

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	23 Hesketh Street, Chevy Chase	Meeting Date:	1/21/2026
Resource:	Contributing Resource Chevy Chase Village Historic District	Report Date:	1/14/2026
Applicant:	Susie and John Lively (Thomas Hazzard, Agent)	Public Notice:	1/7/2026
Review:	HAWP	Tax Credit:	No
Case Number:	1145082	Staff:	Laura DiPasquale
Proposal:	Construction of front portico and new rear screened porch		

STAFF RECOMMENDATION

Staff recommends that the HPC **approve with one (1) condition** the HAWP application, with final approval authority delegated to staff:

1. The proposed deck and porch flooring must meet *Policy No. 24-01*. The applicant must provide final materials specifications to staff.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Contributing Resource within the Chevy Chase Village Historic District
STYLE: Colonial Revival
DATE: c. 1892-1916

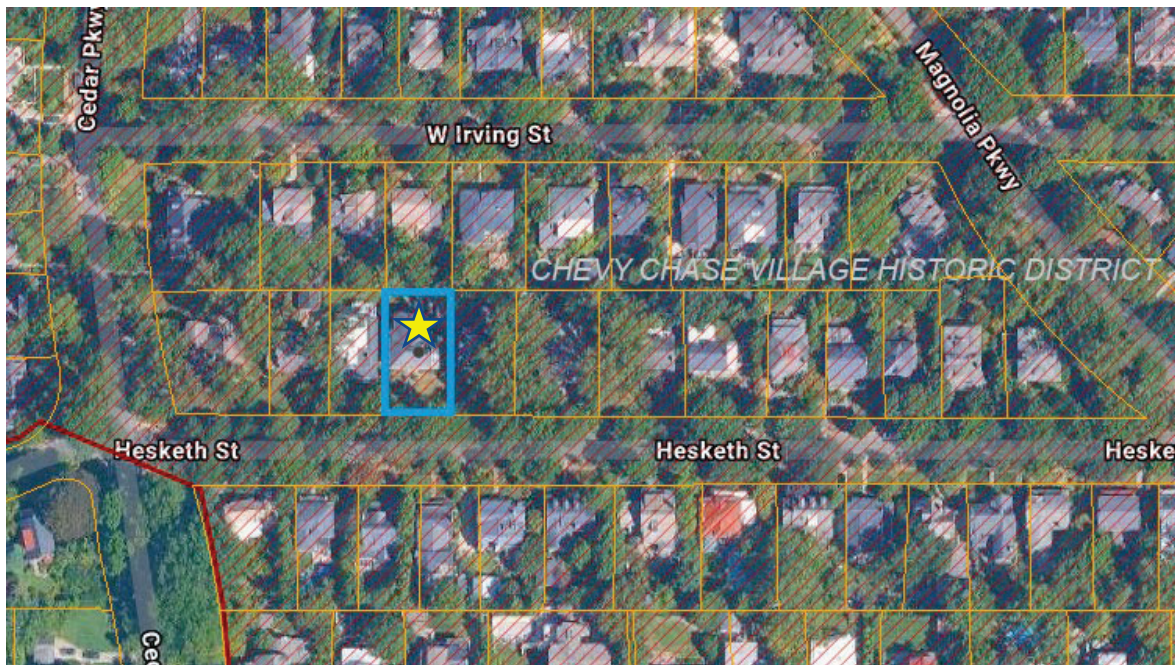


Figure 1: The subject property (shown with a yellow star) is located within the Chevy Chase Village Historic District.

PROPOSAL

The applicants propose to remove the existing rear porch and steps and to construct a new screened porch, open deck, and steps to grade. The application originally included modifications to the existing front entry and construction of a portico which has been removed from this HAWP application.



Figure 2: Front elevation of the subject property (January 2026, Historic Preservation Division).

APPLICABLE GUIDELINES

When reviewing alterations and new construction within the Chevy Chase Village Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and adopted amendment for the Chevy Chase Village Historic District (*Guidelines*), *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Chevy Chase Village Historic District Guidelines

Contributing Resource:

A resource which contributes to the overall character of the district and its streetscape, but which is of secondary architectural and historical significance. A resource may be classified as contributing if it is a common or ubiquitous example of an architectural style that is important to the historic district, or if it was an outstanding resource that, while still identifiable as a specific architectural style, has lost some degree of its architectural integrity due to alterations. Contributing resources add to the overall streetscape due to their size, scale, and architectural character.

The *Guidelines* state five basic policies that should be adhered to, including:

1. Preserving the integrity of the Chevy Chase Village Historic District. Any alterations should, at a minimum, perpetuate the ability to perceive the sense of time and place portrayed by the district.
2. Preserving the integrity of contributing structures. Alterations should be designed in such a way that the altered structure still contributes to the district.

3. Maintaining the variety of architectural styles and the tradition of architectural excellence.
4. Design review emphasis should be restricted to changes that will be visible from the front or side public right-of-way, or that would be visible in the absence of vegetation or landscaping.
5. Alterations to the portion of a property that are not visible from the public-right-of-way should be subject to a very lenient review. Most changes to the rear of the properties should be approved as a matter of course.

