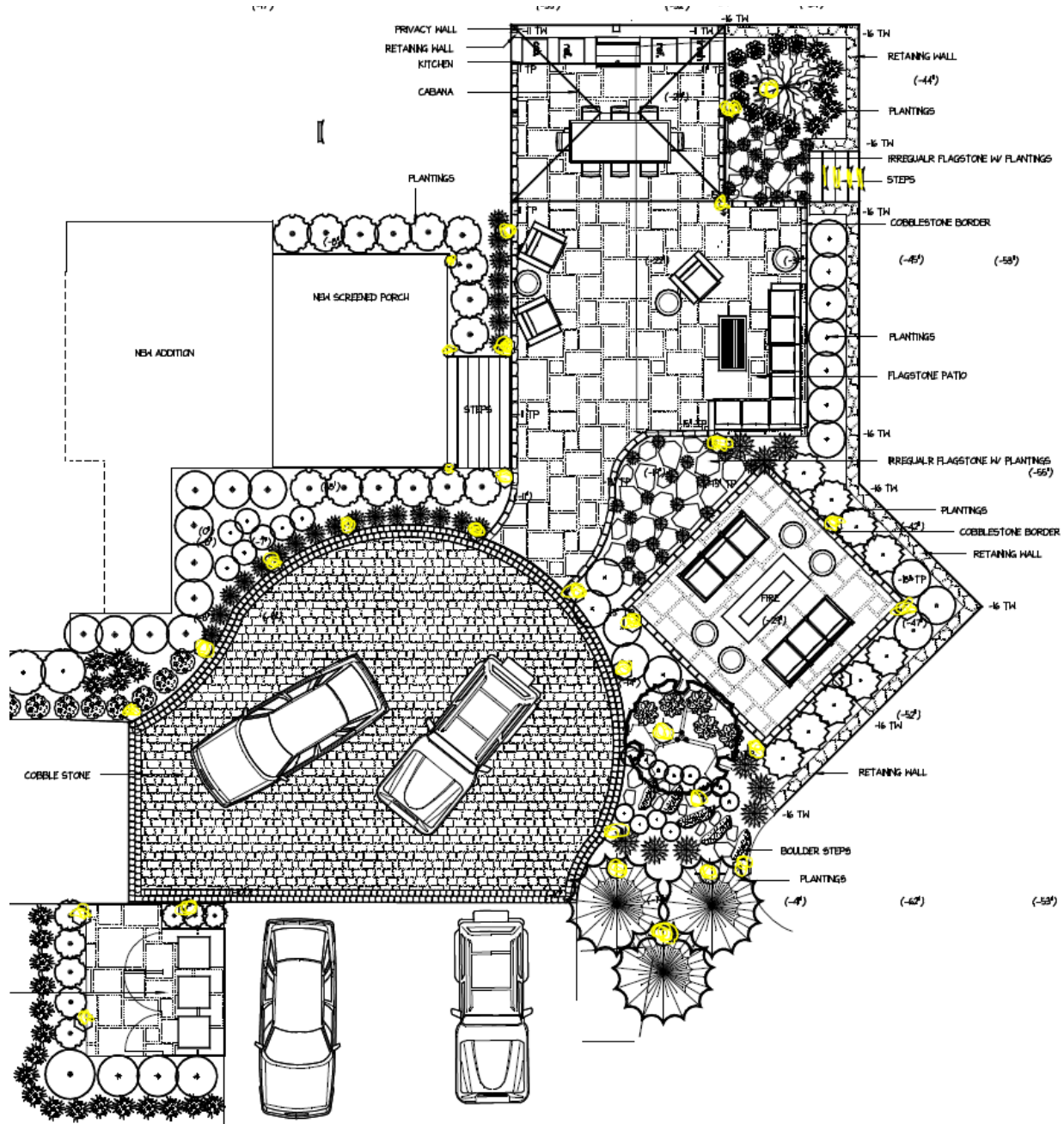


Figure 10: Proposed landscape plan.

Staff has concerns about the compatibility of the proposed cabana and its privacy wall. These concerns stem from the location proposed, which is approximately 10' (ten feet) of the rear wall of the screened-in porch. This proximity will add to the overall sense of mass of the house and risks approaching a tipping point where the new construction (including the 2021 addition) overwhelms the historic construction and fails to satisfy 24A-8 and the *Standards*. As dimensions, elevations, and materials for this structure were not provided, Staff is unable to provide more substantive feedback on this feature. Staff finds that to be compatible with the character of the site, any cabana needs to be placed entirely behind the house and further separated from the house and its porch.

The final landscape plan submission needs to include:

- Dimensions and lot coverage calculations;

- Elevation drawings for any proposed structures;
- The height of any retaining walls or privacy walls; and
- Materials and design specifications for any storage or trash enclosures.

Staff finds it is not necessary to include the landscape/hardscape plans with the HAWP for the proposed building additions. The landscape plans could be submitted at a later date and the HPC's evaluation of those alterations would include the impact on any approved but unbuilt elements.

**Requested Feedback**

Staff requests feedback from the HPC regarding:

- The appropriateness of the southeast addition;
- The appropriateness of the northeast addition, particularly the projection beyond the existing wall plane;
- The appropriateness of the rear screened-in porch;
- The appropriateness of the cabana and privacy wall; and,
- If the HPC concurs with Staff's finding that after the proposed construction, the subject property cannot accommodate additional construction.

**STAFF RECOMMENDATION**

Staff recommends the applicant make any revisions recommended by the HPC and return for a HAWP.

**Description of Property:** Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

The site, located at 7315 Brookville Road and referred to as the Simpson Family House, is a property listed on the Maryland Historical Trust. Built c1905 on the east side of Brookville Road in Chevy Chase by a local carpenter/builder John Simpson. The main structure is a 2-1/2 story American Four-square house set back from the road on a large wooded lot. Designed in a Colonial Revival style with craftsman details on a wood frame structure with weatherboard walls. The typical window type is a 3/1 Double hung. The roof is hipped with wide overhanging eaves and clad with asphalt shingles. The hipped roof has three hipped dormers with small square casement windows with cross panes. A three-bay porch with a hipped roof extends across the front facade. It is supported by paired attenuated Doric columns on brick piers with spindle railings between.

There is an existing two-story rear addition that was permitted/built in 2021. The addition was a wood frame structure with weatherboard siding and corner trim. The detailing/trim is similar to the existing four-square structure and has 3/1 double hung windows of similar size and proportion. The roofs are hipped with wide overhanging eaves and clad with asphalt shingle. The old and the new structures are differentiated by an off set at the right and left elevations of the addition. This allows the existing four-square structure and its hipped roof to be visually separate from the rear addition. The hipped roofs over the rear addition are also lower in elevation than the hipped roof of the historic structure. The rear addition includes a one-story screened porch.

The site is mostly flat with a slight slope towards the rear. The North side of the property is heavily vegetated blocking clear views of the left elevation.

**Description of Work Proposed:** Please give an overview of the work to be undertaken:

The proposed project will remove the existing screened porch at the rear facade and part of the rear breakfast bay on the first floor.

We are proposing a two-story addition that extends the breakfast area and primary bath. There will be a one-story addition to expand the family room and place a new screened porch at the rear of the addition.

