

Dan Bruechert
Historic Preservation Commission
2425 Reddie Drive, 14th Floor
Wheaton, MD, 20902

December 4, 2025

Re: Amendment HAWP 1032588 (Modification of Tree Removal Plan)

Dear Dan,

Washington Landmark and its team have been diligently advancing the permitting process for the rehabilitation and restoration of the Warner Circle Mansion and Carriage House. As you know, there are several nuances involved in coordinating with county agencies, and both the County and our team are committed to ensuring that this landmark receives the highest level of attention and care. To that end, we are working through detailed and thorough review processes with each relevant department.

We are currently in the second round of review for the Forest Conservation Plan (FCP) permit for the Mansion. During this review, county staff requested modifications to the existing tree removal plan. Three additional trees on the south side of the property have now been designated as "Remove with intent to save." This designation indicates that our team intends to preserve these trees; however, due to their proximity to essential utility work and required site development, we have established contingency approvals should removal ultimately become necessary. This approach is intended to avoid future amendments or resubmittals to the FCP should conditions change during construction.

The three trees identified are:

- **Tree 1008:** Located near the southeast entrance of the loop road. Three trees in this area were previously approved for removal. Tree 1008 must now also be considered for removal, as the entrance must be widened to meet FDA access requirements. If Tree 1008 is removed, a replacement tree of the same species will be planted.
- **Tree 2825:** Situated southwest of the loop road. This tree is adjacent to the proposed bioswale and its outlet. Construction and long-term operation of the bioswale may place the tree at significant risk later in its lifecycle, necessitating contingency removal.
- **Tree 1063:** Located at the south end of the property behind the Carriage House. This is a significant tree; however, the Carriage House and associated utilities fall within its critical root zone, which may compromise its long-term viability.

Attached is the updated Forest Conservation Plan reflecting these modifications. Please review at your convenience, and let us know if you have any questions or need additional information.

Thank you for your continued guidance and collaboration.

Yours sincerely,

A handwritten signature in black ink, appearing to read 'Karl Voglmayr', written in a cursive style.

Karl Voglmayr

Warner Circle Mansion Condominiums

Adjacent and Confronting Properties:

Kensington, MD 20895

10211 Montgomery Avenue

10209 Montgomery Avenue

10207 Montgomery Avenue

10205 Montgomery Avenue

10203 Montgomery Avenue

10209 Hadley Place

10104 Hadley Place

10202 Carroll Place

10204 Carroll Place

10206 Carroll Place

10208 Carroll Place

10210 Carroll Place

10212 Carroll Place

10214 Carroll Place

10213 Montgomery Avenue

10221 Montgomery Avenue

10237 Carroll Place

10234 Carroll Place

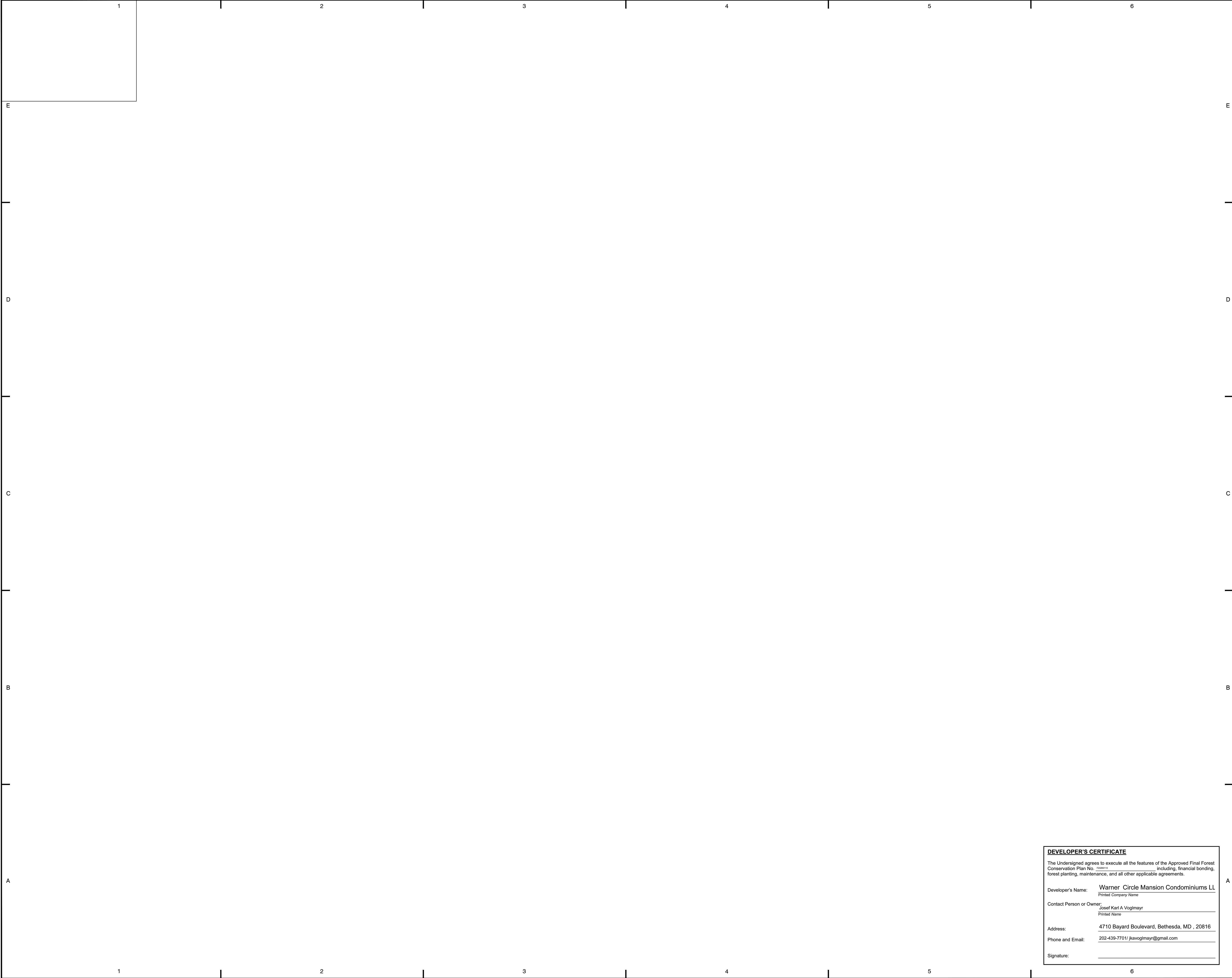
10226 Carroll Place


10300 Fawcett Street

10220 Carroll Place

10216 Carroll Place


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WILES MENSCH
CIVIL, LANDSCAPE ARCHITECTURE | SURVEY
Planning, Engineering, Surveying & Landscape Architecture
3204 Tower Oaks Blvd, Suite 200-A, Rockville, MD 20852
(T) 301-762-9004 www.WM-DC.com

Consultants:

Seal:

Client:

WARNER CIRCLE MANSION
CONDOMINIUMS, LLC
C/O LAWRENCE SMITH
4955 BUTTERWORTH PLACE, NW
WASHINGTON, DC 20016
240.498.4502
lawrence@washingtonlandmark.com

Project:

KENSINGTON PARK
PLAN NO. F20260110
10212 MONTGOMERY AVENUE
BLOCK 1, SUBDIVISION 0364

13th ELECTION DISTRICT
KENSINGTON
MONGTOGMERY COUNTY,
MARYLAND 20895
WSSC GRID: 213NW04
TAX MAP: HP343
TAX ID: 03903341

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| No. | Date | Issue/Revision |
| Designed By: LV | Drawn By: MF | Checked By: LV |
| Project No.: 22_089 | | Date: 09-05-2023 |

Scale:

AS SHOWN

Sheet Title:

PRELIMINARY/ FINAL FOREST
CONSERVATION PLAN
APPROVAL MEMO

Sheet No.: 02-FCP-F20260110-002

2 OF 4

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REMOVAL OF EXISTING PAVEMENT WITHIN A TREE'S CRITICAL ROOT ZONE

1. THE CONTRACTOR SHALL MEET WITH THE M-NCPPC URBAN FORESTER AND CONSTRUCTION INSPECTOR PRIOR TO REMOVAL OF THE PAVEMENT TO DISCUSS METHODS TO BE USED TO REMOVE PAVEMENT. REMOVAL OF PAVEMENT MAY BE REQUIRED TO BE DONE BY HAND DEPENDING ON SITE CONDITIONS.
2. THE EXISTING TOP LAYER OF PAVEMENT SHALL BE PEELED AWAY WITHOUT DISTURBING THE GROUND OR MATERIAL BENEATH. IF A BASE COURSE OF ROCK IS BENEATH THE PAVEMENT THE ROCK SHALL BE LEFT IN PLACE.
3. DURING THE REMOVAL OF THE PAVEMENT LAYER GREAT CARE SHALL BE TAKEN TO NOT DISTURB EXISTING TREE ROOTS ALONG OR UNDER EXISTING PAVEMENT. EXISTING TREE ROOTS GREATER THAN 1.5" IN DIAMETER ENCOUNTERED DURING THE REMOVAL PROCESS SHALL NOT BE CUT UNLESS APPROVED BY THE M-NCPPC URBAN FORESTER.
4. EQUIPMENT SHOULD REMAIN ON EXISTING PAVEMENT DURING THE REMOVAL PROCESS. EQUIPMENT SHALL NOT TRAVERSE OVER AREAS WHERE PAVEMENT WAS REMOVED IN ORDER TO PROTECT EXPOSED TREE ROOTS.
5. GROUND PROTECTION SUCH AS A 12" MULCH LAYER WILL BE REQUIRED IF EQUIPMENT IS NEEDED TO BE OPERATED WITHIN THE CRITICAL ROOT ZONE.
6. REMOVAL OF THE EXISTING PAVEMENT SHALL BE DONE UNDER SUPERVISION OF THE M-NCPPC URBAN FORESTER AND THE CONSTRUCTION INSPECTOR.
7. STABILIZE AREA PER APPROVED PLAN OR AS DIRECTED BY CONSTRUCTION INSPECTOR.