The *Guidelines* break down specific projects into three levels of review - Lenient, Moderate and Strict Scrutiny for Outstanding and Contributing Resources:

“Lenient Scrutiny” means that the emphasis of the review should be on issues of general massing and scale, and compatibility with the surrounding streetscape, and should allow for a very liberal interpretation of preservation rules. Most changes should be permitted unless there are major problems with massing, scale or compatibility.

“Moderate Scrutiny” involves a higher standard of review than “lenient scrutiny.” Besides issues of massing, scale and compatibility, preserving the integrity of the resource is taken into account. Alterations should be designed so that the altered structure still contributes to the district. Use of compatible new materials, rather than the original building materials, should be permitted. Planned changes should be compatible with the structure’s existing design, but should not be required to replicate its architectural style.

“Strict Scrutiny” means that the planned changes should be reviewed to insure that the integrity of the significant exterior architectural or landscaping features and details is not compromised. However, strict scrutiny should not be “strict in theory but fatal in fact” i.e. it does not mean that there can be no changes but simply that the proposed changes should be reviewed with extra care.

- *Porches* should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not. Enclosures of existing side and rear porches have occurred throughout the Village with little or no adverse impact on its character, and they should be permitted where compatibly designed. Strict scrutiny should be applied to additions above existing front porches.

Montgomery County Code; Chapter 24A-8

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to ensure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district.

Secretary of the Interior’s Standards for Rehabilitation:

2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.
9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

Historic Preservation Commission Policy No. 24-01: Policy for the Appropriateness of Substitute Materials for Porch and Deck Flooring

4. Contributing Resources – These are significant for their contribution to the district as a whole and prioritize retaining the architectural style, overall volume, and size. Porch floors on ‘Contributing’ resources may be a compatible substitute material (discussed below), provided the material matches the building’s historic character and construction methods. Historic rear porches for ‘Contributing’ resources may be constructed using a compatible substitute material. Non-historic porches and decks on ‘Contributing’ resources that are not visible from the public right-of-way may be constructed using substitute materials.
6. Compatible substitute materials for replacement porch flooring/decking – On buildings where a substitute material is acceptable under this policy, the material must satisfy the following criteria:
 - It must match the dimensions and installation method (i.e.) of the existing material or a historically appropriate porch flooring, (e.g., boards must run perpendicular to the house for porches);
 - It must be millable;
 - It can be painted without voiding the product warranty; or,
 - Has a uniform appearance consistent with painted wood;
 - It has a minimal (or no) stamped or embossed texture on the surface; and,
 - It has a finished edge that appears as a cut solid board.

STAFF DISCUSSION

In 2012, the HPC reviewed and approved construction of a two-story rear addition at the subject property.¹ The current proposal modifies that addition, removing the existing open porch and replacing it with a larger screened porch, open grill deck, and stair to grade. Staff finds that the proposed alterations are located at the rear of the property with limited visibility from the public right-of-way and exclusively alter non-historic materials, in keeping with the *Guidelines*, Chapter 24A-8(b)(1) and *Standards 2 and 9*.

Staff notes that the drawings indicate that the steps to grade, which have the highest potential for visibility from the public right-of-way, are noted as wood, but the decking itself is not specified. Staff finds that the screened porch will not be visible from the public right-of-way and that wood or a substitute material may be used for the screened porch per *Policy 24-01*. Staff recommends that the HPC condition the application on submission of final materials specifications to staff to confirm that the decking meets *Policy 24-01*. All trim is noted in the written scope as being painted wood, which staff finds is appropriate under Chapter 24A-8(b)(2).

¹ The staff report and application for the 2012 rear addition is available here: [3513-12W_CHEVY CHASE VILLAGE H.D. 23 HESKETH STREET, CHEVY CHASE 10102012.PDF](#)



Figure 3: Photograph of the rear of the property, showing the existing 2012 addition and rear porch.