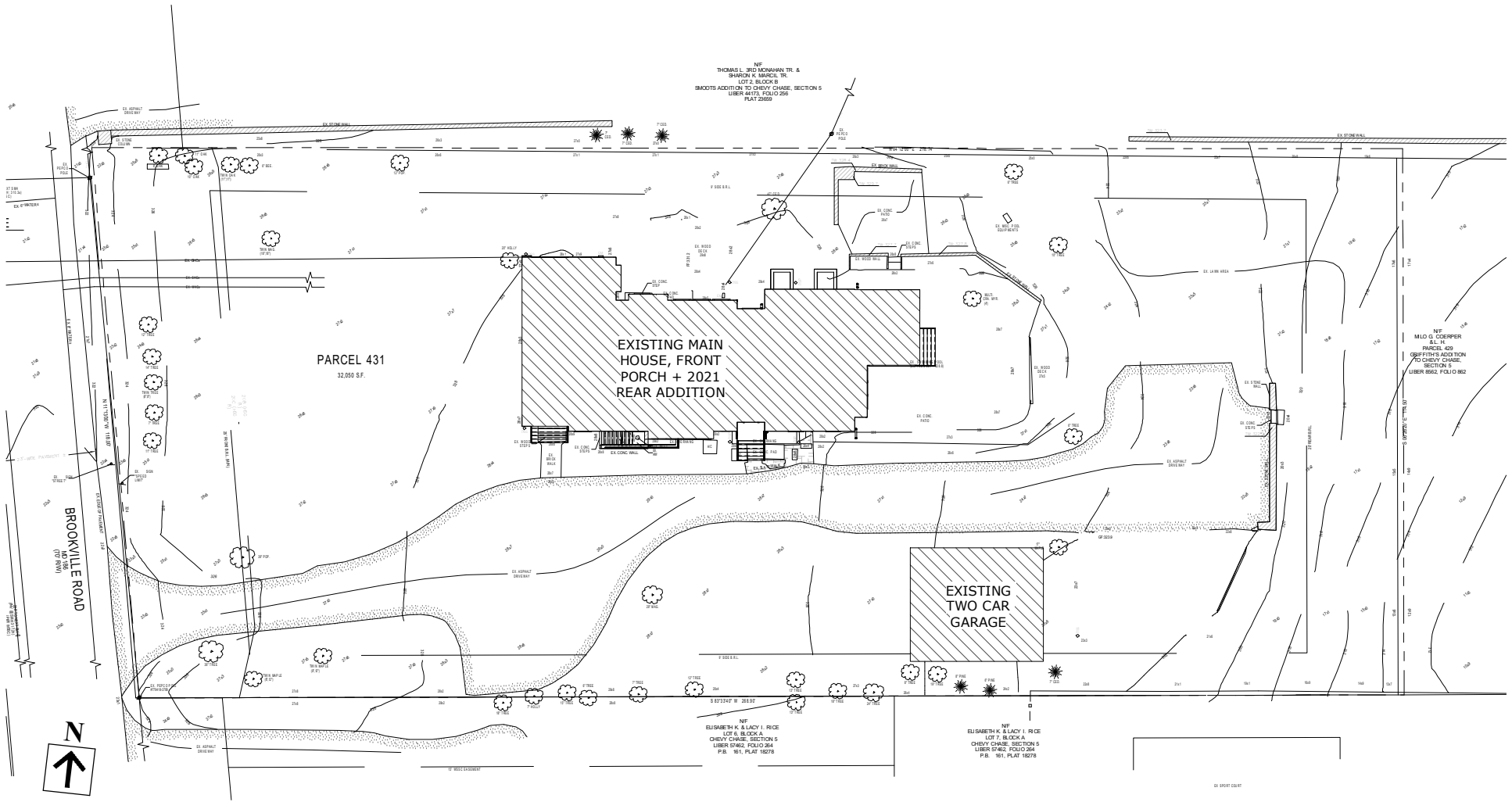
To protect the historic integrity of the project the proposed addition will be compatible with the massing, scale and architectural features of the existing house. The proposed addition will be a wood frame structure with weatherboard siding and corner trim. The detailing/trim will be similar to the existing four-square structure and will have 3/1 double hung windows of similar size and proportion. The roofs will be hipped with wide overhanging eaves and clad with asphalt shingle. This addition will not touch the original Simpson House structure, but will connect to the 2021 addition at the rear. The addition will be minimally visible from the street

We propose differentiating the old and the new by off setting the left elevation of the addition so that the existing 2-story rear addition is visually separate from the proposed one-story addition. The existing two-story bay at the rear of the house already is inset from the main mass. The expansion of the rear bay at the breakfast area and primary bath will extend from the existing walls and will not modify the existing inset relationship to the main house mass.

Work Item 1: _____	
<p>Description of Current Condition:</p> <p>First floor breakfast bay, family room and screened porch at rear facade built during 2021 addition. These areas of the home do not touch the Historic Simpson House structure.</p>	<p>Proposed Work:</p> <p>Remove rear wall at breakfast bay, primary bath and family room. Remove existing screened porch as part of scope of work.</p>

Work Item 2: _____	
<p>Description of Current Condition:</p> <p>N/A</p>	<p>Proposed Work:</p> <p>The proposed 1-story addition will create additional space in the family room. Because the addition is in the location of the removed screened porch, a new screened porch is proposed at the rear of the one-story addition. The proposed two-story addition will extend the existing breakfast area and relocate the primary bath for a closet expansion on the second floor.</p>

Work Item 3: _____	
<p>Description of Current Condition:</p>	<p>Proposed Work:</p> <p>Exterior hardscape and accessory structure: Concept plan from landscape designer submitted</p>



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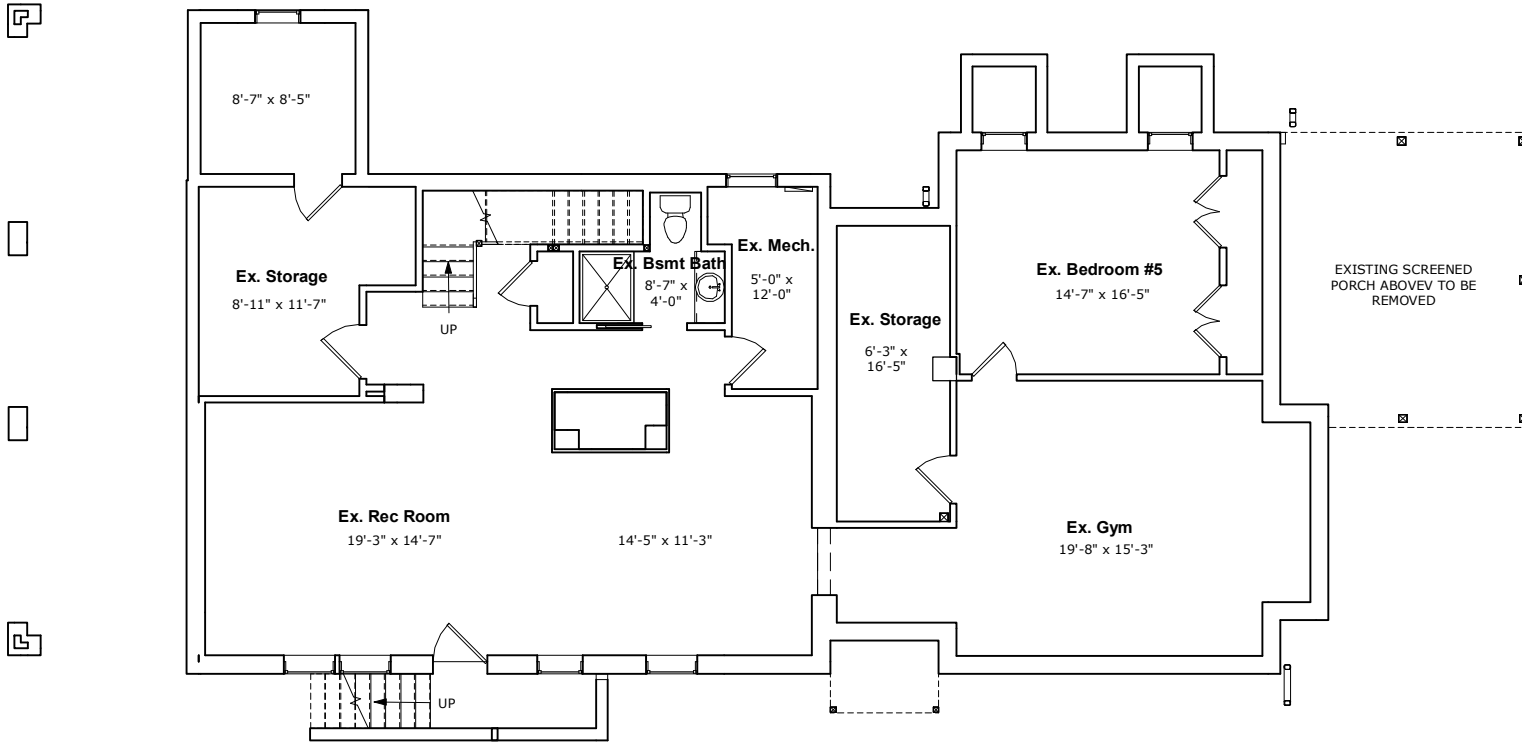
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Existing Site Plan

