

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	13 Columbia Avenue, Takoma Park	Meeting Date:	1/21/2026
Resource:	Non-Contributing Resource Takoma Park Historic District	Report Date:	1/14/2026
Applicant:	Neal Cohen & Briana Maley	Public Notice:	1/7/2026
Review:	HAWP	Tax Credit:	No
Permit No.:	1144792	Staff:	Laura DiPasquale
Proposal:	Hardscape alterations, fenestration alterations, and new fence		

RECOMMENDATION

Staff recommends that the Historic Preservation Commission **approve with one (1) condition** the HAWP application, with final approval of all details delegated to staff:

1. The width of asphalt paving must not exceed that of the existing 13-ft wide driveway. The asphalt may be replaced with gravel, tinted concrete pavers, cobblestone, TurfStone, or other similar permeable masonry materials, if desired, and the shoulder may be any of these materials. The applicants must submit final materials selections and updated annotated site plan to staff.

PROPERTY DESCRIPTION

SIGNIFICANCE: Non-Contributing Resource to the Takoma Park Historic District
STYLE: Modern
DATE: 1960s

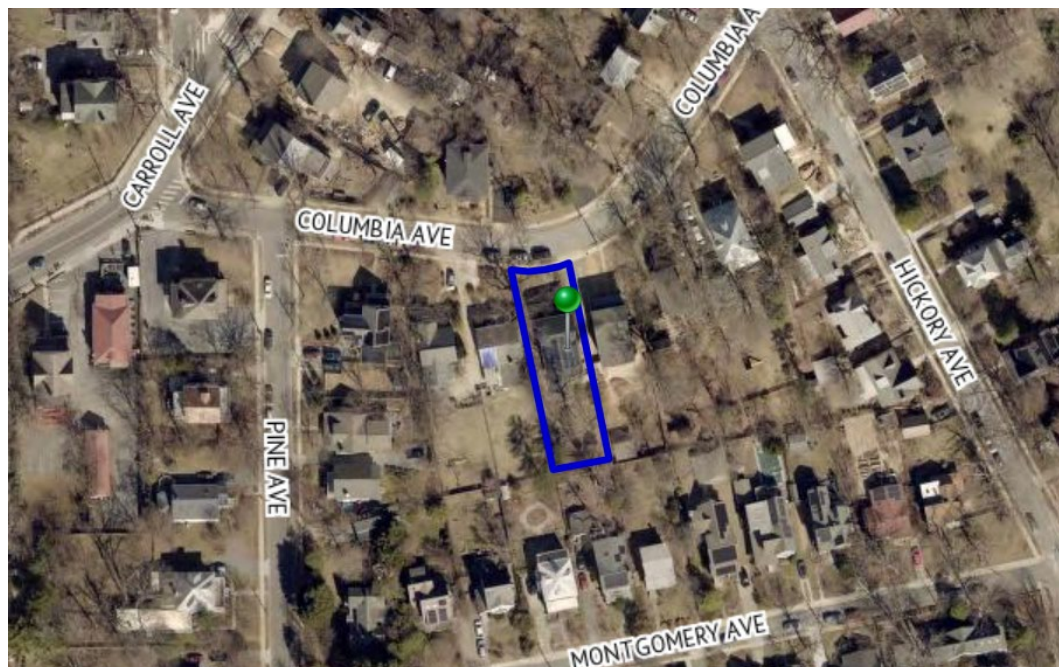


Figure 1: Location of the subject property outlined in blue.



Figure 2: View of the subject property from Columbia Avenue (January 2025, Historic Preservation Division).

PROPOSAL

The applicants propose to modify and repave the existing driveway, removing a portion of the existing paving from the side of the house, repaving the existing driveway, and adding a 50-inch shoulder; to add a large horizontal awning window with frosted glass on the west elevation; and to install a new fence nine feet forward of the existing fence on the east side elevation. A multi-stem crepe myrtle tree in the front yard may also be removed as part of the driveway widening project.

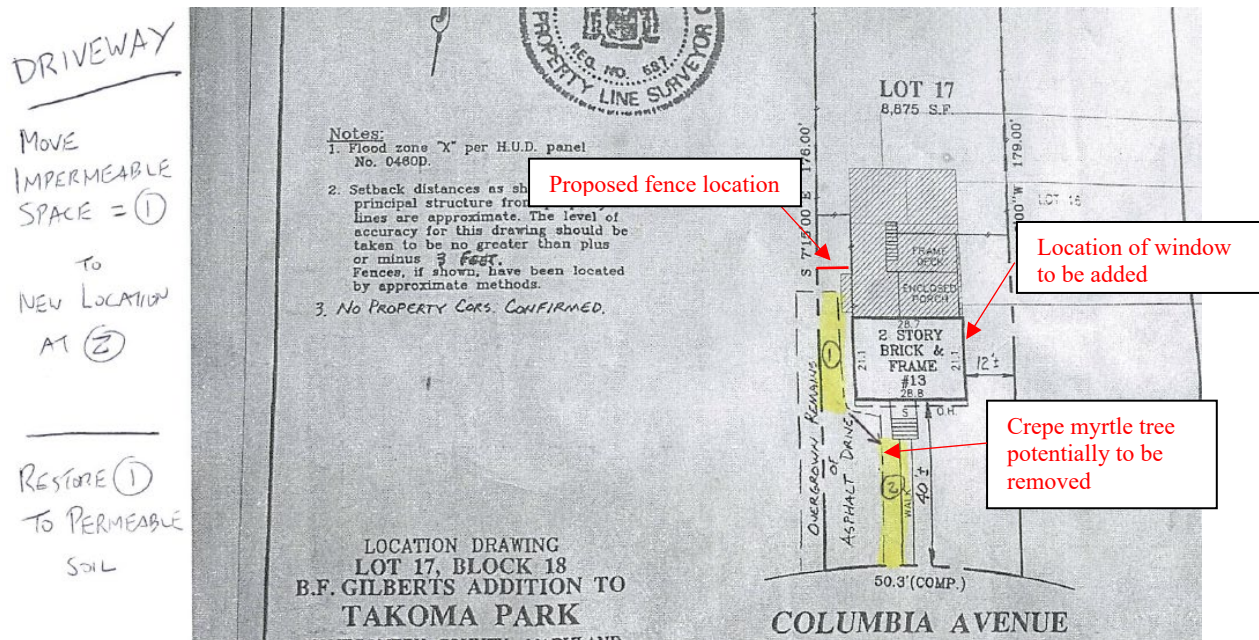


Figure 3: Existing site plan showing the proposed pavement removal and driveway/parking pad enlargement, proposed fence, window, and tree removal locations.