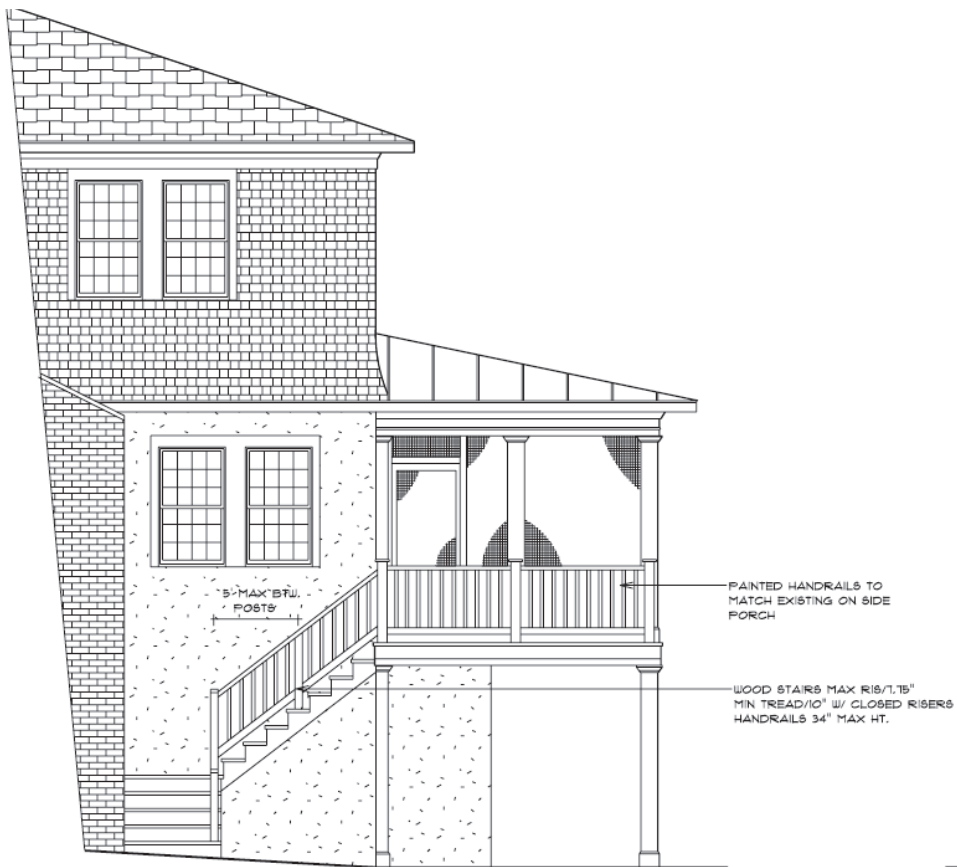


Figure 4: Side elevation drawing.

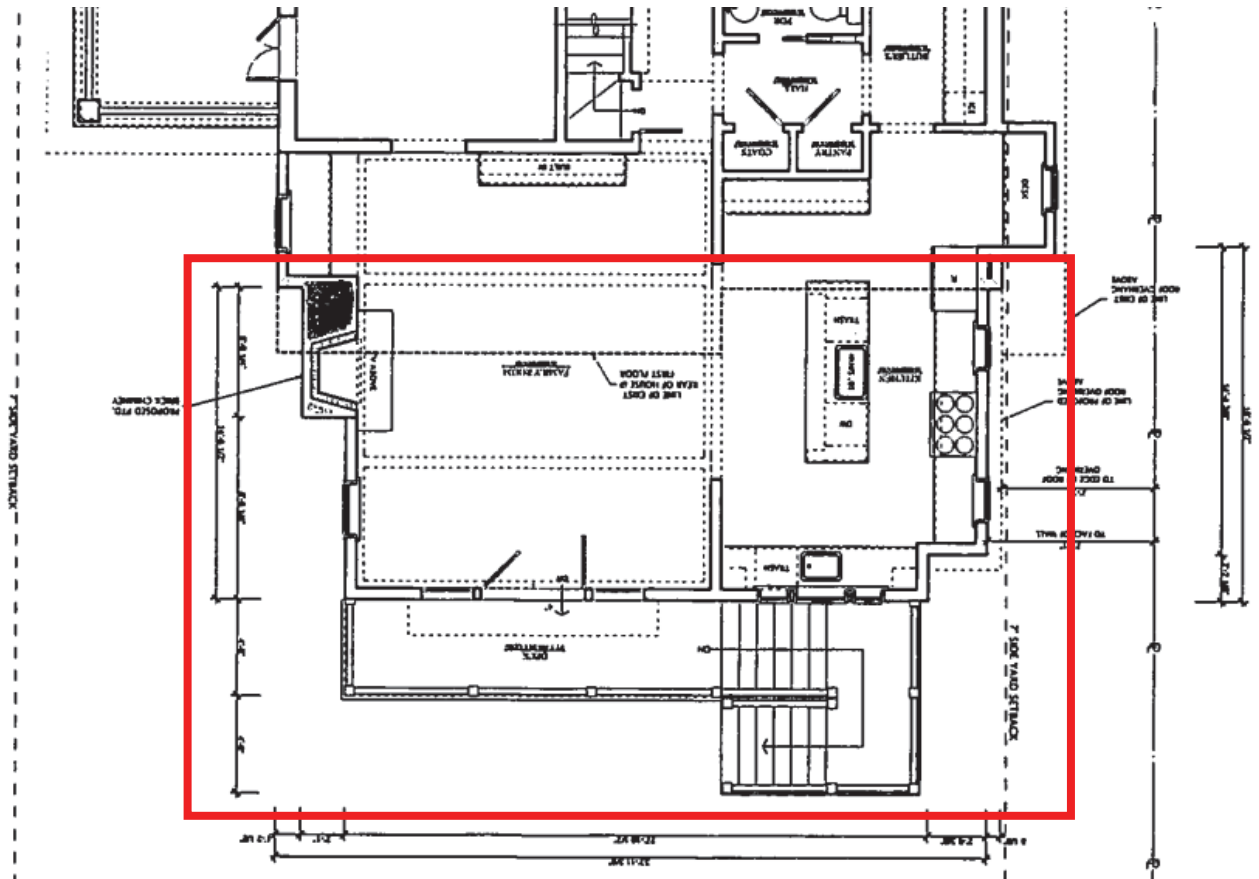


Figure 5: Detail of the rear addition and porch approved by the HPC in 2012.

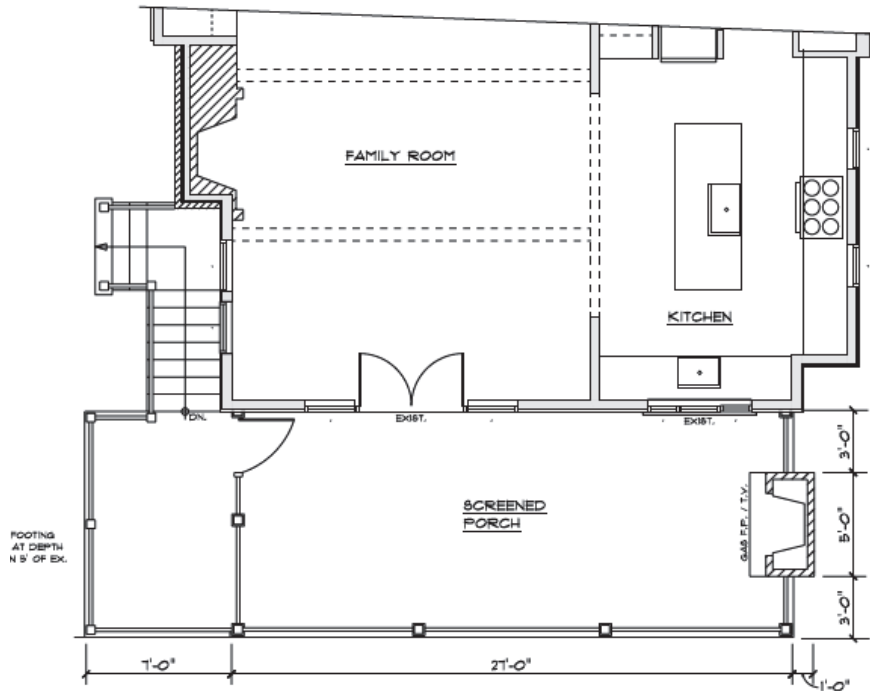


Figure 6: Detail of the proposed rear screened porch, deck, and stairs.

STAFF RECOMMENDATION

Staff recommends that the Commission **approve with one (1) condition** the HAWP, with final approval authority delegated to staff:

1. The proposed deck and porch flooring must meet *Policy No. 24-01*. The applicant must provide final materials specifications to staff.

under the Criteria for Issuance in Chapter 24A-8(b)(1) and (2), and the *Chevy Chase Village Historic District Guidelines*, having found that the proposal will not substantially alter the exterior features of the historic resource and is compatible in character with the district and the purposes of Chapter 24A;

and with the *Secretary of the Interior's Standards for Rehabilitation 2 and 9*;

and with *Policy#24-01*;

and with the general condition that the applicant shall present an electronic set of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-495-2167 or laura.dipasquale@montgomeryplanning.org to schedule a follow-up site visit.

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

Two story framed house with stucco and wood shingle veneer. House includes classical architectural trim details with slate shingle on the house and wide roof overhangs. The front yard slope downward to rear yard with a walkout basement. There are foundation planting and trees located only along the front curb.

portico removed from scope per applicant email 1/14/2026

Description of Work Proposed: Please give an overview of the work to be undertaken:

~~1) Proposing to construct a 6'x8' portico on the front of the house. It will replace the existing applied architectural gable and pilaster feature. The new portico will incorporate very similar trim details and proportions to the existing applied feature. Its depth stays within the projections of front porches on neighboring houses. The base will include matching flagstone and black iron hand rails.~~

2) Proposing to construct a rear screened porch with a small grill deck and stairs to grade. Existing small covered porch and stairs will be removed. New porch will incorporate handrails, trim details and hipped roof with overhang depth to coordinate with the existing side porch. All materials will be wood, painted to reflect existing trim on the house and side porch. The porch ceiling will be a stained or painted bead boards.

Work Item 1: Front Portico

Description of Current Condition:
Existing flagstone steps and landing are settling and breaking up. See photo #3
Existing entry applied entry feature is painted wood and showing signes of deterioration. See photo #2

Proposed Work:
Replace applied entry feature and flagstone steps/landing with 6'x8' portico. Portico to complement the trim details and proportions of the existing trim feature. Roofing materials to be slate to match existing. Flagstone stoop and steps to match existing walkway pavers. See attached plans.

removed from scope per applicant email 1/14/2026

Work Item 2: Screened Porch

Description of Current Condition:
Existing small covered porch and stairs to be removed. See photo #4
Existing deteriorated flagstone patio, low stone walls and section of old asphalt driveway in rear yard to be removed and replaced with grass. See photo #5

Proposed Work:
Screened porch addition, grill deck and stairs to grade proposed. Porch includes square columns, trim details, roofline overhang and handrails to coordinate with existing side porch. All painted wood trim with stained or painted beaded ceiling. See attached plans.

Work Item 3: _____

Description of Current Condition:

Proposed Work:

October 1, 2025

Mr. Aurelio Baca-Asher
Permitting and Code Enforcement
Chevy Chase Village
5906 Connecticut Avenue
Chevy Chase, MD 20815

Re: 23 Hesketh Street Drainage Review – Building Permit

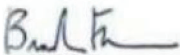
Dear Mr. Baca-Asher,

On September 26, 2025, CPJ conducted a site visit at 23 Hesketh Street to review the proposed project site, per a building permit received for compliance with Section 8-25 of the Village Code. As there was no answer, we performed a follow up inspection on October 1, 2025, after notifying the Village. The proposed work includes replacing the front portico and stairs as well as removing the existing rear patio and replacing it with a screened porch. The application along with several plans were provided, via email, on September 24, 2025 with additional information provided on September 26, 2025

Visible inspection of the property clearly indicates the grading slopes north and away from Hesketh St. Any increase to the impervious area would possibly have an impact on the adjacent property on W Irving St or result in ponding in the rear yard. Going over the provided lot and impervious coverage calculations and confirmed with field measurements, it appears that all proposed improvements in the rear yard would result in a decrease of 101.5 SF of impervious surface. The only increase based on their calculations would be an increase of 56 SF to the front portico, which would still have a total decrease of impervious surface of 45.6 SF.

The design appears to be decreasing the impervious footprint of the property. There should be minimal impact to adjacent properties for the increase in the impervious area. Based upon this information 20 Grafton St.'s building permit shows compliance with Section 8-25 of the Village Code.

Sincerely,



Brandon Freeman, P.E.
Senior Design Engineer
Public Sector Division

cc: Shana Davis-Cook, Manager, Chevy Chase Village
Saifu Ahmed, Public Sector Division Manager
Robyn Barnhart, Public Sector Section Head



Figure 1. 23 Hesketh Street, view from the front of the property.



Figure 2. Existing front portico/step ~~to be replaced~~



Figure 3. Existing stone patio and stairs to be removed to expand covered porch to proposed screened porch.



Figure 4. Existing asphalt apron to be removed.

Feather & Assoc.

Tolbert V. Feather, Ph.D.

Advisors for: Landscape Development

Landscape Management, Plant Pest Management

Chevy Chase Village
5906 Connecticut Avenue
Chevy Chase, MD 20815

October 15, 2025

Tree Preservation Plan – 23 Hesketh Street

I recommend the issuance of the Building Permit conditioned on the Owner's compliance with the tree preservation plan shown on the attached sheet and as stated below.

Attached is a map of the tree preservation plan for the residence at 20 West Lenox Street.

1. Tree preservation fencing shall be installed in the locations shown on the plan. The street tree shall be protected. Tree preservation fencing shall delineate the tree protection zones. Tree preservation fencing shall be 4' tall wire mesh supported with steel stakes no less than 8' apart.
2. The Owner/Contractor shall inform all on-site workers that the tree preservation zones shall not be entered. Neither materials nor equipment shall be stored within the tree preservation zones. No grading shall be done within the tree preservation zones. The grading outside the tree preservation zones shall not be changed to divert and collect water within tree preservation zones.
3. No excavation is permitted within the tree preservation areas.
4. The Chevy Chase Village office shall be notified of any construction plan changes.
5. If excavation (outside the tree preservation zone) exposes roots on protected trees, the damaged roots shall be cleanly cut before backfilling the hole.
6. The Owner/Contractor shall maintain the fencing until the construction is complete. The fencing may be removed to prepare and install the new landscaping.

#1



#2



#3

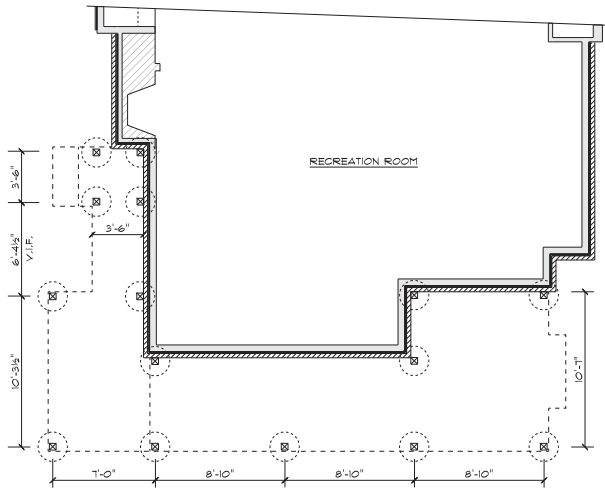
23



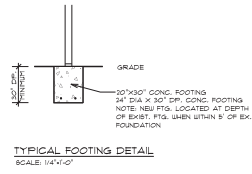
#4



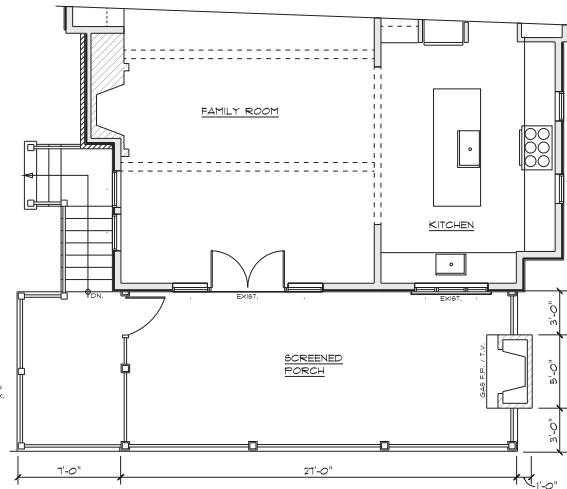




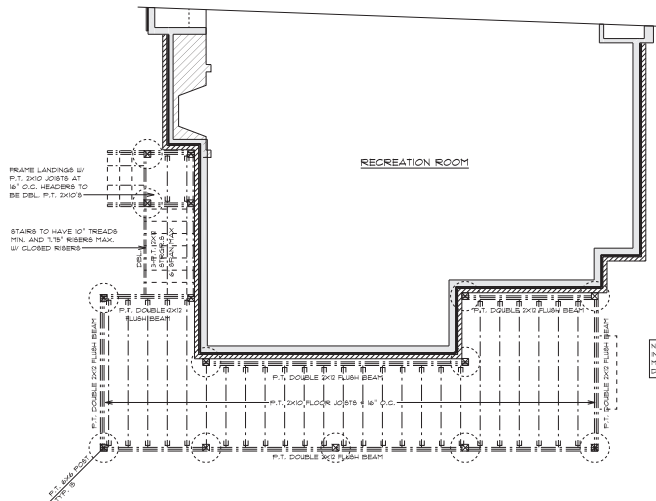
FOUNDATION PLAN
SCALE: 1/4"=1'-0"



TYPICAL FOOTING DETAIL
SCALE: 1/4"=1'-0"

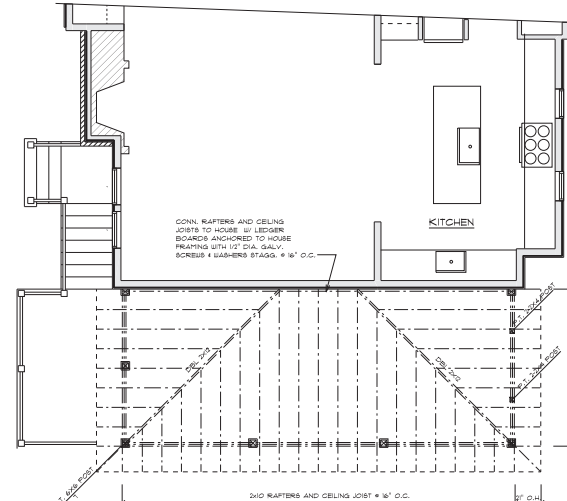


SCREENED PORCH PLAN
SCALE: 1/4"=1'-0"

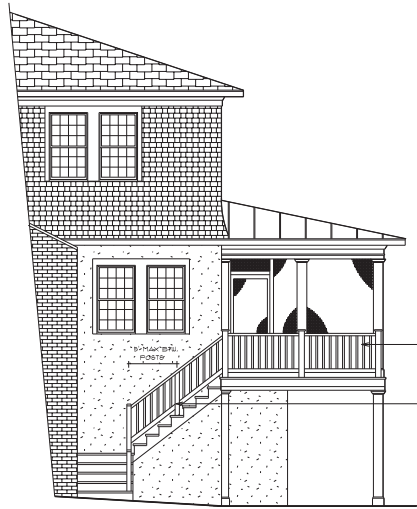


FLOOR FRAMING PLAN
SCALE: 1/4"=1'-0"

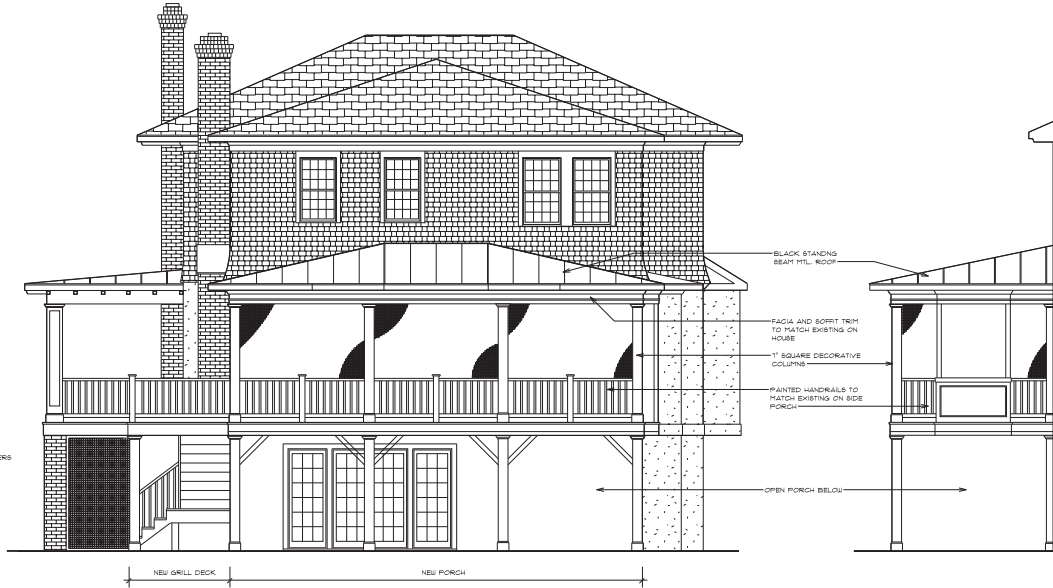
NOTE: ASSEMBLY TO BE IN CONFORMANCE WITH MONTGOMERY COUNTY TYP. DECK DETAILS.



ROOF FRAMING PLAN
SCALE: 1/4"=1'-0"

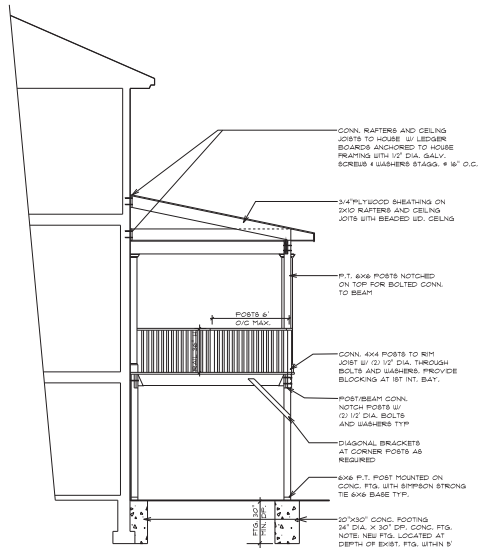


LEFT SIDE ELEVATION

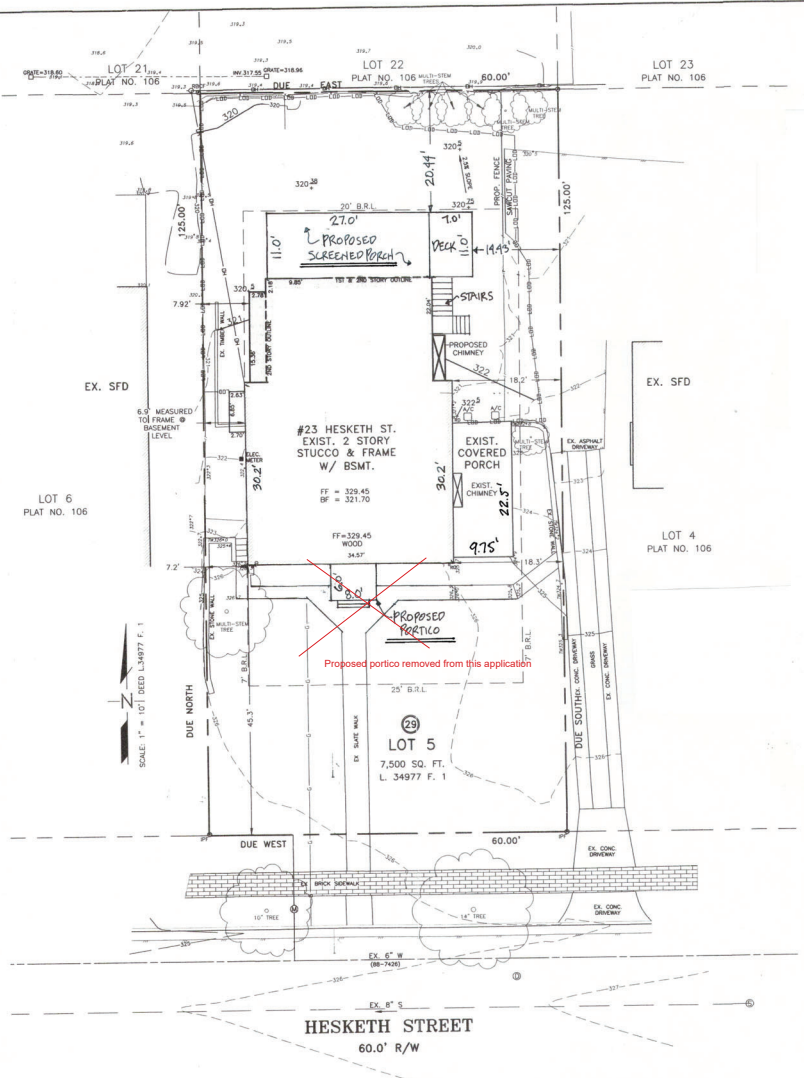


REAR ELEVATION

RIGHT SIDE ELEVATION



LEFT SIDE ELEVATION

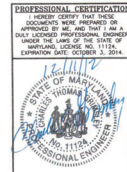


SITE PLAN
SCALE: 1" = 10'

- LEGEND**
- ⊙ SEWER MANHOLE
 - ⊙ STORM DRAIN MANHOLE
 - ⊙ WATER MANHOLE
 - ⊙ FIRE HYDRANT
 - ⊙ WATER VALVE
 - ⊙ SPRINKLER
 - ⊙ GAS VALVE
 - IPF IRON PIPE FOUND
 - LIGHT POLE
 - POWER POLE
 - CUY WIRE
 - ROOF DRAIN
 - FLOOR DRAIN
 - EX. SPOT ELEVATION
 - OVERHEAD WIRE
 - UNDERGROUND GAS
 - UNDERGROUND CABLE TV
 - UNDERGROUND ELECTRIC
 - WATER
 - SEWER
 - STORM DRAIN
 - +320' PROPOSED SPOT ELEVATION
 - PROPOSED LIMITS OF DISTURBANCE
 - PROPOSED ADDITION
 - ▨ TO BE DEMOLISHED

CALL 'MISS UTILITY'
1-800-257-7777 FOR UTILITY LOCATION AT
AT LEAST 48 HOURS BEFORE START OF WORK.
The excavator must notify all public utility companies with underground facilities in the area of proposed excavation and have these facilities located by the utility companies prior to commencing excavation. The excavator is responsible for compliance with the requirements of Chapter 36A of the Montgomery County Code.

