

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	7329 Baltimore Avenue, Takoma Park	Meeting Date:	1/21/2026
Resource:	Non-Contributing Resource Takoma Park Historic District	Report Date:	1/14/2026
Applicant:	KAB Holding, LLC (Eric Saul, Architect)	Public Notice:	1/7/2026
Review:	HAWP	Tax Credit:	n/a
Permit Number:	1121582 REVISION	Staff:	Dan Bruechert
Proposal:	Revision to Previously Approved HAWP for Fenestration Alteration		

STAFF RECOMMENDATION

Staff recommends that the HPC **approve** the HAWP application.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Non-Contributing Resource within the Takoma Park Historic District
STYLE: Minimal Traditional
DATE: 1958

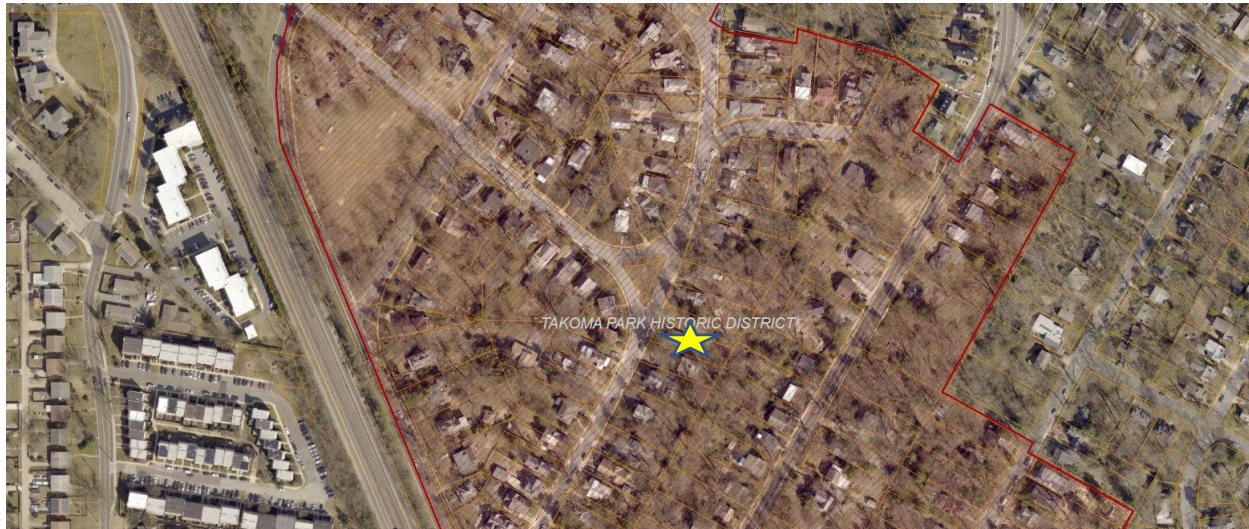


Figure 1: The subject property is located on the east side of Baltimore Avenue.

BACKGROUND

The HPC approved a HAWP to demolish the roof, construct a second story, revise the fenestration, construct a front porch, and make alterations to the hardscape at the August 13, 2025 HPC meeting. Two

conditions were added to the approval of the HAWP:

1. Material specifications for the proposed rear porch must be submitted to Staff for review and approval before the release of the final HAWP approval documents.
2. Material specifications for the proposed front porch roof must be submitted to Staff for review and approval before the release of the final HAWP approval documents.

Both conditions have been satisfied, and material specifications were presented for review and approval with the submission of the final permitting documents.

The project is currently under construction, and the applicant proposes to revise the approved fenestration on the east elevation. The average elevation to grade was also recalculated; however, Staff finds that does not impact the evaluation of the architectural compatibility of the work proposed.

PROPOSAL

The applicant proposes to revise the approved fenestration on the east elevation of the approved design.

APPLICABLE GUIDELINES

When reviewing alterations and additions for new construction to Non-Contributing Resources within the Takoma Park Historic District, decisions are guided by the Takoma Park Historic District Design Guidelines (*Design Guidelines*) and Montgomery County Code Chapter 24A (*Chapter 24A*) and the Secretary of the Interior's Standards for Rehabilitation (*The Standards*).

Takoma Park Historic District Design Guidelines

There are two very general, broad planning and design concepts which apply to all categories. These are:

The design review emphasis will be restricted to changes that are at all visible from the public right-of-way, irrespective of landscaping or vegetation (it is expected that the majority of new additions will be reviewed for their impact on the overall district), and,

The importance of assuring that additions and other changes to existing structures act to reinforce and continue existing streetscape, landscape, and building patterns rather than to impair the character of the district.

Most alterations and additions to Non-Contributing/Out-of-Period resources should be approved as a matter of course. The only exceptions would be major additions or alterations to the scale and massing of Non-Contributing/Out-of-Period Resources which affect the surrounding streetscape and/or landscape and could impair the character of the historic district as a whole.

Demolition of Non-Contributing/Out-of-Period Resources should be permitted. However, any new building constructed in place of a demolished building should be reviewed under the guidelines for new construction that follow.

Montgomery County Code, Chapter 24A Historic Resources Preservation

(b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:

- (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or

(2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or

(d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

Secretary of the Interior's Standards for Rehabilitation

2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportions, and massing to protect the integrity of the property and its environment.
10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

The subject property is one-story brick-sided minimal traditional house with a front-gable roof and aluminum slider windows. The lot slopes away from the street from right to left and towards the rear of the property. To the right (south) of the subject property, substantially set back from the street, there is a Non-Contributing neo-Craftsman house constructed in 1986.¹ To the left (north) of the subject property, there is a 40' (forty foot) wide platted, but unbuilt, road (Brashear Ave.).

¹ The file for the new construction includes only a memorandum that states the HPC approved the design of the house at the August 15, 1985 HPC meeting. No plans were in the subject folder.

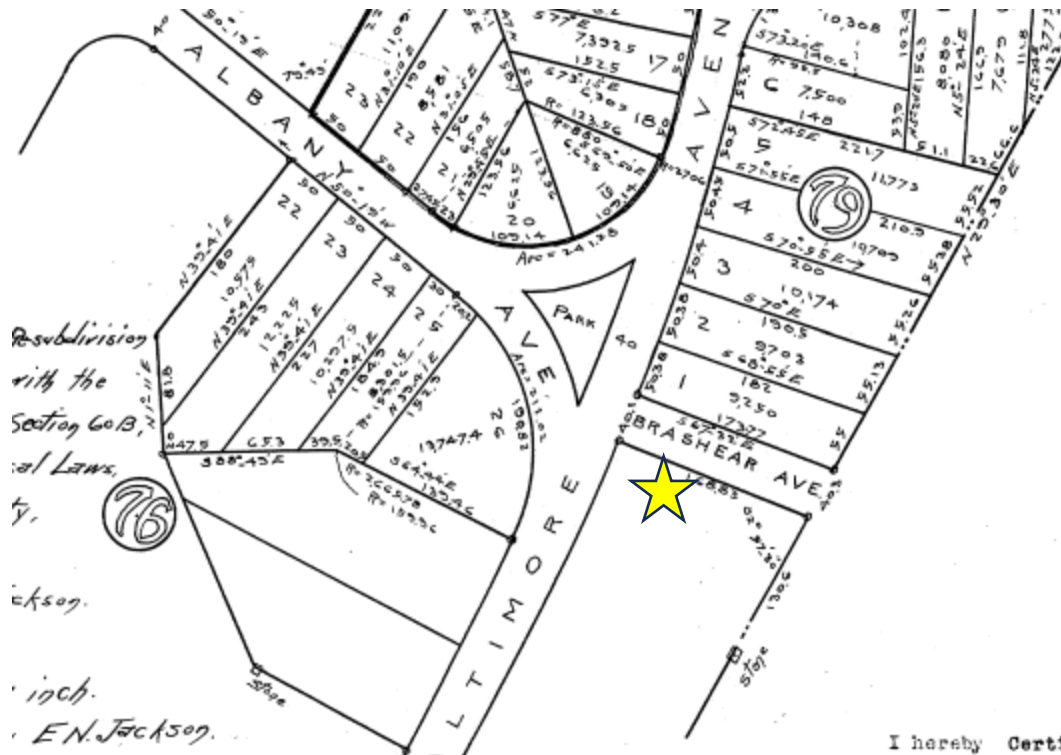


Figure 2: 1911 Plat map, the subject property is identified with a star.

The applicant’s approved HAWP included demolishing the existing roof, constructing a small rear addition, constructing a second floor, a new front porch, and revising the existing hardscape. As a Non-Contributing Resource, the primary consideration is how the size and massing of the proposal will impact the surrounding streetscape and the district as a whole.

Staff recommends the HPC approve the HAWP revision.

The approved HAWP changed the fenestration for all of the openings in the existing one-story Non-Contributing Resource. All of the second-floor fenestration was new and few of the second-floor windows were stacked above the first-floor openings (see Fig. 3, below). The revised fenestration (see Fig. 4, below, revisions bubbled) eliminates one window opening, changes a paired window opening to a single window, and enlarges and relocates one window. The windows specification are consistent with the windows approved at the August 2025 HAWP approval.

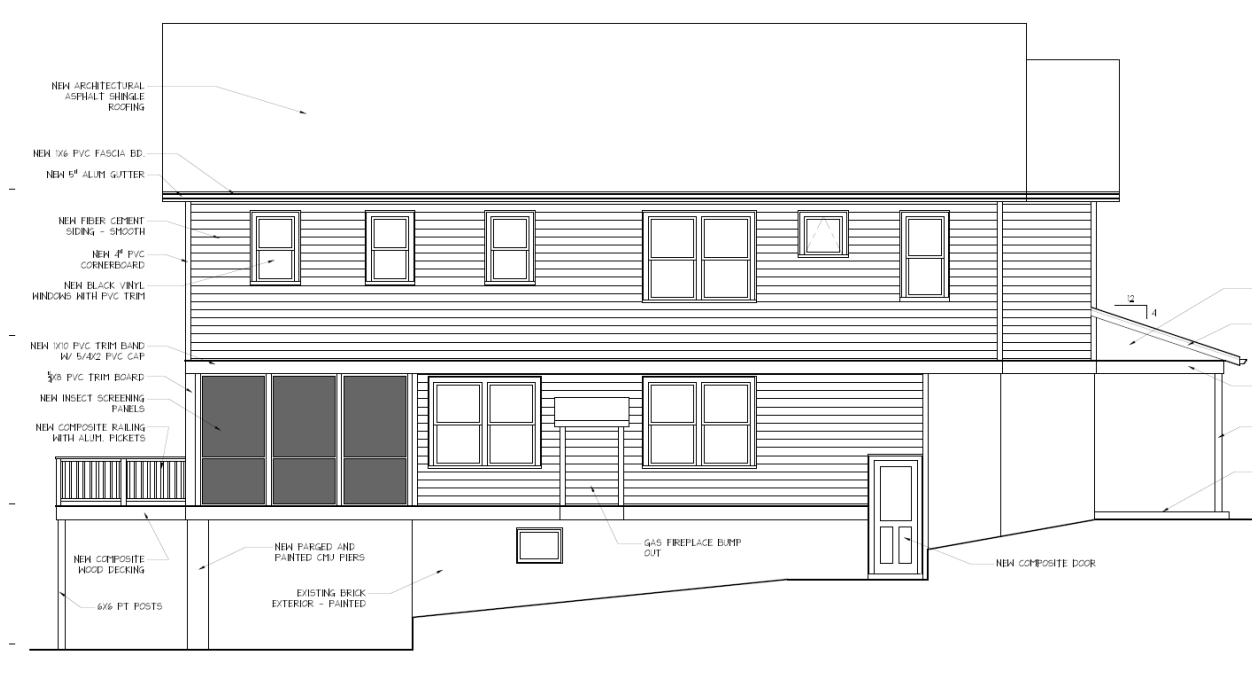


Figure 3: Approved left (east) elevation.

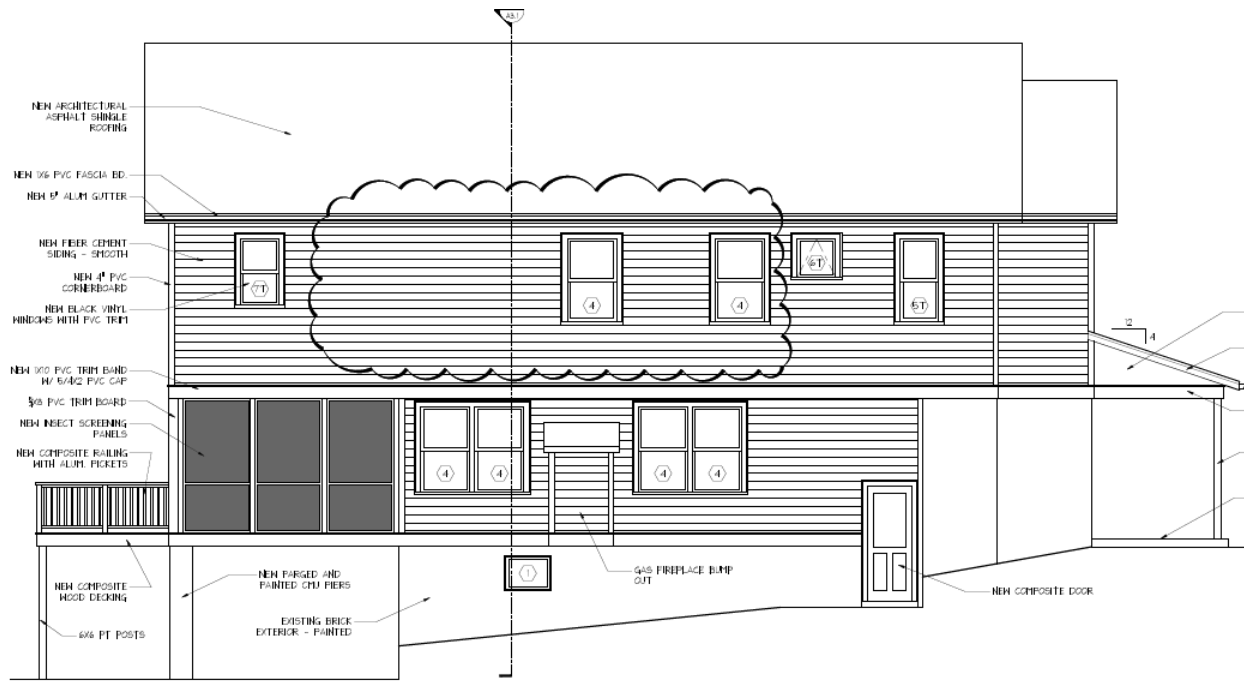


Figure 4: Revised fenestration proposal.

Staff finds the proposed change will not have a substantial impact on the character of the resource and, as the second story is a new feature, this change will not impact any existing materials. Additionally, Staff finds that the proposed revision will not change the size and mass of the approved HAWP, let alone to the degree the change would impair the character of the district as a whole, the standard required in the *Design Guidelines*. Staff recommends the HPC approve the HAWP revision under 24A-8(b)(2) and (d); the *Design Guidelines*; and *Standards #2* and *#9*.

STAFF RECOMMENDATION

Staff recommends that the Commission **approve** the HAWP application revision; under the Criteria for Issuance in Chapter 24A-8(2) and (d), having found that the proposal will not substantially alter the exterior features of the historic resource and is compatible in character with the district and the purposes of Chapter 24A;

and with the *Secretary of the Interior's Standards for Rehabilitation #2 and #9*;

and with the general condition that the applicant shall present an electronic set of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or dan.bruechert@montgomeryplanning.org to schedule a follow-up site visit.