APPLICABLE GUIDELINES

The Historic Preservation Office and Historic Preservation Commission (HPC) consult several documents when reviewing alterations and new construction within the Takoma Park Historic District. These documents include the historic preservation review guidelines in the approved and adopted amendment for the *Takoma Park Historic District (Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these four documents is outlined below.

Takoma Park Historic District Guidelines

There are two broad planning and design concepts which apply to all categories. These are:

- The design review emphasis will be restricted to changes that are all visible from the public right-of-way, irrespective of landscaping or vegetation (it is expected that the majority of new additions will be reviewed for their impact on the overall district), and
- The importance of assuring that additions and other changes to existing structures act to reinforce and continue existing streetscape, landscape, and building patterns rather than to impair the character of the historic district.

Non-Contributing/Out-of-Period Resources are either buildings that are of little or no architectural and historical significance to the historic district or are newer buildings that have been constructed outside of the district's primary periods of historical importance. These types of resources should receive the most lenient level of design review. Most alterations and additions to Non-Contributing/Out-of-Period Resources should be approved as a matter of course. The only exceptions would be major additions and alterations to the scale and massing of Non-Contributing/Out-of-Period Resources which will affect the surrounding streetscape and/or landscape and could impair the character of the district as a whole.

Residential Areas

In Takoma Park, there are a number of elements which define the streetscape and building patterns. New construction should consider some of these elements, such as:

- use of decorative stone retaining walls (where required by topographic changes) and occasionally fences to define a sidewalk line and separate yards from street
- **orientation of driveways and parking areas to the rear and sides of buildings**
- extensive landscaping, including mature trees and flowering plants (e.g. azaleas)

Montgomery County Code, Chapter 24A-8

The following guidance which pertains to this project are as follows:

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to ensure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter;
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the

historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

Secretary of the Interior's Standards for Rehabilitation

The Secretary of the Interior defines rehabilitation as “the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values.” The applicable *Standards* are as follows:

9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

STAFF DISCUSSION

Hardscape/Driveway Alterations

At the front of the subject property, there is a flagstone walkway between the sidewalk and the front stairs, separated from an existing asphalt driveway/parking pad by a section of yard approximately 9 feet wide by 27 feet deep (to the front of the stairs) or 32 feet deep (to the porch). The existing driveway narrows and extends along the side of the house. At its widest, the driveway is approximately 13 feet wide. The applicants propose to remove a portion of the asphalt driveway along the side of the house, formalize the 13-foot wide driveway, and add a 50-inch wide shoulder that would extend approximately 19 feet along the side of the existing driveway and be separated from the existing walkway by a planting buffer approximately 32 inches in width. The applicants propose to repave the driveway in asphalt with a cobblestone skirt and border, and to pave the shoulder in gravel or cobblestone. An existing multi-stem crepe myrtle tree may be removed as part of the project, but the applicants have indicated in conversations with staff their desire to maintain the tree.



Figure 4: Proposed driveway shoulder and proposed materials.

Staff notes that while the *Guidelines* identify driveways and parking pads as being located to the rears and sides of properties in the Takoma Park Historic District. Staff finds that, while the proposed shoulder would extend partially in front of the existing house, the main driveway itself would remain located on the side of the house, in keeping with the *Guidelines*. Further, given the location of the Non-Contributing property between two other Non-Contributing resources with similar existing driveways/hardscapes, staff finds that the proposal will not impair the character of the district or surrounding resources, in keeping with Chapter 24A-8(d). Staff finds that the proposed cobblestone apron and asphalt paving to replace existing asphalt paving is appropriate for the main portion of the driveway as an in-kind replacement, as would be gravel, stone or concrete pavers, permeable tinted concrete, or TurfStone pavers, per Chapter 24A-8(b)(2) and *Standard 9*. Staff finds that the differentiation of the shoulder from the proposed asphalt in a textured, permeable material such as those mentioned above, and the proposed cobblestone borders are also compatible with the eclectic nature of Takoma Park per the *Standards* and *Guidelines*. Staff recommends that the HPC allow the applicants to work with staff on the final material selection.

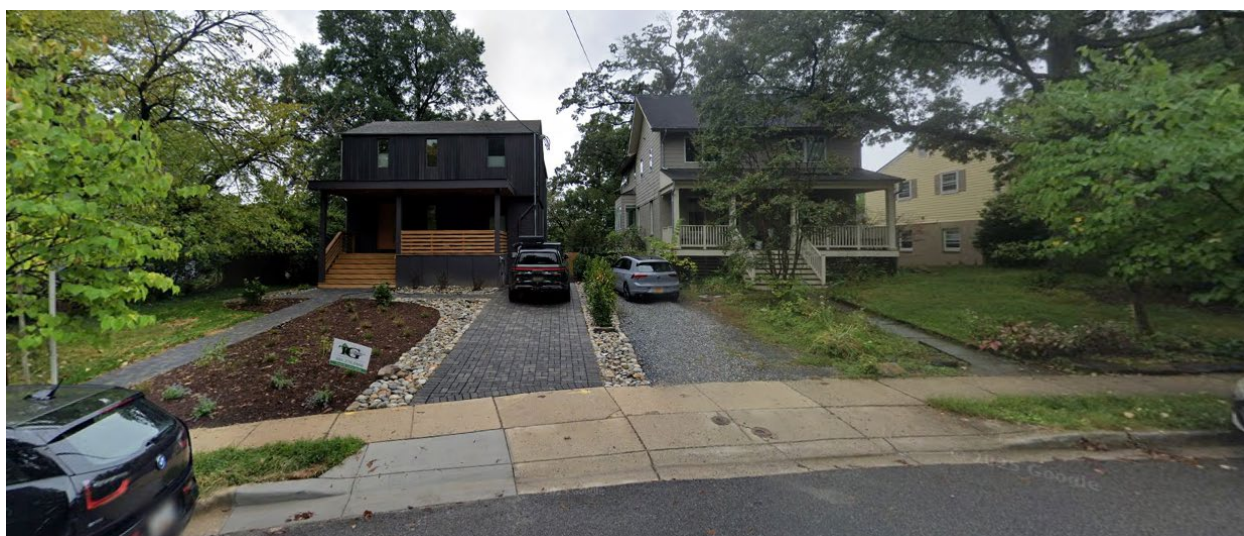


Figure 5: Streetview image showing the existing driveways/hardscaping at 15 Columbia (left) and 13 Columbia (right) (September 2025, Google Streetview).