# 7315 Brookville

Scale:  
 Drawing Issue Date: **14**

1/32" = 1'-0"  
 12-31-2025



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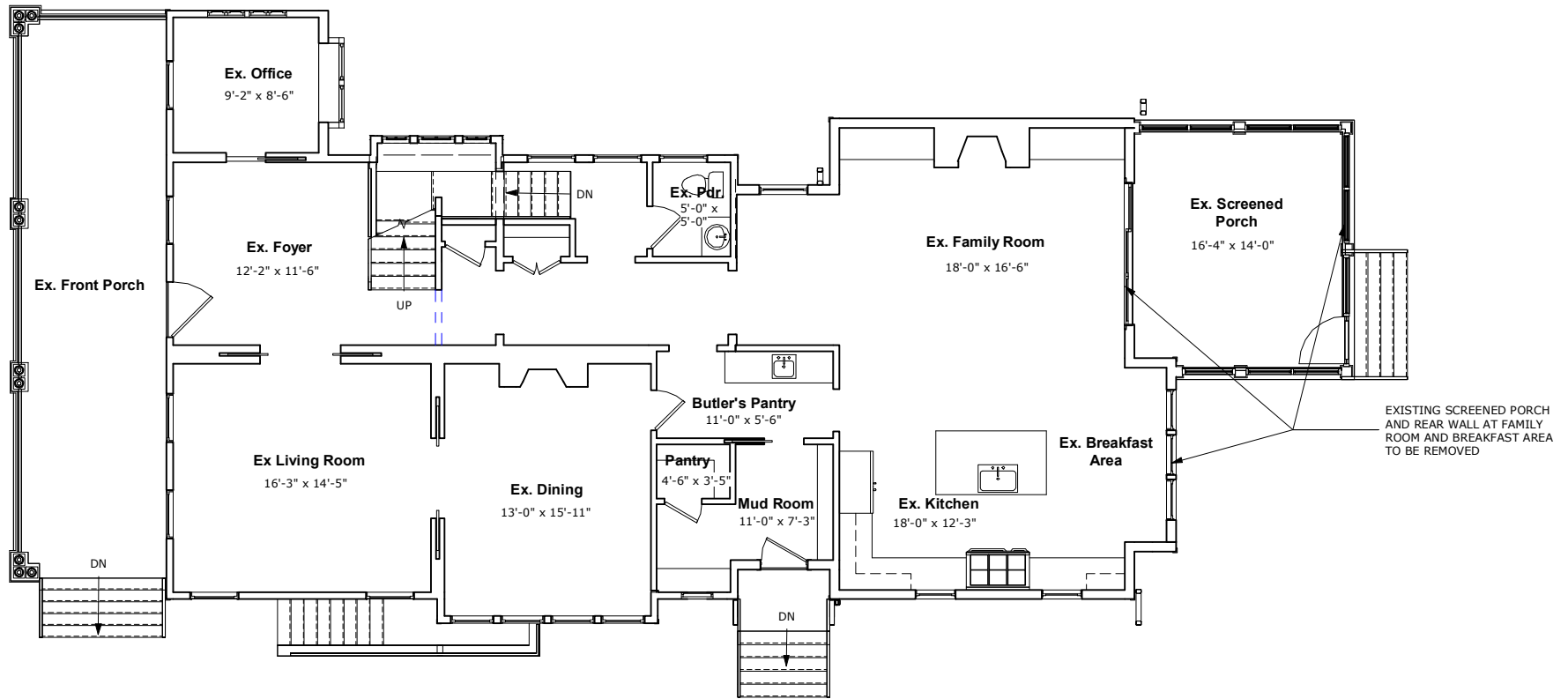
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Existing Basement Plan

# 7315 Brookville

Scale:  
 Drawing Issue Date: **15**

3/32" = 1'-0"  
 12-31-2025



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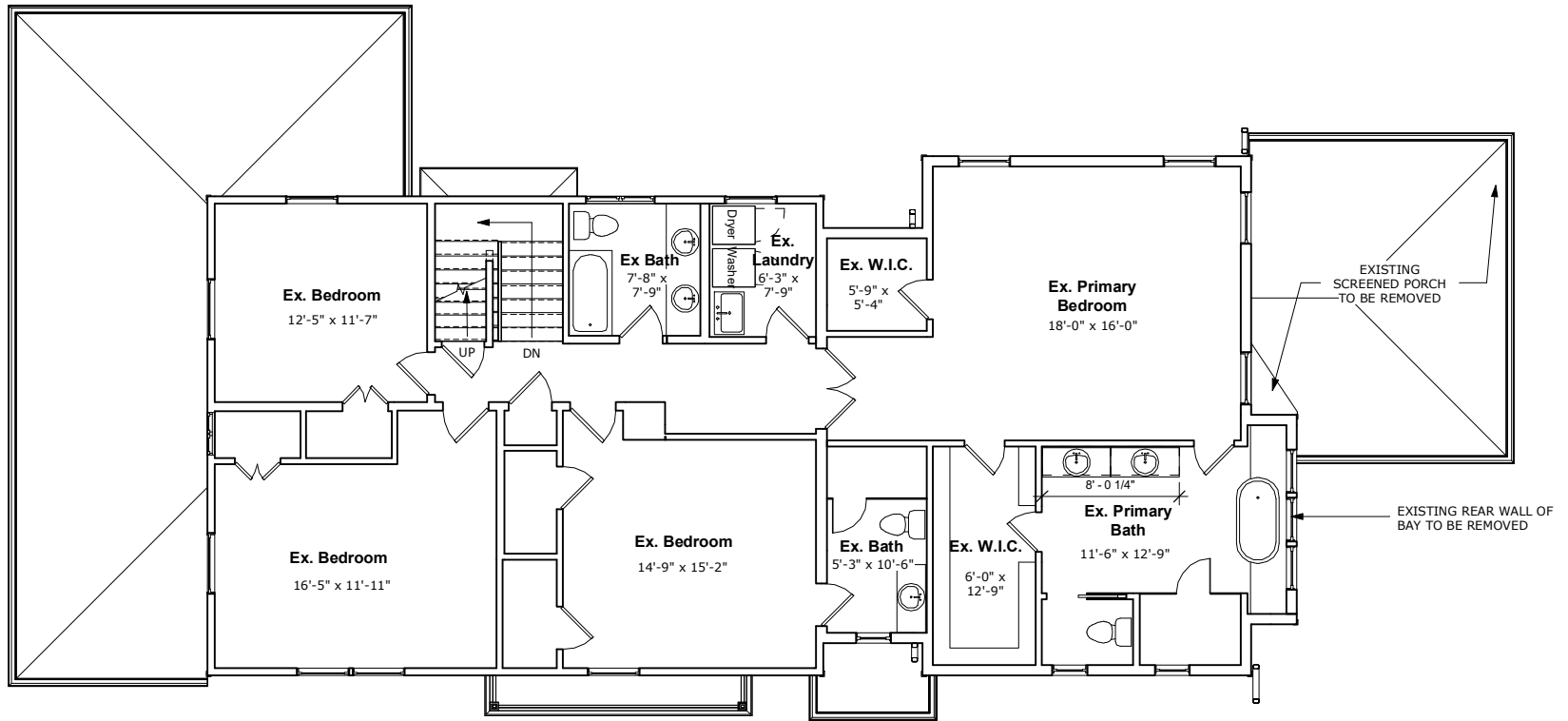
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Existing First Floor Plan

**7315 Brookville**

Scale:  
 Drawing Issue Date: **16**

3/32" = 1'-0"  
 12-31-2025



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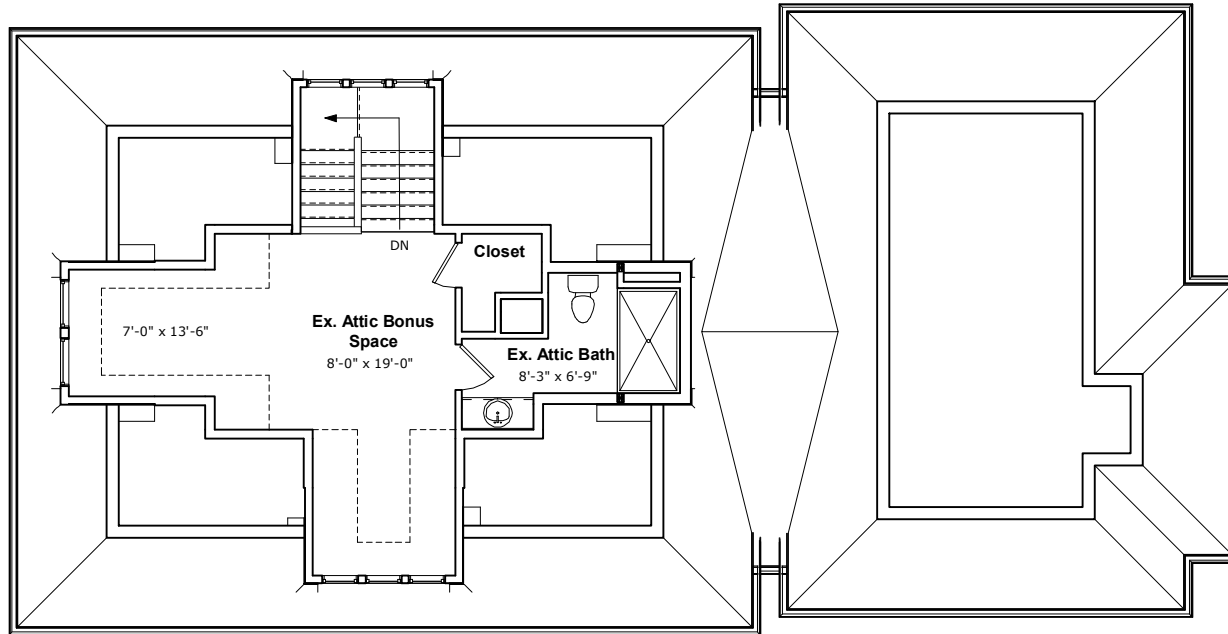
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Existing Second Floor Plan