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
 [Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address 7329 Baltimore Avenue Takoma Park, MD 20912	Owner's Agent's mailing address
Adjacent and confronting Property Owners mailing addresses	
7327 Baltimore Avenue Takoma Park, MD 20912 501 Albany Avenue Takoma Park, MD 20912	7330 Piney Branch Road Takoma Park, MD 20912
7332 Piney Branch Road Takoma Park, MD 20912 7400 Baltimore Avenue Takoma Park, MD 20912	500 Albany Avenue Takoma Park, MD 20912
7401 Baltimore Avenue Takoma Park, MD 20912	7324 Baltimore Avenue Takoma Park, MD 20912



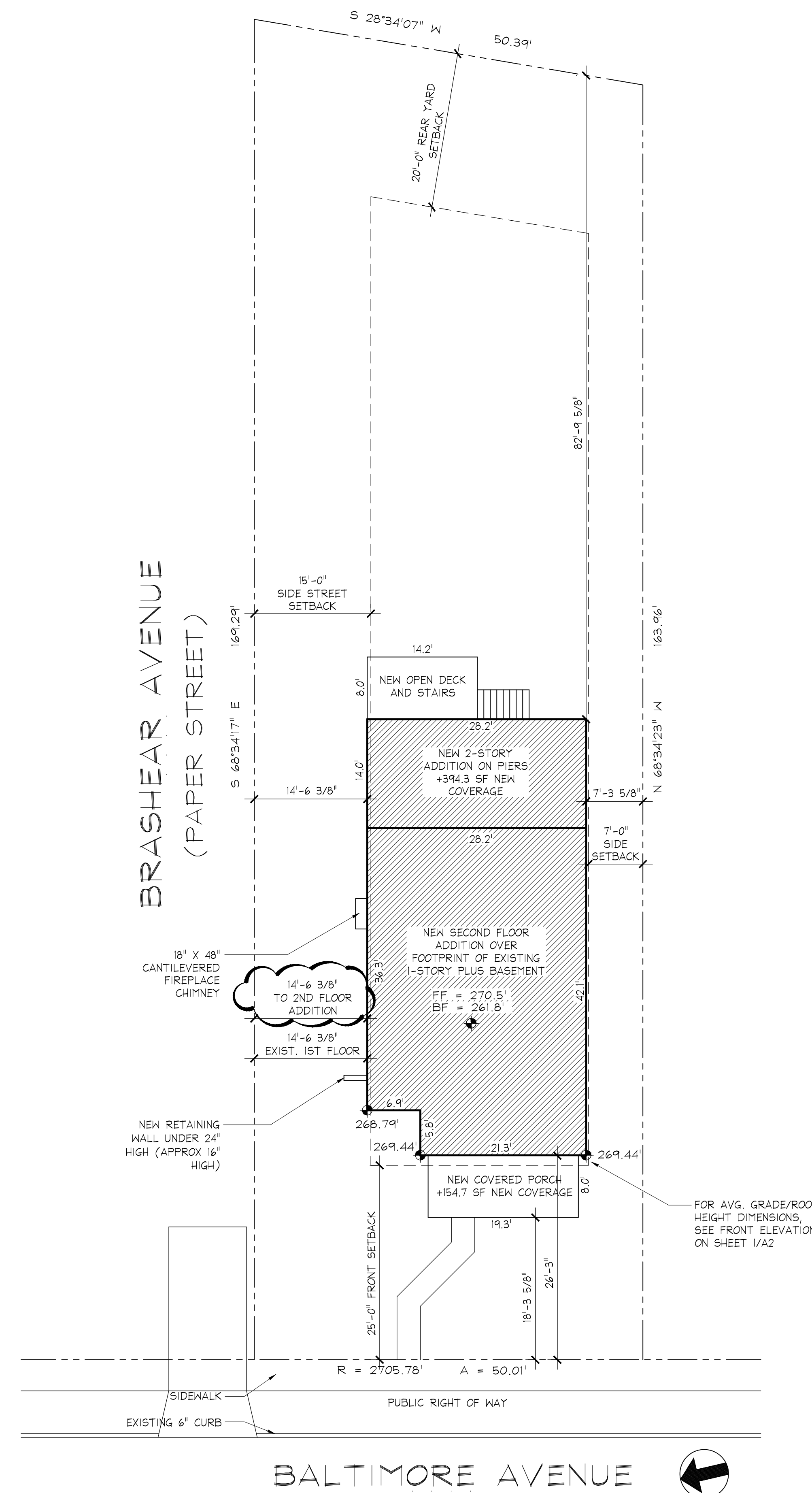
APPROVED
 Department of Permitting Services
 Permit # **BUILDING-1128143**
 Date **11/13/2025**
 Stamped By: Ronny Cabrera

MUNICIPAL STAMPS

BROWN RESIDENCE ADDITION AND RENOVATION

7329 BALTIMORE AVENUE | TAKOMA PARK, MD 20912

PROJECT TEAM	SHEET INDEX	GRAPHIC SYMBOLS	CODE ANALYSIS
OWNERS: KEVIN BROWN 7329 BALTIMORE AVENUE TAKOMA PARK, MD 20912 (202) 744-3574 ARCHITECT: ERIC C. SAUL, RA SAUL ARCHITECTS 8114 CARROLL AVENUE TAKOMA PARK, MD 20912 (301) 270-0395	ARCHITECTURAL CS COVER SHEET DP DRAINAGE PLAN EE1 ENERGY EFFICIENCY A1 EXISTING/DEMO FLOOR PLANS A1.1 EXISTING/DEMO FLOOR PLANS A1.2 PROPOSED 1ST AND 2ND FLOOR PLANS A1.3 PROPOSED BASEMENT AND WINDOW/DOOR SCHEDULES A2 EXTERIOR ELEVATIONS A2.1 EXTERIOR ELEVATIONS A3 BUILDING SECTION AND DETAILS A3.1 BUILDING SECTION AND DETAILS A3.2 DECK AND BALCONY DETAILS A3.3 FRONT PORCH DETAILS S1 FRAMING PLANS AND STRUCTURAL NOTES S2 FRAMING PLANS AND DETAILS S3 WIND BRACING DIAGRAM EE1 ELECTRICAL PLAN	SECTION CALLOUT SHEET NUMBER DETAIL CALLOUT SHEET NUMBER ELEVATION CALLOUT SHEET NUMBER DETAIL NUMBER SHEET NUMBER INTERIOR ELEVATION SHEET NUMBER SPOT ELEVATION WINDOW IDENTIFIER DOOR IDENTIFIER FLOOR HEIGHT IDENTIFIER KEYNOTE REVISION INDICATOR	CODE ANALYSIS SCOPE OF WORK: ADDITION AND RENOVATION OF AN EXISTING SINGLE FAMILY HOUSE. NEW SECOND FLOOR ADDITION BUILT OVER THE FOOTPRINT OF THE EXISTING HOUSE TO CREATE A 3 BEDROOM/2 BATH LAYOUT. ALSO PROPOSED IS A NEW REAR 2-STORY ADDITION BUILT ON PIERS TO CREATE A SCREENED PORCH AND SUNROOM ON THE FIRST FLOOR AND MASTER BEDROOM SUITE ON THE 2ND FLOOR. A NEW REAR DECK AND FRONT PORCH IS ALSO PROPOSED. REVISION: A VARIANCE WAS GRANTED TO ALLOW AN ENCROACHMENT OF 6' INTO THE NORTH SIDE LOT LINE FOR THE ADDITION. SEE LETTER FROM BOA. LOT: BLOCK: 78 SUBDIVISION: 0025 CODE: IRC 2021 ZONE: R-60 CONSTRUCTION TYPE: 5B NO. OF STORIES: 2 PLUS BASEMENT SPRINKLERED: NO DESIGN CRITERIA: GROUND SNOW LOAD 30 PSF WIND SPEED 115 MPH SEISMIC DESIGN CATEGORY B WEATHERING SEVERE FROST DEPTH LINE 30 IN. TERMITES MODERATE TO HEAVY DECAY SLIGHT TO MODERATE WINTER DESIGN TEMP. 13° F ICE SHIELD UNDERLAYMENT REQ'D YES FLOOD HAZARDS JULY 2, 1979 AIR FREEZING INDEX 300 MEAN ANNUAL TEMP. 55° F ALLOWED HEIGHT: 2 1/2 STORIES; 30'-0" MEAN HEIGHT PROPOSED HEIGHT: 25'-6" ABOVE AVG. GRADE SETBACKS: FRONT YARD 25'-0" SIDE STREET YARD 15'-0" SIDE YARD 7'-0" (LOT RECORDED BEFORE 1954) REAR YARD 20'-0" LOT AREA CALCULATIONS: LOT SIZE 8,329.0 SQ. FT. (100.0%) MAX INFILL LOT COVERAGE 30 - (2,329.0 SF X .001) = 27.67% OR 2,304.6 SQ. FT. EXISTING COVERAGE 1,145.8 SQ. FT. (13.8%) PROPOSED COVERAGE 1,694.8 SQ. FT. (20.3%) INCREASED COVERAGE 549.0 SQ. FT. (6.5%) ADDITIONAL LOT COVERAGE 549 SQ. FT. FLOOR LIVING AREA CALCULATIONS: EXISTING FLOOR AREA BASEMENT 1,145.8 SQ. FT. FIRST FLOOR 1,145.8 SQ. FT. TOTAL EXISTING 2,291.6 SQ. FT. PROPOSED FLOOR AREA BASEMENT 1,145.8 SQ. FT. FIRST FLOOR 1,341.8 SQ. FT. SECOND FLOOR 1,694.8 SQ. FT. TOTAL PROPOSED 4,182.4 SQ. FT. INCREASE 1,890.8 SQ. FT. (82.5%) SCREENED PORCH ADDITION 197.9 SQ. FT. FRONT PORCH ADDITION 154.7 SQ. FT. TOTAL ADDITION 2,243.4 SQ. FT. REMODELED FLOOR AREA BASEMENT 1001 SQ. FT. FIRST FLOOR 1057 SQ. FT. TOTAL RENOVATION 2,058 SQ. FT.



1 SITE PLAN
 CS 1" = 10'-0"

REVISION #1 11/10/2025

SAUL ARCHITECTS
 8114 CARROLL AVENUE | TAKOMA PARK, MD 20912
 P: 301.270.0395
 info@saularchitects.com
 www.saularchitects.com

REVISIONS

BALTIMORE AVENUE
 ADDITION AND RENOVATION
 7329 BALTIMORE AVENUE | TAKOMA PARK, MD 20912
DO NOT SCALE THESE DRAWINGS. THE ORIGINAL SET OF DRAWINGS IS A COPY OF THE ORIGINAL SET OF DRAWINGS. ANY USE OF THESE DRAWINGS FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF THE COPYRIGHT OWNER IS PROHIBITED. BY ANY METHOD, IN WHOLE OR IN PART.



PROFESSIONAL CERTIFICATION:
 I, ERIC SAUL, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 14248, EXPIRATION DATE JUNE 30, 2027

PROJECT NUMBER: 25010

PRINTING LOG	
DATE	PURPOSE
02.20.25	PRE-DESIGN
06.18.25	HAWP SUBMITTAL

ZONING AND CODE ANALYSIS

CS



APPROVED
 Department of Permitting Services
 Permit # **BUILDING-1128143**
 Date **11/13/2025**
 Stamped By: Ronny Cabrera

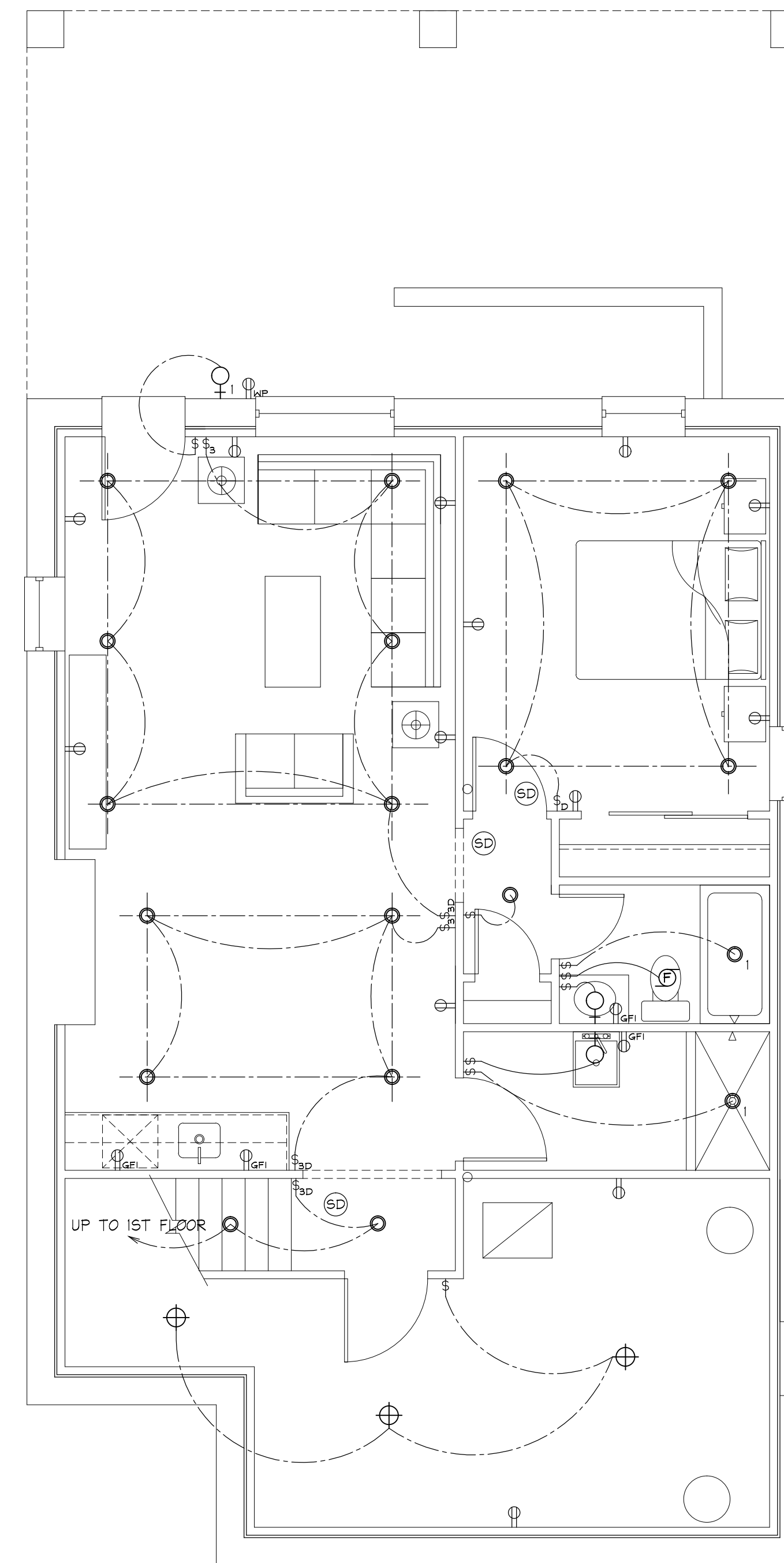
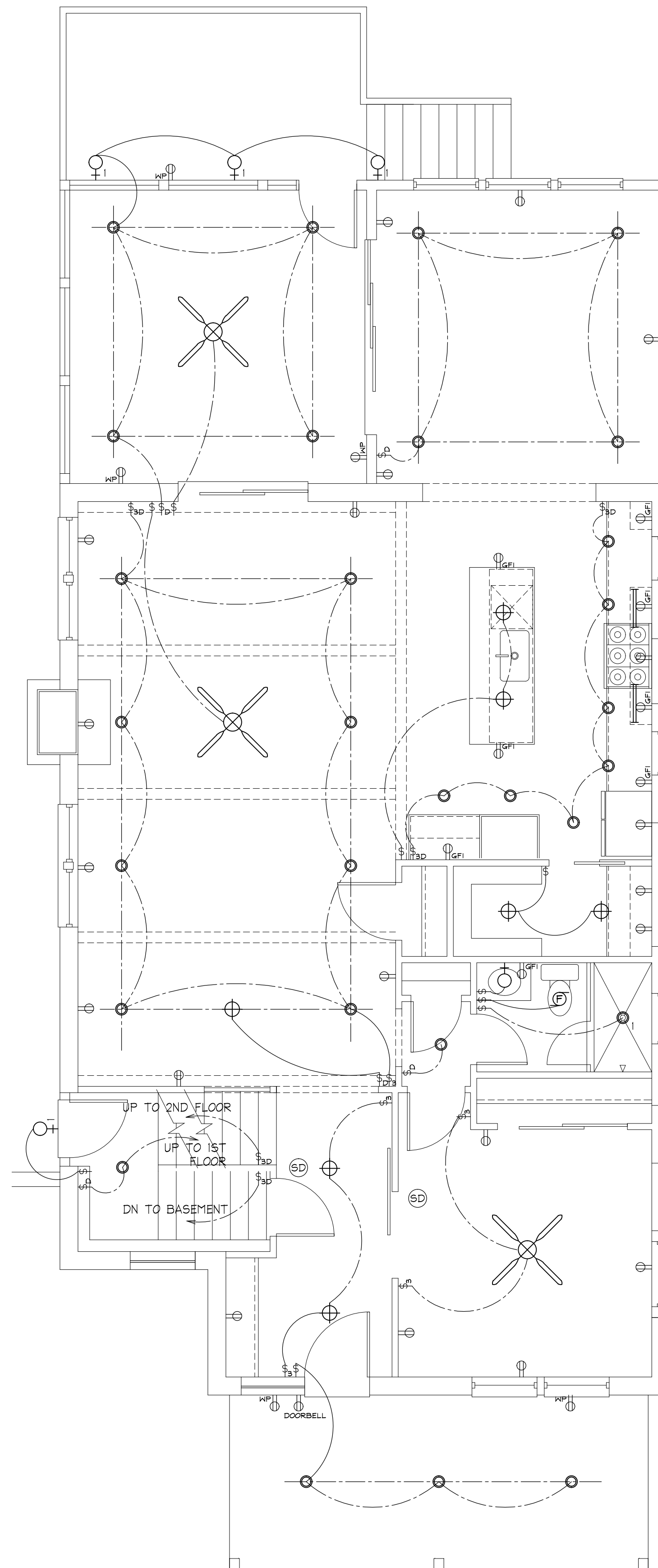
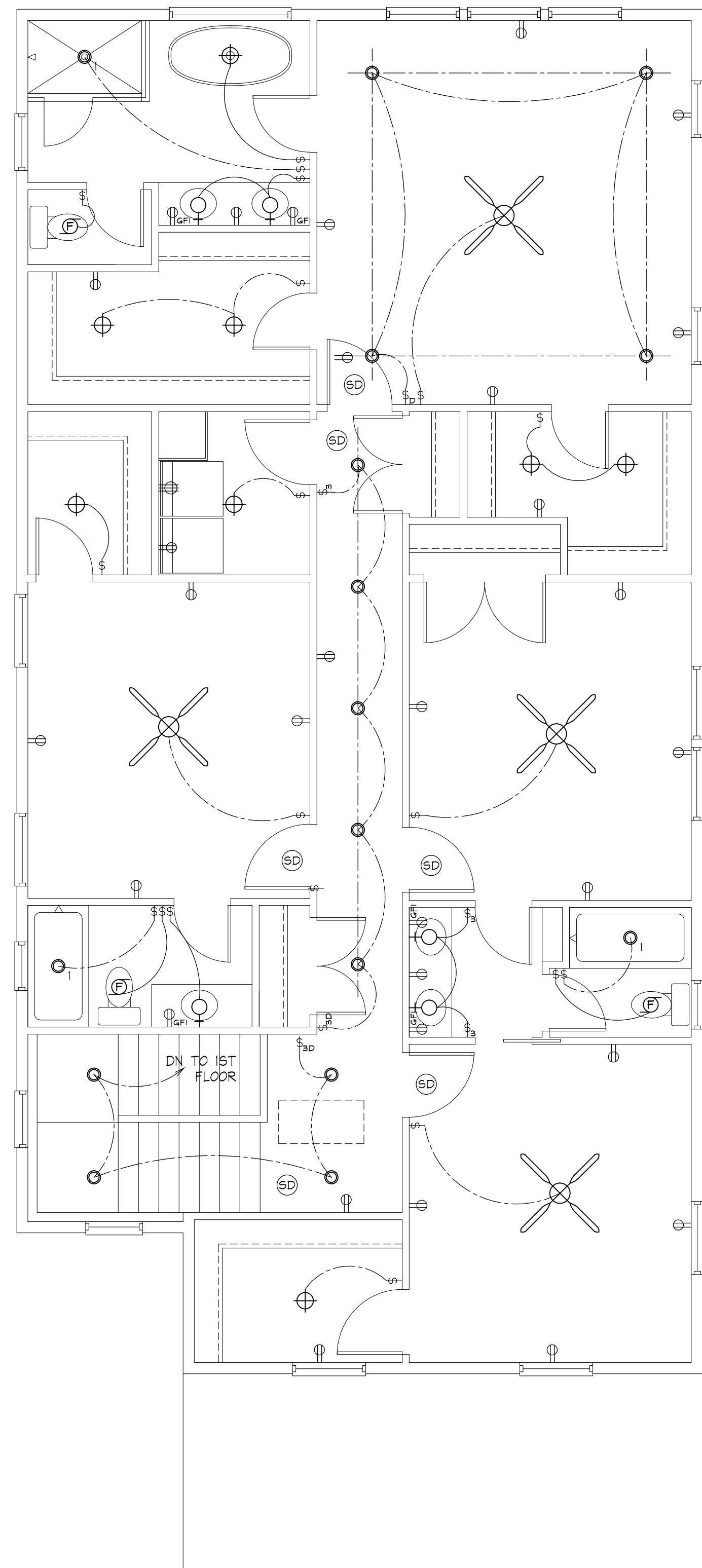
MUNICIPAL STAMPS