Figure 6: The driveways/hardscaping at 11 and 7 Columbia Avenue, which pre-dates designation of the Takoma Park Historic District in 1992.

In 2021, the HPC reviewed a proposal for hardscape alterations at adjacent property at 15 Columbia Avenue, submitted in conjunction with building alterations, construction of a rear addition, and construction of an accessory structure. For the preliminary consultation review for that project at the June 9, 2021 HPC meeting, applicants proposed a 27-foot wide parking pad in the front yard. At that time, the HPC found that the hardscaping proposed was out of character for the site and surrounding district and recommended eliminating the expanded parking area and returning with a revised proposal. The applicants returned to the HPC with a HAWP application on July 14, 2021 that included a revised hardscape proposal with an 18-foot wide gravel driveway and permeable stone pathway that would have extended in front of just less than half of the front facade. The HPC’s approval for the remainder of the application specifically excluded the hardscape alterations, finding that, even at the reduced width, the proposed expanded parking area in front of the house was not compatible with the character of the site or surrounding historic district. At its October 26, 2022 meeting, the HPC approved a third revision to the proposal that called for a 13-foot wide gravel driveway. The as-built conditions for the driveway and hardscaping include a 13-foot wide paver driveway with medium to large river rock borders on either side.

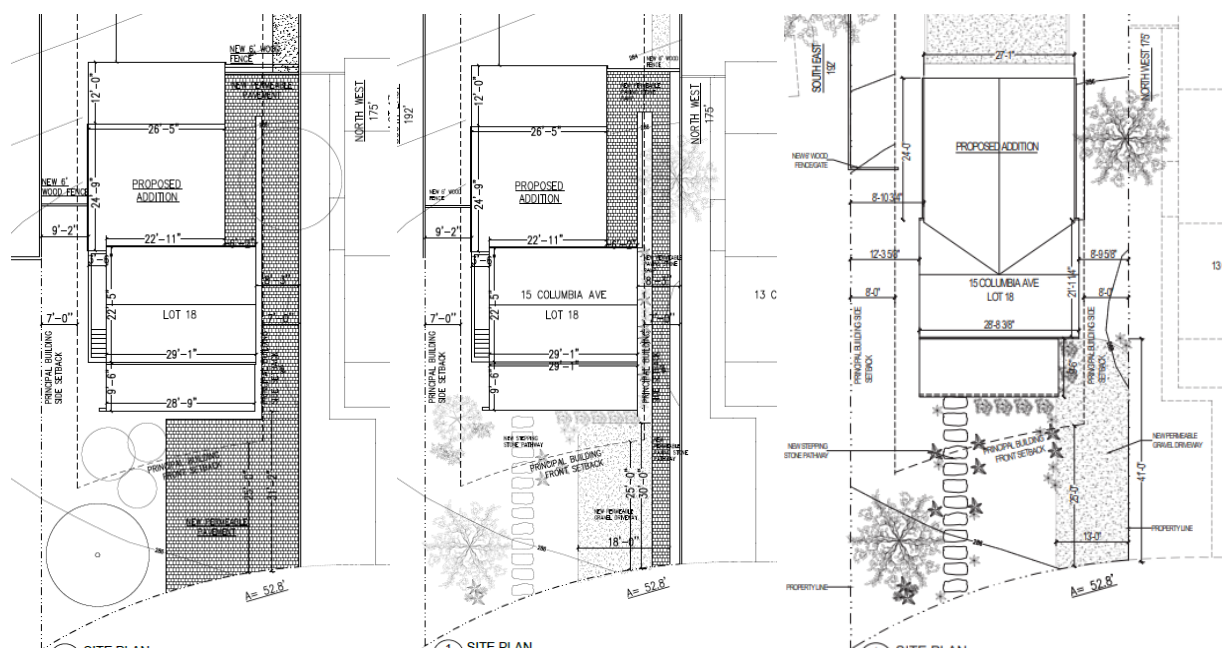


Figure 7: Site plans for additions and alterations at 15 Columbia Avenue, from left to right: preliminary consultation site plan (6/9/2021), first HAWP application (7/14/2021), revised/approved HAWP application (10/26/2022).

Staff finds that the current proposal for 13 Columbia Avenue differs from the application of 15 Columbia Avenue reviewed at the July 14, 2021 meeting in that the applicants in that case proposed to widen their curbcut and for their primary driveway/parking area to be located in front of the house, with a stone walkway along the side property line. At 13 Columbia Avenue, the applicants propose a limited shoulder that will maintain the width of the existing curb and the primary driveway/parking area will remain along the side of the house, in keeping with the *Guidelines*.

Fenestration Alterations

On the second floor of the east side elevation of the main block, the applicants propose to cut one new 35-inch by 25-inch window opening and to install a new Pella Lifestyle single-light aluminum-clad awning window. Staff finds that this alteration is consistent with the *Guidelines*, as it will not change the size or massing of the existing Non-Contributing resource. Based on a lenient review, staff recommends the HPC this alteration per the *Guidelines* and Chapter 24A-8(d).



Figure 8: Mockup showing the location and general appearance of the proposed window on the east elevation.

Fence Replacement

On the west side of the house, the applicants propose to move the existing fence line approximately 9 feet towards the street to align with that of the neighboring property. Staff finds that the fence will remain behind the rear wall plane of the main block and have limited visibility from the public right-of-way. Staff finds that the proposed horizontal wood fence is appropriate for use on this Non-Contributing resource based on a lenient level of review per the *Guidelines* and Chapter 24A-8(d).

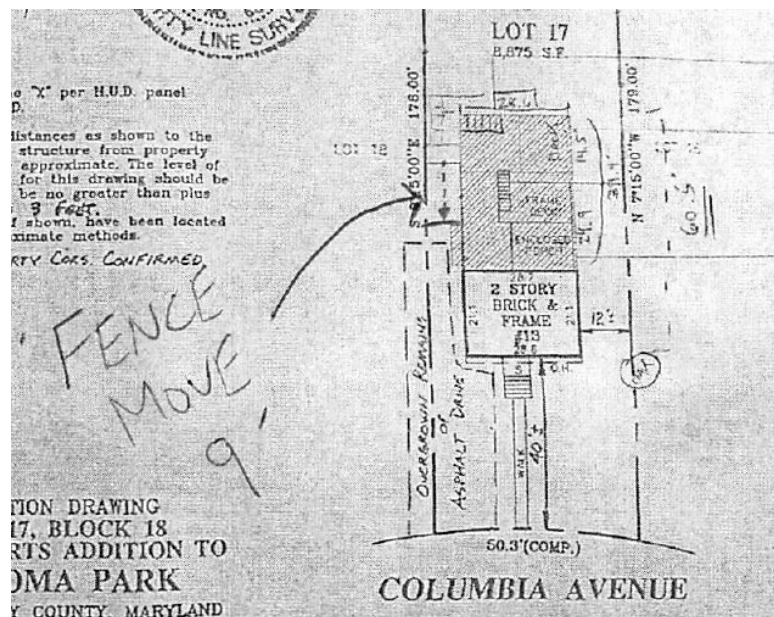


Figure 9: Site plan showing the existing fence to be replaced and proposed fence location.