SITE KEYNOTES:

- 1 EXISTING ASPHALT PAVEMENT TO BE REMOVED. SEE PAVEMENT IN A CRZ REMOVAL NOTES, THIS PAGE.
- 2 CURB TO BE REPAIRED IN PLACE.
- 3 CONCRETE WALK AND RAMP TO BE REMOVED. SEE PAVEMENT IN A CRZ REMOVAL NOTES, THIS PAGE.



VICINITY MAP
SCALE=2000'-0"



LEGEND:

- EX. EXISTING
- EX. VEGETATION
- EX. DECIDUOUS TREE
- EX. EVERGREEN TREE
- EX. SIGNIFICANT DECIDUOUS TREE ≥ 24" DBH
- EX. SIGNIFICANT EVERGREEN TREE ≥ 24" DBH
- EX. SPECIMEN DECIDUOUS TREE ≥ 24" DBH
- EX. DECIDUOUS TREE ≥ 24" DBH AND 75% DBH OF CURRENT STATE CHAMPION
- EX. TREE TO BE REMOVED WITH INTENT TO SAVE
- EX. SIGNIFICANT TREE TO BE REMOVED WITH INTENT TO SAVE
- EX. TREES TO BE REMOVED
- EX. SIGNIFICANT EVERGREEN TREE TO BE REMOVED
- PROPOSED QUERCUS BICOLOR, 2" CAL., B&B, QTY 4
- PROPOSED ILEX OPACA 'FEMALE', 3" CAL., B&B, QTY 3
- PROPOSED ILEX OPACA 'MALE', 3" CAL., B&B, QTY 1
- PROPOSED TILIA AMERICANA, 3" CAL., B&B, QTY 3
- PROPOSED LIRIODENDRON TULIPIFERA, 3" CAL., B&B, QTY 4
- PROPOSED NYSSA SYLVATICA, 3" CAL., B&B, QTY 3
- PROPOSED ILEX OPACA 'FEMALE', IF TREE #1008 IS REMOVED, 3" CAL., B&B, QTY 1
- PROPOSED TREE TO BE PLANTED IF TREE #1063 IS REMOVED, 3" CAL., B&B, QTY 5
- PROPOSED TREE TO BE PLANTED IF TREE #2825 IS REMOVED, 3" CAL., B&B, QTY 2
- EX. TREE CANOPY
- EX. PROPERTY LINE
- EX. ADJOINING PROPERTY LINE
- EX. OVERHEAD POWERLINE
- EX. INTERMEDIATE 1-FT CONTOURS
- EX. INDEX 5' CONTOURS
- EX. UNDERGROUND STORMWATER PIPE
- EX. UNDERGROUND SEWER PIPE
- EX. UNDERGROUND COMMUNICATION
- EX. UNDERGROUND ELECTRIC
- EX. UNDERGROUND GAS
- EX. UNDERGROUND WATER
- LIMIT OF DEVELOPMENT
- 100' OFFSET
- 2B SOIL LINE
- 2C STRUCTURAL ROOT PLATE
- CRZ CRITICAL ROOT ZONE
- PROPOSED INTERMEDIATE 1 FT CONTOURS
- SLOPES 25% OR GREATER

- RP ROOT PRUNING, SEE 02-FCP-F20260110-004
- TPF TREE PROTECTION FENCE, SEE 02-FCP-F20260110-004
- TPF TREE PROTECTION FENCE LOCATION AFTER ASPHALT REMOVED
- SF SILT FENCE
- SSF SUPER SILT FENCE
- FL-S TRENCHLESS SILT FENCE
- ROOT AND SOIL PROTECTION, SEE 02-FCP-F20260110-004
- STABILIZED CONSTRUCTION ENTRANCE
- PROPOSED CONCRETE
- PROPOSED ASPHALT TRAIL
- PROPOSED BIORETENTION FACILITY
- PROPOSED STAMPED CONCRETE

- HISTORIC 1893-1914 QUEEN ANNE HOUSE
- HISTORIC 1914 CARRIAGE HOUSE
- EX. DOWNSPOUT
- EX. DOWNSPOUT CLOSED
- EX. WOOD POST
- EX. ELECTRIC STRUCTURE
- EX. CLEANOUT
- EX. ROOF DRAIN
- EX. FIRE HYDRANT
- EX. SIAMESE CONNECTION
- EX. DRAINAGE MANHOLE
- EX. ELECTRIC MANHOLE
- EX. SANITARY MANHOLE
- EX. UTILITY MANHOLE
- EX. WATER MANHOLE
- EX. ELECTRIC METER
- EX. UTILITY POLE
- EX. COBRA LIGHT POLE
- EX. ELECTRIC POLE
- EX. GAS VALVE
- EX. WATER SPIGOT VALVE
- EX. WATER VALVE
- EX. GUY WIRE
- EX. DOUBLE DOOR
- EX. DOOR
- EX. SIGN
- EX. SIGN
- EX. SIGN
- EX. HANDICAPPED PARKING
- EX. HANDRAIL

NOTES

1. REFER TO SHEET 02-FCP-F20260110-001 FOR SPECIES, SIZE, CONDITION, AND PROPOSED STATUS OF EACH SIGNIFICANT, SPECIMEN OR CHAMPION TREE.
2. REFER TO SHEET 02-FCP-F20260110-004 FOR FOREST CONSERVATION SEQUENCE OF EVENTS.