ELECTRICAL SYMBOLS

- ⌘ SWITCH
- ⌘₃ THREE-WAY SWITCH
- ⌘_J JAMB SWITCH
- ⌘_D SWITCH WITH DIMMER
- ⌘_{AS} AIR SWITCH FOR DISPOSAL
- ⌘_R DUPLEX RECEPTACLE
- ⌘_{USB} DUPLEX RECEPTACLE W/ USB PORTS
- ⌘_Q QUADRUPLEX RECEPTACLE
- ⌘_S SWITCHED OUTLET
- ⌘_{GFI} GROUND FAULT PROTECTED RECEPTACLE
- ⌘_{WP} WATERPROOF RECEPTACLE
- ⌘_{220V} 220V RECEPTACLE
- ⌘_{FLR} FLOOR MOUNTED DUPLEX RECEPTACLE
- ⌘_{CLG} CEILING MOUNTED WIRELESS ACCESS POINT JACK
- ⌘_{TV} CABLE TELEVISION JACK W/ DUAL CAT6 DATA WIRING
- ⌘_T TELEPHONE JACK/INTERNET/DATA
- ⊕ SMOKE DETECTOR
- ⊕_{OSCI} SURFACE MOUNTED CEILING FIXTURE (OSCI)
- RECESSED CEILING FIXTURE
- ₁ RECESSED CEILING FIXTURE - RATED FOR WET LOCATION
- RECESSED WALL WASH FIXTURE
- ⊕₁ WALL MOUNTED FIXTURE
- ⊕₂ EXTERIOR WALL MOUNTED FIXTURE
- ₁ WALL SCONCE
- ⌘_F FLOODLIGHT
- ⌘_{BE} BATHROOM EXHAUST FAN
- ⌘_{OSCI} CEILING FAN (OSCI)
- UNDER CABINET/OVER DOOR LED STRIP LIGHT

GENERAL ELECTRICAL NOTES:

1. ELECTRICAL LAYOUT TO MEET REQUIREMENTS OF THE CURRENT NATIONAL ELECTRICAL CODE.
2. SMOKE DETECTORS ARE TO BE HARDWIRED TOGETHER SO THAT ACTIVATION OF ONE DETECTOR ACTIVATES ALL. PROVIDE BATTERY BACK-UPS.
3. INSTALL CARBON MONOXIDE DETECTOR ON EACH FLOOR.
4. WIRE ENTIRE HOUSE FOR INTERNET SERVICE.



3 SECOND FLOOR ELECTRICAL PLAN
 EI 1/4" = 1'-0"

2 FIRST FLOOR ELECTRICAL PLAN
 EI 1/4" = 1'-0"

1 BASEMENT ELECTRICAL PLAN
 EI 1/4" = 1'-0"

SAUL ARCHITECTS
 8114 CARROLL AVENUE | TAKOMA PARK, MD 20912
 P: 301.270.0395
 info@saularchitects.com
 www.saularchitects.com

REVISIONS

**BALTIMORE AVENUE
 ADDITION AND RENOVATION**
 7329 BALTIMORE AVENUE | TAKOMA PARK, MD 20912
DO NOT SCALE THE DRAWINGS. THE ORIGINAL SET OF PLANS IS A COPY OF THE ORIGINAL SET OF PLANS. SCALE, DATE, AND PROJECT NUMBER ARE INDICATED IN THE TITLE BLOCK. ANY CHANGES TO THE ORIGINAL SET OF PLANS MUST BE APPROVED BY SAUL ARCHITECTS. ANY CHANGES MADE TO THESE PLANS WITHOUT THE WRITTEN CONSENT OF SAUL ARCHITECTS ARE PROHIBITED.



PROFESSIONAL CERTIFICATION:
 I, ERIC SAUL, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 14248, EXPIRATION DATE 6/30/2027

PROJECT NUMBER: 25010

PRINTING LOG	
DATE	PURPOSE
02.20.25	PRE-DESIGN
06.18.25	HAWP SUBMITTAL

ELECTRICAL PLANS

E1



DEPARTMENT OF PERMITTING SERVICES

Marc Elrich
County Executive

Rabbiah Sabbakhan
Director

BUILDING PERMIT

Issue Date: 10/01/2025

Permit No: 1128143
AP Type: BUILDING
Expires: 10/01/2026
X Ref:
Rev. No:
ID: 1533342

THIS IS TO CERTIFY THAT: Kevin Brown
7329 Baltimore Ave
TAKOMA PARK, MD 20912

HAS PERMISSION TO: ADD SINGLE FAMILY DWELLING

PERMIT CONDITIONS: Revision 1 - Variance granted to encroach 6 inches into side setback. BOA approval Letter in documents folder.,Customer Wants To Use ePlans
Customer Wants To Use ePlans,new second story addition over existing footprint, 2 story rear addition, front porch
Mixed Type Permit
Add 2243 sqft Alt 2025 sqft Deck 135 sqft MD 09/26/2025

MODEL NAME:

PREMISE ADDRESS: 7329 BALTIMORE AVE, TAKOMA PARK, MD 20912

LOT - BLOCK: 10B - 78

ZONE:

ELECTION DISTRICT: 13

BOND NO.:

BOND TYPE:

PS NUMBER:

PERMIT FEE: \$ 3,583.31

SUBDIVISION: TAKOMA PARK

The permit fee is calculated based on the approved Executive Regulations multiplied by the Enterprise Fund Stabilization Factor for the current fiscal year.

TRANSPORTATION IMPACT TAX DUE:

SCHOOLS IMPACT TAX DUE:

UTILIZATION PREMIUM PAYMENT DUE:

Impact taxes must be paid before a final inspection of your project can be performed. Impact tax rates are subject to change. The rate of the tax or Payment due is the rate in effect when the tax or Payment is paid.

MUST BE KEPT AT JOB SITE

AN APPROVED FINAL INSPECTION IS REQUIRED PRIOR TO USE OR OCCUPANCY

Every new one- or two-family dwelling, every townhouse and any attached accessory structure must be equipped with a fire sprinkler system. A separate sprinkler permit is required for the installation of the fire sprinkler system.

Many subdivisions and neighborhoods within Montgomery County have private deed restrictions and covenants regulating building construction. Obtaining a building permit does not relieve the property owner of responsibility for complying with applicable covenants. The issuance and acceptance of this permit constitutes permission by the applicant and/or property owner for Montgomery County DPS to conduct inspections by drone overflights with prior notification to the applicant. Drone operations will comply with all applicable FAA regulations, as well as any State and local laws.

NOTICE

THIS APPROVAL DOES NOT
INCLUDE PLUMBING, GAS PIPING
OR ELECTRICAL OR
CONSTRUCTION IN ANY
DEDICATED RIGHT-OF-WAY.

NOTE

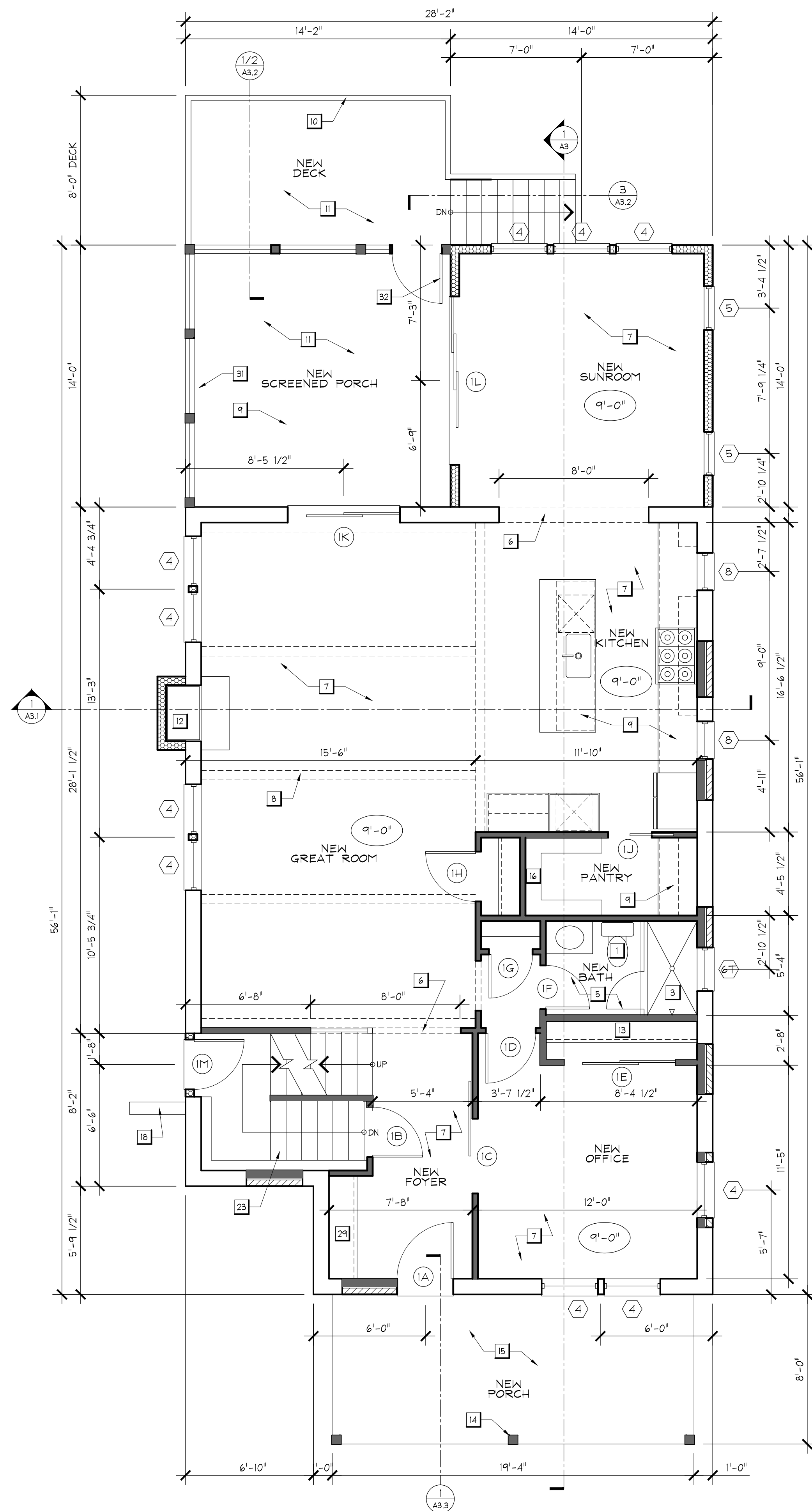
THIS PERMIT DOES NOT INCLUDE
APPROVAL FOR ANY ELECTRICAL
WORK. YOU MUST HAVE A SEPARATE
ELECTRICAL PERMIT TO DO ANY
ELECTRICAL WORK.