Figure 10: Existing fence conditions (left) and proposed fence design (right).

STAFF RECOMMENDATION

Staff recommends that the Commission **approve with one (1) condition** the HAWP application with final approval of all details delegated to staff:

1. The width of asphalt paving must not exceed that of the existing 13-ft wide driveway. The asphalt may be replaced with gravel, tinted concrete pavers, cobblestone, TurfStone, or other similar permeable masonry materials, if desired, and the shoulder may be any of these materials. The applicants must submit final materials selections and updated annotated site plan to staff.

under the Criteria for Issuance in Chapter 24A-8(b)(1), (2), and (d), having found that the proposal, as modified by the condition, is compatible in character with the district and the purposes of Chapter 24A;

and with the *Secretary of the Interior's Standards for Rehabilitation #9*;

and with the general condition that the applicant shall present an electronic set of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will **contact the staff person** assigned to this application at 301-495-2167 or laura.dipasquale@montgomeryplanning.org to schedule a follow-up site visit.

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

Description of Work Proposed: Please give an overview of the work to be undertaken:

Work Item 1: _____	
Description of Current Condition:	Proposed Work:

Work Item 2: _____	
Description of Current Condition:	Proposed Work:

Work Item 3: _____	
Description of Current Condition:	Proposed Work:

Thank you for consideration of this request to (i) restore our existing driveway at 13 Columbia Ave. Takoma Park, MD 20912 (ii) add a pull-aside shoulder to the existing driveway of either gravel, cobble stone, or similar non-asphalt, non-concrete impermeable material (iii) add a window to the side of our home; and (iv) move our sideyard fence by 9 feet to match the neighbor's fence location.

- (i) **Driveway Restoration Request:** 13 Columbia Ave is a non-contributing resource to the Takoma Park Historic District. When we remodeled our home in 2016, we sought to evoke attributes of the traditional and historic homes in the Historic District.

The existing driveway will be repaved in asphalt in its current dimensions. To add texture and break up the asphalt, the proposed driveway repair will include an approximately two-foot wide "frame" around the core asphalt. The "frame" will be composed up jumbo-sized cobble, a material that is already widely used in the neighborhood. There is also a proposed apron of approximately 6 rows of cobble stone. (Note: These are *not* concrete pavers but actual true cobble *stone* with dimensions 4" x 7" x 10")

An image and site plan is attached of the driveway in its current and its proposed conditions.

- (ii) **Driveway Shoulder Request:**

A site plan is attached showing the proposed 50" (4' 2") driveway pull aside "shoulder" designed to permit the passing of a small compact vehicle.

(The driveway pull aside shoulder is *not* a full additional parking spot, which is more than twice the size of the proposed shoulder, typically 9' – 10'. The driveway shoulder does *not* facilitate the parking of two cars side-by-side.)

The shoulder will *not* be paved.

The request to add the shoulder is due to the following factors:

1. From Monday through Friday from approximately 8 am to 6:30 pm, all street parking on Columbia Avenue is occupied.
 - a. No permit is required to park on the street, and it is a popular parking spot for commuters walking to Metro and for employees and patrons of nearby businesses.
2. Historically, Columbia Ave was not fully occupied during weekdays nor was it an issue for our two-car family.
 - a. Because Columbia Ave is the first street in the downtown Takoma Park Historic District close to the Metro *not* to require permits for parking from

Takoma Park, it is heavily used for parking by employees in downtown Takoma Park, taxi drivers, and commuters (Pine Street at the corner of Columbia Ave. is the last street with permitted parking.)

- b. In the years since living in the home, however, the Takoma Park Main Street business district has blossomed and thrived, which has been wonderful. We are in support of the Takoma Minor Master Plan. To that end, we support upzoning and infilling down county for density and affordability.
 - c. The increased development and guests from outside of Takoma Park, however, has led to increased use of the parking on our street by non-residents during the work week.
 - d. We support the right of all taxpayers to park on our street (and have objected to a prior neighbor's attempt to add permitted parking).
3. The proposed shoulder would allow us to come and go with our two vehicles during the day, accessing the rear of the driveway without having to move one car (which cannot easily be moved and parked on the street during business hours). This will also have the benefit of freeing up a spot on Columbia Avenue for others to use. The proposed changes to the overall property are relatively minor. Supporting reasons follow below.

The request to add the shoulder the driveway is supported by the following factors:

1. **Swap and overall reduction of impermeable space:**

Existing asphalt that runs along the side of the house towards the backyard will be removed.

The footprint of the *unpaved* shoulder will be smaller than the overall coverage of the sum of all of the current paved area on the property. This is a net overall reduction in paving.


- a. The property was historically a parking and impound lot for the former police station at 8 Columbia and the police lot driveway extended all the way along the side of our current house so cars could park in what is now our back yard.
- b. The measurements of the asphalt to be **removed** are as follows
 - i. Length: 260 inches long (21.5 feet)
 - ii. Width: Varies from 125 inches wide (12') to about 60" (5') wide.
→ Averages about 7' wide when accounting for the total area. (Wide width of about 12' shown)
 - iii. See attachment of photos and measuring tape