# 7315 Brookville

Scale:  
 Drawing Issue Date: 17

3/32" = 1'-0"  
 12-31-2025



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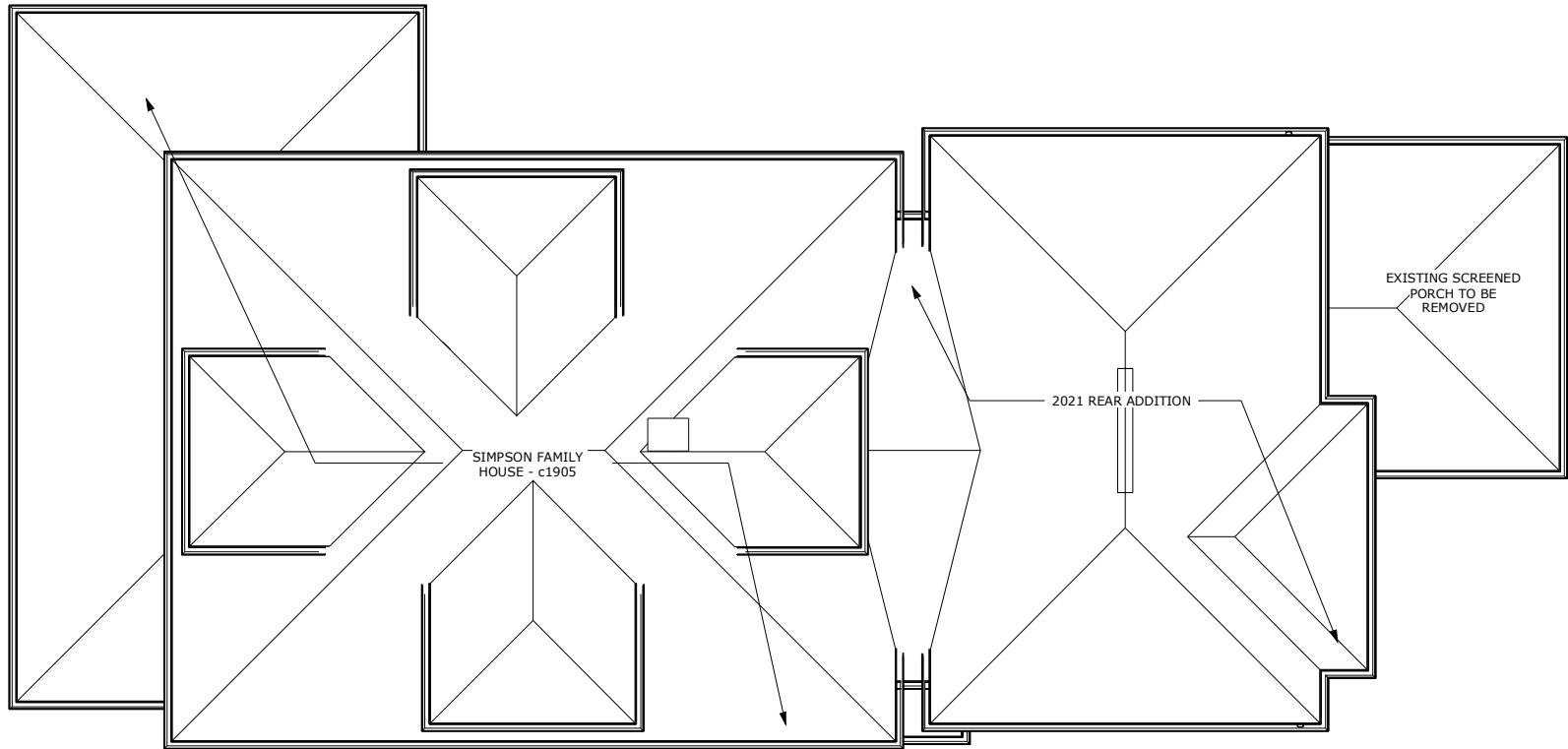
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Existing Attic Plan

# 7315 Brookville

Scale:  
 Drawing Issue Date: **18**

3/32" = 1'-0"  
 12-31-2025



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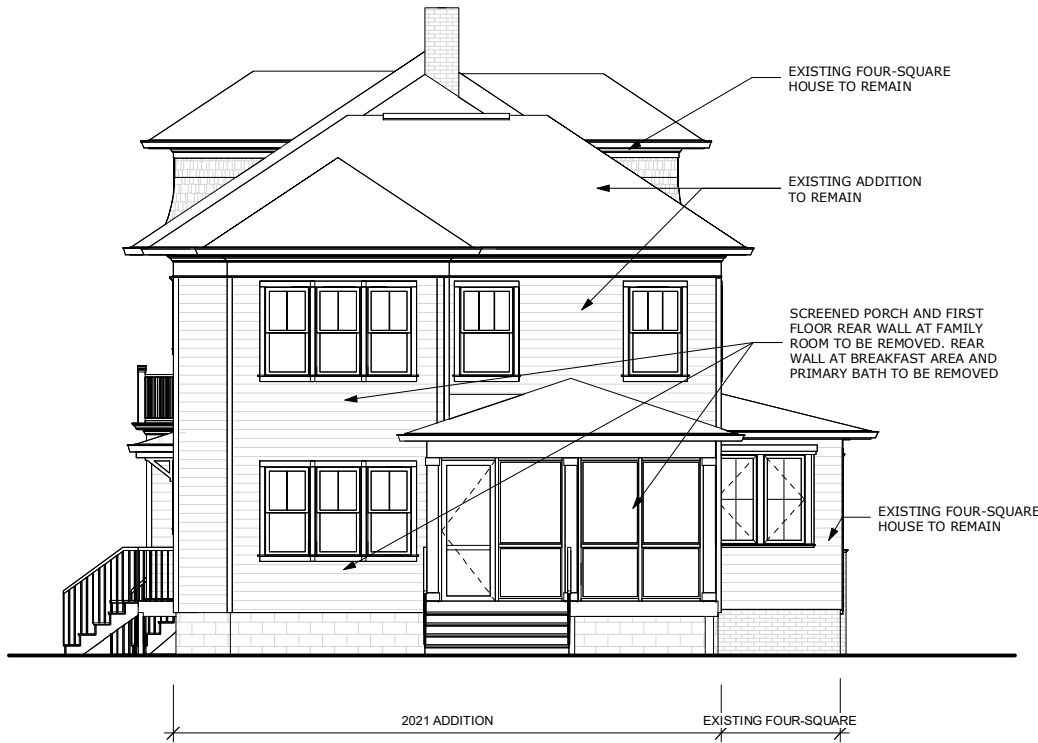
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Existing Roof Plan

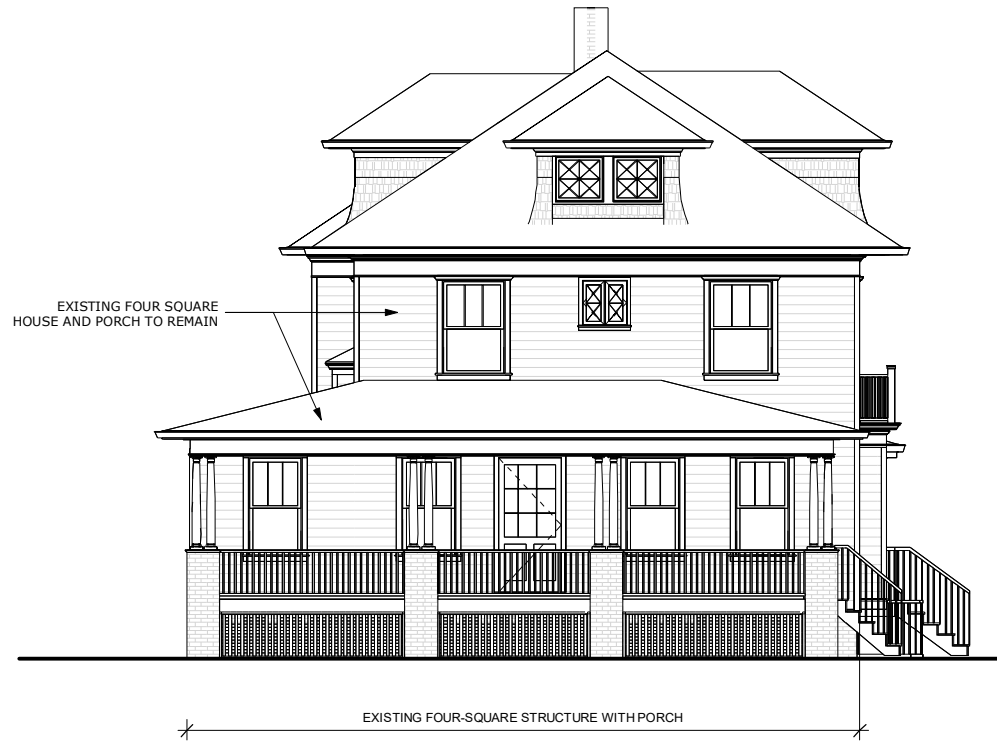
**7315 Brookville**

Scale:  
 Drawing Issue Date: **19**

3/32" = 1'-0"  
 12-31-2025



② Existing Rear Elevation  
3/32" = 1'-0"