Director, Department of Permitting Services

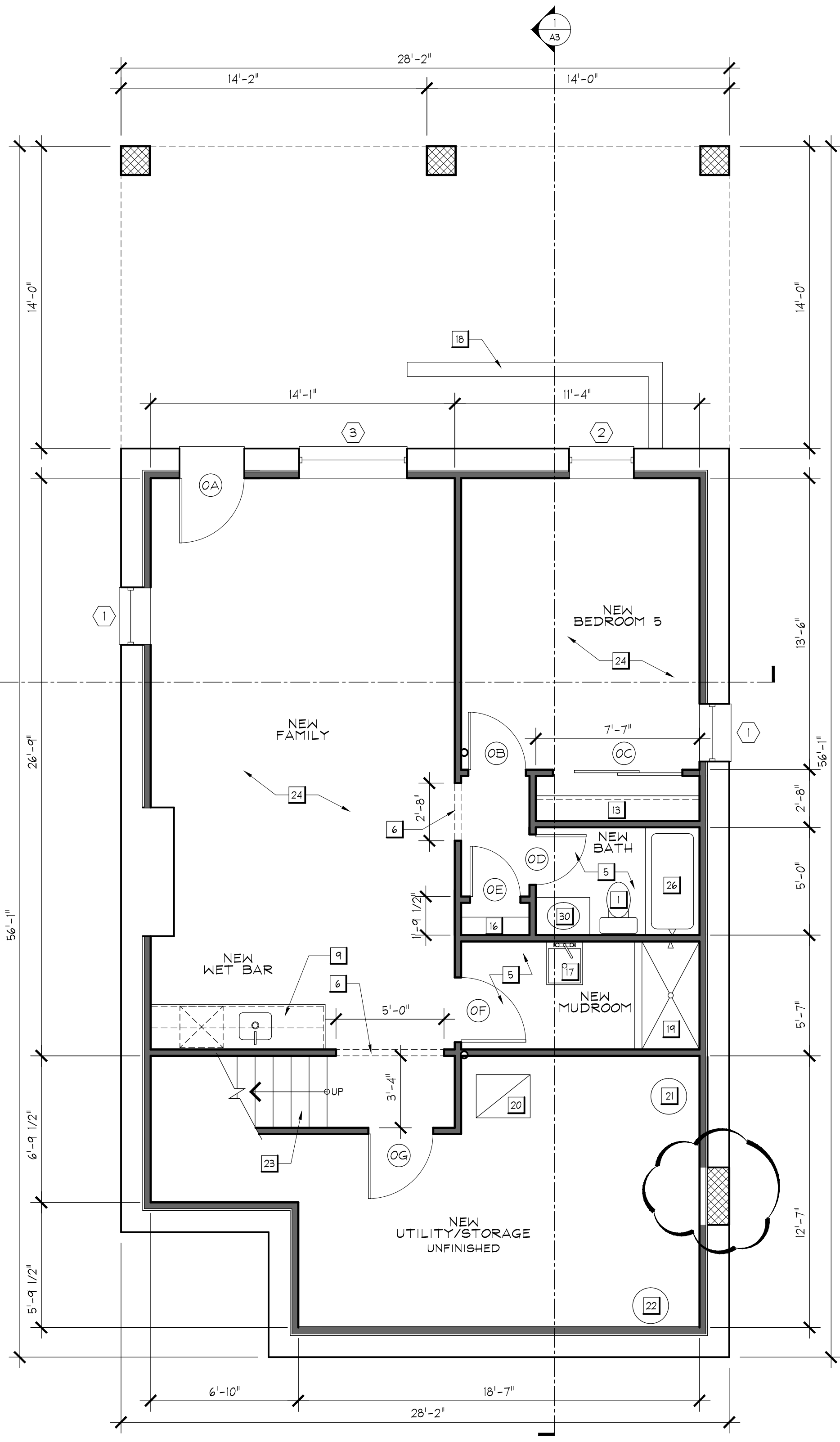


MUNICIPAL STAMPS



2 PROPOSED FIRST FLOOR PLAN
 A1.1 1/4" = 1'-0"

RANGE HOOD EXHAUST SHALL COMPLY WITH SECTION M1503 OF THE 2021 IRC AS AMENDED BY MONTGOMERY COUNTY



1 PROPOSED BASEMENT PLAN
 A1.1 1/4" = 1'-0"

FLOOR PLAN KEYNOTES:

- 1 NEW TOILET
- 2 NEW 72" DOUBLE VANITY
- 3 NEW CUSTOM TILED SHOWER W/ GLASS ENCLOSURE AND TILED SOAP NICHE
- 4 NEW SOAKING TUB - SELECTED BY OWNER
- 5 NEW TILE FLOORING - SELECTED BY OWNER
- 6 NEW CASING OPENING
- 7 NEW HARDWOOD FLOORING
- 8 NEW 6" WIDE X 6" DEEP FAUX WOOD CEILING BEAMS
- 9 NEW KITCHEN/PANTRY CABINETS PER SEPARATE KITCHEN DESIGN DRAWINGS
- 10 NEW 36" HIGH DECK GUARDRAIL
- 11 COMPOSITE DECKING BOARDS
- 12 GAS FIREPLACE - SELECTED BY OWNER
- 13 CUSTOM CLOSET ORGANIZING
- 14 NEW 6X6 CEDAR POST
- 15 POURED CONCRETE PORCH SLAB
- 16 PANTRY/LINEN SHELVING TO BE DESIGNED BY OWNER
- 17 NEW UTILITY SINK
- 18 RETAINING LESS THAN 24" HIGH - BUILT WITH STACKABLE LANDSCAPE BLOCKS
- 19 NEW DOG SHOWER
- 20 NEW HVAC
- 21 NEW WATER HEATER
- 22 SUMP PUMP
- 23 NEW STAIR CASE PER CODE: 36" MIN. WIDTH; 80" MIN HEAD CLEARANCE; 7.75" MAX RISER; 10" MIN. TREAD DEPTH
- 24 LUXURY VINYL TILE FLOORING
- 25 WASHER/DRYER UNITS
- 26 60" TUB/SHOWER COMBO
- 27 48" VANITY
- 28 60" DOUBLE VANITY
- 29 NEW BUILT-IN - DESIGNED BY OWNER
- 30 30" VANITY
- 31 INSECT SCREENING PANELS
- 32 32" X 80" SCREENED DOOR
- 33 ATTIC ACCESS PANEL W/ PULL-DOWN LADDER

EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE EMERGENCY ESCAPE OPENING WITH A MINIMUM OPENING AREA OF 5.7 SF THE MINIMUM OPENING WIDTH SHALL BE 20" THE MINIMUM OPENING HEIGHT SHALL BE 24" THE SILL SHALL NOT BE MORE THAN 44" ABOVE THE FLOOR

BATH SPACES AND VENTILATION SHALL COMPLY WITH SECTIONS R307 AND R303.3 OF THE 2021 IRC AS AMENDED BY MONTGOMERY COUNTY

GENERAL NOTES:

1. ALL DIMENSIONS ARE TO FACE OF STUD, CONCRETE OR MASONRY ON NEW WALLS, AND TO FACE OF FINISH OF EXISTING WALLS.
2. ANGLED WALLS ARE 45° TO ADJACENT WALLS, U.N.O.
3. DOORS TO BE LOCATED 4" FROM WALL ON HINGE SIDE OR CENTER OF THE SPACE, U.N.O.

FLOOR PLAN LEGEND

	EXISTING WALL TO REMAIN
	NEW INT. 2X4 STUD WALL, U.N.O.
	NEW EXT. 2X4 STUD FURRED WALL R-13 MIN. INSULATION
	NEW EXTERIOR 2X6 STUD WALL; R-30 MIN. SPRAY FOAM INSULATION
	NEW 8" CONC. MASONRY WALL
	NEW BRICK MASONRY WALL OR PIER
	EXISTING WALL TO BE REMOVED
	EXISTING ITEM TO BE REMOVED
	CEILING HEIGHT INDICATOR

SAUL ARCHITECTS
 8114 CARROLL AVENUE | TAKOMA PARK, MD 20912
 P: 301.270.0395
 info@saularchitects.com
 www.saularchitects.com

REVISIONS

NO.	DESCRIPTION

BALTIMORE AVENUE
 ADDITION AND RENOVATION
 7329 BALTIMORE AVENUE | TAKOMA PARK, MD 20912

DO NOT SCALE THE DRAWINGS. THE ORIGINAL SET OF DRAWINGS IS A COPY OF ANY OF THE SETS OF DRAWINGS. ANY CHANGES TO THE ORIGINAL SET OF DRAWINGS SHALL BE MADE ON THE ORIGINAL SET OF DRAWINGS. ANY CHANGES TO THE ORIGINAL SET OF DRAWINGS SHALL BE MADE ON THE ORIGINAL SET OF DRAWINGS. ANY CHANGES TO THE ORIGINAL SET OF DRAWINGS SHALL BE MADE ON THE ORIGINAL SET OF DRAWINGS.



PROFESSIONAL CERTIFICATION:
 I, ERIC SAUL, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.
 LICENSE NO. 14248, EXPIRATION DATE: JUNE 30, 2027

PROJECT NUMBER: 25010

DATE	PURPOSE
02.20.25	PRE-DESIGN
06.18.25	HAWP SUBMITTAL

PROPOSED BASEMENT AND FIRST FLOOR PLANS

A1.1



MUNICIPAL STAMPS

DOOR SCHEDULE

DOOR NO.	ROOM NAME	DOOR SIZE	DOOR TYPE	HDWR SET	THRESH	DOOR DETAILS			REMARKS
						HEAD	JAMB	SILL	
BASEMENT									
0A	FAMILY	3'-0" x 6'-8"	SWING	6	ALUM.	-	-	-	ENTRY DOOR TO BE SELECTED BY OWNER
0B	BEDROOM 5	2'-8" x 6'-8"	SWING	3	NONE	-	-	-	SOLID CORE 1-PANEL DOOR
0C	BDRM 5 CLOSET	6'-0" x 6'-8"	SLIDING	9	NONE	-	-	-	SLIDING CLOSET DOORS TO BE SELECTED BY OWNER
0D	BATHROOM	2'-4" x 6'-8"	SWING	3	TILE	-	-	-	SOLID CORE 1-PANEL DOOR
0E	LINEN	2'-4" x 6'-8"	SWING	5	NONE	-	-	-	SOLID CORE 1-PANEL DOOR
0F	MUDROOM	2'-8" x 6'-8"	SWING	1	TILE	-	-	-	SOLID CORE 1-PANEL DOOR
0G	UTILITY	3'-0" x 6'-8"	SWING	1	NONE	-	-	-	SOLID CORE 1-PANEL DOOR
FIRST FLOOR									
1A	FOYER	3'-0" x 6'-8"	SWING	6	ALUM.	-	-	-	ENTRY DOOR TO BE SELECTED BY OWNER
1B	STAIRS	2'-8" x 6'-8"	SWING	1	NONE	-	-	-	SOLID CORE 1-PANEL DOOR
1C	OFFICE	4'-0" x 6'-8"	SLIDING BARN	8	NONE	-	-	-	CUSTOM BARN DOOR TO BE SELECTED BY OWNER
1D	OFFICE	2'-8" x 6'-8"	SWING	3	NONE	-	-	-	SOLID CORE 1-PANEL DOOR
1E	OFFICE CLOSET	6'-0" x 6'-8"	SLIDING	9	NONE	-	-	-	SLIDING CLOSET DOORS TO BE SELECTED BY OWNER
1F	BATHROOM	2'-4" x 6'-8"	SWING	3	TILE	-	-	-	SOLID CORE 1-PANEL DOOR
1G	LINEN	2'-4" x 6'-8"	SWING	5	NONE	-	-	-	SOLID CORE 1-PANEL DOOR
1H	CLOSET	2'-8" x 6'-8"	SWING	5	NONE	-	-	-	SOLID CORE 1-PANEL DOOR
1J	PANTRY	2'-4" x 6'-8"	POCKET	4	TILE	-	-	-	SOLID CORE 1-PANEL DOOR
1K	SCREENED PORCH	6'-0" x 6'-8"	SLIDING GLASS	7	ALUM.	-	-	-	SLIDING GLASS DOOR TO BE SELECTED BY OWNER
1L	SUNROOM	9'-0" x 7'-6"	SLIDING GLASS	7	ALUM.	-	-	-	SLIDING GLASS DOOR TO BE SELECTED BY OWNER
1M	STAIR SIDE ENTRY	2'-8" x 6'-8"	SWING	6	ALUM.	-	-	-	ENTRY DOOR TO BE SELECTED BY OWNER
SECOND FLOOR									
2A	MASTER BEDROOM	2'-8" x 6'-8"	SWING	3	NONE	-	-	-	SOLID CORE 1-PANEL DOOR
2B	MASTER BATH	2'-4" x 6'-8"	SWING	3	TILE	-	-	-	SOLID CORE 1-PANEL DOOR
2C	MASTER TOILET	2'-4" x 6'-8"	SWING	3	TILE	-	-	-	SOLID CORE 1-PANEL DOOR
2D	MASTER W.I.C	2'-4" x 6'-8"	SWING	1	NONE	-	-	-	SOLID CORE 1-PANEL DOOR
2E	MASTER W.I.C	2'-4" x 6'-8"	SWING	1	NONE	-	-	-	SOLID CORE 1-PANEL DOOR
2F	HALL CLOSET	PR. 2'-0" x 6'-8"	DOUBLE SWING	2	NONE	-	-	-	SOLID CORE 1-PANEL DOOR
2G	LAUNDRY	2'-8" x 6'-8"	SWING	1	NONE	-	-	-	SOLID CORE 1-PANEL DOOR
2H	BEDROOM 4	2'-8" x 6'-8"	SWING	3	NONE	-	-	-	SOLID CORE 1-PANEL DOOR
2J	BEDROOM 4 W.I.C	2'-4" x 6'-8"	SWING	1	NONE	-	-	-	SOLID CORE 1-PANEL DOOR
2K	BATHROOM	2'-4" x 6'-8"	SWING	3	TILE	-	-	-	SOLID CORE 1-PANEL DOOR
2L	BEDROOM 2	2'-8" x 6'-8"	SWING	3	NONE	-	-	-	SOLID CORE 1-PANEL DOOR
2M	BDRM 2 CLOSET	PR. 2'-0" x 6'-8"	DOUBLE SWING	2	NONE	-	-	-	SOLID CORE 1-PANEL DOOR
2N	BATHROOM	2'-4" x 6'-8"	SWING	3	TILE	-	-	-	SOLID CORE 1-PANEL DOOR
2P	BEDROOM 3	2'-8" x 6'-8"	SWING	3	NONE	-	-	-	SOLID CORE 1-PANEL DOOR
2Q	BEDROOM 2 W.I.C	2'-4" x 6'-8"	SWING	1	NONE	-	-	-	SOLID CORE 1-PANEL DOOR
2R	BATHROOM	2'-4" x 6'-8"	POCKET	4	TILE	-	-	-	SOLID CORE 1-PANEL DOOR
2S	BEDROOM 3	2'-8" x 6'-8"	SWING	3	NONE	-	-	-	SOLID CORE 1-PANEL DOOR
2T	HALL CLOSET	PR. 2'-0" x 6'-8"	DOUBLE SWING	2	NONE	-	-	-	SOLID CORE 1-PANEL DOOR

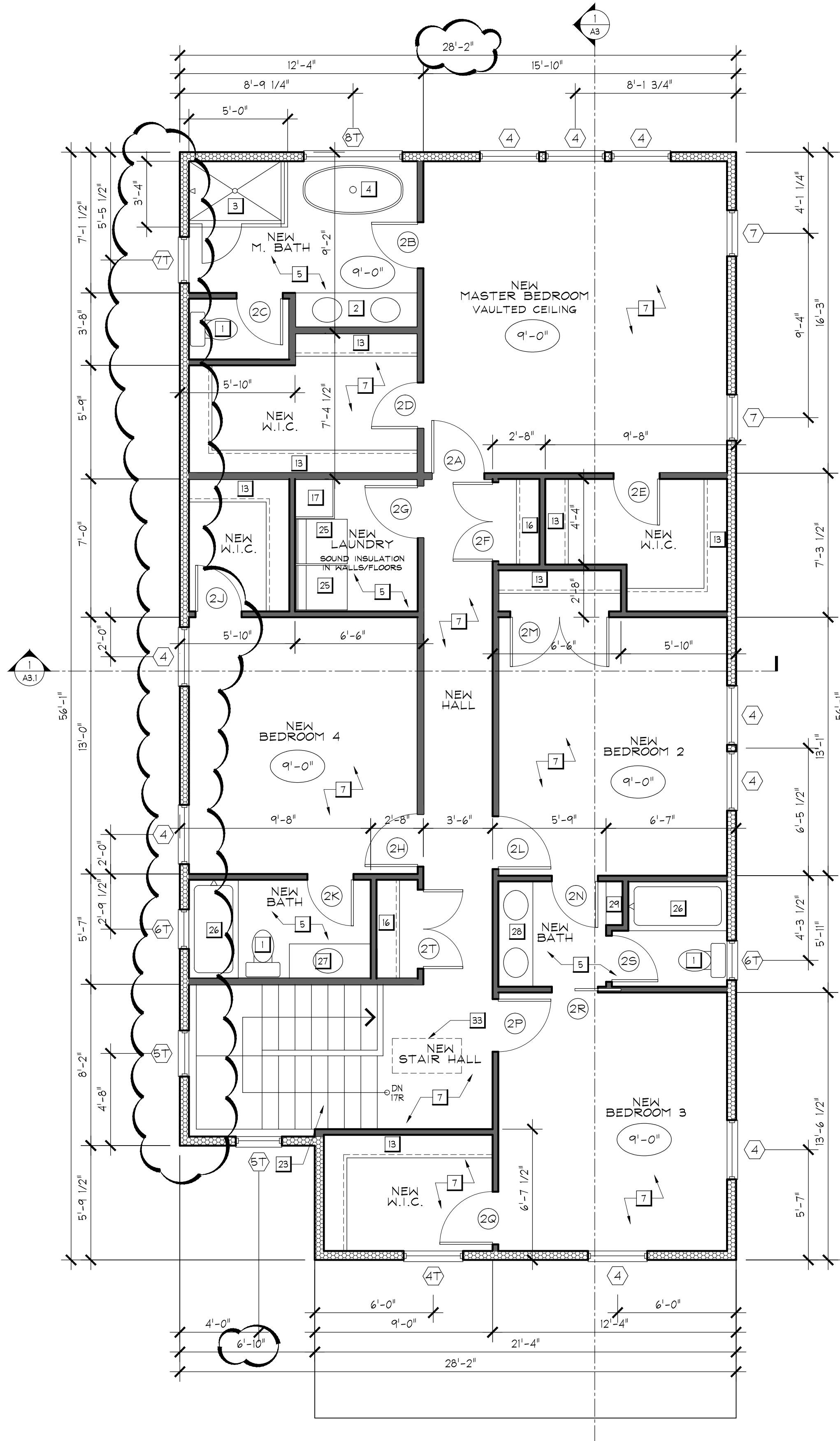
HARDWARE SETS: (ALL HARDWARE FINISHES TO BE SELECTED BY OWNER)