- c. The measurements of the soft permeable gravel/cobble shoulder to be **added** are as follows:
 - i. Length: Approximately 228 inches long (19 feet)
 - ii. Width: Approximately 50 inches (just over four feet).
 - iii. See attachment of photos and measuring tape
 - iv. *NOTE:* After informal consultation with HAWP staff, the addition will *not* be asphalt or concrete but will be either gravel or historic cobble stone or similar materials.
2. **Permeability:** The area where the asphalt is removed will be restored to permeability, removing asphalt, adding soil, and planting local flora, helping to further minimize the feel of impermeable space on the property.
3. **Texture of the Property and the Neighborhood:** The plan will maintain the texture and greenery of the property and the neighborhood by maintaining greenery “above”, “beside” and “below” the pull aside shoulder. The shoulder will also be curved to soften the features, to maintain the current feeling of the property, and to partially shield the spot and break up the space.
 - a. The plan specifically does not propose a full rectangle of unbroken concrete or asphalt.
 - b. Based on consultation with staff, we have changed our proposal from concrete (and, after further discussion) asphalt to softer more permeable materials such as gravel or natural cobble stone that visually double as a garden or landscape feature.
 - i. This design is notable in its contrast with the large unbroken concrete coverage between 7 and 11 Columbia Ave. and the two large asphalt spots at the contributing resource of 8 Columbia Ave.
 - c. The green space surrounding the shoulder spot maintain at least 30” of green space alongside the shoulder and will be newly landscaped (currently it is unplanted dirt), as an open garden / rain garden bed.
 - i. This will include local plants that will seek to maintain the texture of the existing property by breaking up the concrete driveway and shielding the driveway and vehicles, in part, from the street.
 - d. The property is already well-planted, with mature oak trees that are fertilized and well-maintained. In 2010, we planted a Snow Goose Cherry tree in front of the home with the help of the City of Takoma Park that provides additional greenery. We will aim to preserve the existing crepe myrtle that is in front of the proposed shoulder pull out. A Takoma Park Tree Assessment Plan will be applied for following this application and before work commences.

- (iii) **Window Addition Request:** The proposal is to add a rectangular awning window on the West side of the home between 13 Columbia Ave and 11 Columbia Ave.

The reason that the window is being added is that the upstairs bathroom currently has no window and lacks adequate ventilation and light.

The window is proposed to be 25" tall and 47" wide rectangle manufactured by Pella and matching the other casement style windows in the home that were installed during the 2016 renovation. The window proposal and specifications are shown below in support.

Line #	Location:	Attributes
40	None Assigned	Lifestyle, Awning, Vent, 35 X 25, Without HGP, White
	 PK # 2208 Viewed From Exterior	<p>1: 3525 Vent Awning Frame Size: 35 X 25 General Information: No Package, Without Hinged Glass Panel, Clad, Pine, 5", 3 11/16" Exterior Color / Finish: Standard Enduraclad, White Interior Color / Finish: Prefinished White Paint Interior Glass: Insulated Tempered Obscure Low-E Frosted Advanced Low-E Insulating Glass Argon Non High Altitude Hardware Options: Large Awning Hardware, Fold-Away Crank, White, No Limited Opening Hardware, No Integrated Sensor, Sill Screen: Full Screen, White, InView™ Performance Information: U-Factor 0.29, SHGC 0.27, VLT 0.51, CPD PEL-N-37-00722-00001, Performance Class LC, PG 30, Calculated Positive DP Rating 30, Calculated Negative DP Rating 30, FPA FL20532, STC 25, OITC 22, Egress Not Applicable Grille: No Grille, Wrapping Information: Foldout Fins, Factory Applied, No Exterior Trim, 6 9/16", 7 7/8", Standard Four Sided Jamb Extension, Factory Applied, Manufacturer Recommended Clearance, Perimeter Length = 120". Obscure Glass Style: Frosted</p>
Rough Opening: 35 - 3/4" X 25 - 3/4"		



Lifestyle Series Awning

Standard Size Tables - Dual-Pane

Vent and Fixed Units

	(451) (432)	(552) (533)	(603) (584)	(654) (635)	(756) (737)	(832) (813)	(908) (889)	(1060) (1041)	(1213) (1194)	(1365) (1346)	(1518) (1499)
Opening	1' 5 3/4"	1' 9 3/4"	1' 11 3/4"	2' 1 3/4"	2' 5 3/4"	2' 8 3/4"	2' 11 3/4"	3' 5 3/4"	3' 11 3/4"	4' 5 3/4"	4' 11 3/4"
Frame	1' 5"	1' 9"	1' 11"	2' 1"	2' 5"	2' 8"	2' 11"	3' 5"	3' 11"	4' 5"	4' 11"
(451) (432)	1717	2117	2317	2517	2917	3217	3517	4117	4717	5317	5917
(552) (533)	1721	2121	2321	2521	2921	3221	3521	4121	4721	5321	5921
(603) (584)	1723	2123	2323	2523	2923	3223	3523	4123	4723	5323	5923
(654) (635)	1725	2125	2325	2525	2925	3225	3525	4125	4725	5325	5925
(756) (737)	1729	2129	2329	2529	2929	3229	3529	4129	4729	5329	5929
(832) (813)	1732	2132	2332	2532	2932	3232	3532	4132	4732	5332	5932

The space where the window will be installed is not prominently visible from the street when walking on the sidewalk. The window location is largely obscured by two existing features. (a) The original furnace chimney that was maintained during the renovation partially provides some obstruction to the proposed window location (currently just cement board siding) and (b) the leaves and large branches of the Southern Red Oak on the property line between 13 Columbia Ave and 11 Columbia Ave.



The window itself is high-quality, has clean lines, and matches the existing windows to the North and South of it on the side of the home. The proposed window does not detract from the historical feel of the street or of the Historic District. There are no changes to the mass of the home. The home was originally constructed in 1960 and the window largely evokes similar windows at 11 Columbia Ave.

The glass in the window will be tempered per code (due to its location in a shower) and will be opaque to provide privacy from 11 Columbia Ave.

- (iv) **Fence Request:** The proposal is to move the existing fence up by ~9' to roughly match the location of the neighbor's fence from 15 Columbia Ave, as pictured below and in the attached plat labeled "Fence Move."

The fence would be 6' high and would still provide the passage of light and views. It will not be a full privacy fence like the neighbor's but will be designed with spaced horizontal wooden slats as shown in the image.

Existing Condition (right) and tape measure showing proposed new location



Proposed Replacement Style:



4. Building line and/or other information is taken from available sources and is subject to interpretation of originator.
 5. No Title Report furnished.