① Existing Front Elevation  
3/32" = 1'-0"

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Existing Elevations

**7315 Brookville**

Scale:  
Drawing Issue Date: **20**

3/32" = 1'-0"  
12-31-2025



① Existing Left Elevation  
 3/32" = 1'-0"

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Existing Elevations

# 7315 Brookville

Scale:  
 Drawing Issue Date: **21**

3/32" = 1'-0"  
 12-31-2025



② Existing Right Elevation  
 3/32" = 1'-0"

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Existing Elevations

**7315 Brookville**

Scale:  
 Drawing Issue Date: **22**

3/32" = 1'-0"  
 12-31-2025



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Existing Photos - Front of House

**7315 Brookville**

Scale:  
Drawing Issue Date: **23**

12-31-2025



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Existing Photos - Right Side and Rear of House

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Scale:  
Drawing Issue Date: **24**

12-31-2025



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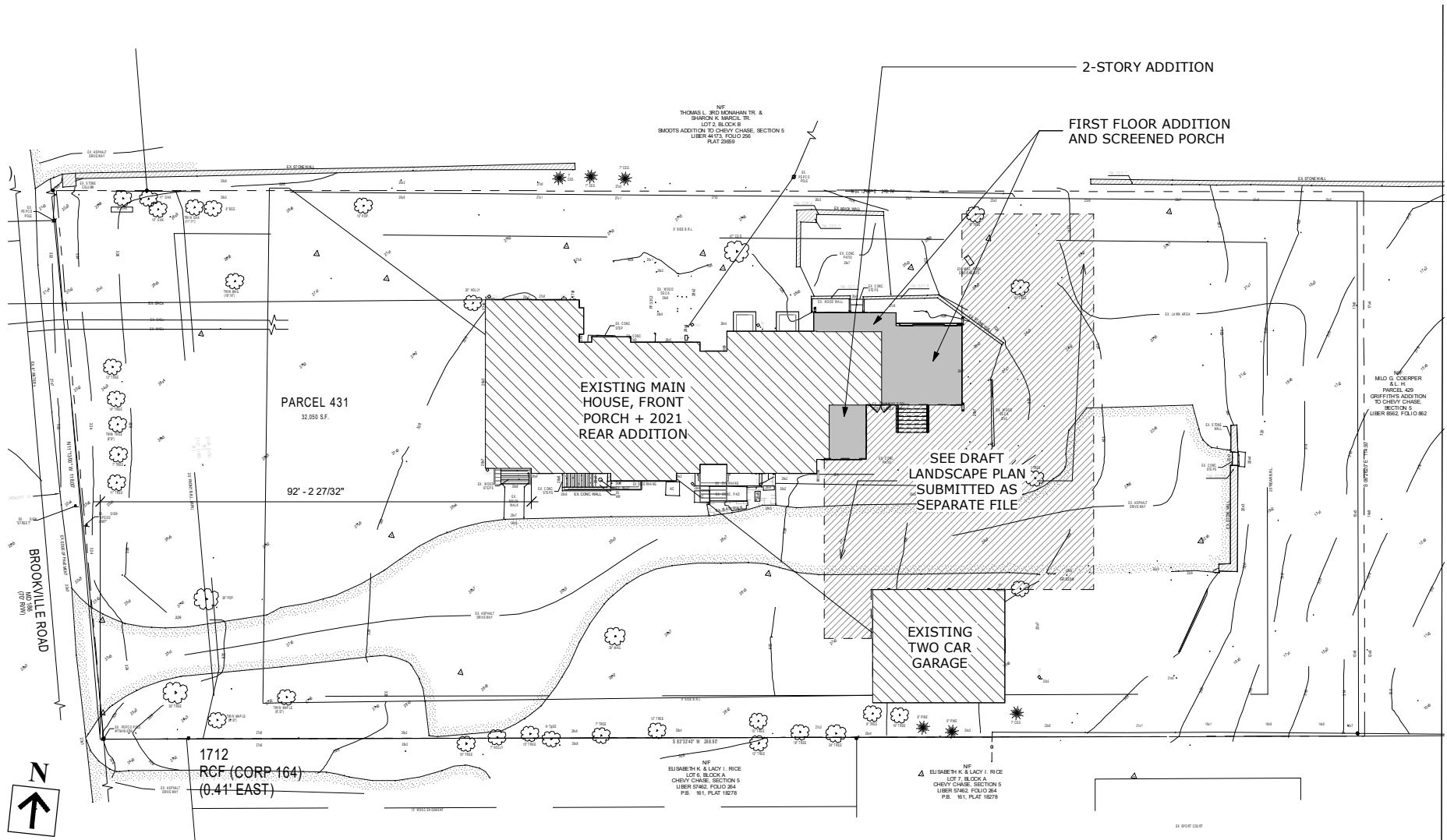
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Existing Photos - Left Side of House

**7315 Brookville**

Scale:  
Drawing Issue Date: **25**

12-31-2025



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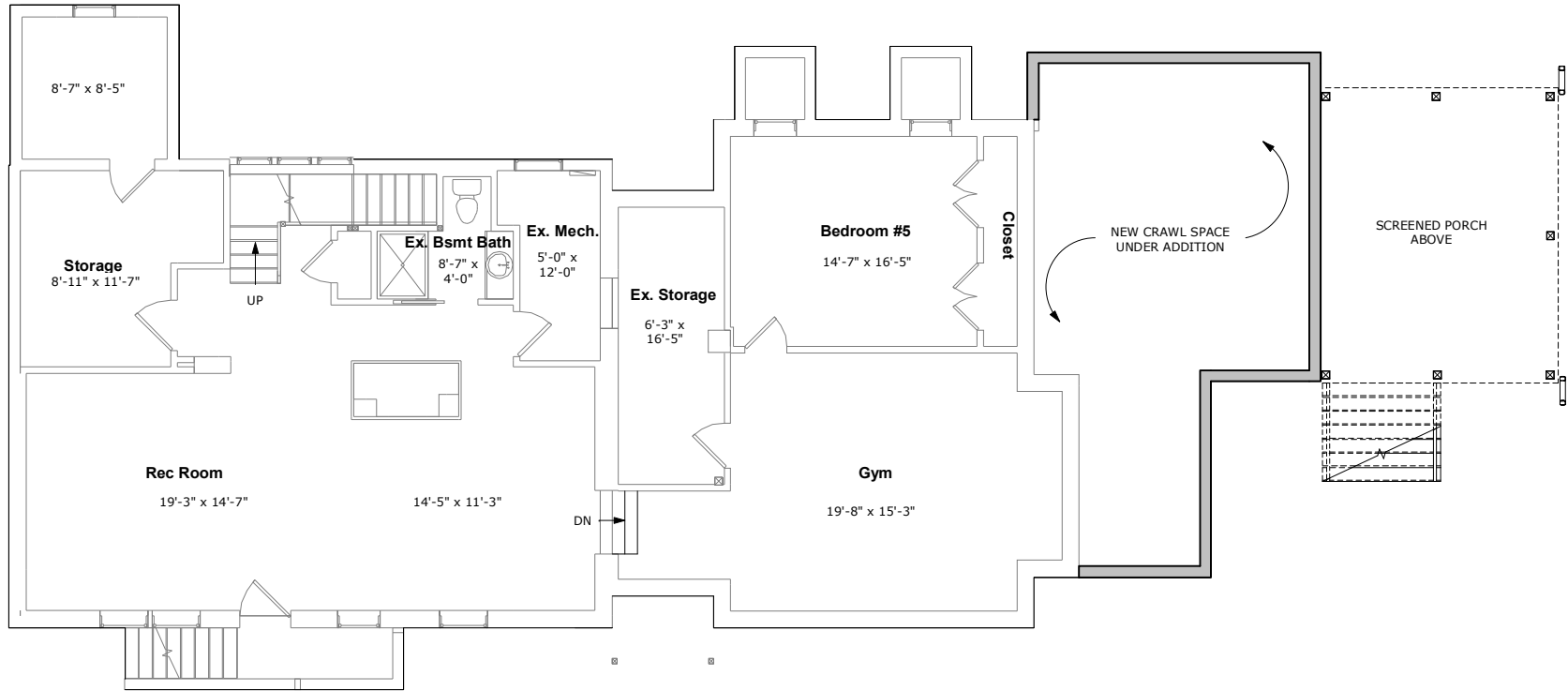
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Proposed Site Plan