DEVELOPER'S CERTIFICATE

The Undersigned agrees to execute all the features of the Approved Final Forest Conservation Plan No. F20260110-001 including, financial bonding, forest planting, maintenance, and all other applicable agreements.

Developer's Name: Warner Circle Mansion Condominiums LL
Printed Company Name

Contact Person or Owner: Josef Karl A Voglmayr
Printed Name

Address: 4710 Bayard Boulevard, Bethesda, MD, 20816

Phone and Email: 202-439-7701 / jkavoglmayr@gmail.com

Signature: _____

NOTES:

1. CONTACT MONTGOMERY PARKS IF ANY ARCHEOLOGICAL FEATURES OR ARTIFACT CONCENTRATIONS ARE ENCOUNTERED DURING TREE PLANTING.
2. THE LIMIT OF DISTURBANCE LINE (LOD), TREE PROTECTION FENCE LINES, AND ROOT PRUNING LINES ARE SEPARATED FOR GRAPHICAL CLARITY. TREE PROTECTION FENCING SHALL BE INSTALLED ON TOP OF THE LOD LINE. ROOT PRUNING SHALL OCCUR ON TOP OF THE LOD LINE.

Consultants:

Seal:



Client:

WARNER CIRCLE MANSION
CONDOMINIUMS, LLC
C/O LAWRENCE SMITH
4955 BUTTERWORTH PLACE, NW
WASHINGTON, DC 20016
240.498.4502
lawrence@washingtonlandmark.com

Project:

KENSINGTON PARK
PLAN NO. F20260110
10212 MONTGOMERY AVENUE
BLOCK 1, SUBDIVISION 0364
13th ELECTION DISTRICT
KENSINGTON
MONTGOMERY COUNTY,
MARYLAND 20895
WSSC GRID: 213NW04
TAX MAP: HP343
TAX ID: 03903341

1 08/20/25 FCP SUBMISSION

No. Date Issue/Revision

Designed By: LV Drawn By: MF Checked By: LV

Project No.: 22_089 Date: 09-05-2023

Scale: 1" = 30'

AS SHOWN

Sheet Title:
**PRELIMINARY/ FINAL FOREST
CONSERVATION PLAN**

Sheet No.: 02-FCP-F20260110-003

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Consultants:

Seal:



Client

WARNER CIRCLE MANSION
CONDOMINIUMS, LLC
C/O LAWRENCE SMITH
4955 BUTTERWORTH PLACE, NW
WASHINGTON, DC 20016
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| Project No.: 22_089 | | Date: 09-05-2023 | |

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Sheet Title:

PRELIMINARY/ FINAL FOREST CONSERVATION PLAN NOTES AND DETAILS

Sheet No.: 02-FCP-F20260110-004

Dan Bruechert
Historic Preservation Commission
2425 Reedie Drive, 14th Floor
Wheaton, MD, 20902

December 4, 2025

Re: Amendment HAWP 1053565

Dear Dan,

We are bringing the following design items to your attention and request your guidance on how best to proceed. During the course of construction, several unforeseen site conditions and unaddressed details from the initial review have come to light that require clarification and approval.

1) Carriage House Sill Detail: There is a hard visual transition where the Carriage House (CH) board-and-batten siding meets the concrete foundation walls. The CH underpinning wall sections were constructed thicker for structural integrity. We are proposing a rowlock course brick detail at the transition point between the siding and parging to create a cleaner and more intentional visual break. We intend to use salvaged bricks from the Mansion for this detail. Please refer to Exhibit A for detailed drawings and precedent images.

2) Carriage House Siding Material: The Carriage House historically featured board-and-batten siding, and the original staff report prohibits the use of fiber-cement siding in the rehabilitation work. Our initial plan was to reuse the salvaged boards from the building. However, most boards are in poor condition—damaged, rotted, cracked, or compromised during removal due to the large cut nails used in the original construction. From the usable salvaged material, we have enough to restore only the front elevation.

For the remaining sides and rear, we propose using LP SmartSide Smooth Panels, a wood-composite siding that maintains the appearance of painted wood. Cedar battens will be installed over the vertical seams to match the historic board-and-batten profile. These battens will be eased and beveled to replicate the original batten profile. Cedar corner boards will also be installed at all corners to ensure a consistent visual transition. Please refer to Exhibit B for elevations and product details.

3) Egress Window Revision and Clarification: During the redesign of the Carriage House interior, an additional bedroom was added to the second floor to improve function and utility. Per code, one window in this room must provide a minimum clear opening of 5.7 sq. ft. for egress and life safety. To meet this requirement, one of the previously approved double-hung windows must be revised to a casement window designed with a simulated muntin pattern to resemble the double-hung configuration. Please refer to Exhibit C for window specifications and muntin details.

4) Soffit and Trim Details: The current HAWP does not include detailed soffit, rafter, or trim specifications. We are submitting proposed soffit and trim details to ensure that all work completed is fully consistent with preservation standards and the architectural character of the Carriage House. Please refer to Exhibit D for the detailed profiles.

Please let us know if you need additional information or would like to discuss any of these items in more detail. We appreciate your guidance as we work to ensure the rehabilitation stays fully aligned with the historic preservation requirements.