13
 COLUMBIA
 AVE
 TAKOMA PARK
 MD

DRIVEWAY

MOVE
 IMPERMEABLE
 SPACE = (1)

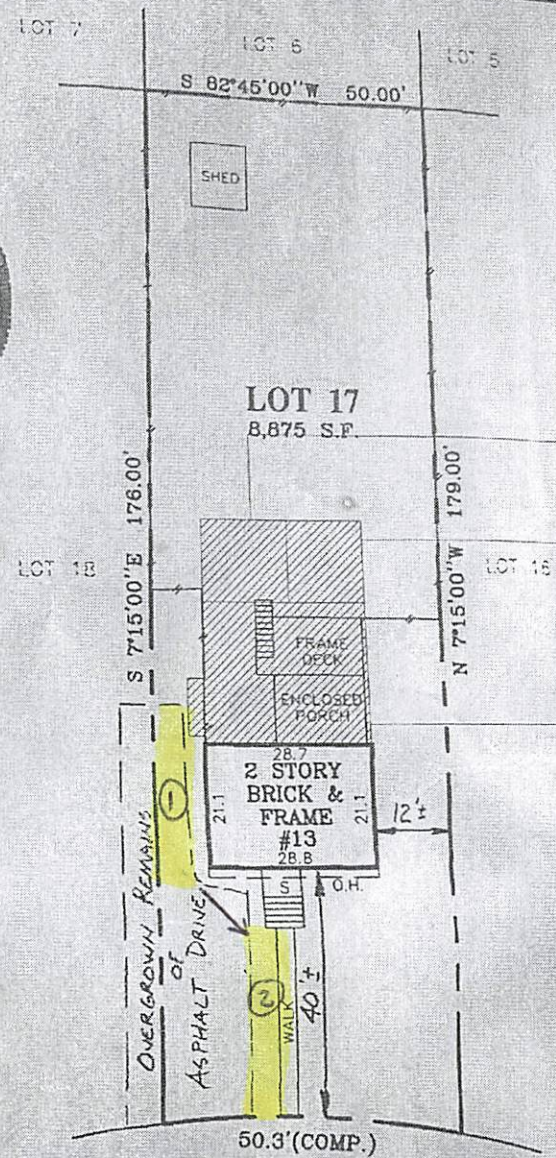
TO
 NEW LOCATION
 AT (2)

RESTORE (1)
 TO PERMEABLE
 SOIL




- Notes:**
1. Flood zone "X" per H.U.D. panel No. 0460D.
 2. Setback distances as shown to the principal structure from property lines are approximate. The level of accuracy for this drawing should be taken to be no greater than plus or minus 3 feet. Fences, if shown, have been located by approximate methods.
 3. No PROPERTY CORs. CONFIRMED.

LOCATION DRAWING
 LOT 17, BLOCK 18
 B.F. GILBERTS ADDITION TO
 TAKOMA PARK
 MONTGOMERY COUNTY, MARYLAND



COLUMBIA AVENUE

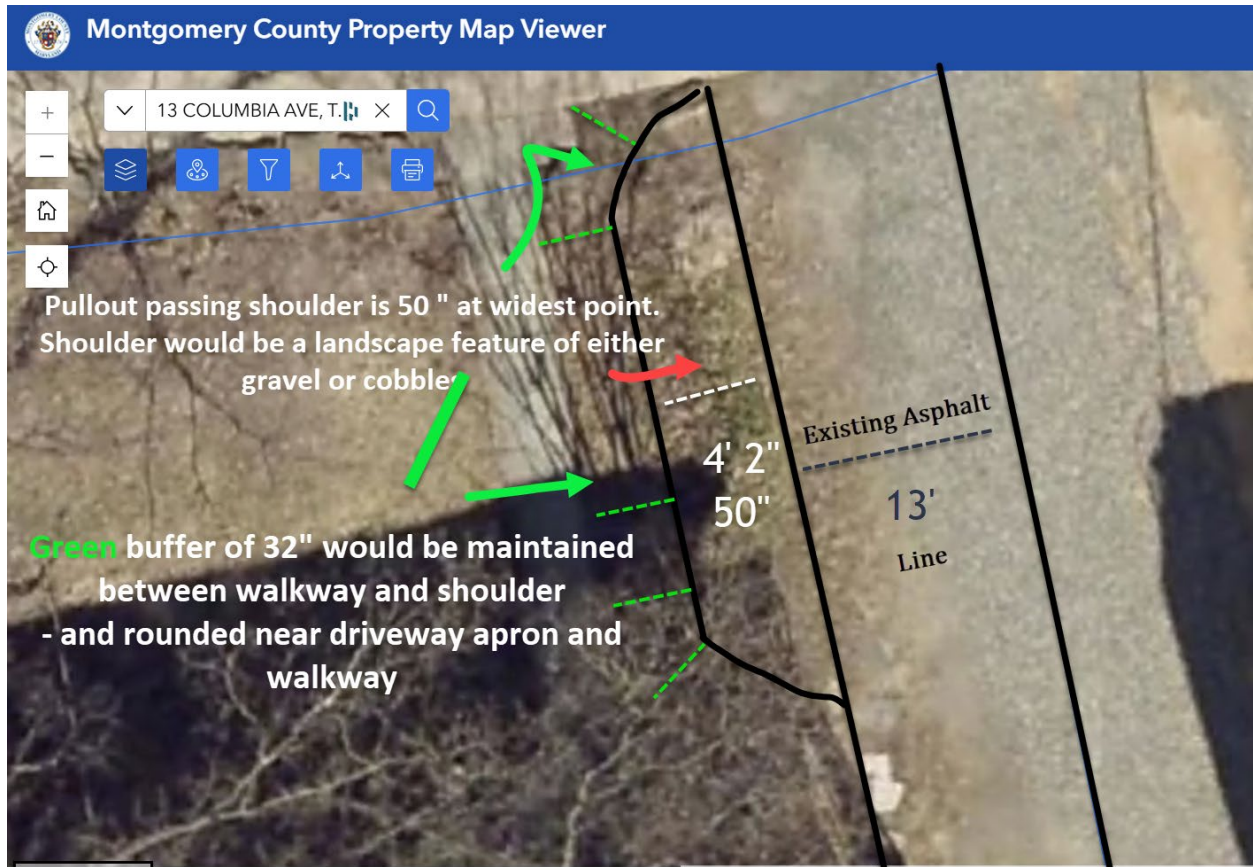
SURVEYOR'S CERTIFICATE	REFERENCES	 SNIDER & ASSOCIATES LAND SURVEYORS 20270 Goldenrod Lane, Suite 110 Germantown, Maryland 20876 301/948-5100 Fax 301/948-1286
THE INFORMATION SHOWN HEREON HAS BEEN BASED UPON THE RESULTS OF A FIELD INSPECTION PURSUANT TO THE DEED OR PLAT OF RECORD. EXISTING STRUCTURES SHOWN HAVE BEEN FIELD LOCATED BASED	PLAT BK. A PLAT NO. 2	

Revised Site Plan: Driveway for 13 Columbia Ave. Takoma Park, MD 20912 – DRAFT

Dimensions – Materials – Visual of Pullout with Vehicle Sizes

3 Pages

Proposed Dimensions (Revised Per Staff Guidance)



Proposed Materials Overlaid on Site Plan (Revised per Staff guidance)