**7315 Brookville**

Scale:  
Drawing Issue Date: **26**

1/32" = 1'-0"  
12-31-2025



NOTE:  
 EXISTING HOUSE: 1836 S.F.  
 ADDITION: 423 S.F. CRAWL SPACE

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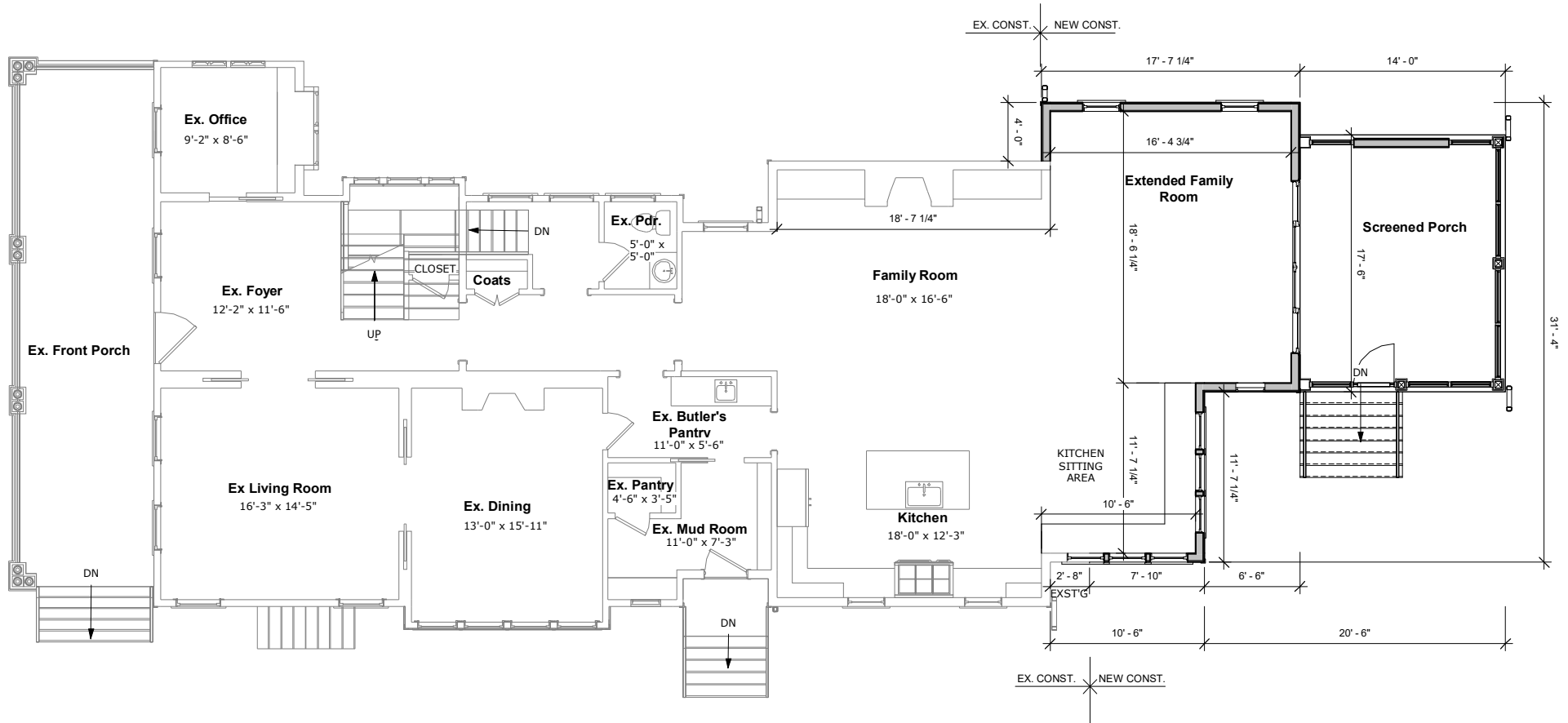
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Proposed Basement Plan

**7315 Brookville**

Scale:  
 Drawing Issue Date: **27**

3/32" = 1'-0"  
 12-31-2025



NOTE:  
 EXISTING HOUSE: 2112 S.F.  
 ADDITION: 427 S.F. FINISHED SPACE  
 243 S.F. SCREENED PORCH

REMOVED AREA: 224 S.F. EXISTING SCREENED PORCH

NET NEW S.F.: 446 S.F.  
 TOTAL FIRST FLOOR: 2558 S.F.

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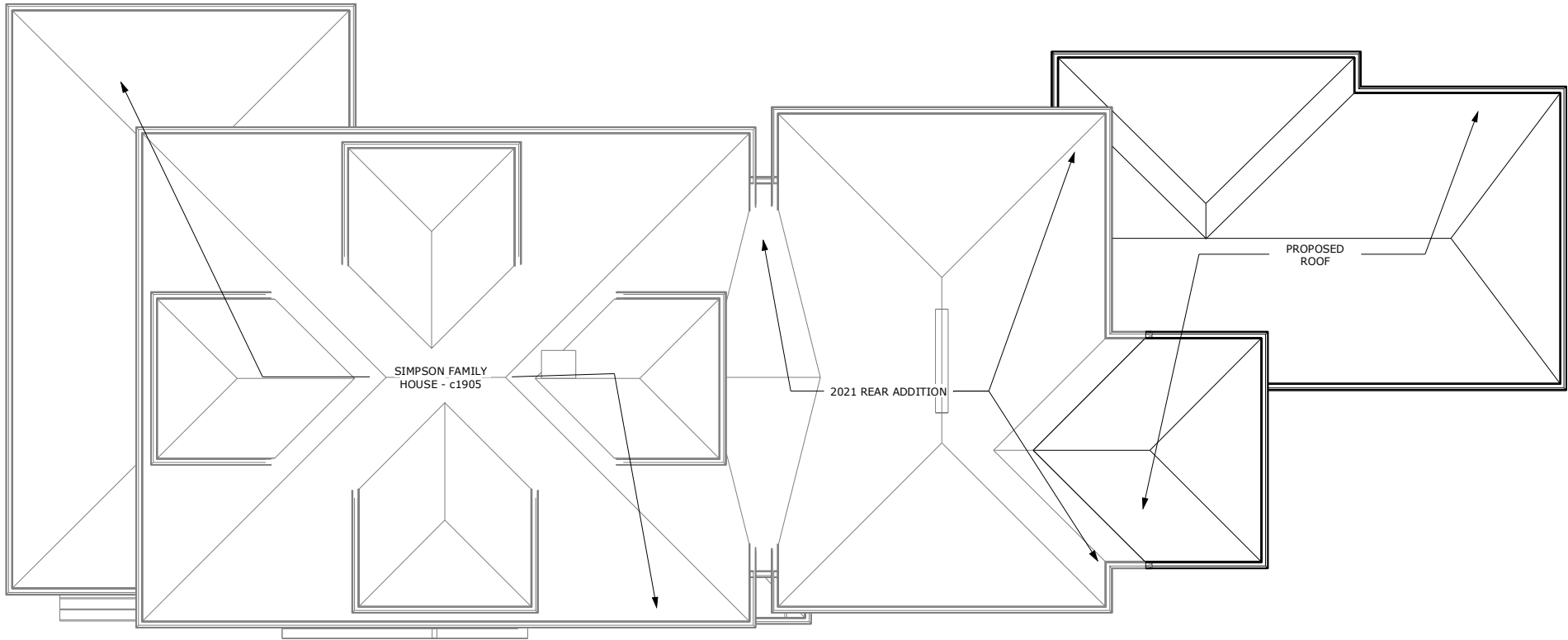
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Proposed First Floor Plan

**7315 Brookville**

Scale:  
 Drawing Issue Date: **28**

3/32" = 1'-0"  
 12-31-2025



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Proposed Roof Plan

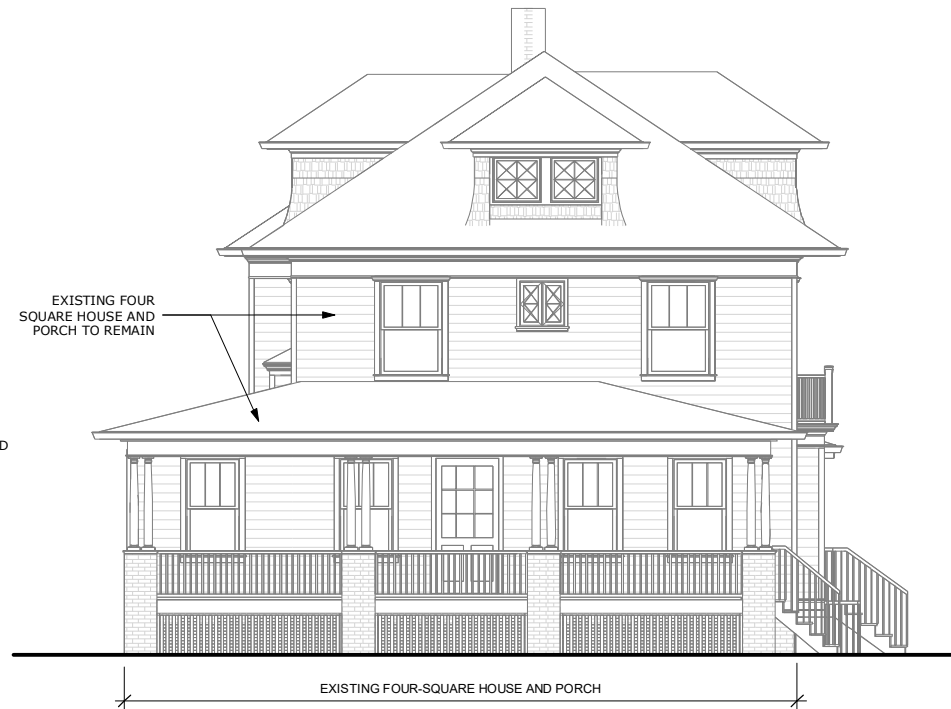
**7315 Brookville**

Scale:  
 Drawing Issue Date: **29**

3/32" = 1'-0"  
 12-31-2025



② Proposed Rear Elevation  
3/32" = 1'-0"



① Proposed Front Elevation  
3/32" = 1'-0"

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Proposed Front & Rear Elevations

**7315 Brookville**

Scale:  
Drawing Issue Date: **30**

3/32" = 1'-0"  
12-31-2025



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Proposed Left Side Elevation

**7315 Brookville**

Scale:  
 Drawing Issue Date: **31**

3/32" = 1'-0"  
 12-31-2025



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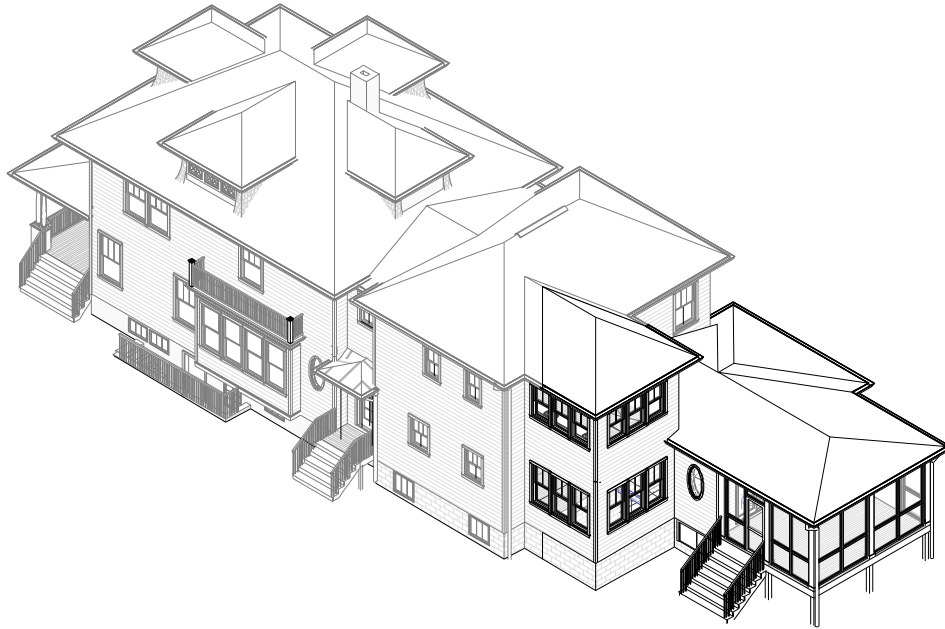
4948 St. Elmo Ave, Suite 304  
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Proposed Right Side Elevation

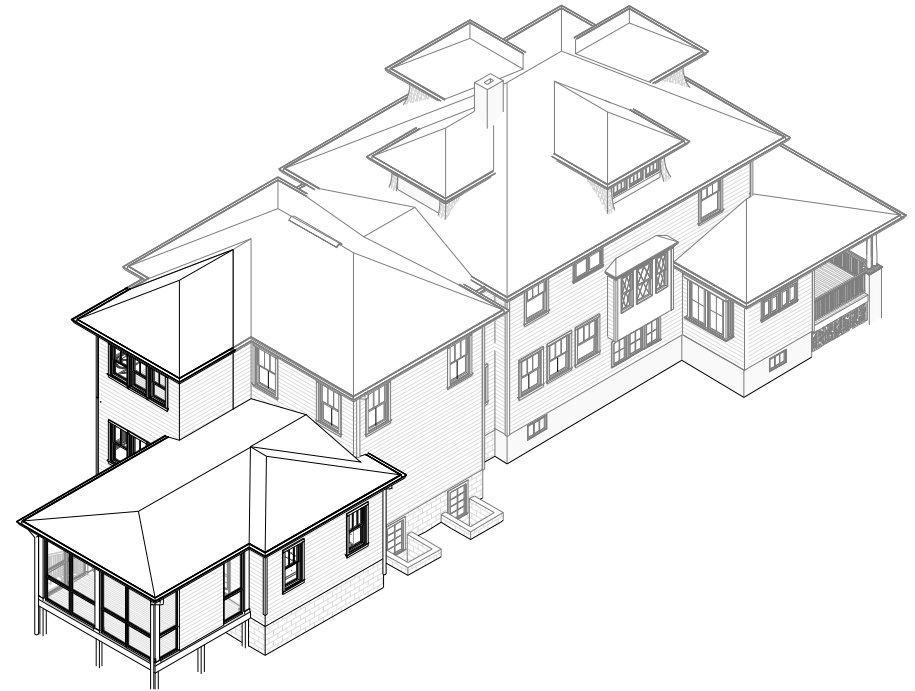
**7315 Brookville**

Scale:  
Drawing Issue Date: **32**

3/32" = 1'-0"  
12-31-2025



② Birds Eye Axonometric 2



① Birds Eye Axonometric

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Proposed Birds Eye Views

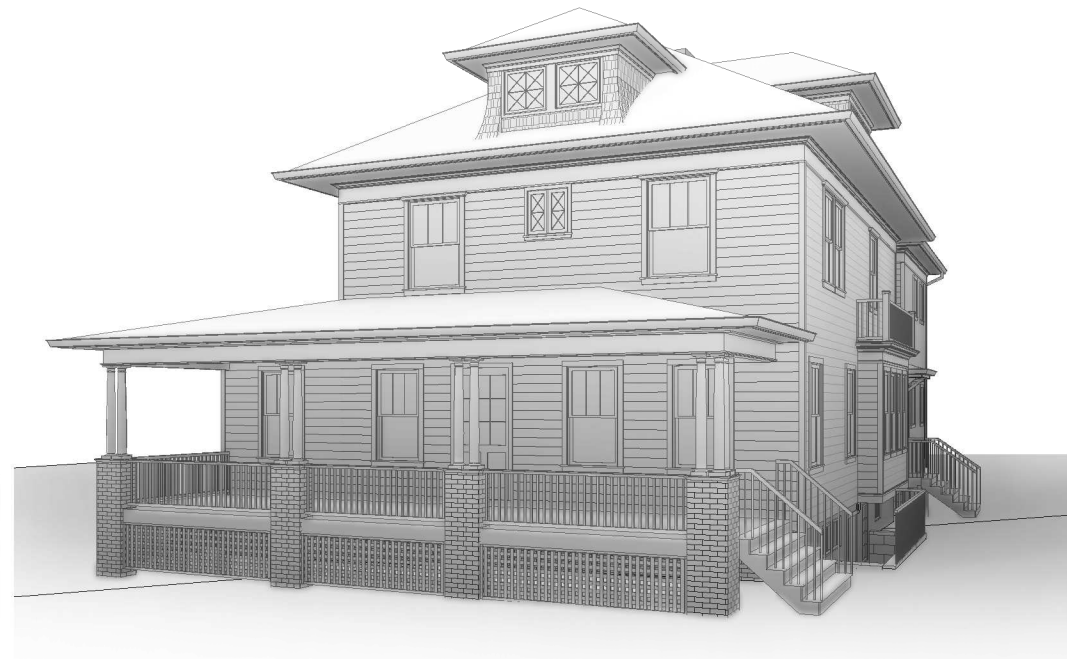
# 7315 Brookville

Scale:  
 Drawing Issue Date: **33**

12-31-2025



② Front-View2



① Front-View1

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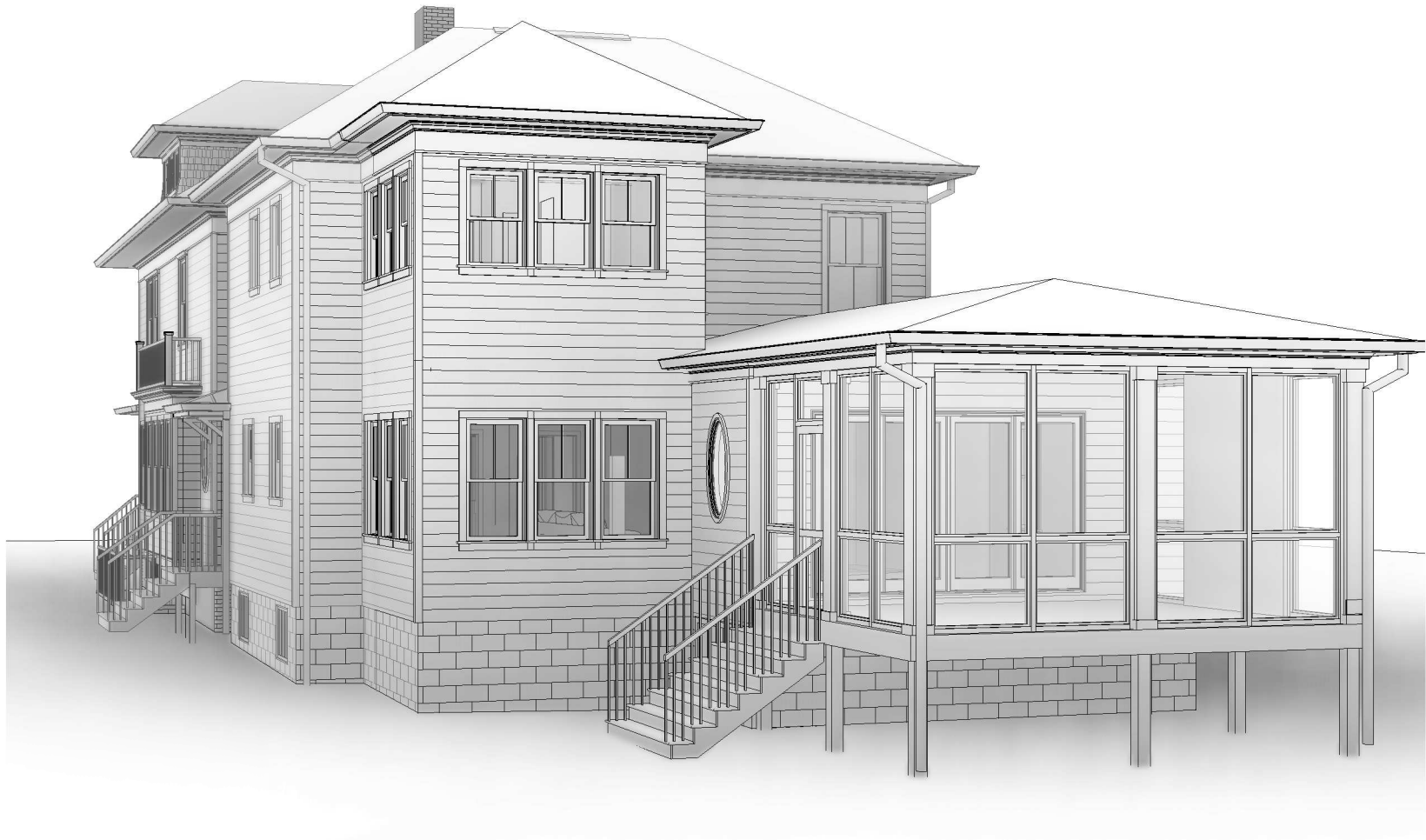
Schematic Renderings

**7315 Brookville**

Scale:

Drawing Issue Date: **34**

12-31-2025



① Rear-View1

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Schematic Renderings

**7315 Brookville**

Scale:  
Drawing Issue Date: **35**

12-31-2025



① Rear - View2

**mcdstudio**

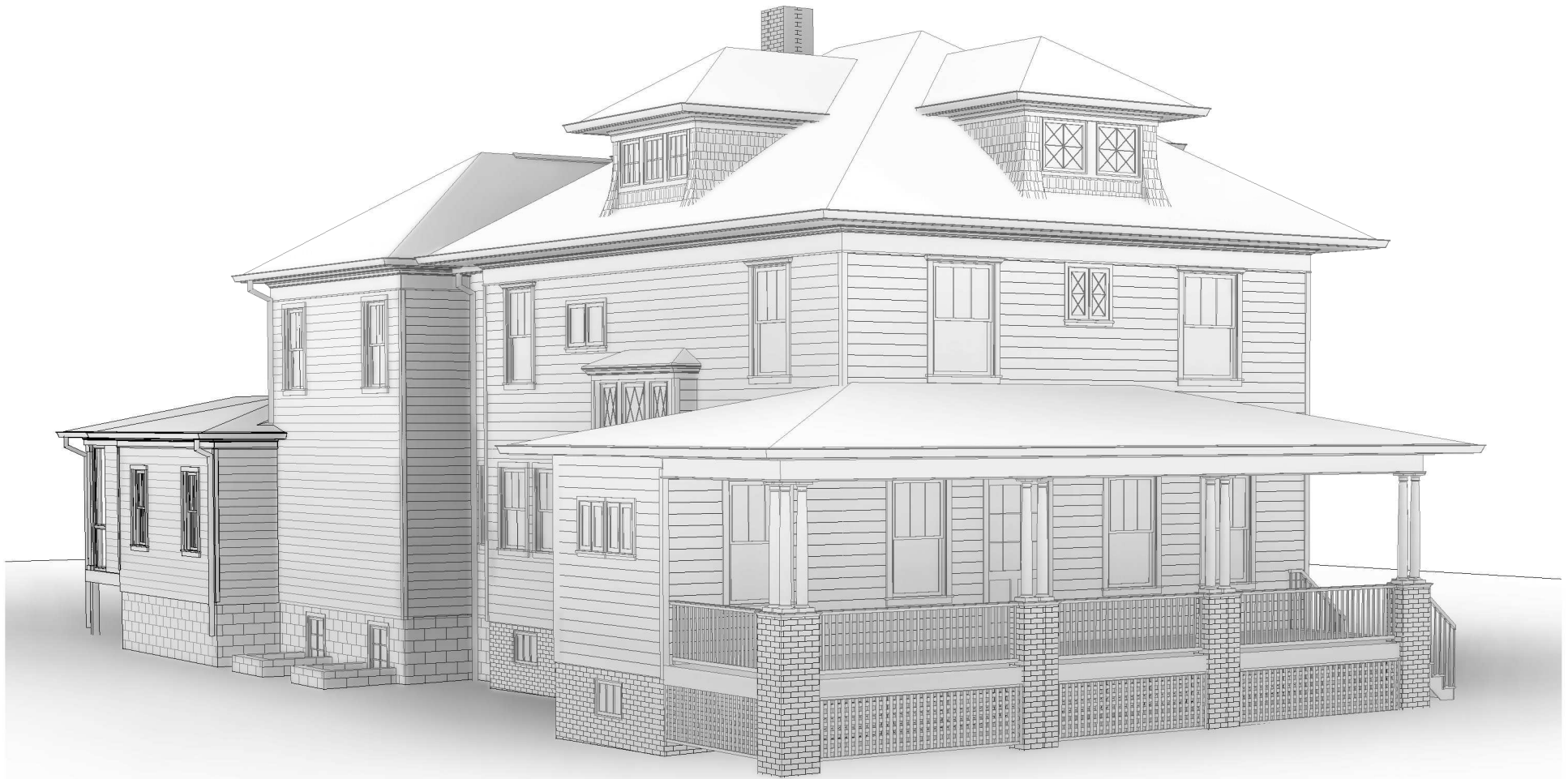
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Schematic Renderings

# 7315 Brookville

Scale:  
Drawing Issue Date: **36**

12-31-2025



① Front Left View

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Schematic Renderings

**7315 Brookville**

Scale:  
Drawing Issue Date: **37**

12-31-2025