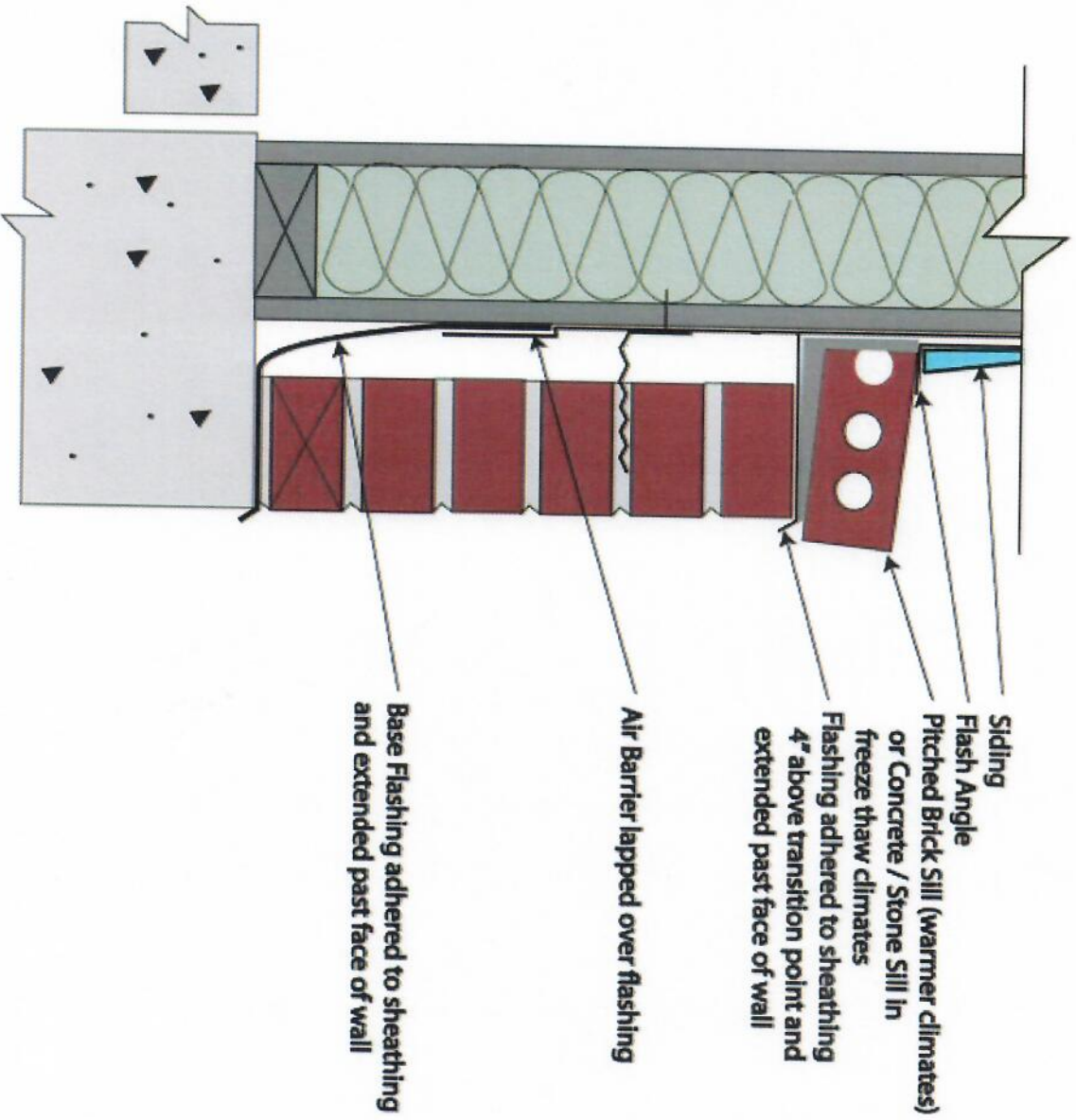
Yours Sincerely

A handwritten signature in black ink, appearing to read 'K. A. Voglmayr', written in a cursive style.

Karl Voglmayr

Warner Circle Mansion Condominiums

EXHIBIT A





NEW TEXTURE. SAME DURABILITY.

EXHIBIT B

LP® SMARTSIDE® TRIM & SIDING BRUSHED SMOOTH TRIM AND SIDING

The advanced durability you expect from LP® SmartSide® Trim & Siding is available in a Brushed Smooth texture. Your homeowners will love this modern design to match their style—and you'll love the fast and easy installation that comes with LP SmartSide Trim & Siding.

- Advanced Durability for Longer Lasting Beauty®
- Primed for exceptional paint adhesion
- Industry-leading 5/50 year prorated limited warranty:
 - 5-year labor and materials and 50-year substrate
- Available in a variety of sizes, profiles and applications



LP® SmartSide®
Brushed Smooth Trim &
Siding is available in a
variety of widths.