- (2) 3.5" HINGES; PASSAGE LATCH
- (2) 3.5" HINGES EACH DOOR; PLAIN DUMMY KNOB EACH DOOR
- (2) 3.5" HINGES; PRIVACY LOCK
- POCKET DOOR HARDWARE WITH LOCK
- (2) 3.5" HINGES; PLAIN DUMMY KNOB
- (3) 3.5" HINGES EACH DOOR; ENTRY LOCK AND DEADBOLT
- SLIDING GLASS DOOR HARDWARE PER MANUFACTURER
- CUSTOM INTERIOR SLIDING BARN DOOR HARDWARE PER MANUFACTURER
- SLIDING CLOSET DOOR HARDWARE PER MANUFACTURER

WINDOW SCHEDULE

SYMB	MANUFACTURER	TYPE	MATERIAL	APPROX. UNIT SIZE	WINDOW DETAILS			REMARKS
					HEAD	JAMB	SILL	
(1)	TBD	AWNING	VINYL	32' X 24'				QUANTITY = 2; REPLACEMENT WINDOW IN EXIST. OPENING
(2)	TBD	CASEMENT	VINYL	36' X 44'				QUANTITY = 1; EGRESS COMPLIANT (SET BOTTOM 44" A.F.F.)
(3)	TBD	SLIDER	VINYL	60' X 42" (VIF)				QUANTITY = 1; REPLACEMENT WINDOW IN EXIST. OPENING
(4)	TBD	DOUBLE HUNG	VINYL	36' X 62'				QUANTITY = 19; EGRESS COMPLIANT
(4T)	TBD	DOUBLE HUNG	VINYL	36' X 62'				QUANTITY = 1; EGRESS COMPLIANT - TEMPERED GLAZING
(5)	TBD	DOUBLE HUNG	VINYL	28' X 62'				QUANTITY = 2
(5T)	TBD	DOUBLE HUNG	VINYL	28' X 62'				QUANTITY = 2; TEMPERED GLAZING
(6)	TBD	AWNING	VINYL	28' X 28'				QUANTITY = 1
(6T)	TBD	AWNING	VINYL	28' X 28'				QUANTITY = 3; TEMPERED GLAZING
(7)	TBD	DOUBLE HUNG	VINYL	28' X 48'				QUANTITY = 2
(7T)	TBD	DOUBLE HUNG	VINYL	28' X 48'				QUANTITY = 1; TEMPERED GLAZING
(8)	TBD	DOUBLE HUNG	VINYL	24' X 48'				QUANTITY = 2
(8T)	TBD	FIXED	VINYL	60' X 36'				QUANTITY = 1; TEMPERED GLAZING

- HARDWARE AND FINISH TO BE SELECTED BY OWNER
- DOUBLE GLAZING, LOW E GLASS WITH ARGON
- ARCHITECT TO REVIEW FINAL WINDOW ORDER BEFORE PURCHASING



1
A1.2
PROPOSED SECOND FLOOR PLAN
1/4" = 1'-0"

FLOOR PLAN KEYNOTES:

- NEW TOILET
- NEW 72" DOUBLE VANITY
- NEW CUSTOM TILED SHOWER W/ GLASS ENCLOSURE AND TILED SOAP NICHE
- NEW SOAKING TUB - SELECTED BY OWNER
- NEW TILE FLOORING - SELECTED BY OWNER
- NEW CASSED OPENING
- NEW HARDWOOD FLOORING
- NEW 6" WIDE X 6" DEEP FAUX WOOD CEILING BEAMS
- NEW KITCHEN/PANTRY CABINETS PER SEPARATE KITCHEN DESIGN DRAWINGS
- NEW 36" HIGH DECK GUARDRAIL
- COMPOSITE DECKING BOARDS
- GAS FIREPLACE - SELECTED BY OWNER
- CUSTOM CLOSET ORGANIZING
- NEW 6X6 CEDAR POST
- POURED CONCRETE PORCH SLAB
- PANTRY/LINEN SHELVING TO BE DESIGNED BY OWNER
- NEW UTILITY SINK
- RETAINING LESS THAN 24" HIGH - BUILT WITH STACKABLE LANDSCAPE BLOCKS
- NEW DOG SHOWER
- NEW HVAC
- NEW WATER HEATER
- SUMP PUMP
- NEW STAIR CASE PER CODE: 36" MIN. WIDTH; 80" MIN HEAD CLEARANCE; 7.75" MAX RISER; 10" MIN. TREAD DEPTH
- LUXURY VINYL TILE FLOORING
- WASHER/DRYER UNITS
- 60" TUB/SHOWER COMBO
- 48" VANITY
- 60" DOUBLE VANITY
- NEW BUILT-IN - DESIGNED BY OWNER
- 30" VANITY
- INSECT SCREENING PANELS
- 32" X 80" SCREENED DOOR
- ATTIC ACCESS PANEL W/ PULL-DOWN LADDER

GENERAL NOTES:

- ALL DIMENSIONS ARE TO FACE OF STUD, CONCRETE OR MASONRY ON NEW WALLS, AND TO FACE OF FINISH OF EXISTING WALLS.
- ANGLED WALLS ARE 45° TO ADJACENT WALLS, U.N.O.
- DOORS TO BE LOCATED 4" FROM WALL ON HINGE SIDE OR CENTER OF THE SPACE, U.N.O.

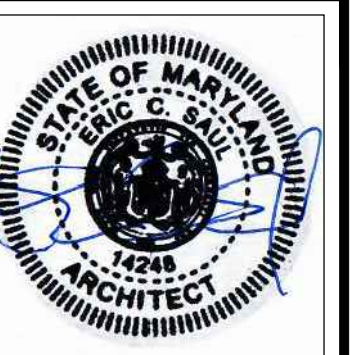
FLOOR PLAN LEGEND

- EXISTING WALL TO REMAIN
- NEW INT. 2X4 STUD WALL, U.N.O.
- NEW EXT. 2X4 STUD FURRED WALL R-13 MIN. INSULATION
- NEW EXTERIOR 2X6 STUD WALL; R-30 MIN. SPRAY FOAM INSULATION
- NEW 8" CONC. MASONRY WALL
- NEW BRICK MASONRY WALL OR PIER
- EXISTING WALL TO BE REMOVED
- EXISTING ITEM TO BE REMOVED
- 8'-0" CEILING HEIGHT INDICATOR

SAUL ARCHITECTS
 814 CARROLL AVENUE | TAKOMA PARK, MD 20912
 P: 301.270.0395
 info@saularchitects.com
 www.saularchitects.com

REVISIONS

BALTIMORE AVENUE
ADDITION AND RENOVATION
 7329 BALTIMORE AVENUE | TAKOMA PARK, MD 20912



PROFESSIONAL CERTIFICATION:
 I, ERIC SAUL, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 14248, EXPIRATION DATE JUNE 30, 2027

PROJECT NUMBER: 25010	
PRINTING LOG	
DATE	PURPOSE
02.20.25	PRE-DESIGN
06.18.25	HAWP SUBMITTAL

PROPOSED 2ND FLOOR PLAN & DOOR/WINDOW SCHEDULES

A1.2



APPROVED
 Department of Permitting Services
 Permit # **BUILDING-1128143**
 Date **11/13/2025**
 Stamped By: Ronny Cabrera

MUNICIPAL STAMPS

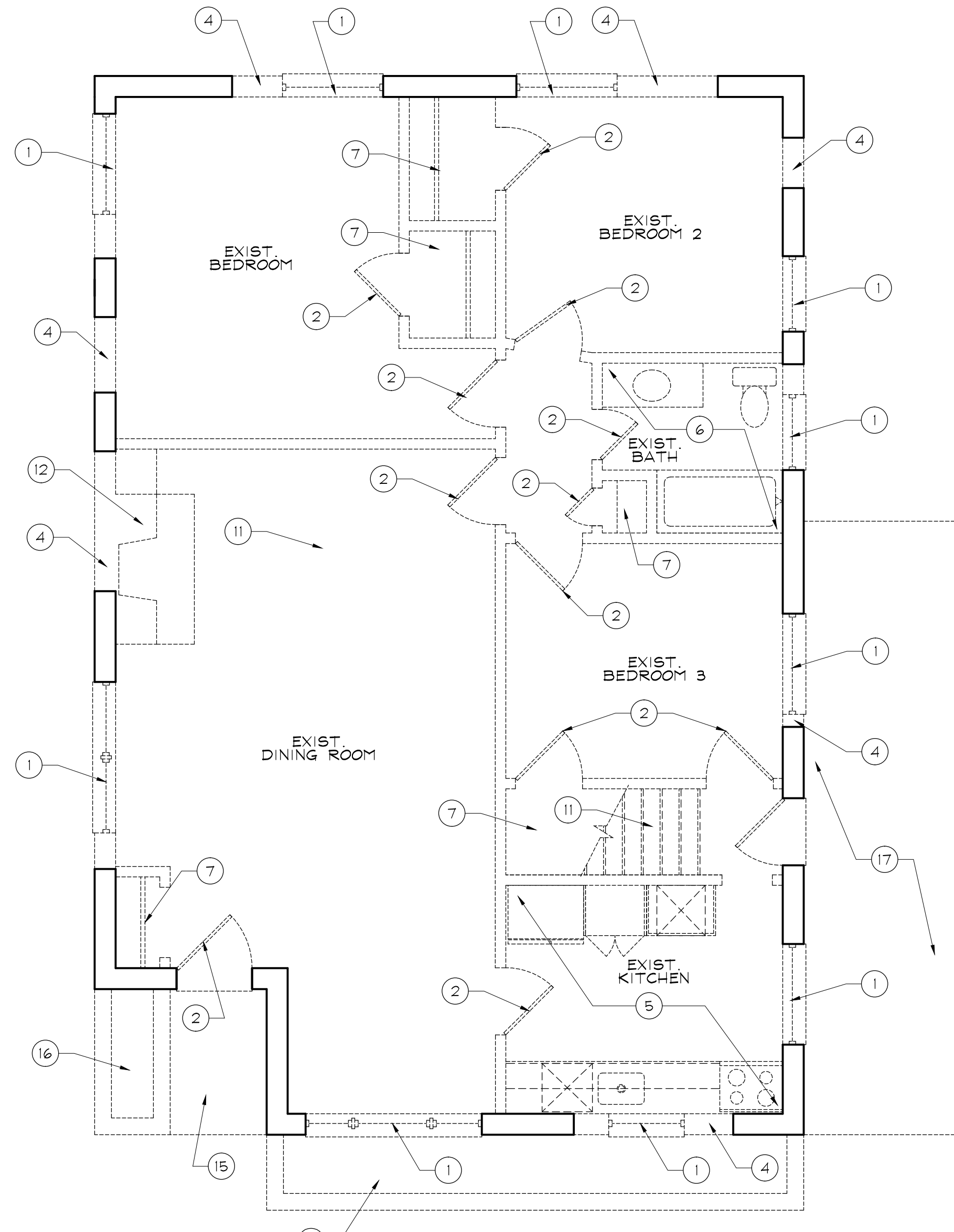
DEMOLITION KEYNOTES:

- 1 EXISTING WINDOW TO BE REMOVED
- 2 EXISTING DOOR TO BE REMOVED
- 3 EXTERIOR BEARING WALL TO BE REMOVED
- 4 DEMO EXISTING BRICK WALL FOR NEW OPENING
- 5 COMPLETE DEMO OF EXISTING KITCHEN: REMOVE ALL CABINETS, PLUMBING FIXTURES, HARDWARE, FINISHES AND FLOORING. CAP ALL PLUMBING AND EXPOSE ALL MECHANICAL AND ELECTRICAL.
- 6 COMPLETE DEMO OF EXISTING BATHROOM: REMOVE ALL CABINETS, PLUMBING FIXTURES, HARDWARE, FINISHES AND FLOORING. CAP ALL PLUMBING AND EXPOSE ALL MECHANICAL AND ELECTRICAL.
- 7 EXISTING CLOSET TO BE DEMOLISHED
- 8 DEMO NON-LOAD BEARING WALL
- 9 COMPLETE DEMO OF EXISTING ROOF STRUCTURE
- 10 DEMO EXISTING LAUNDRY
- 11 DEMO EXISTING STAIRS
- 12 DEMO EXISTING FIREPLACE AND CHIMNEY DOWN TO LEVEL OF FIRST FLOOR
- 13 DEMO EXISTING WATER HEATER
- 14 DEMO EXISTING HVAC SYSTEM
- 15 DEMO EXISTING CONCRETE STOOP
- 16 DEMO EXISTING BRICK PLANTER
- 17 DEMO EXISTING COVERED PORCH

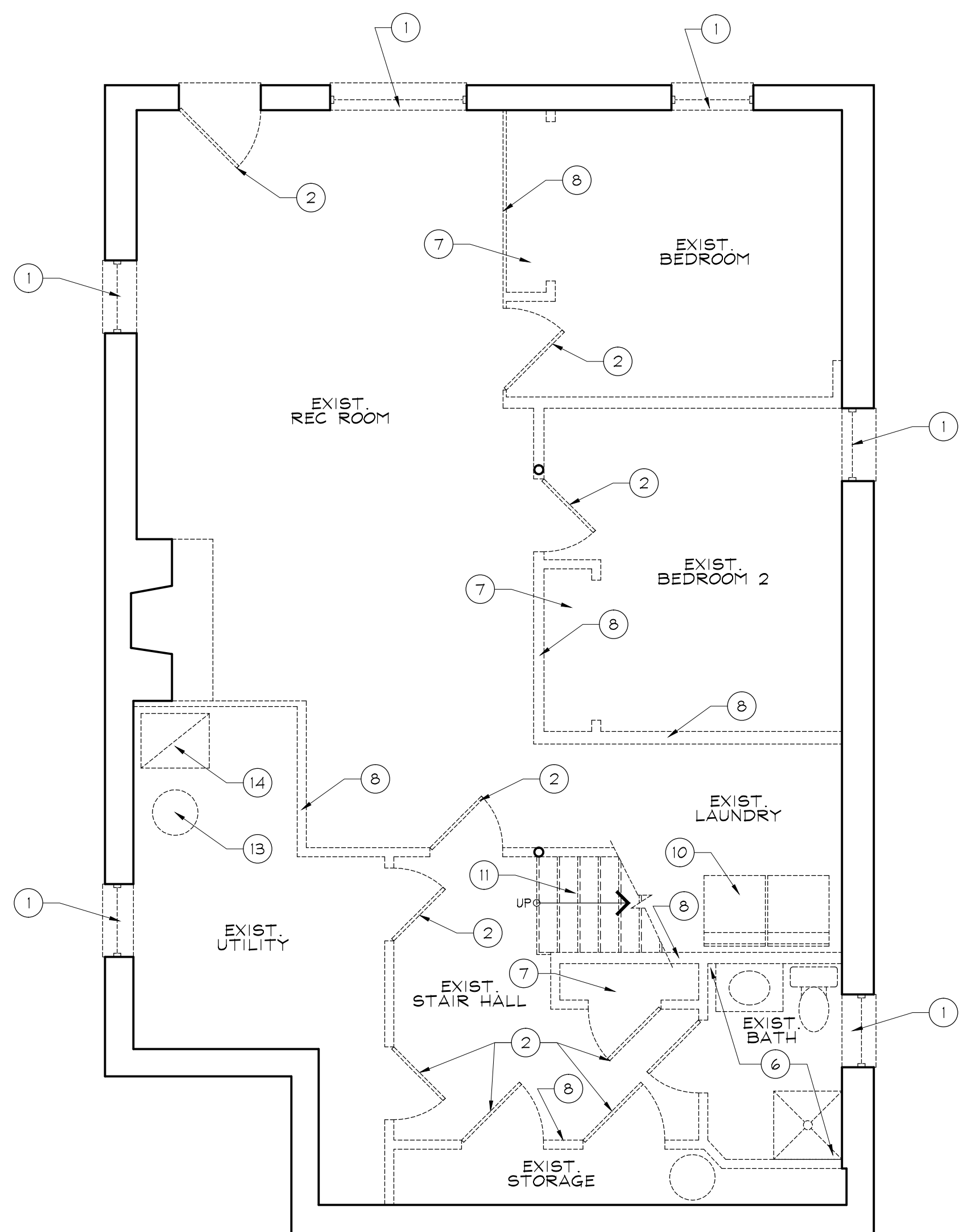
SAUL ARCHITECTS
 8114 CARROLL AVENUE | TAKOMA PARK, MD 20912
 P: 301.270.0395
 info@saularchitects.com
 www.saularchitects.com

REVISIONS

**BALTIMORE AVENUE
 ADDITION AND RENOVATION**
 7329 BALTIMORE AVENUE | TAKOMA PARK, MD 20912
DO NOT SCALE THESE DRAWINGS. THE ORIGINAL SET OF THESE DRAWINGS IS A COPY OF THESE DRAWINGS STORED AT SAUL ARCHITECTS. ANY COPIES OF THESE DRAWINGS ARE UNAUTHORIZED. ANY USE OF THESE DRAWINGS WITHOUT THE WRITTEN CONSENT OF SAUL ARCHITECTS IS PROHIBITED. BY ANY METHOD, IN WHOLE OR IN PART, WITHOUT WRITTEN CONSENT OF THE COPYRIGHT OWNER IS PROHIBITED.



2 EXISTING/DEMO FIRST FLOOR PLAN
 A1 1/4" = 1'-0"



1 EXISTING/DEMO BASEMENT PLAN
 A1 1/4" = 1'-0"

GENERAL DEMO NOTES

1. DEMOLITION DRAWINGS ARE SCHEMATIC AND ARE INCLUDED TO DESCRIBE THE DEMOLITION WORK IN A GENERAL MANNER.
2. EXISTING CONSTRUCTION SHALL REMAIN UNLESS NOTED OTHERWISE AND SHALL BE PROTECTED FROM DAMAGE DUE TO DEMOLITION, CONSTRUCTION, THEFT, VANDALISM, MOISTURE, WEATHER, ETC. ALL DISTURBED EXISTING ITEMS SHALL BE RESTORED TO ORIGINAL CONDITION.
3. SEAL OFF UNDISTURBED AREAS OF THE BUILDING FROM DEMOLITION AREAS TO PREVENT THE INFILTRATION OF DUST AND DEBRIS. SECURE BUILDING TO PREVENT UNWANTED ENTRY THROUGH OPENINGS CREATED DURING CONSTRUCTION.
4. EXISTING CONCEALED ELEMENTS WERE NOT NECESSARILY VERIFIED PRIOR TO DEMOLITION. ALL DISCOVERIES OF UNIDENTIFIED OR INCORRECTLY LOCATED EXISTING ELEMENTS SHALL BE REPORTED TO THE ARCHITECT BEFORE REMOVAL FOR FINAL DISPOSAL.
5. ALL ITEMS DESIGNATED FOR RE-USE TO BE VERIFIED BY OWNER. PROTECT ANY STORED ITEMS TO BE RE-USED FROM DAMAGE DUE TO DEMOLITION, CONSTRUCTION, THEFT, VANDALISM, MOISTURE, WEATHER, ETC.
6. ALL DEBRIS BECOMES THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE PREMISES AT THE CONTRACTOR'S EXPENSE AND DISPOSED OF ACCORDING TO LOCAL CODES AND GOVERNING AUTHORITIES.

FLOOR PLAN LEGEND

	EXISTING WALL TO REMAIN
	NEW INT. 2X4 STUD WALL, U.N.O.
	NEW EXT. 2X4 STUD FURRED WALL R-13 MIN. INSULATION
	NEW EXTERIOR 2X6 STUD WALL, R-30 MIN. SPRAY FOAM INSULATION
	NEW 8" CONC. MASONRY WALL
	NEW BRICK MASONRY WALL OR PIER
	EXISTING WALL TO BE REMOVED
	EXISTING ITEM TO BE REMOVED
	CEILING HEIGHT INDICATOR



PROFESSIONAL CERTIFICATION:
 I, ERIC SAUL, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 14248, EXPIRATION DATE: JUNE 30, 2027

PROJECT NUMBER: 25010

PRINTING LOG	
DATE	PURPOSE
02.20.25	PRE-DESIGN
06.18.25	HAWP SUBMITTAL

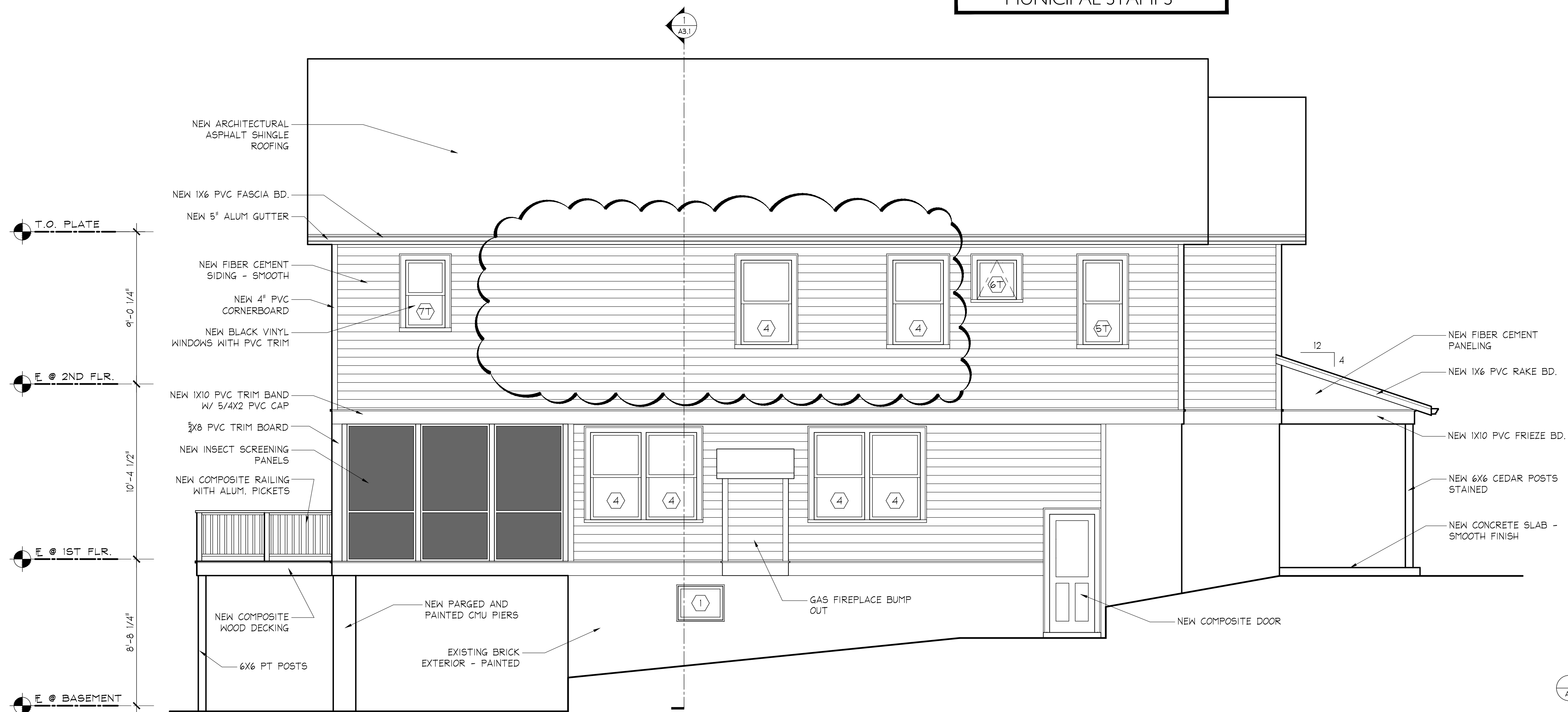
EXISTING/DEMO FLOOR PLANS

A1

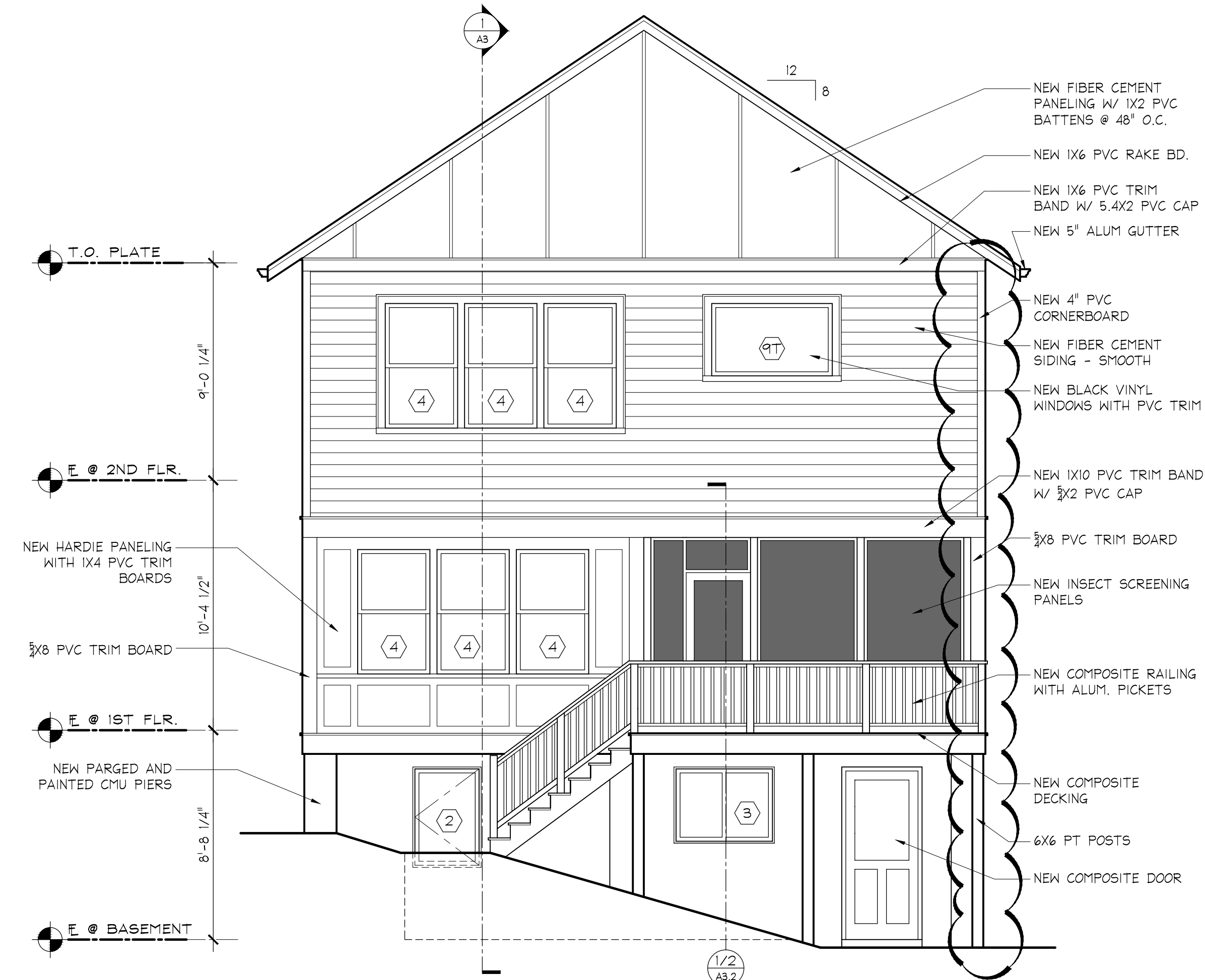


APPROVED
 Department of Permitting Services
 Permit # **BUILDING-1128143**
 Date **11/13/2025**
 Stamped By: Ronny Cabrera

MUNICIPAL STAMPS



2 PROPOSED SIDE (EAST) ELEVATION
 A2.1 1/4" = 1'-0"



1 PROPOSED REAR ELEVATION
 A2.1 1/4" = 1'-0"

REVISION #1 11/10/2025

SAUL ARCHITECTS
 8114 CARROLL AVENUE | TAKOMA PARK, MD 20912
 P: 301.270.0395
 info@saularchitects.com
 www.saularchitects.com

REVISIONS

BALTIMORE AVENUE
 ADDITION AND RENOVATION
 7329 BALTIMORE AVENUE | TAKOMA PARK, MD 20912



PROFESSIONAL CERTIFICATION:
 I, ERIC SAUL, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 14248, EXPIRATION DATE: JUNE 30, 2027

PROJECT NUMBER: 25010

PRINTING LOG	
DATE	PURPOSE
02.20.25	PRE-DESIGN
06.18.25	HAWP SUBMITAL

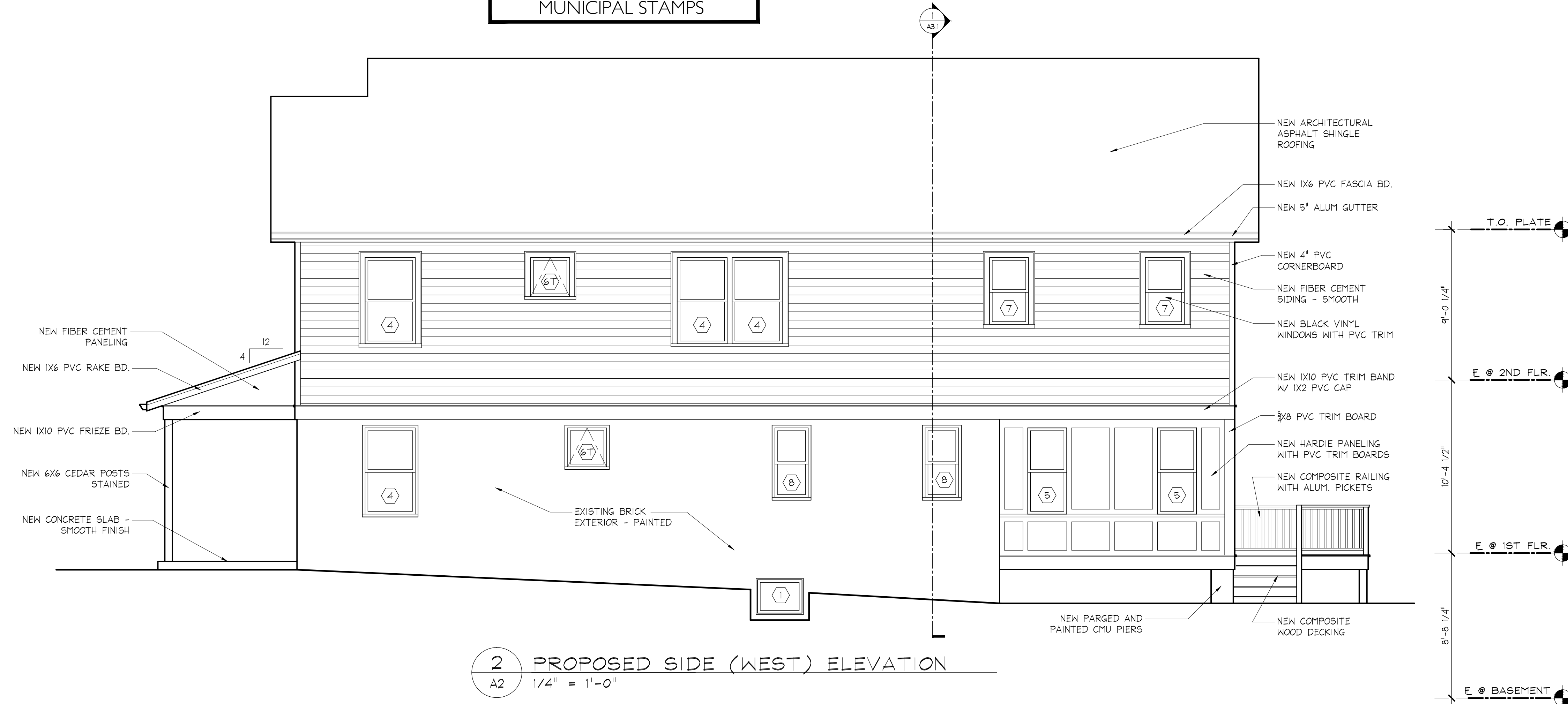
EXTERIOR ELEVATIONS

A2.1

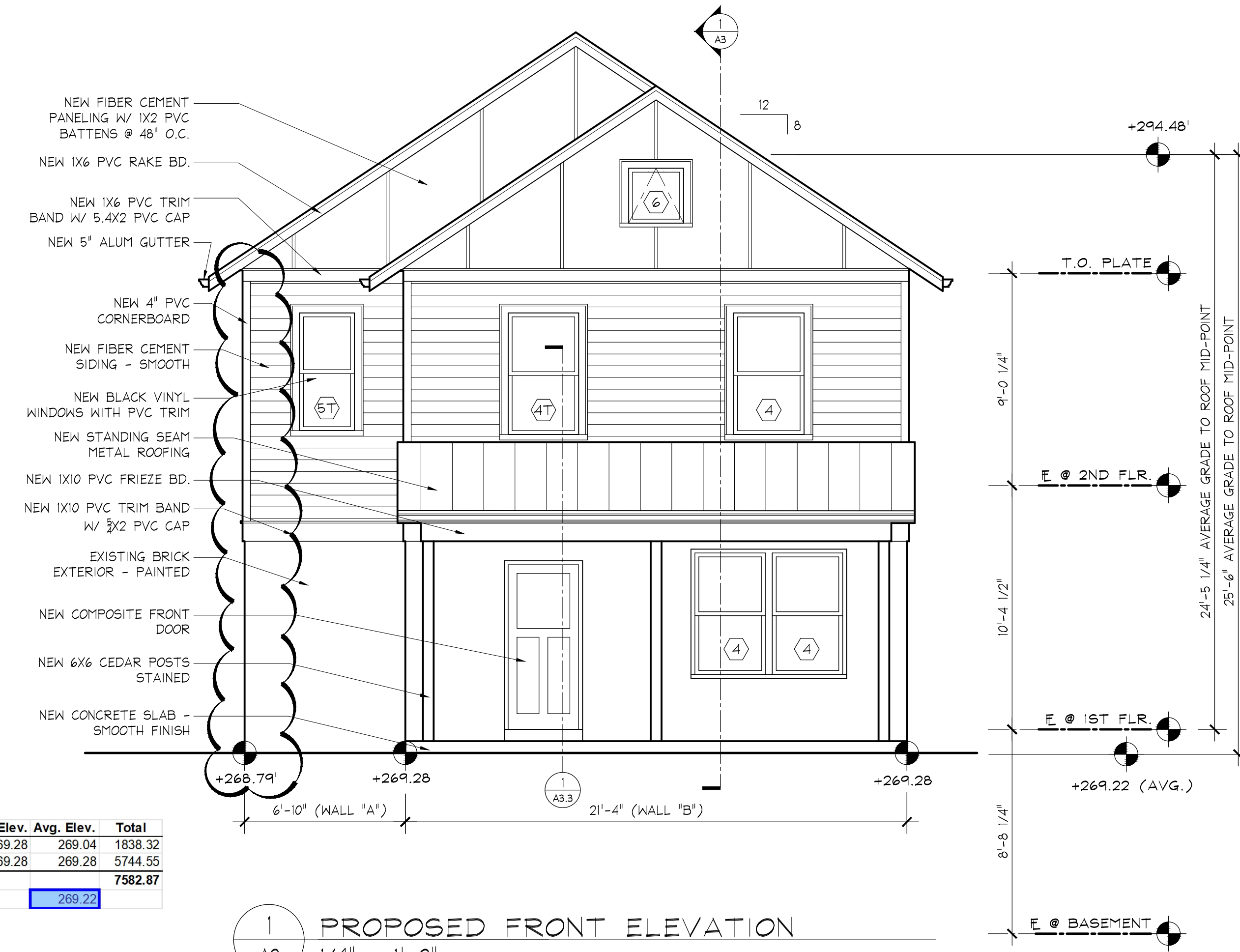


APPROVED
 Department of Permitting Services
 Permit # **BUILDING-1128143**
 Date **11/13/2025**
 Stamped By: Ronny Cabrera

MUNICIPAL STAMPS



2 PROPOSED SIDE (WEST) ELEVATION
 A2 1/4" = 1'-0"



1 PROPOSED FRONT ELEVATION
 A2 1/4" = 1'-0"

Wall	Perimeter	1st Elev.	2nd Elev.	Avg. Elev.	Total
A	6.83	268.79	269.28	269.04	1838.32
B	21.33	269.28	269.28	269.28	5744.55
Total	28.17				7582.87
Avg. Elevation of Grade Around House					269.22

SAUL ARCHITECTS
 8114 CARROLL AVENUE | TAKOMA PARK, MD 20912
 P: 301.270.0395
 info@saularchitects.com
 www.saularchitects.com

REVISIONS

**BALTIMORE AVENUE
 ADDITION AND RENOVATION**
 7329 BALTIMORE AVENUE | TAKOMA PARK, MD 20912
DO NOT SCALE THESE DRAWINGS. THE ORIGINAL SET OF THESE DRAWINGS SHALL BE USED FOR ALL REVISIONS. ANY CHANGES TO THESE DRAWINGS SHALL BE MADE BY A REVISION SHEET. ANY CHANGES MADE TO THESE DRAWINGS SHALL BE THE RESPONSIBILITY OF THE CLIENT. ANY CHANGES MADE TO THESE DRAWINGS SHALL BE THE RESPONSIBILITY OF THE CLIENT. ANY CHANGES MADE TO THESE DRAWINGS SHALL BE THE RESPONSIBILITY OF THE CLIENT.



PROFESSIONAL CERTIFICATION:
 I, ERIC SAUL, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 14248, EXPIRATION DATE JUNE 30, 2027

PROJECT NUMBER: 25010

DATE	PURPOSE
02.20.25	PRE-DESIGN
06.18.25	HAWP SUBMITTAL

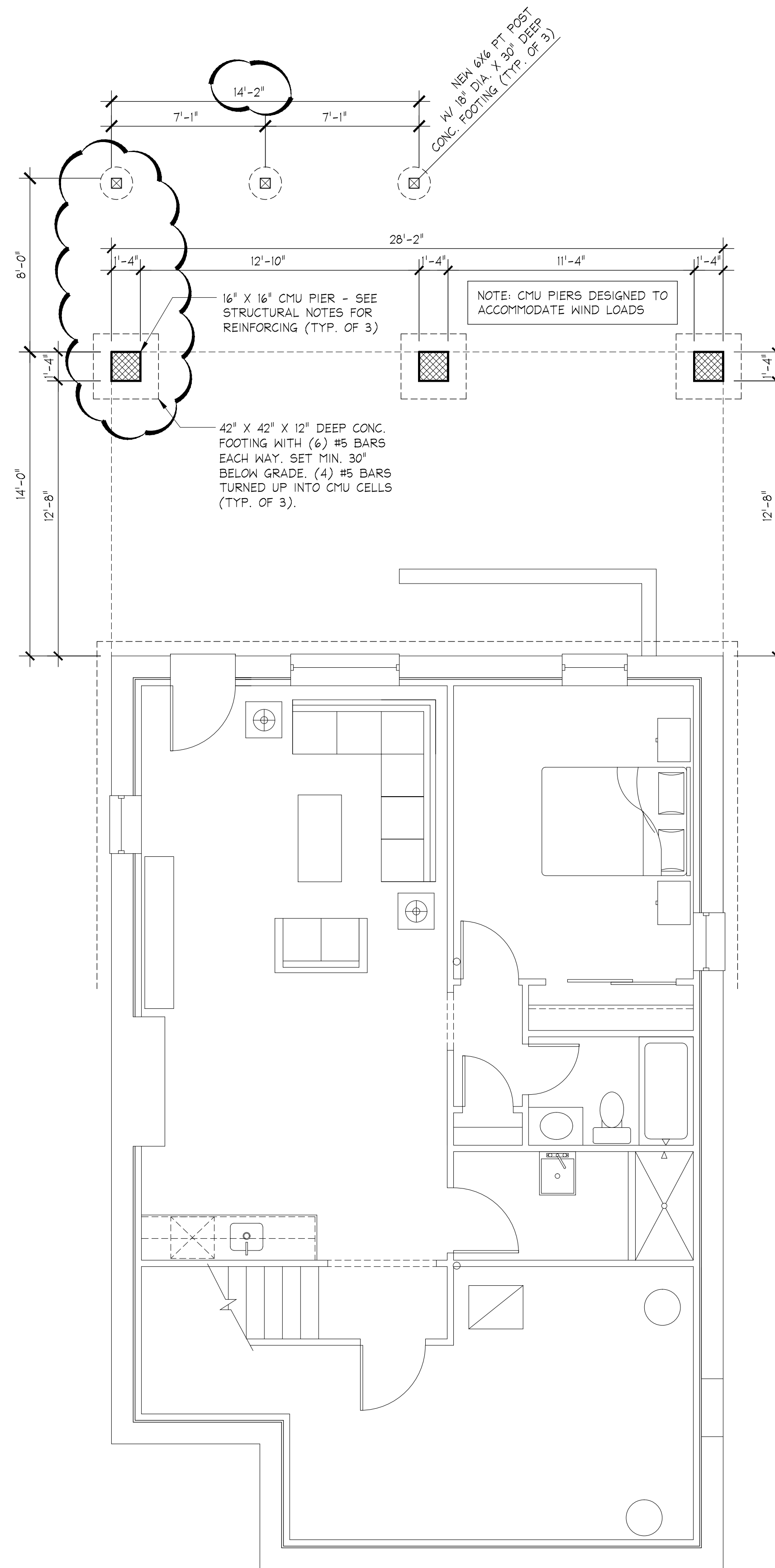
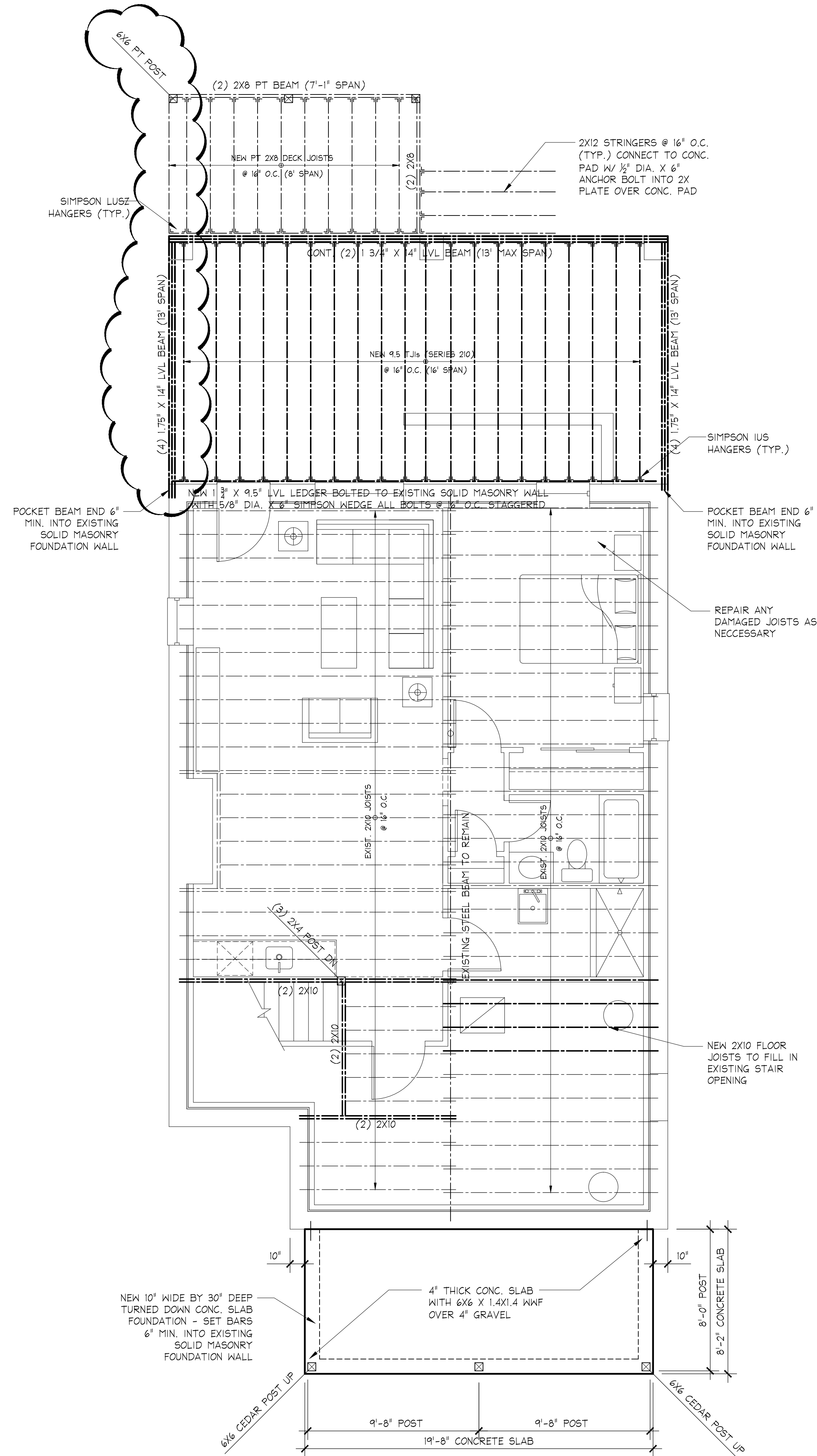
EXTERIOR ELEVATIONS

A2

REVISION #1 11/10/2025



MUNICIPAL STAMPS



STRUCTURAL NOTES:

- USE MONTGOMERY COUNTY, MD. BUILDING CODE IRC 2021.
- LOADS- LIVE -FLOOR RESIDENTIAL - 40PSF; ROOF - 30 PSF - SNOW; WIND 115 MPH EXPOSURE B IMPORTANCE 1
- FOUNDATIONS ARE DESIGNED FOR 2000 PSF SOIL. FOOTING BOTTOMS SHALL BE AT LEAST 30" BELOW GRADE AND A MINIMUM OF 12" INTO EXISTING NATURAL SOIL. EXISTING FOUNDATIONS ARE ADEQUATE FOR NEW LOADS
- CONCRETE - 3000 PSI @ 28 DAYS MINIMUM. REINFORCING STEEL ASTM A615 GRADE 60. USE ACI STANDARDS. CONC. FOUNDATION WALL REINFORCEMENT: #4 BARS @ 24" O.C. HORIZ. AND VERTICAL - EMBED 8" INTO FOOTING.
- FRAMING LUMBER SHALL BE STRUCTURAL GRADE, DOUGLAS FIR #2 OR STRONGER, F_b = 1200 PSI MINIMUM. USE HURRICANE CLIPS FOR ALL ROOF RAFTERS. USE MANUFACTURERS STANDARDS FOR MANUFACTURED LUMBER. LVL'S F_b=2650PSI, E=1.91 PSI
- BRACED WALL PANELS (BWP): 1/2" PLYWOOD PANELS 48" WIDE BY FULL STORY HEIGHT OR AS DIMENSIONED. 8d NAILS @ 6" O.C. ON EDGES AND 12" O.C. ON INTERMEDIATE STUDS. WIND LOADS ARE ACCOMMODATED BY CONTINUOUS SHEATHING METHOD AND SECTION R301.11.
- CONC. BLOCK REINFORCEMENT: USE 9 GAGE TRUSS-TYPE HORIZONTAL REINFORCEMENT EVERY OTHER COURSE (DUR-O-WALL OR EQUAL). VERTICAL REINFORCEMENT: #5 BARS @ 32" O.C. - NEEDED ONLY WHERE DIRT IS RETAINED ABOVE 36" HIGH. ALL CONC. BLOCK CELLS TO BE GROUT SOLID.
- STRUCTURAL STEEL SHALL BE ASTM A-36. USE AISC STANDARDS
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD.
- STRUCTURAL ENGINEER CERTIFIES THAT THE EXISTING STRUCTURE IS ADEQUATE TO HANDLE ADDITIONAL LOADS FROM THE ADDITION AND WILL PROVIDE CERTIFICATION DURING INSPECTION PROCESS.

ALL NEW EXTERIOR OPENINGS TO HAVE DOUBLE (3) 2X8 HEADERS, U.N.O.
 POSTS UNDER HEADERS TO BE ONE KING AND ONE JACK STUD, U.N.O.
 NEW DOUBLE WINDOWS TO HAVE TWO JACK STUDS BETWEEN.
 EXISTING EXTERIOR OPENINGS TO HAVE A MINIMUM (3) 2x6 UP TO 36" WIDE, (3) 2x8 UP TO 48" WIDE AND (3) 2x10 UP TO 60" WIDE.
 NOTE: USE CONTINUOUS WALL BRACING METHOD (#5) PER IRC: R602.10.4
 CS-HSP = 1/2" WOOD STRUCTURAL PANEL (SEE STRUCTURAL NOTE #6 FOR CONNECTION CRITERIA)

SAUL ARCHITECTS
 8814 CARROLL AVENUE | TAKOMA PARK, MD 20912
 P: 301.270.0395
 info@saularchitects.com
 www.saularchitects.com

REVISIONS

BALTIMORE AVENUE
ADDITION AND RENOVATION
 7329 BALTIMORE AVENUE | TAKOMA PARK, MD 20912
DO NOT SCALE THE DRAWINGS. THE ORIGINAL SET OF PLANS IS A COPY OF ANOTHER SET OF PLANS. ANY CHANGES OR REVISIONS TO THIS SET OF PLANS ARE THE PROPERTY OF SAUL ARCHITECTS. BY ANY METHOD, IN WHOLE OR IN PART, WITHOUT WRITTEN CONSENT OF THE COPYRIGHT OWNER IS PROHIBITED.