~ 6 rows of real cobble (not synthetic pavers) on apron

~1 row of real cobble framing asphalt

Pullout ~1 row of real cobble framing gravel pullout to double as landscape feature OR

Pullout - Fully cobble to double as landscape feature



13 COLUMBIA AVE, T. X

Pullout passing shoulder is 50" at widest point. Shoulder would be a landscape feature of either gravel or cobbles

Green buffer of 32" would be maintained between walkway and shoulder - and rounded near driveway apron and walkway

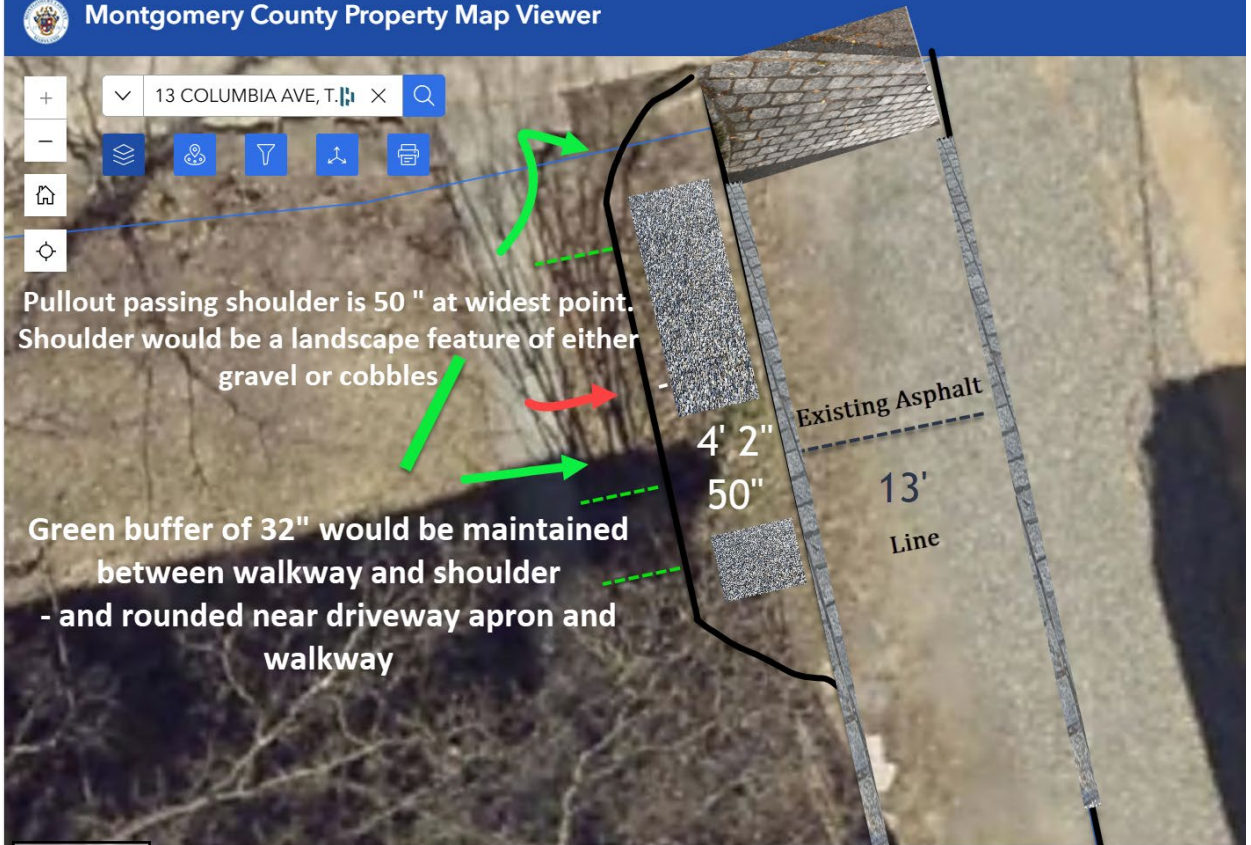
4' 2"

50"

Existing Asphalt

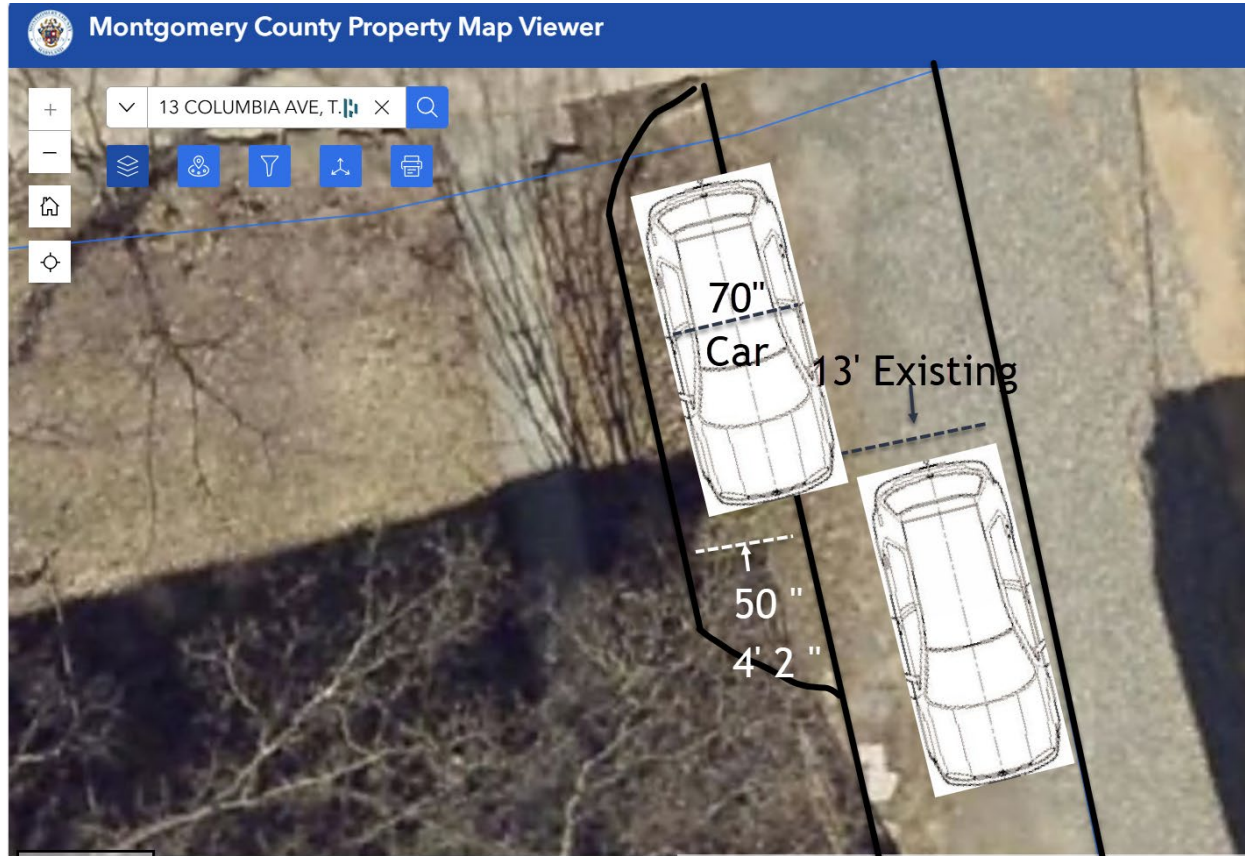
13'