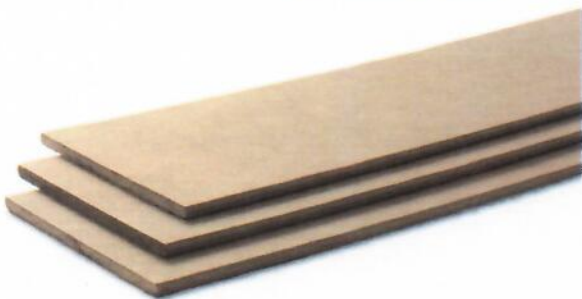
LP SmartSide®
TRIM & SIDING

For complete product & warranty details, visit LPCorp.com

PRODUCTS AVAILABLE IN LP® SMARTSIDE® TRIM & SIDING BRUSHED SMOOTH TEXTURE

LAP SIDING

- 38 Series 6" – 5.84 in. (148 mm) x 192 in. (4.9 m) •
- 38 Series 8" – 7.84 in. (199 mm) x 192 in. (4.9 m) •
- 38 Series 12" – 11.84 in. (301 mm) x 192 in. (4.9 m)



VERTICAL SIDING

- 38 Series 16" x 16' – 15.93 in. (405 mm) x 192 in. (4.9 m)



PANEL

- 38 Series 4' x 8' – 47.88 in. (1216 mm) x 96 in. (2.4 m) Square edge
- 38 Series 4' x 10" – 47.88 in. (1216 mm) x 120 in. (3m) Square edge



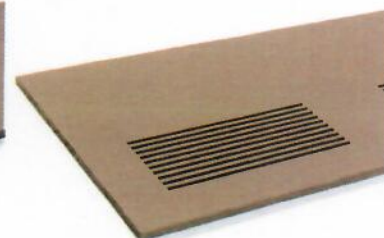
TRIM

- 440/540 Series 2" – 1.50 (38 mm)
- 440/540 Series 3" – 2.46 in. (62 mm)
- 440/540 Series 4" – 3.46 in. (88 mm)
- 440/540 Series 6" – 5.47 in. (139 mm)
- 440/540 Series 8" – 7.21 in. (183 mm)
- 440/540 Series 10" – 9.21 in. (234 mm)
- 440/540 Series 12" – 11.21 in. (285 mm)



CLOSED OR VENTED SOFFIT

- 38 Series 12" Closed or Vented Soffit – 11.94 in. (303 mm) x 192 in. (4.9 m)
- 38 Series 16" Closed or Vented Soffit – 15.94 in. (405 mm) x 192 in. (4.9 m)
- 38 Series 24" Closed or Vented Soffit – 23.94 in. (608 mm) x 192 in. (4.9 m)



OUTSIDE CORNERS

- 540 Series 4" – 3.625 in (92 mm)
- 540 Series 6" – 5.625 in. (143 mm)



We're not just building for the future, we're promoting forest regeneration and preserving wildlife habitats for the benefit of all generations to come.

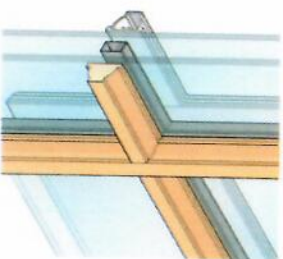
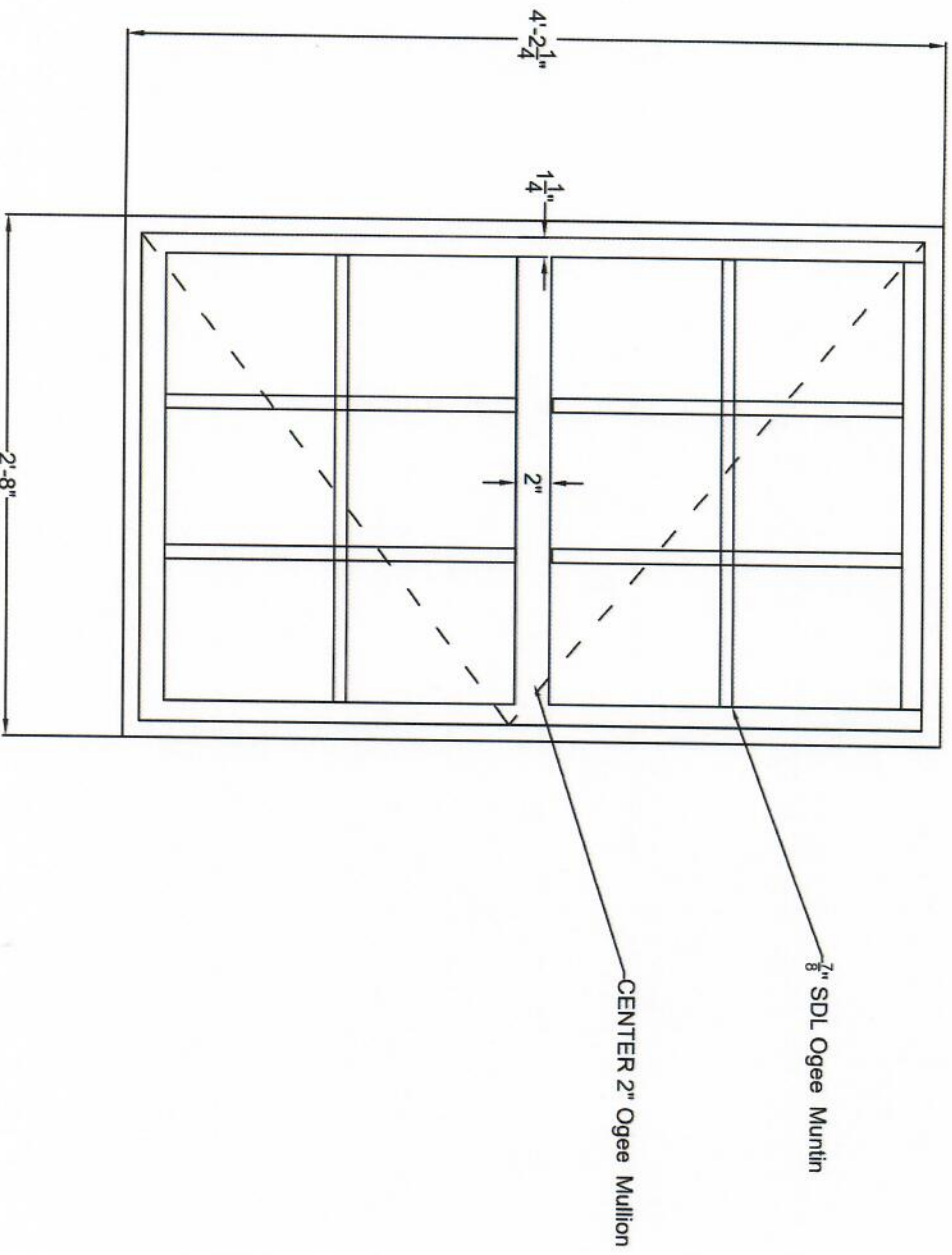
WARNING: Drilling, sawing, sanding or machining wood products can expose you to wood dust, a substance known to the State of California to cause cancer. Avoid inhaling wood dust or use a dust mask or other safeguards for personal protection. For more information go to www.P65Warnings.ca.gov/wood.

Scan For
Accessories

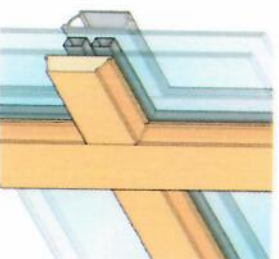


FOR COMPLETE PRODUCT & WARRANTY DETAILS, VISIT LPCORP.COM

Exhibit C

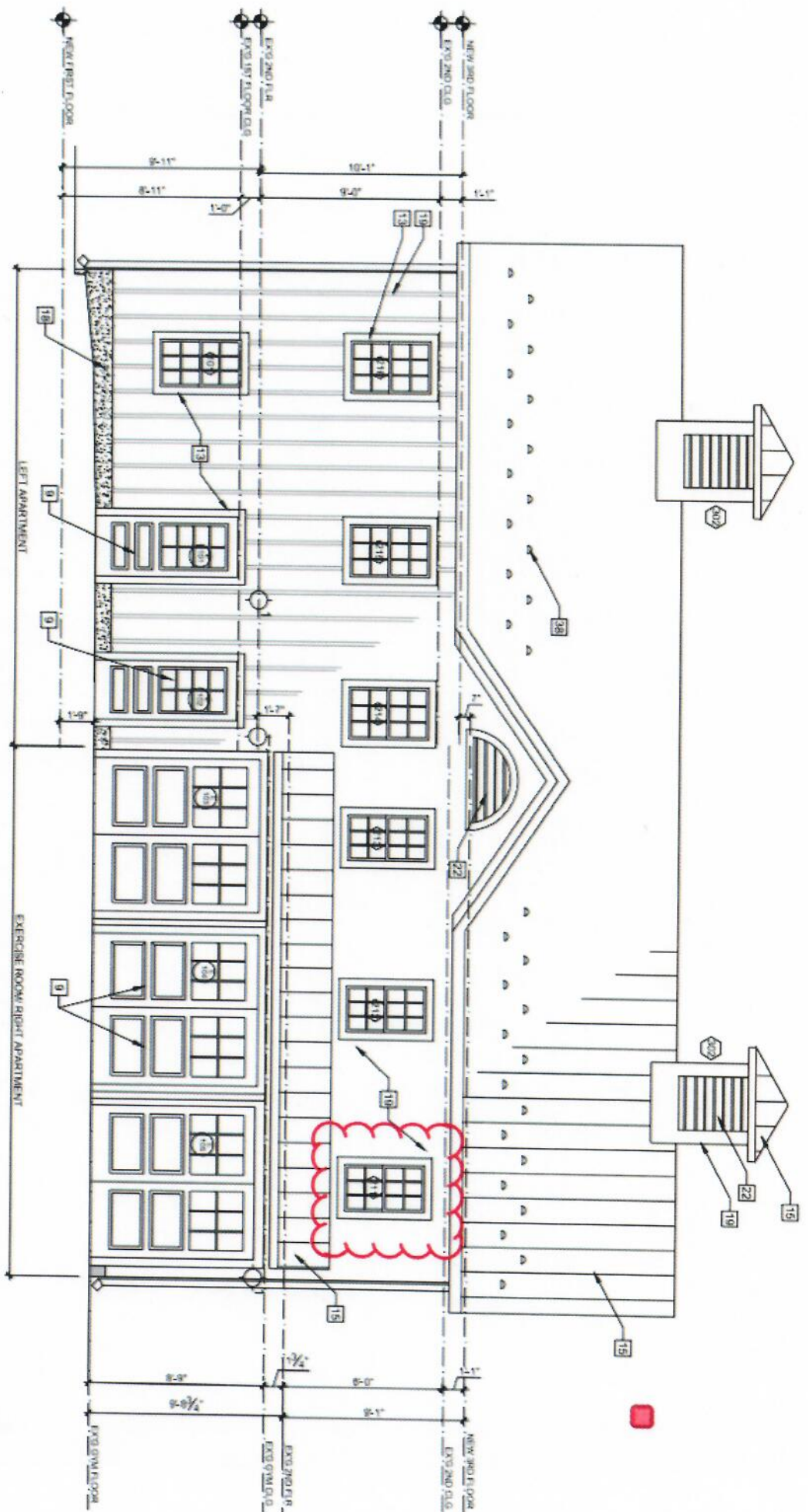


7/8" Ogee Integral Light Technology