PROJECT NUMBER: 25010

PRINTING LOG	
DATE	PURPOSE
02.20.25	PRE-DESIGN
06.18.25	HAWP SUBMITTAL

STRUCTURAL PLANS

S1



MUNICIPAL STAMPS

STRUCTURAL NOTES:

- USE MONTGOMERY COUNTY, MD. BUILDING CODE IRC 2021.
- LOADS- LIVE -FLOOR RESIDENTIAL - 40PSF; ROOF - 30 PSF - SNOW; WIND 115 MPH EXPOSURE B IMPORTANCE I
- FOUNDATIONS ARE DESIGNED FOR 2000 PSF SOIL. FOOTING BOTTOMS SHALL BE AT LEAST 30" BELOW GRADE AND A MINIMUM OF 12" INTO EXISTING NATURAL SOIL. EXISTING FOUNDATIONS ARE ADEQUATE FOR NEW LOADS
- CONCRETE - 3000 PSI @ 28 DAYS MINIMUM. REINFORCING STEEL ASTM A615 GRADE 60. USE ACI STANDARDS. CONC. FOUNDATION WALL REINFORCEMENT: #4 BARS @ 24" O.C. HORIZ. AND VERTICAL - EMBED 8" INTO FOOTING.
- FRAMING LUMBER SHALL BE STRUCTURAL GRADE, DOUGLAS FIR #2 OR STRONGER, F_b = 1200 PSI MINIMUM. USE HURRICANE CLIPS FOR ALL ROOF RAFTERS. USE MANUFACTURERS STANDARDS FOR MANUFACTURED LUMBER. LVL'S F_b=2650PSI, e=1.91 PSI
- BRACED WALL PANELS (BWP): 1/2" PLYWOOD PANELS 48" WIDE BY FULL STORY HEIGHT OR AS DIMENSIONED. 8d NAILS @ 6" O.C. ON EDGES AND 12" O.C. ON INTERMEDIATE STUDS. WIND LOADS ARE ACCOMMODATED BY CONTINUOUS SHEATHING METHOD AND SECTION R301.1.1.
- CONC. BLOCK REINFORCEMENT: USE 9 GAGE TRUSS-TYPE HORIZONTAL REINFORCEMENT EVERY OTHER COURSE (DUR-O-WALL OR EQUAL). VERTICAL REINFORCEMENT: #5 BARS @ 32" O.C. - NEEDED ONLY WHERE DIRT IS RETAINED ABOVE 36" HIGH. ALL CONC. BLOCK CELLS TO BE GROUT SOLID.
- STRUCTURAL STEEL SHALL BE ASTM A-36. USE AISC STANDARDS
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD.
- STRUCTURAL ENGINEER CERTIFIES THAT THE EXISTING STRUCTURE IS ADEQUATE TO HANDLE ADDITIONAL LOADS FROM THE ADDITION AND WILL PROVIDE CERTIFICATION DURING INSPECTION PROCESS.

SAUL ARCHITECTS
 8114 CARROLL AVENUE | TAKOMA PARK, MD 20912
 P: 301.270.0395
 info@saularchitects.com
 www.saularchitects.com

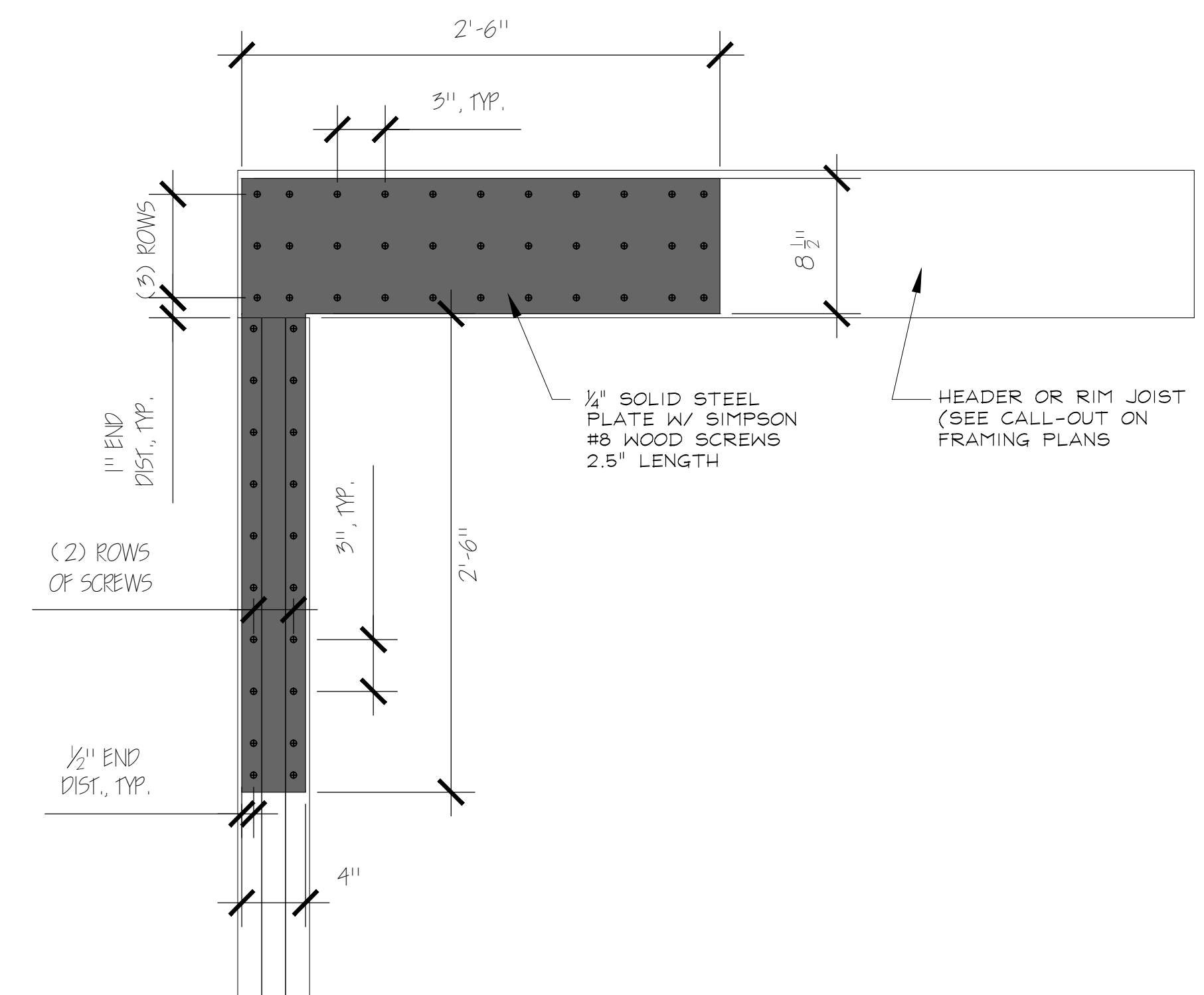
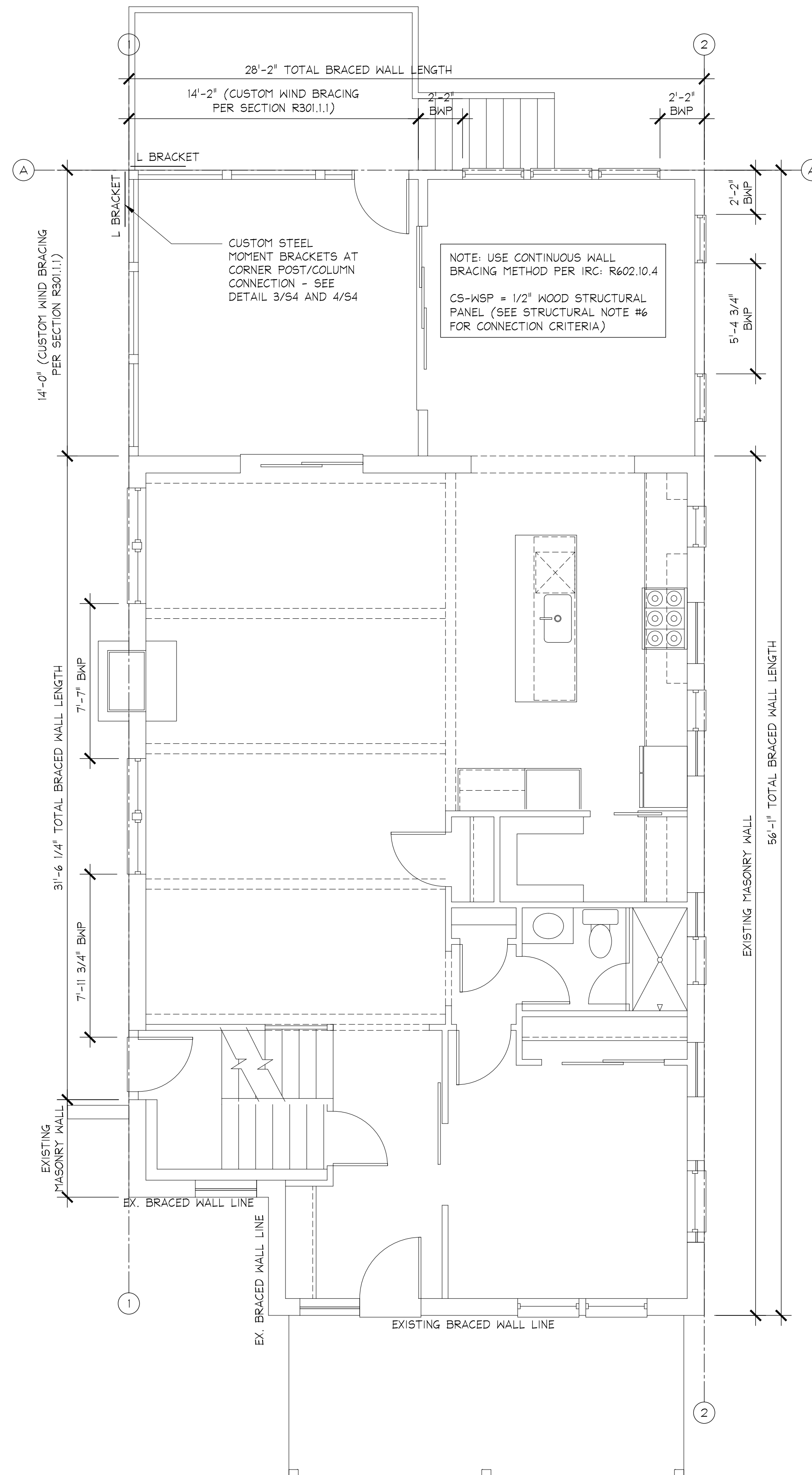
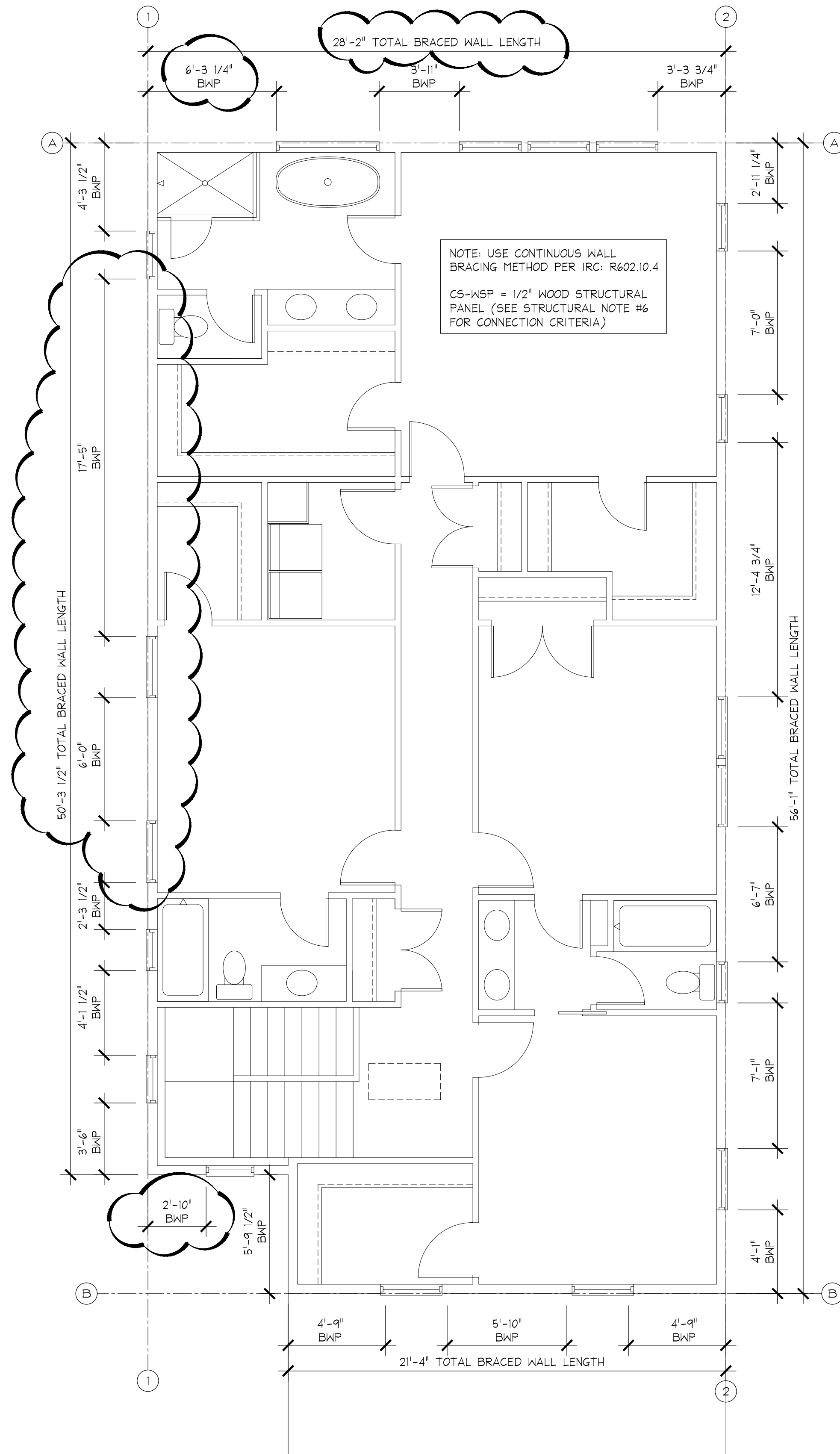
REVISIONS

BALTIMORE AVENUE
 ADDITION AND RENOVATION
 7329 BALTIMORE AVENUE | TAKOMA PARK, MD 20912

DO NOT SCALE THE DRAWINGS. THE ORIGINAL SET OF DRAWINGS IS THE ONLY SET TO BE USED FOR CONSTRUCTION. ANY CHANGES TO THE DRAWINGS MUST BE MADE ON THE ORIGINAL SET OF DRAWINGS AND APPROVED BY THE ARCHITECT. ANY CHANGES MADE TO THESE DRAWINGS WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT ARE PROHIBITED.

ALL NEW EXTERIOR OPENINGS TO HAVE DOUBLE (3) 2X8 HEADERS, U.N.O.
 POSTS UNDER HEADERS TO BE ONE KING AND ONE JACK STUD, U.N.O.
 NEW DOUBLE WINDOWS TO HAVE TWO JACK STUDS BETWEEN.
 EXISTING EXTERIOR OPENINGS TO HAVE A MINIMUM (3) 2X6 UP TO 36" WIDE, (3) 2X8 UP TO 48" WIDE AND (3) 2X10 UP TO 60" WIDE.

NOTE: USE CONTINUOUS WALL BRACING METHOD (#3) PER IRC: R602.10.4
 CS-WSP = 1/2" WOOD STRUCTURAL PANEL (SEE STRUCTURAL NOTE #6 FOR CONNECTION CRITERIA)



2 SECOND FLOOR WIND BRACING DIAGRAM
 S3 1/4" = 1'-0"

1 FIRST FLOOR WIND BRACING DIAGRAM
 S3 1/4" = 1'-0"

3 MOMENT BRACKET DETAIL
 S3 1/4" = 1'-0"

REVISION #1 11/10/2025

S3