OWNER/APPLICANT
LIVELY, JOHN J. III
23 HESKETH STREET
CHEVY CHASE, 20815



SITE PLAN FOR A SINGLE FAMILY DWELLING ADDITION

LIVELY PROPERTY
LOT 5, BLOCK 29
CHEVY CHASE SECTION 2
23 HESKETH STREET
7TH ELECTION DISTRICT
MONTGOMERY COUNTY, MARYLAND

LANDMARK ENGINEERING, INC.
6110 EXECUTIVE BLVD, SUITE 110
ROCKVILLE, MARYLAND 20852
CONSULTING ENGINEERS PLANNERS SURVEYORS

DRN: DCV CK: CTC
PROJECT NO.: 1539
SCALE: AS SHOWN
DATE: DEC. 15, 2012
SHEET 1 OF 1

GENERAL NOTES:

- Total Site Area = 7,500 Sq. Ft. or 0.17218 Ac. Montgomery County Tax Assessment Property Tax ID No. 07-00458557 Map Book Page H441 Zoning: R-60
- Property shown on Subdivision Plot No. 106 and known as Lot 5, Block 29 Chevy Chase-Section 2
- The property is located at:
23 Hesketh Street
Chevy Chase, MD. 20815
- The Owner on record:
Mr. John J. III and Susan V. Lively
23 Hesketh Street
Chevy Chase, MD. 20815
- Property is shown on WSSC 200' Sheet 216 NW 04
- Proposed building addition location and size provided by Thomson and Cooke, Architects
- This property is served by public water and sewer.
- The property drains to the Little Falls watershed.
- The proposed disturbed area is 2,560 square feet.
- This site lies in Flood Zone "X", areas of minimal flooding, as shown on F.E.M.A. Flood Insurance Rate Map of Montgomery County, Maryland Panel 24031003650 dated September 29, 2006.

ZONING INFORMATION NOTES:

Zone: R-60

ALLOWED	PROVIDED
Lot Area	6,000 sq. ft. / 7,500 sq. ft.
Main Building Coverage	35% / 22.9%
Setbacks	
Front	25 ft. or EBL / 45.3 ft. (Exist.)
Side	7 ft. / 7.92 ft. (Prop. Add.)
Rear	20 ft. / 26.94 ft. (Prop. Add.)
Frontage @ Street	25 ft. / 60.0 ft.

LOT COVERAGE (Lot: 7,500 s.f. x .35% = 2,627 s.f. Allowable Coverage)

EXISTING:

Main House	1,700.7 s.f.
Chimney	16 s.f.
Covered Porch	219.4 s.f.
Bay Window	18 s.f.

PROPOSED:

Screened Porch	297 s.f.
Grill Deck/Stairs	126 s.f.
Front Porch/Stairs	60 s.f.

Total: 2,437.7 s.f. -less than- 2,627 s.f. Allowable

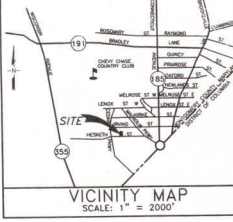
IMPERVIOUS COVERAGE

EXISTING:

Main House	1,700.7 s.f.
Rear Covered Porch over Mud Room	81 s.f.
Chimney	16 s.f.
Covered Side Porch	219.4 s.f.
Rear Porch-Stairs	85.5 s.f.
Bay Window	18 s.f.
Rear Stone Patio	238 s.f.
Front Porch/Stairs	52 s.f.
Asphalt Apron	130 s.f.
Total Impervious Area	2,530.6 s.f.

PROPOSED:

Main House	1,700.7 s.f.
Screened Porch	297 s.f.
Rear Covered Porch over Mud Room	0 s.f. Covered by proposed Screened Porch
Grill Deck/Stairs	126 s.f.
Chimney	16 s.f.
Covered Side Porch	219.4 s.f.
Rear Porch-Stairs	0 s.f. Removed
Bay Window	18 s.f.
Rear Stone Patio	0 s.f. Removed
Front Porch/Stairs	108 s.f.
Asphalt Apron	0 s.f. Removed
Total Impervious Area	2,485 s.f. -less than- 2,530.6 s.f.





DEPARTMENT OF PERMITTING SERVICES

Marc Elrich
County Executive

Rabbiah Sabbakhan
Director

HISTORIC AREA WORK PERMIT APPLICATION

Application Date: 12/31/2025

Application No: 1145082
AP Type: HISTORIC
Customer No: 1544564

Affidavit Acknowledgement

The Contractor is the Primary applicant authorized by the property owner
This application does not violate any covenants and deed restrictions

Primary Applicant Information

Address 23 HESKETH ST
CHEVY CHASE, MD 20815

Othercontact Hazzard (Primary)

Historic Area Work Permit Details

Work Type ADD

Scope of Work Add a front portico and rear screened porch.