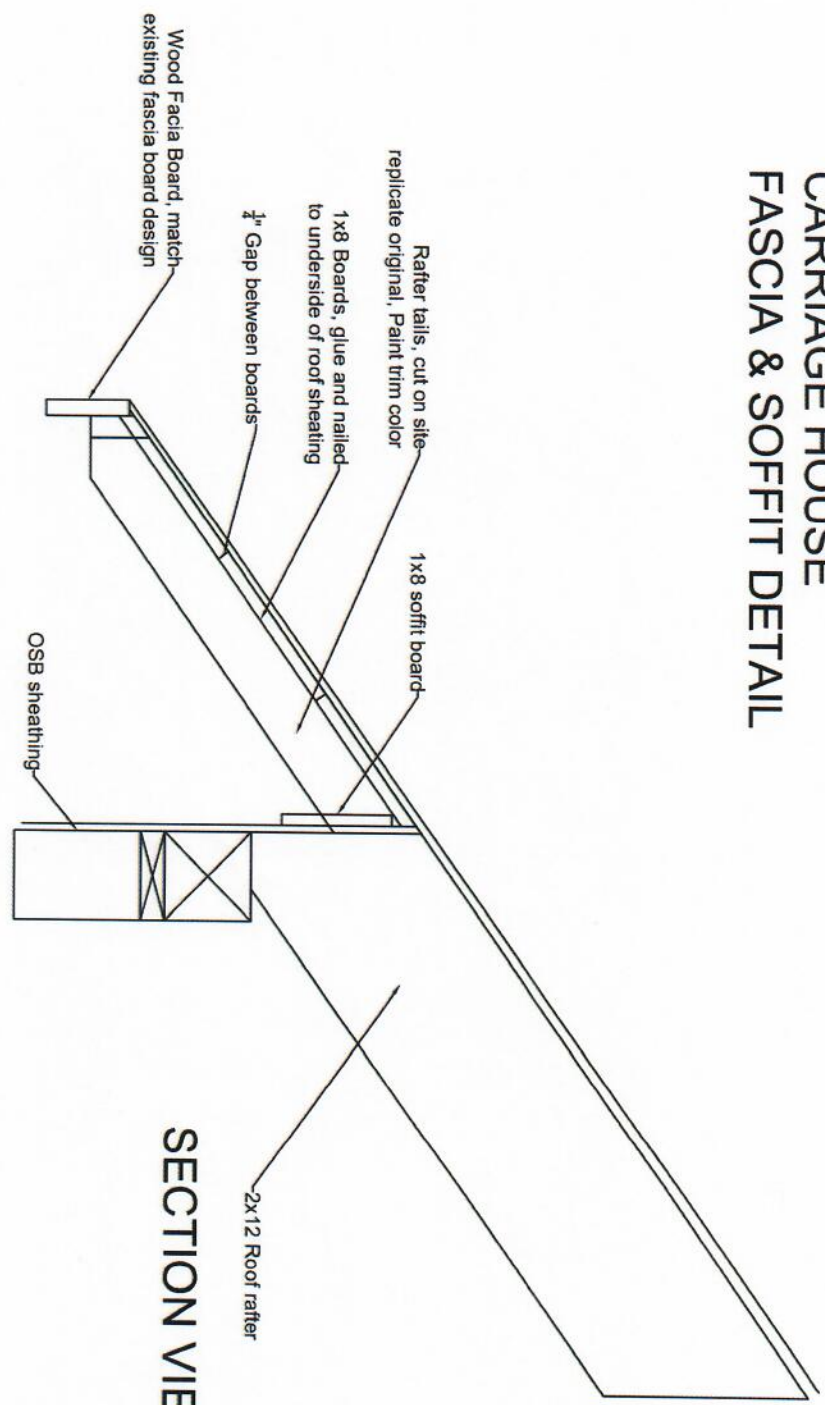
2" Ogee Integral Light Technology

FAUX DOUBLE HUNG WINDOW DESIGN
CASEMENT WINDOW.



1 CARRIAGE HOUSE - NORTH ELEVATION

CARRIAGE HOUSE FASCIA & SOFFIT DETAIL



SECTION VIEW SOFFIT

FASCIA ELEVATION