Line



Visual of Pullout Passing Shoulder with Vehicle Sizes

- Compact car is 70" x 169"
- Pullout is only 50" wide.
- Combined total is not enough for two cars to park adjacent to each other but allows passing



Shown on existing space:

13 COLUMBIA AVE TAKOMA PARK MD

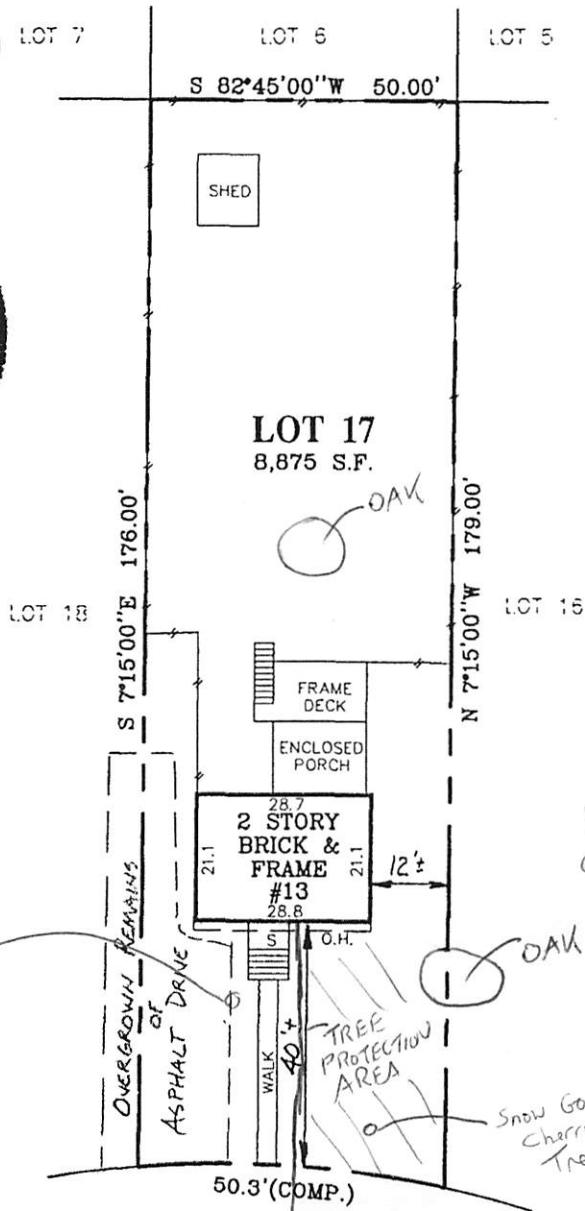
CONSUMER INFORMATION NOTES:

1. This plan is a benefit to a consumer insofar as it is required by a lender or a title insurance company or its agent in connection with contemplated transfer, financing or re-financing.
2. This plan is not to be relied upon for the establishment or location of fences, garages, buildings, or other existing or future improvements.
3. This plan does not provide for the accurate identification of property boundary lines, but such identification may not be required for the transfer of title or securing financing or re-financing.
4. Building line and/or Flood Zone information is taken from available sources and is subject to interpretation of originator.
5. No Title Report furnished.



Notes:


1. Flood zone "X" per H.U.D. panel No. 0460D.
2. Setback distances as shown to the principal structure from property lines are approximate. The level of accuracy for this drawing should be taken to be no greater than plus or minus 3 feet. Fences, if shown, have been located by approximate methods.
3. No PROPERTY CORRS. CONFIRMED.



LOCATION DRAWING
 LOT 17, BLOCK 18
 B.F. GILBERTS ADDITION TO
 TAKOMA PARK
 MONTGOMERY COUNTY, MARYLAND

CREPE MYRTLE TREE (TO BE REMOVED)

COLUMBIA AVENUE

SURVEYOR'S CERTIFICATE		REFERENCES		SNIDER & ASSOCIATES LAND SURVEYORS		
"THE INFORMATION SHOWN HEREON HAS BEEN BASED UPON THE RESULTS OF A FIELD INSPECTION PURSUANT TO THE DEED OR PLAT OF RECORD. EXISTING STRUCTURES SHOWN HAVE BEEN FIELD LOCATED BASED UPON MEASUREMENTS FROM PROPERTY MARKERS FOUND OR FROM EVIDENCE OF LINES OF APPARENT OCCUPATION." <i>Jeffrey A. Foster 587</i> MARYLAND PROPERTY LINE SURVEYOR REG. NO. 587		PLAT BK.	A		20270 Goldenrod Lane, Suite 110 Germantown, Maryland 20878 301/948-5100 Fax 301/948-1286	
		PLAT NO.	2		DATE OF LOCATIONS	SCALE:
LIBER		WALL CHECK:		DRAWN BY:	J.T.H.	
FOLIO		HSE. LOC.:	6-11-09	JOB NO.:	09-02274	

Existing Driveway (13 Columbia Ave)



Above - Existing Driveway 13 Columbia (on Right) – View From Street



Above - Existing Driveway 13 Columbia (on Left) – View Towards Street

Existing Driveway (13 Columbia Ave)

Below – Representative images of weekday full parking on Columbia Ave, facing Hickory Ave and Pine Ave. No street parking available.



Existing Asphalt Along Side of House (13 Columbia Ave)

Length: 260 inches long (21.5 feet) – To be “moved” to front of house from side of house. Restore area to permeability



Width: Varies from 125 inches wide (12') to about 60" (5') wide. Probably averages about 7' wide when accounting for the total area. (Wide width of about 12' shown)



Smaller width (~5') with leaf cover shown:

