Dan Bruechert Historic Preservation Commission 2425 Reedie Drive, 14<sup>th</sup> Floor Wheaton, MD, 20902

December 4, 2025

#### Re: Amendment HAWP 1032588 (Modification of Tree Removal Plan)

Dear Dan,

Washington Landmark and its team have been diligently advancing the permitting process for the rehabilitation and restoration of the Warner Circle Mansion and Carriage House. As you know, there are several nuances involved in coordinating with county agencies, and both the County and our team are committed to ensuring that this landmark receives the highest level of attention and care. To that end, we are working through detailed and thorough review processes with each relevant department.

We are currently in the second round of review for the Forest Conservation Plan (FCP) permit for the Mansion. During this review, county staff requested modifications to the existing tree removal plan. Three additional trees on the south side of the property have now been designated as "Remove with intent to save." This designation indicates that our team intends to preserve these trees; however, due to their proximity to essential utility work and required site development, we have established contingency approvals should removal ultimately become necessary. This approach is intended to avoid future amendments or resubmittals to the FCP should conditions change during construction.

#### The three trees identified are:

- **Tree 1008:** Located near the southeast entrance of the loop road. Three trees in this area were previously approved for removal. Tree 1008 must now also be considered for removal, as the entrance must be widened to meet FDA access requirements. If Tree 1008 is removed, a replacement tree of the same species will be planted.
- Tree 2825: Situated southwest of the loop road. This tree is adjacent to the proposed bioswale and its outlet. Construction and long-term operation of the bioswale may place the tree at significant risk later in its lifecycle, necessitating contingency removal.
- Tree 1063: Located at the south end of the property behind the Carriage House. This is a significant tree; however, the Carriage House and associated utilities fall within its critical root zone, which may compromise its long-term viability.

Attached is the updated Forest Conservation Plan reflecting these modifications. Please review at your convenience, and let us know if you have any questions or need additional information.

Thank you for your continued guidance and collaboration.

Yours sincerely,

Karl Voglmayr

Warner Circle Mansion Condominiums

#### Adjacent and Confronting Properties:

#### Kensington, MD 20895

10211 Montgomery Avenue

10209 Montgomery Avenue

10207 Montgomery Avenue

10205 Montgomery Avenue

10203 Montgomery Avenue

10209 Hadley Place

10104 Hadley Place

10202 Carroll Place

10204 Carroll Place

10206 Carroll Place

10208 Carroll Place

10210 Carroll Place

10212 Carroll Place

10214 Carroll Place

10213 Montgomery Avenue

10221 Montgomery Avenue

10237 Carroll Place

10234 Carroll Place

10226 Carroll Place

10300 Fawcett Street

10220 Carroll Place

10216 Carroll Place

# KENSINGTON PARK PRELIMINARY AND FINAL FOREST CONSERVATION PLAN F20260110

## **GENERAL INFORMATION**

THE 4.45 ACRE PROPERTY IS LOCATED TO THE NORTHEAST OF THE INTERSECTION OF CONNECTICUT AVENUE AND WASHINGTON STREET. THE PROPERTY IS A PARK LOCATED IN THE KENSINGTON HISTORIC DISTRICT. THE SITE HAS VEHICULAR ACCESS FROM CARROLL PLACE AND MONTGOMERY AVENUE. THE PROPERTY IS BORDERED TO THE NORTH, SOUTH, AND EAST BY RESIDENTIAL PROPERTIES. VEGETATION CONSISTS OF SMALL GROUPS OF TREES AND LAWN.

### GENERAL FCP NOTES

1. THE SUBJECT PROPERTY IS COMPRISED OF 18 SEPARATE LOTS UNDER ONE TAX ACCOUNT NUMBER: 03903341. THE WSSC GRID NUMBER IS 213NW04. THE PROPERTY IS OWNED BY MONTGOMERY COUNTY MD. THE STREET ADDRESS IS 102012 MONTGOMERY AVENUE, KENSINGTON, MD 20895.

## 2. THE TOTAL TRACT AREA IS 4.45 ACRES.

3. THE SUBJECT PROPERTY IS CURRENTLY ZONED R-60 (PREDOMINANT USE IS RESIDENTIAL IN A DETACHED HOUSE).

4. A LETTER WAS SUBMITTED TO THE MARYLAND DEPARTMENT OF NATURAL RESOURCES WILDLIFE AND AND HERITAGE SERVICE REQUESTING A SEARCH FOR THE OCCURRENCE OF LISTED PLANT OR ANIMAL RARE, THREATENED, OR ENDANGERED SPECIES IN OFFICIAL STATE OR FEDERAL RECORDS FOR THE SUBJECT SITE. THE MD DNR RESPONDED THAT "THE WILDLIFE AND HERITAGE SERVICE HAS NO OFFICIAL RECORDS FOR STATE OR FEDERAL LISTED, CANDIDATE, PROPOSED, OR RARE PLANT OR ANIMAL SPECIES WITHIN THE PROJECT AREA SHOWN ON THE MAP PROVIDED." THE DNR RESPONSE LETTER IS ON SHEET 11-NRI-420251570-002.

5. THERE IS NO 100-YEAR FLOODPLAIN ASSOCIATED WITH THE PROPERTY ACCORDING TO THE FEMA FIRM MAP AND NO WETLANDS.

6. THE SUBJECT PROPERTY LIES IN THE LOWER ROCK CREEK WATERSHED. THE AREA DRAINS TO KENSINGTON BRANCH, WHICH DRAINS TO LOWER ROCK CREEK, WHICH FLOWS INTO ROCK CREEK (A MARYLAND DESIGNATED USE CLASS III AND IV STREAM), AND EVENTUALLY INTO THE POTOMAC RIVER (A MARYLAND DESIGNATED USE CLASS I-P STREAM). THE SUBJECT PROPERTY IS DESIGNATED IN FLOOD ZONE "X" UNDER THE "AREA OF MINIMAL FLOODING" CLASSIFICATION (NO FLOODPLAIN) PER THE FLOOD INSURANCE RATE MAP (F.I.R.M.) MAP PANEL NUMBER 24031C0365D.

7. THE SUBJECT PROPERTY IS A PRIMARY RESOURCE IN THE KENSINGTON HISTORIC DISTRICT, LISTED ON THE MONTGOMERY COUNTY MASTER PLAN FOR HISTORIC PRESERVATION AND THE NATIONAL REGISTER OF HISTORIC PLACES AS FOUND IN MONTGOMERY COUNTY'S LOCATIONAL ATLAS, PER THE MASTER PLAN FOR HISTORIC PRESERVATION IN MONTGOMERY COUNTY.

8. ALL TREES 24" AND GREATER WITHIN THE DETAILED STUDY AREA ARE SURVEY LOCATED AND MEASURED WITH A FORESTERS DIAMETER TAPE MEASURE.

9. THIS PROPERTY IS NOT WITHIN A SPECIAL PROTECTION AREA OR A PRIMARY MANAGMENT AREA.

10. ORIGINAL SITE FIELDWORK WAS PERFORMED ON OCTOBER 2022 BY JONATHAN MALLORY AND UPDATED ON MAY 6, 2025 BY LUKE VANBELLEGHEM, WILES MENSCH CORPORATION.

# SHEET INDEX

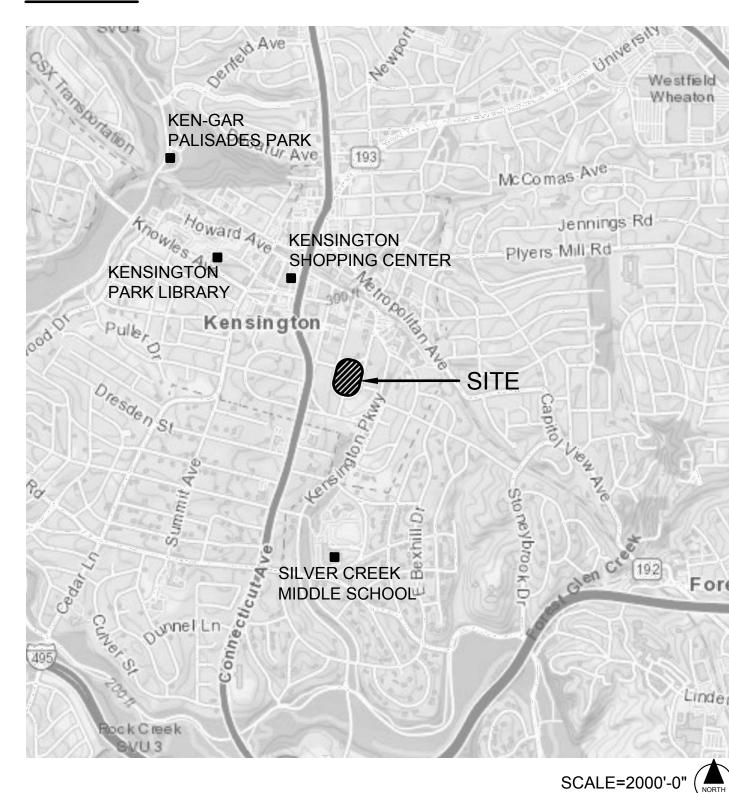
 02-FCP-F20260110-001
 FCP COVER SHEET

 02-FCP-F20260110-002
 APPROVAL MEMO

 02-FCP-F20260110-003
 PRELIMINARY/ FINAL FCP

 02-FCP-F20260110-004
 FCP NOTES AND DETAILS

# VICINITY MAP



## SIGNIFICANT/ SPECIMEN TREE TABLE

Point #	Total DBH (inches)	Common Name	Scientific Name	75% State	General Condition	<u>Condition Notes</u>	Proposed action (if any)
346 347		NORWAY MAPLE MULBERRY SPECIES	ACER PLATANOIDES  MORUS SPECIES		FAIR FAIR	VERTICAL GASH ALONG TRUNK	
348		RED OAK SPECIES	QUERCUS SPECIES		GOOD	VERTIONE CHOIN LONG TROUBLE	
350	28" 14.4"	BLACK WALNUT JAPANESE MAPLE	JUGLANS NIGRA ACER PALMATUM		FAIR FAIR	70 DEGREE LEAN	
351 352	15"	NORWAY MAPLE	ACER PLATANOIDES		GOOD		
353	13.9"	BOX ELDER	ACER NEGUNDO		GOOD	LARGE BULGE ON TRUNK,	
354	27"	CHERRY SPECIES	PRUNUS SPECIES		FAIR	SUCKERING AT BASE	
356 357	8" 14.5"	NORWAY MAPLE NORWAY MAPLE	ACER PLATANOIDES  ACER PLATANOIDES		GOOD		
358	17.6"	NORWAY MAPLE	ACER PLATANOIDES		FAIR		
359	30"	MULBERRY SPECIES	MORUS SPECIES		GOOD	GROWING NEXT TO POWERLINE	
361 362		MULBERRY SPECIES BLACK WALNUT	MORUS SPECIES JUGLANS NIGRA		FAIR GOOD		
363	19.4"	SAUCER MAGNOLIA	MAGNOLIA X SOULANGEANA		FAIR	SUCKERING AT BASE	
364 1003	13.9" 12.1	NORWAY SPRUCE SAUCER MAGNOLIA	PICEA ABIES  MAGNOLIA X SOULANGEANA		GOOD FAIR	SUCKERING AT BASE	
1004	23"	SAUCER MAGNOLIA	MAGNOLIA X SOULANGEANA		FAIR	SUCKERING AT BASE	ROOT PRUNING
* 1005	18.6	SAUCER MAGNOLIA	MAGNOLIA X SOULANGEANA		FAIR	SUCKERING AT BASE	REMOVE
* 1006 * 1007	9.3	SAUCER MAGNOLIA SAUCER MAGNOLIA	MAGNOLIA X SOULANGEANA MAGNOLIA X SOULANGEANA		FAIR FAIR	SUCKERING AT BASE SUCKERING AT BASE	REMOVE REMOVE
1008	11.3"	RED CEDAR	JUNIPERUS VIRGINIANA		GOOD		REMOVE WITH
* 1009	8"	SAUCER MAGNOLIA	MAGNOLIA X SOULANGEANA		FAIR	SUCKERING AT BASE	REMOVE
1012	19"	CALLERY PEAR	PYRUS CALLERYANA		FAIR		ROOT PRUNING
1013 1014	23.4" 11.9"	SAUCER MAGNOLIA SAUCER MAGNOLIA	MAGNOLIA X SOULANGEANA MAGNOLIA X SOULANGEANA		GOOD	SUCKERING AT BASE SUCKERING AT BASE	
1014	27"	BLACK WALNUT	JUGLANS NIGRA		FAIR	ALONG TRUNK	ROOT PRUNING
1016	34"	MULBERRY SPECIES	MORUS SPECIES		POOR	ROT AT BASE	
1019 1020	17.4" 26"	SAUCER MAGNOLIA SAUCER MAGNOLIA	MAGNOLIA X SOULANGEANA MAGNOLIA X SOULANGEANA		FAIR FAIR	SUCKERING AT BASE AT BASE	
1021	16.3"	NORWAY MAPLE	ACER PLATANOIDES		GOOD	711 15/1012	
1022		BLACK WALNUT	JUGLANS NIGRA			60 DEGREE LEAN TOWARDS ROAD	
1023	50"	MULBERRY SPECIES TULIP TREE	MORUS SPECIES LIRIODENDRON TULIPIFERA		FAIR FAIR		REMOVE WITH
1130	33"	KENTUCKY COFFEE TREE	CLADASTRIS KENTUKEA		FAIR	OVERGROWN WITH VINES TRUNK	INTENT TO SAVE
1131	25.2	KENTUCKY COFFEE TREE	CLADASTRIS KENTUKEA		GOOD	GROWING NEXT TO POWERLINE	
1132		BLACK WALNUT	JUGLANS NIGRA		FAIR	ODOMINO NEVE TO DOMIEDUNE	
1133 1134	24" 3.6"	BLACK WALNUT BLACK WALNUT	JUGLANS NIGRA JUGLANS NIGRA		GOOD FAIR	GROWING NEXT TO POWERLINE	
1135		BLACK WALNUT	JUGLANS NIGRA		FAIR		
1136	16"	NORWAY SPRUCE	PICA ABIES		GOOD	SUBSTANTIAL ROT NEAR BASE OF	
1137		MULBERRY SPECIES	MORUS SPECIES		POOR	TRUNK	ROOT PRUNING
1139 1140	19.5" 23.4"	THUJA OCCDENTALIS SAUCER MAGNOLIA	ARBORVITAE  MAGNOLIA X SOULANGEANA		GOOD FAIR		
1142	30"	CHERRY SPECIES	PRUNUS SPECIES		POOR	LARGE CAVITY WITHIN TRUNK	
1143 <b>1144</b>	26.1" <b>66"</b>	SAUCER MAGNOLIA  BLACK WALNUT	MAGNOLIA X SOULANGEANA  JUGLANS NIGRA	X	FAIR GOOD		ROOT PRUNING
1145	<del>27"</del>	SUGAR MAPLE	ACER SACCHARUM	^	FAIR	REMOVED	ROOT PRUNING
1146	36"	NORWAY SPRUCE	PICEA ABIES		GOOD		
1147 1148		ELM SPECIES ELM SPECIES	ELM SPP.		GOOD		
1149	14.5"	ELM SPECIES	ELM SPP.		GOOD		
1150 1151	14.7" 33.7"	ELM SPECIES NORWAY SPRUCE	ELM SPP. PICEA ABIES		GOOD FAIR	UNDER POWERLINE	
1152	20"	MULBERRY SPECIES	MORUS SPECIES		FAIR	UNDER FOWERLINE	
1153	18.1"	MULBERRY SPECIES	MORUS SPECIES		FAIR		
1154 1156	30.5" 14.1"	RED OAK SPECIES  JAPANESE MAPLE	QUERCUS SPECIES ACER PALMATUM		GOOD FAIR	GROWING BELOW POWERLINES	
1421	15.6"	ELM SPECIES	ELM SPP.		GOOD		
1422		ELM SPECIES	ELM SPP.		GOOD GOOD		
1423 1424	15.5" 34"	ELM SPECIES NORWAY SPRUCE	ELM SPP.  PICEA ABIES		GOOD		ROOT PRUNING
1425	24"	NORWAY SPRUCE	PICEA ABIES		FAIR	SPARSE CANOPY	ROOT PRUNING
1426 <b>1427</b>	18" <b>53"</b>	NORWAY SPRUCE BLACK WALNUT	PICEA ABIES  JUGLANS NIGRA		FAIR EXCELLENT		ROOT PRUNING
1 <b>427</b> 1858	15.6"	HOLLY	ILEX OPACA		GOOD		ROOT PRUNING
1859	34"	RED OAK SPECIES	QUERCUS SPECIES		POOR	MECHANICAL DAMAGE ON TRUNK, GIRDLING ROOTS	
1860	24"	HORSE CHESTNUT	AESCULUS HIPPOCASTANUM		POOR	EXTREMELY SMALL CANOPY,	
1861	54"	AMERICAN BEECH	FAGUS GRANDIFOLIA		GOOD	DIEBACK IN CANOPY  LARGE CROWN AND GIRTH	ROOT PRUNING
1862	16.5"	SAUCER MAGNOLIA	MAGNOLIA X SOULANGEANA		FAIR	SUCKERING AT BASE	- CONTROL
1863 1865	18" 12.8"	NORWAY SPRUCE FAGUS SYLVATICA	PICEA ABIES EUROPEAN BEECH		GOOD		DOOT DELIVER
1865	17.7"	SAUCER MAGNOLIA	MAGNOLIA X SOULANGEANA		FAIR	EXTENSIVE SUCKERING AT BASE	ROOT PRUNING ROOT PRUNING
2418	17.5"	SAUCER MAGNOLIA	MAGNOLIA X SOULANGEANA		FAIR	EXTENSIVE SUCKERING AT BASE	
2419 2420	15.2 15.4"	SAUCER MAGNOLIA SAUCER MAGNOLIA	MAGNOLIA X SOULANGEANA MAGNOLIA X SOULANGEANA		FAIR FAIR	EXTENSIVE SUCKERING AT BASE  EXTENSIVE SUCKERING AT BASE	
2421	15.2	SAUCER MAGNOLIA	MAGNOLIA X SOULANGEANA		FAIR	EXTENSIVE SUCKERING AT BASE	ROOT PRUNING
2422	12.2"	SAUCER MAGNOLIA	MAGNOLIA X SOULANGEANA		FAIR	EXTENSIVE SUCKERING AT BASE	
2427 2428		BLACK WALNUT MULBERRY SPECIES	JUGLANS NIGRA MORUS SPECIES		FAIR FAIR	ABOVE POWERLINES	ROOT PRUNING ROOT PRUNING
2429	12.5"	SAUCER MAGNOLIA	MAGNOLIA X SOULANGEANA		FAIR	SUCKERING AT BASE	12111110
2430 * 2697	•••	KOELREUTERIA PANIULATA  AMERICAN HOLLY	KOELREUTERIA PANICULATA ILEX OPACA		GOOD FAIR	AT BASE	DEMOVE
2791	9.9"	AMERICAN HOLLY	ILEX OPACA		FAIR	NI DAOL	REMOVE
2792		AMERICAN HOLLY	ILEX OPACA		FAIR		
2793 2794		RED OAK SPECIES MULBERRY SPECIES	QUERCUS SPECIES MORUS SPECIES		FAIR	GIRDLING ROOTS	
2795	19.1	BLACK CHERRY	PRUNUS SEROTINA				
2796	18.3"	BLACK WALNUT	JUGLANS NIGRA				

## SIGNIFICANT/ SPECIMEN TREE TABLE - CONT.

Point #	Total DBH (inches)	Common Name	Scientific Name	75% State Champion	General Condition	Condition Notes	Proposed action
2797	21.5"	BLACK WALNUT	JUGLANS NIGRA				
2798	29.7"	TULIP TREE	LIRIODENDRON TULIPIFERA		GOOD		ROOT PRUNING
2799	25.7"	BLACK WALNUT	JUGLANS NIGRA		GOOD		
2801	28.7	SAUCER MAGNOLIA	MAGNOLIA X SOULANGEANA				
2803	3.5	SWAMP WHITE OAK	QUERCUS BICOLOR				
2805	3"	TULIP TREE	LIRIODENDRON TULIPIFERA				ROOT PRUNING
2806	37.5	RED OAK SPECIES	QUERCUS SPECIES		GOOD	REMOVED	
2808	23.8"	BEECH	FAGUS GRANDIFOLIA				
2809	26.8"	BLACK WALNUT	JUGLAN NIGRA		GOOD		
2810	26.2"	MULBERRY SPECIES	MORUS SPECIES		FAIR	OVERGROWN WITH VINES	
2811	14"	SAUCER MAGNOLIA	MAGNOLIA X SOULANGEANA		1.7	O VERTORIA VIII VIII VIII VIII VIII VIII VIII V	
2812	16.3"	JAPANESE MAPLE	ACER PALMATUM				DOOT DRUNING
2813	19.5"	NORWAY MAPLE	ACER PLATANOIDES				ROOT PRUNING
* 2814	11.3"	RED CEDAR	JUNIPERUS VIRGINIANA				REMOVE
* 2815	9"	ARBORVITAE	THUJA OCCIDENTALIS				REMOVE
2816	17.5"	NORWAY MAPLE	ACER PLATANOIDES				REIVIOVE
2817	15.5"	SAUCER MAGNOLIA	MAGNOLIA X SOULANGEANA				
2818	16.7"	BLACK WALNUT	JUGLAN NIGRA				
2819	10.7"	NORWAY MAPLE	ACER PLATANOIDES				
2820	10.5"	CATALPA SPECIES	CATALPA SPP.				
2822	47"	ELM SPECIES	ULMUS SPECIES		FAIR	OVERGROWN WITH VINES	ROOT PRUNING
2823	14.2"	SAUCER MAGNOLIA	MAGNOLIA X SOULANGEANA				ROOT PRUNING
<del>2824</del>	<del>20"</del>					REMOVED	NOOTT NOTHING
2825	19.5"	TULIP TREE	LIRIODENDRON TULIPIFERA				REMOVE WITH INTENTION TO SAVE
2921	2.5"	SAUCER MAGNOLIA	MAGNOLIA X SOULANGEANA				ROOT PRUNING
2966	25.5"	NORWAY SPRUCE	PICA ABIES				ROOT PRUNING
2967	12.3"	JAPANESE MAPLE	ACER PALMATUM				
2970	3.5	REDBUD	CERCIS CANADENSIS		GOOD		
* 2972	26.7"	AMERICAN HOLLY	ILEX OPACA		GOOD		REMOVE
3001	32.5"	WILLOW OAK	QUERCUS PHELLOS		GOOD	TREE MAY HAVE GROWN OVER A CATCH BASIN	ROOT PRUNING
3002	30.25	MULBERRY SPECIES	MORUS SPECIES		POOR	TREES ARE CRACKED WITH EXTREME LEANING. SOIL AND ROOT HEAVING. REMOVED	ROOT PRUNING
3003	24"	RED MAPLE	ACER RUBRUM		FAIR		
3004	24"	RED MAPLE	ACER RUBRUM		FAIR	TREE IS ON PRIVATE PROPERTY SO VISUAL ESTIMATE WAS PERFORMED.TREE IS LIKELY LARGER THAN 24". THE CANOPY HAS BEEN HEAVILY PRUNED.	
3005	32.75"	BLACK WALNUT	JUGLANS NIGRA		GOOD		
3006	24"	PRUNUS SERRULATA	FLOWERING CHERRY		GOOD	VISUAL ESTIMATE WAS PERFORMED.	
* 3007	5.9"	ARBORVITAE	THUJA OCCIDENTALIS		GOOD		REMOVE
3009	3"	EUROPEAN HORNBEAM	CARPINUS BETUTULUS		GOOD		
3010	3"	EUROPEAN HORNBEAM	CARPINUS BETUTULUS		GOOD		
3010 1			<del> </del>				1

- BOLD DENOTES SPECIMEN TREES
- BOLD DENOTES SPECIMEN TREES
   TREES MEASURED BY FORESTRY DIAMETER TAPE
- ASTERISK (\*) INDICATES PROPOSED ACTION IS TO BE REMOVED

CONDITION SCORING	G SYSTEM
O APPARENT PROBLEMS	EXCELLENT
MINOR PROBLEMS	GOOD
MAJOR PROBLEMS	FAIR
EXTREME PROBLEMS	POOR

# SOILS TABLE

MAP UNIT	MAP UNIT NAME	HIGHLY ERODIBLE (Y/N)	HYDRIC (Y/N)	PRIME AGRICULTURAL LAND (Y/N)	
2B	GLENELG SILT LOAM, 3 TO 8 PERCENT SLOPES	N	N	Υ	
2C	GLENELG SILT LOAM, 8 TO 15 PERCENT SLOPES	N	N	N	

# RESOURCE DATA TABLE

TOTAL FOREST (ACRES)	0
TOTAL WETLAND (ACRES)	0
TOTAL FOREST IN WETLANDS (ACRES)	0
TOTAL FLOODPLAINS (ACRES)	0
TOTAL FOREST IN FLOODPLAINS (ACRES)	0
TOTAL STREAM BUFFERS	0
TOTAL FOREST IN STREAM BUFFERS (ACRES)	0

# DEVELOPER'S CERTIFICATE The Undersigned agrees to execute all the features of the Approved Fig.

The Undersigned agrees to execute all the features of the Approved Final Forest Conservation Plan No. F20260110 including, financial bonding, forest planting, maintenance, and all other applicable agreements.

Developer's Name:

Warner Circle Mansion Condominiums LL

Printed Company Name

Contact Person or Owner:
Josef Karl A Voglmayr

Address: 4710 Bayard Boulevard, Bethesda, MD , 20816

Phone and Email: 202-439-7701/ jkavoglmayr@gmail.com

1 0

1 OF 4



Consultants:

Seal:



Olient:

WARNER CIRCLE MANSION
CONDOMINIUMS, LLC
C/O LAWRENCE SMITH
4955 BUTTERWORTH PLACE, NW
WASHINGTON, DC 20016
240.498.4502
lawrence@washingtonlandmark.com

roiect:

KENSINGTON PARK
PLAN NO. F20260110
10212 MONTGOMERY AVENUE
BLOCK 1, SUBDIVISION 0364

13th ELECTION DISTRICT KENSINGTON MONGTOGMERY COUNTY, MARYLAND 20895 WSSC GRID: 213NW04 TAX MAP: HP343

TAX ID: 03903341

08/20/25 FCP SUBMISSION

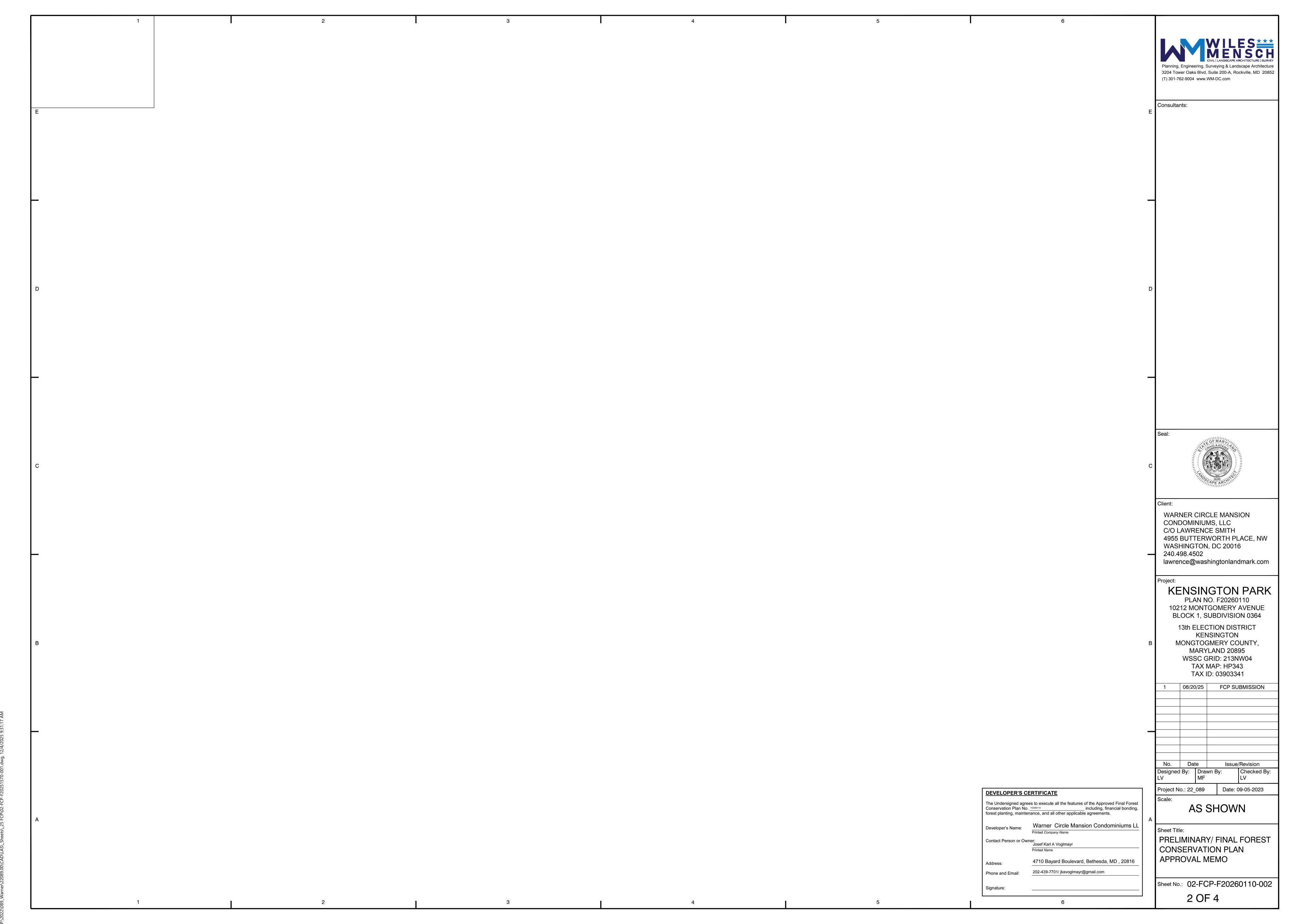
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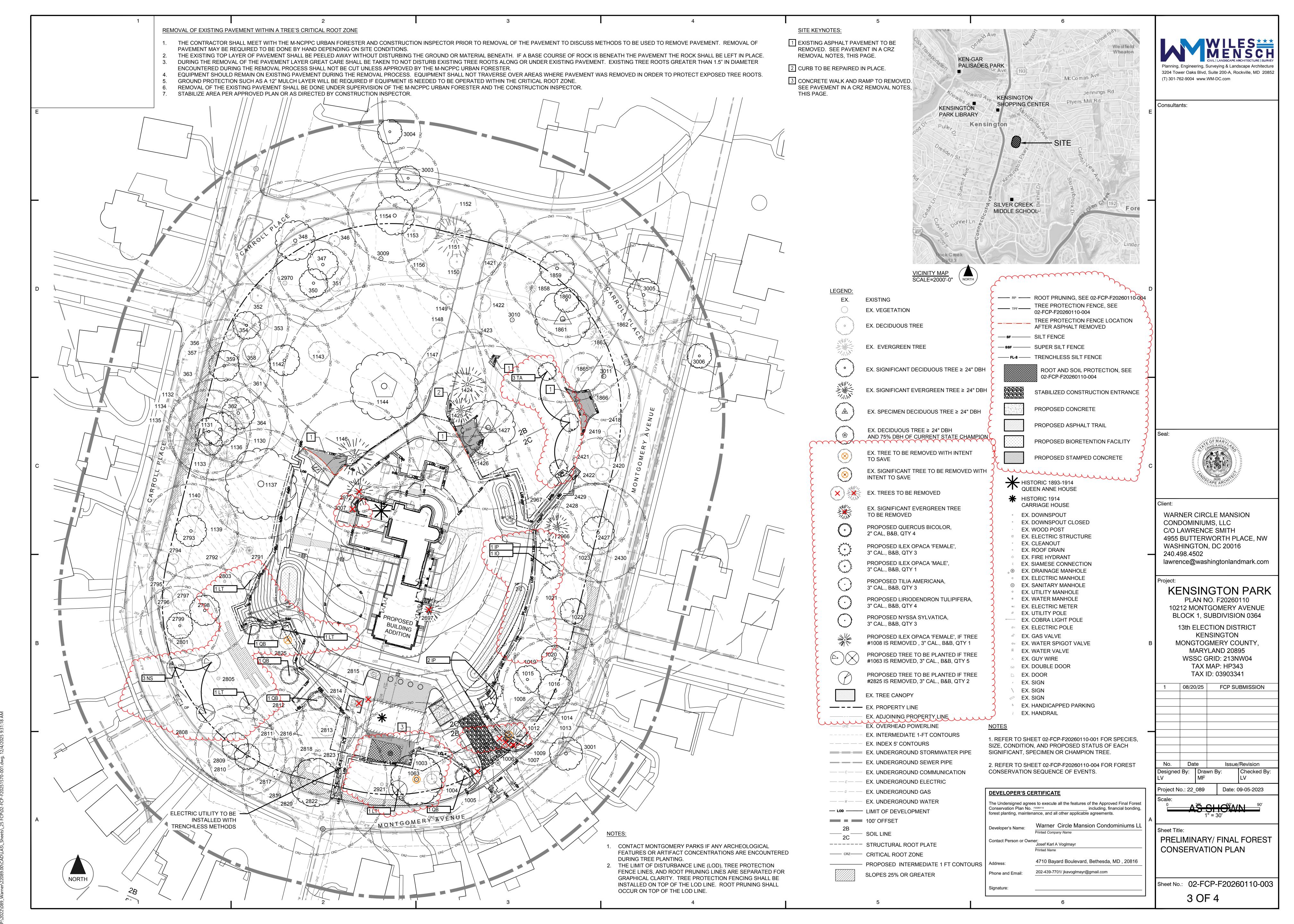
Project No.: 22\_089 Date: 09-05-2023

AS SHOWN

PRELIMINARY/ FINAL FOREST
CONSERVATION PLAN COVER
SHEET

Sheet No.: 02-FCP-F20260110-001





**Sequence of Events for Properties Required to Comply With** Forest Conservation Plans, Exemptions from Submitting Forest Conservation Plans, and Tree Save Plans The property owner is responsible for ensuring all tree protection measures are performed in accordance with the approved final forest conservation plan or tree save plan, and as modified in

## **Pre-Construction**

1. An on-site pre-construction meeting is required after the limits of disturbance have been staked and flagged and before any land disturbance.

the field by a Planning Department Forest Conservation Inspector. The measures must meet or

exceed the most recent standards published by the American National Standards Institute (ANSI

- 2. The property owner must arrange for the meeting and following people should must participate at the pre-construction meeting: the property owner or their representative, construction superintendent, International Society of Arboriculture (ISA) certified arborist/Maryland Licensed Tree Expert (representing owner) that will implement the tree protection measures, The Planning Department Forest Conservation Inspector, and Montgomery County Department of Permitting Services (DPS) Sediment Control Inspector. The purpose of this meeting is verify the limits of disturbance and discuss specific tree protection and tree care measures shown on the approved plan. No land disturbance shall begin before tree protection and stress-reduction measures have been implemented and approved by the Planning Department's Forest Conservation Inspector.
  - a. Typical tree protection devices include: i. Chain link fence (four feet high)
    - ii. Super silt fence with wire strung between the support poles (minimum 4
  - feet high) with high visibility flagging. iii. 14 gauge, 2 inch x 4 inch welded wire fencing supported by steel T-bar
  - posts (minimum 4 feet high) with high visibility flagging. b. Typical stress reduction measures may include, but are not limited to: i. Root pruning with a root cutter or vibratory plow designed for that
  - purpose. Trenchers are not allowed, unless approved by the Forest Conservation Inspector
  - ii. Crown Reduction or pruning iii. Watering
  - iv. Fertilizing v. Vertical mulching
- vi. Root aeration systems
- Measures not specified on the Forest Conservation Plan may be required as determined by the Forest Conservation Inspector in coordination with the property owner's arborist.
- 3. A Maryland Licensed Tree expert must perform, or directly supervise, the implementation of all stress reduction measures. Documentation of the process (including photographs) may be required by the Forest Conservation Inspector, and will be determined at the pre-construction meeting.
- 4. Temporary tree protection devices must be installed per the approved Forest Conservation Plan, Exemption Plan, or Tree Save Plan and prior to any land disturbance. The Forest Conservation Inspector, in coordination with the DPS Sediment Control Inspector, may make field adjustments to increase the survivability of trees and forest
- shown as saved on the approved plan. 5. Tree protection fencing must be installed and maintained by the property owner for the duration of construction project and must not be altered without prior approval from the Forest Conservation Inspector. All construction activity within protected tree and forest
- areas is prohibited. This includes the following activities: a. Parking or driving of equipment, machinery or vehicles of any type.
- b. Storage of any construction materials, equipment, stockpiling, fill, debris, etc. c. Dumping of any chemicals (i.e., paint thinner), mortar or concrete remainder,
- trash, garbage, or debris of any kind. d. Felling of trees into a protected area. e. Trenching or grading for utilities, irrigation, drainage, etc.
- 6. Forest and tree protection signs must be installed as required by the Forest Conservation Inspector. The signs must be waterproof and wording provided in both English and

# **During Construction**

- 7. Periodic inspections will be made by the Forest Conservation Inspector. Corrections and repairs to tree protection devices must be completed within the timeframe given by the
- 8. The property owner must immediately notify the Forest Conservation Inspector of any damage to trees, forests, understory, ground cover, and any other undisturbed areas shown on the approved plan. Remedial actions, and the relative timeframes to restore these areas, will be determined by the Forest Conservation Inspector.

# **Post-Construction**

- 9. After construction is completed, but before tree protection devices have been removed, the property owner must request a final inspection with the Forest Conservation Inspector. At the final inspection, the Forest Conservation Inspector may require additional corrective measures, which may include:
  - a. Removal, and possible replacement, of dead, dying, or hazardous trees b. Pruning of dead or declining limbs
  - c. Soil aeration
  - d. Fertilization
- e. Watering f. Wound repair
- g. Clean up of retention areas, including trash removal 10. After the final inspection and completion of all corrective measures the Forest
- Inspector and cannot be removed without permission of the Forest Conservation Inspector. No additional grading, sodding, or burial may take place after the tree protection fencing is removed. 11. Long-term protection measures, including permanent signage, must be installed per the approved plan. Installation will occur at the appropriate time during the construction

Conservation Inspector will request all temporary tree and forest protection devices be removed from the site. Removal of tree protection devices that also operate for erosion

and sediment control must be coordinated with both DPS and the Forest Conservation

project. Refer to the approved plan drawing for the long-term protection measures to be

# **INSPECTIONS**

All field inspections must be requested by the applicant.

Field Inspections must be conducted as follows:

# **Plans without Planting Requirements**

- 1. After the limits of disturbance have been staked and flagged, but before any clearing or
- 2. After necessary stress reduction measures have been completed and protection measures have been installed, but before any clearing and grading begin and before release of the
- 3. After completion of all construction activities, but before removal of tree protection fencing, to determine the level of compliance with the provision of the forest

# Additional Requirements for Plans with Planting Requirements

- 4. Before the start of any required reforestation and afforestation planting.
- 5. After the required reforestation and afforestation planting has been completed to verify that the planting is acceptable and prior to the start the maintenance period.
- 6. 2 years after reforestation and afforestation have been completed, to determine survival and assess necessary maintenance activities for the remaining duration of the
- maintenance and management period. 7. At the end of the maintenance period to determine the level of compliance with the provisions of the planting plan, and if appropriate, release of the performance bond.

#### FOREST CONSERVATION WORKSHEET - OUTSIDE SAME/PRIORITY WATERSHED/SPA/PMA

FOREST CONSERVATION WORKSHEET KENSINGTON PARK F20260110

NET TRACT AREA:	
A. Total tract area	4.4
B. Additions to tract area (Off-Site Work, etc.; construction required by this plan)	0.0
C. Land dedication acres (parks, county facility, etc.)	0.0
D. Land dedication for roads or utilities (construction not required by this plan)	0.0
E. Area to remain in commercial agricultural production/use	0.0
F. Other deductions (specify)	0.0
G. Net Tract Area=	4.4

#### LAND USE CATEGORY: (from Chapter 22A-3. Definitions) Input the number "1" under the appropriate land use, limit to only one entry.

111	int to only	one entry	•				
	ARA 0	CDR	MDR 0	IDA 0	HDR 1	MPD 0	CIA O
G. Afforesta	tion Thresl	nold			15%	x G =	
H. Conserva	tion Thresh	nold			20%	x G =	

#### **EXISTING FOREST COVER:** 0.00 Existing forest cover ... 0.00 J. Area of forest above afforestation threshold .....= 0.00 K. Area of forest above conservation threshold .....=

## 0.00 L. Forest retention above threshold with no mitigation ....= 0.00 M. Clearing permitted without mitigation .....=

- PROPOSED FOREST CLEARING: N. Total area of forest to be cleared .....= 0.00 O. Total area of forest to be retained .....=
- PLANTING REQUIREMENTS: P. Reforestation for clearing above conservation threshold ....= 0.00 Q. Reforestation for clearing below conservation threshold ....= 0.00 R. Credit for retention above conservation threshold .....= 0.00 S. Total reforestation required .... 0.67 T. Total afforestation required ....
- U. Credit for landscaping (may not be used to meet reforestation requirement if project is located outside an Equity Focus Area (EFA). For projects within EFA, may not exceed 20% of "S") ......= 0.00
- FOREST CONSERVATION WORKSHEET WITHIN SAME/PRIORITY WATERSHED/SPA/PMA

V. Total reforestation and afforestation required .....=

# FOREST CONSERVATION WORKSHEET

**KENSINGTON PARK F20260110** 

NET TRACT AREA:	
11-11-11-11-11-11-11-11-11-11-11-11-11-	4.45
A. Total tract area	
B. Additions to tract area (Off-Site Work, etc.; construction required by this plan)	0.00
C. Land dedication acres (parks, county facility, etc.)	0.00
D. Land dedication for roads or utilities (construction not required by this plan)	0.00
E. Area to remain in commercial agricultural production/use	0.00
F. Other deductions (specify)	0.00

#### LAND USE CATEGORY: (from Chapter 22A-3. Definitions) Input the number "1" under the appropriate land use, limit to only one entry.

G. Net Tract Area ..

mine to omy	one entry	•					
ARA	CDR	MDR	IDA	HDR	MPD	CIA	
0	0	0	0	1		0	
G. Afforestation Thres	hold			15%	x G =		0.
H. Conservation Thresh	nold			20%	x G =		0.
EXISTING FOREST COVE	ER:						
I. Existing forest cover			=				0.
J. Area of forest above	afforestat	tion thresho	old	.=			0.
K. Area of forest above	conserva	tion thresh	old	=			0.
BREAK EVEN POINT:							
L. Forest retention abo	ve thresh	old with no	mitigation	า=			0.
M. Clearing permitted	without m	nitigation		=			0.
PROPOSED FOREST CLE	ARING:						

BREAK EVEN FOINT.	
L. Forest retention above threshold with no mitigation=	0.0
M. Clearing permitted without mitigation=	0.0
PROPOSED FOREST CLEARING:	
N. Total area of forest to be cleared=	0.0
O. Total area of forest to be retained=	0.0
PLANTING REQUIREMENTS:	
P. Reforestation for clearing above conservation threshold=	0.0
Q. Reforestation for clearing below conservation threshold=	0.0
R. Credit for retention above conservation threshold=	0.0
S. Total reforestation required=	0.0

S. Total reforestation required ....... 0.67 T. Total afforestation required .... U. Credit for landscaping (may not be used to meet reforestation requirement if

project is located outside an Equity Focus Area (EFA). For projects within EFA, may not exceed 20% of "S") ......= 0.00

V. Total reforestation and afforestation required .....=

## Forest Conservation Data Table **Number of Acres** Remaining in Agricultural Use Road & Utility ROVs1 Total Existing Forest Forest Retention

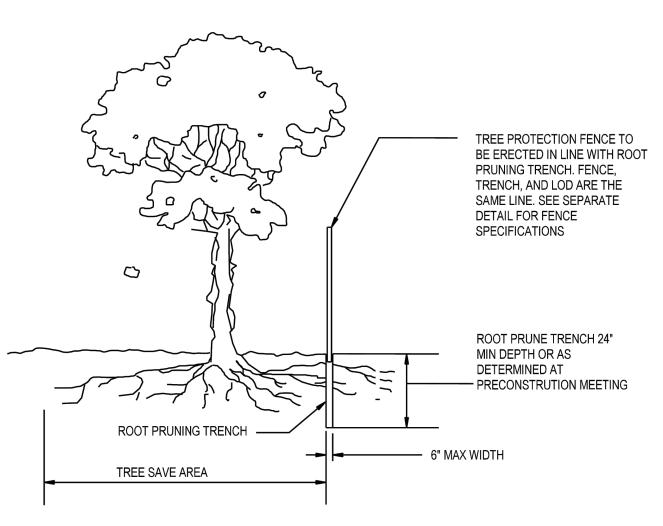
Forest Geared

Land Use & Thresholds<sup>2</sup> Land Use Category

Conservation Threshold 15% percent Afforestation Threshold 20% percent Total Channel Average Buffer

		•	
Acres of Forest in	Retained	Cleared	Planted
Wetlands	NA		
100-Year Floodplain	NA		
Stream Buffers	NA		
Priority Areas	NA		

1 Only Road or Utility ROWs not to be improved as part of development application. <sup>2</sup> Information from FC Land Use Categories & Thresholds document. Measured from stream edge to buffer edge.



0.67

0.89

0.67

4.45

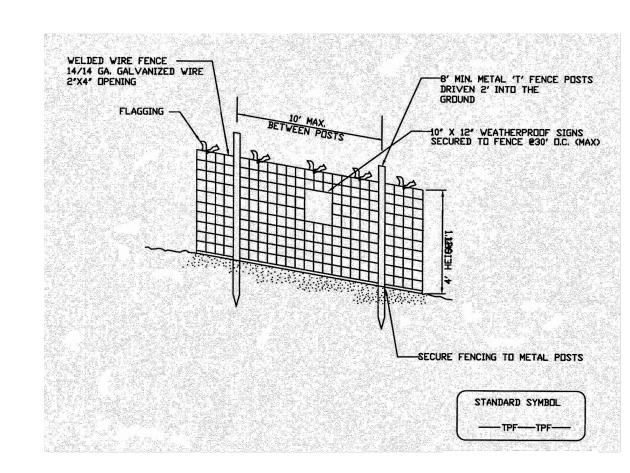
0.67

- 1. RETENTION AREAS WILL BE SET AS PART OF THE REVIEW PROCESS AND PRECONSTRUCTION MEETING.
- 2. BOUNDARIES OF RETENTION AREAS MUST BE STAKED AT THE PRECONSTRUCTION MEETING AND FLAGGED PRIOR TO TRENCHING.
- 3. EXACT LOCATION OF TRENCH SHALL BE DETERMINED IN THE FIELD IN COORDINATION WITH
- THE FOREST CONSERVATION (FC) INPECTOR. 4. TRENCH SHOULD BE IMMEDIATELY BACKFILLED WITH EXCAVATED SOIL OR OTHER ORGANIC
- SOIL AS SPECIFIED PER PLAN OR BY THE FC INSPECTOR. 5. ROOTS SHALL BE CLEANLY CUT USING VIBRATORY KNIFE OR OTHER ACCEPTABLE EQUIPMENT.
- 6. ALL PRUNING MUST BE EXECUTED WITH LOD SHOWN ON PLANS OR AS AUTHORIZED IN WRITING BY THE FC INSPECTOR.

## ROOT PRUNING DETAIL

# Tree Protection Fence Detail

Not to scale



Use of staking and guying

in areas subject to sustained

wind, vandalism, or a high

vehicular traffic. All staking

and guying materials should

level of pedestrian and

be removed within

See Department of

Permitting Services

for more information.

At least one-eighth of

above grade (or up to

root ball should be

one-third for poorly

A raised ring of soil

increase the percolation

may be formed to

of water on dry

or sloped sites.

Slope sides of

planting hole

and breakup

on slopes.

glazed surfaces

Leave soil at base

undisturbed to avoid

of planting hole

over-settlement

of rootball.

drained sites).

Staking and Guying Detail

six months to one year.

is not recommended

- Practice may be combined with sediment control
- Location and limits of fencing should be
- coordinated in field with arborist.
- Boundaries of protection area should be staked
- prior to installing protective device. Root damage should be avoided.

construction.

Protection signage is required. Fencing shall be maintained throughout

Montgomery County Planning Department • Market Mark

MontgomeryPlanning.org

Planting hole width should equal

2 to 3 x width of rootball

This detail is based on ANSI A300 (Part 6) 2012 Planting and Transplanting, and its companion publication,

Best Management Practices: Tree Planting, copyright 2005 by the International Society of Arboriculture

TREE PLANTING

DETAIL

FOR BALLED AND BURLAP

NURSERY STOCK

Trees shall meet a

(American Standard

for Nursery Stock).

Install tree guard to

protect trunk from sun

trimmers, and animals

Remove before trunk

Apply maximum o

within 3 inches o

Remove basket wire,

burlap from top half

or more of root ball.

Circling roots should be

loosened, spread out or

removed if necessary.

olastic, rope, twine and

wood mulch

tree trunk

Use original

amendment

soil for backfill.

Do not add soil

unless needed to

improve drainage soil structure, o

vater-holding capacity

Do not add fertilize

or nutrients unles

need is indicated

DATE: 5 /16

SCALE: NONE

DEVELOPER'S CERTIFICATE

Conservation Plan No. F20260110

Developer's Name:

Phone and Email:

Contact Person or Owner:

The Undersigned agrees to execute all the features of the Approved Final Forest

Warner Circle Mansion Condominiums LL

4710 Bayard Boulevard, Bethesda, MD, 20816

202-439-7701/ jkavoglmayr@gmail.com

forest planting, maintenance, and all other applicable agreements.

Printed Company Name

. Josef Karl A Voglmayr

\_ including, financial bonding,

by soil test.

2-3 inches of shredded

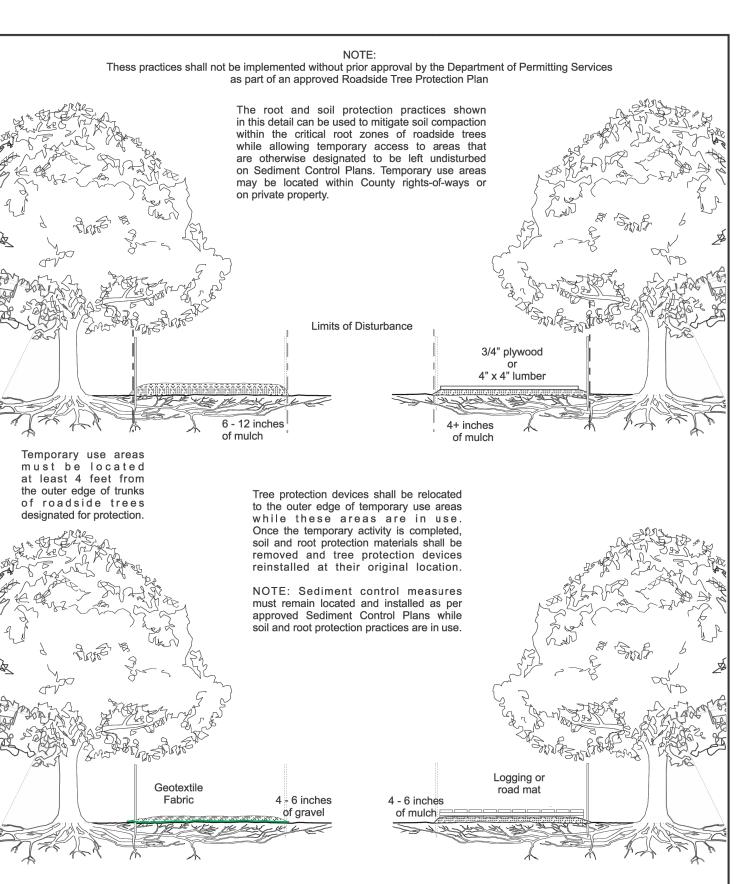
DO NOT place any mulch

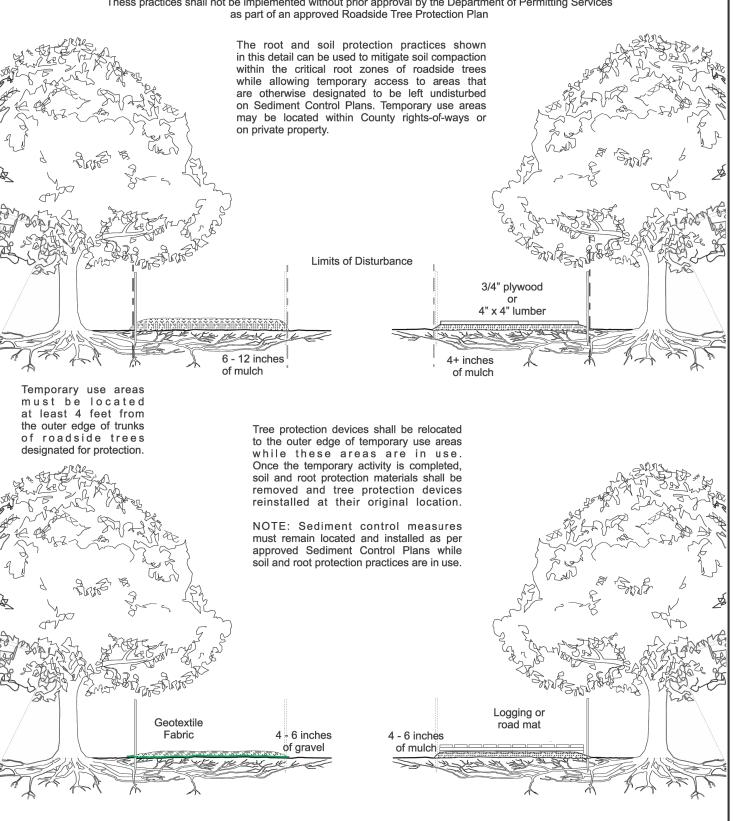
becomes constricted

mowing equipment, string

requiremen

in ANSI Z60.1





	Geotextile Fabric 4 - 6 inches of gravel	Logging of road mat  4 - 6 inches of mulch	
	MONTGOMERY COUNTY DEPARTMENT OF PERMITTING	Temporary Soil and Root Protection Practices	DATE: 5 /16
17 76/-	SERVICES	i ractices	SCALE: NONE

10.16 ~ 11

# REPLACEMENT TREE TABLE REQUIREMENT

THE EXCEMENT THEE TREES THE GOTTE ENTERTY							
			TREE QTY.				
TREE REMOVED	DBH	MITIGATION REQUIRED	BE PLANTE				
TREE REMOVED		@ 1/4" REMOVED	AT 3"				
			CALIPER				
#1005	18.6"	4.7"	1.57				
#1006	8.2"	2.1"	0.7				
#1007	9.3"	2.3"	0.76				
#1009	8"	2"	0.67				
#2697	24.5"	6.1"	2.03				
#2814	11.3"	2.8"	0.93				
#2815	9"	2.3"	0.77				
#2972	26.7"	6.7"	2.23				
#3007	5 9"	1.5"	0.5				

### REPLACEMENT TREE TABLE REQUIREMENT FOR TREES TO REMOVE WITH THE INTENTION OF BEING SAVED

121.5

TREE REMOVED WITH INTENTION OF SAVING	DBH	MITIGATION REQUIRED @ 1/4" REMOVED	TREE QTY. BE PLANTI AT 3" CALIPER
#1008	11.3"	2.8"	0.93 ~ 1
#1063	50"	12.5"	4.17 ~ 5
#2825	19.5	4.9"	1.63 ~ 2

# PROPOSED TREE MITIGATION PLANT SCHEDULE

C	KEY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	SPACING	QUANTITY
	TREES						
	0	llex opaca 'Male'	American Holly - Male	3" cal.	B&B	See Plan	1
	IP	llex opaca 'Female'	American Holly - Female	3" cal.	B&B	See Plan	3
	QB	Quercus bicolor	Swamp White Oak	3" cal.	B&B	See Plan	4
	TA	Tilia americana	American Linden	3" cal.	B&B	See Plan	3
			_	-	-		-

MONTGOMERY COUNTY

DEPARTMENT OF PERMITTING

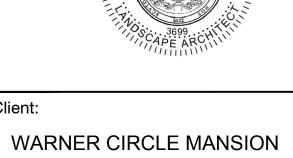
SERVICES

TOTAL CALIPER INCHES PROPOSED: 33 INCHES

## PROPOSED TREE MITIGATION PLANT SCHEDULE PER REMOVAL OF TREES WITH THE INTENTION OF BEING SAVED

KEY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	SPACING	QUANTITY
TREES						
IP	llex opaca 'Female'	American Holly - Female	3" cal.	B&B	See Plan	1
LT	Liriodendron tulipifera	Tulip Tree	3" cal.	B&B	See Plan	4
NS	Nyssa sylvatica	Black Gum	3" cal.	B&B	See Plan	3

NOTE: TREES ARE TO BE PLANTED BASED ON REMOVAL OF TREES TO BE REMOVED WITH THE INTENTION OF BEING SAVED AND COORDINATED WITH THE FOREST CONSERVATION INSPECTOR.



Planning, Engineering, Surveying & Landscape Architecture 3204 Tower Oaks Blvd. Suite 200-A. Rockville. MD 20852

(T) 301-762-9004 www.WM-DC.com

Consultants:

KENSINGTON PARK PLAN NO. F20260110 **10212 MONTGOMERY AVENUE** 

13th ELECTION DISTRICT KENSINGTON MONGTOGMERY COUNTY, MARYLAND 20895 WSSC GRID: 213NW04 TAX MAP: HP343

No.	Date		Issue/Revision	
Designed By: .V		Drav MF	wn By:	Checked By: LV

Sheet Title: PRELIMINARY/ FINAL FOREST CONSERVATION PLAN NOTES AND DETAILS

Sheet No.: 02-FCP-F20260110-004

Signature:

Client:

CONDOMINIUMS, LLC C/O LAWRENCE SMITH 4955 BUTTERWORTH PLACE, NW WASHINGTON, DC 20016 240.498.4502 lawrence@washingtonlandmark.com

**BLOCK 1, SUBDIVISION 0364** 

TAX ID: 03903341

FCP SUBMISSION

08/20/25

Date: 09-05-2023 roject No.: 22 089

AS SHOWN

4 OF 4

Dan Bruechert Historic Preservation Commission 2425 Reedie Drive, 14<sup>th</sup> Floor Wheaton, MD, 20902

December 4, 2025

#### Re: Amendment HAWP 1053565

Dear Dan,

We are bringing the following design items to your attention and request your guidance on how best to proceed. During the course of construction, several unforeseen site conditions and unaddressed details from the initial review have come to light that require clarification and approval.

- 1) Carriage House Sill Detail: There is a hard visual transition where the Carriage House (CH) board-and-batten siding meets the concrete foundation walls. The CH underpinning wall sections were constructed thicker for structural integrity. We are proposing a rowlock course brick detail at the transition point between the siding and parging to create a cleaner and more intentional visual break. We intend to use salvaged bricks from the Mansion for this detail. Please refer to Exhibit A for detailed drawings and precedent images.
- 2) Carriage House Siding Material: The Carriage House historically featured board-and-batten siding, and the original staff report prohibits the use of fiber-cement siding in the rehabilitation work. Our initial plan was to reuse the salvaged boards from the building. However, most boards are in poor condition—damaged, rotted, cracked, or compromised during removal due to the large cut nails used in the original construction. From the usable salvaged material, we have enough to restore only the front elevation.

For the remaining sides and rear, we propose using LP SmartSide Smooth Panels, a wood-composite siding that maintains the appearance of painted wood. Cedar battens will be installed over the vertical seams to match the historic board-and-batten profile. These battens will be eased and beveled to replicate the original batten profile. Cedar corner boards will also be installed at all corners to ensure a consistent visual transition. Please refer to Exhibit B for elevations and product details.

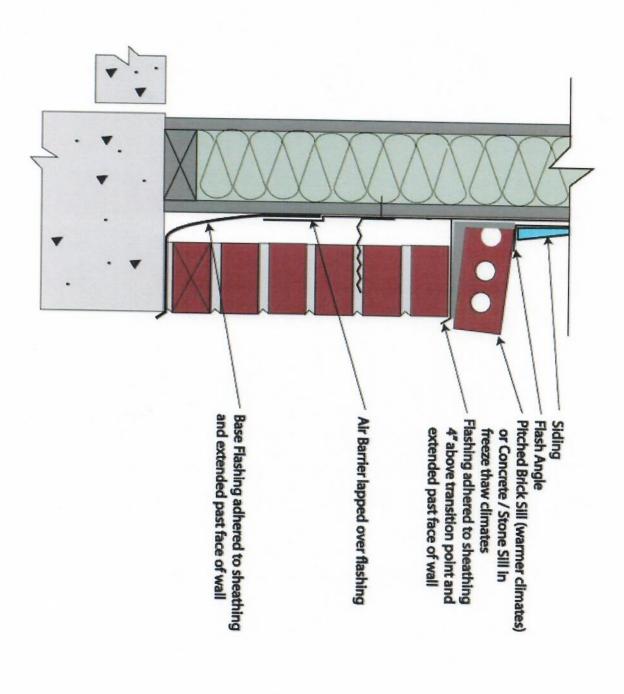
- 3) Egress Window Revision and Clarification: During the redesign of the Carriage House interior, an additional bedroom was added to the second floor to improve function and utility. Per code, one window in this room must provide a minimum clear opening of 5.7 sq. ft. for egress and life safety. To meet this requirement, one of the previously approved double-hung windows must be revised to a casement window designed with a simulated muntin pattern to resemble the double-hung configuration. Please refer to Exhibit C for window specifications and muntin details.
- 4) Soffit and Trim Details: The current HAWP does not include detailed soffit, rafter, or trim specifications. We are submitting proposed soffit and trim details to ensure that all work completed is fully consistent with preservation standards and the architectural character of the Carriage House. Please refer to Exhibit D for the detailed profiles.

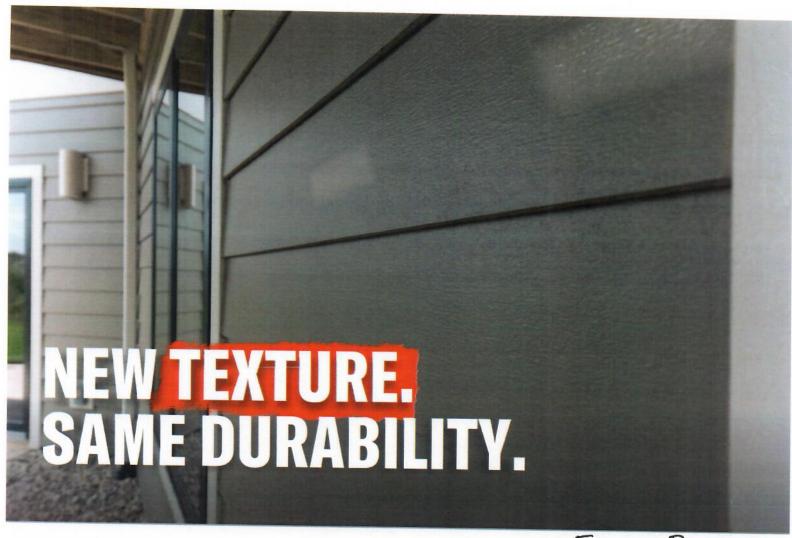
Please let us know if you need additional information or would like to discuss any of these items in more detail. We appreciate your guidance as we work to ensure the rehabilitation stays fully aligned with the historic preservation requirements.

Yours Sincerely

Karl Voglmayr

Warner Circle Mansion Condominiums





EXMIBIT B

# LP® SMARTSIDE® TRIM & SIDING BRUSHED SMOOTH TRIM AND SIDING

The advanced durability you expect from LP® SmartSide® Trim & Siding is available in a Brushed Smooth texture. Your homeowners will love this modern design to match their style—and you'll love the fast and easy installation that comes with LP SmartSide Trim & Siding.

- Advanced Durability for Longer Lasting Beauty®
- Primed for exceptional paint adhesion
- Industry-leading 5/50 year prorated limited warranty:
  - 5-year labor and materials and 50-year substrate
- Available in a variety of sizes, profiles and applications



variety of widths.



# PRODUCTS AVAILABLE IN LP° SMARTSIDE° TRIM & SIDING BRUSHED SMOOTH TEXTURE

#### **LAP SIDING**

38 Series 6" - 5.84 in. (148 mm) x 192 in. (4.9 m) •

38 Series 8" - 7.84 in. (199 mm) x 192 in. (4.9 m) •

38 Series 12" - 11.84 in. (301 mm) x 192 in. (4.9 m)



#### TRIM

440/540 Series 2" - 1.50 (38 mm) 440/540 Series 3" - 2.46 in, (62 mm)

440/540 Series 4" - 3.46 in. (88 mm)

440/540 Series 6" - 5.47 in. (139 mm)

440/540 Series 8" - 7.21 in. (183 mm)

440/540 Series 10" - 9.21 in. (234 mm)

440/540 Series 12" - 11.21 in. (285 mm)





We're not just building for the future, we're promoting forest regeneration and preserving wildlife habitats for the benefit of all generations to come.

#### **VERTICAL SIDING**

38 Series 16" x 16' - 15.93 in.(405 mm) x 192 in. (4.9 m)



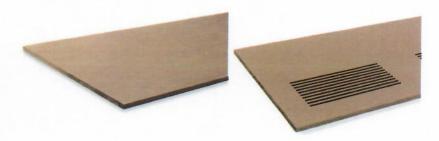
#### PANEL

38 Series 4' x 8' - 47.88 in.(1216 mm) x 96 in. (2.4 m) Square edge 38 Series 4' x 10" - 47.88 in (1216 mm) x 120 in. (3m) Square edge



#### **CLOSED OR VENTED SOFFIT**

38 Series 12" Closed or Vented Soffit –11.94 in. (303 mm) x 192 in. (4.9 m) 38 Series 16" Closed or Vented Soffit –15.94 in. (405 mm) x 192 in. (4.9 m) 38 Series 24" Closed or Vented Soffit –23.94 in. (608 mm) x 192 in. (4.9 m)



#### **OUTSIDE CORNERS**

540 Series 4" - 3.625 in (92 mm) 540 Series 6" - 5.625 in. (143 mm)



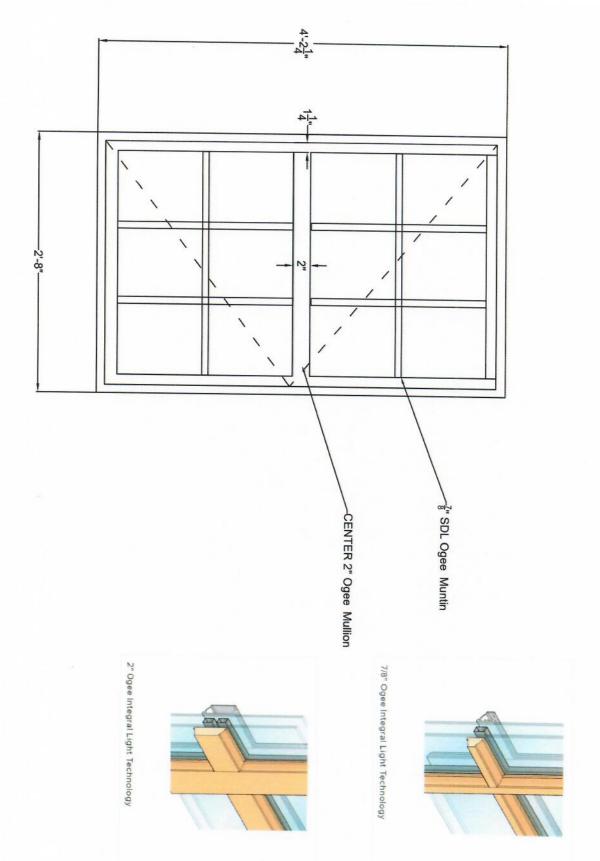
Scan For



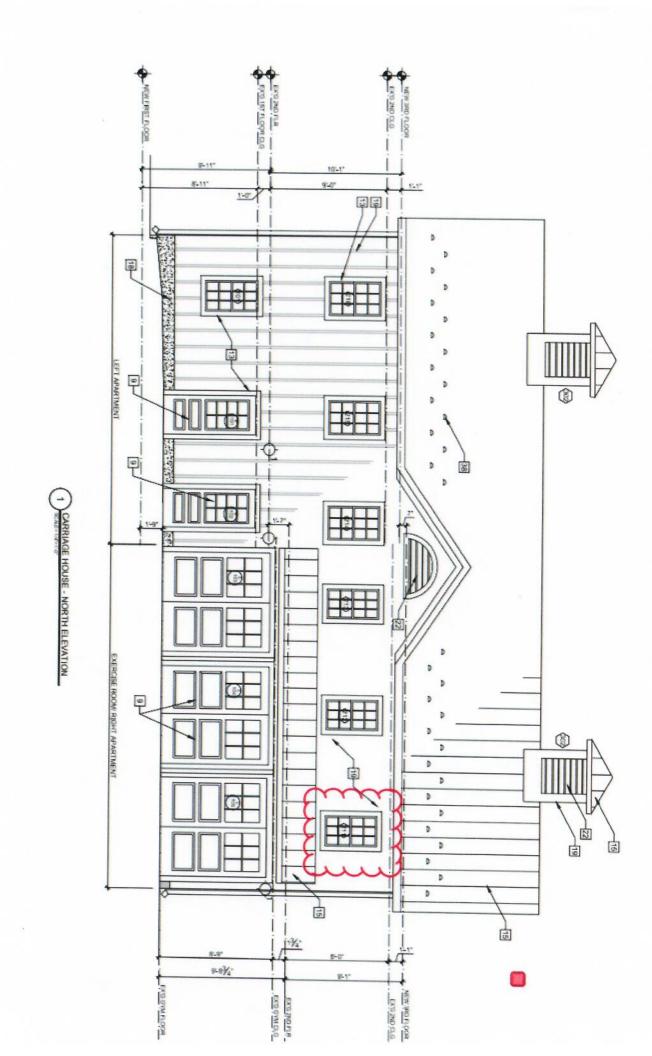
WARNING: Drilling, sawing, sanding or machining wood products can expose you to wood dust, a substance known to the State of California to cause cancer. Avoid inhaling wood dust or use a dust mask or other safeguards for personal protection. For more information go to

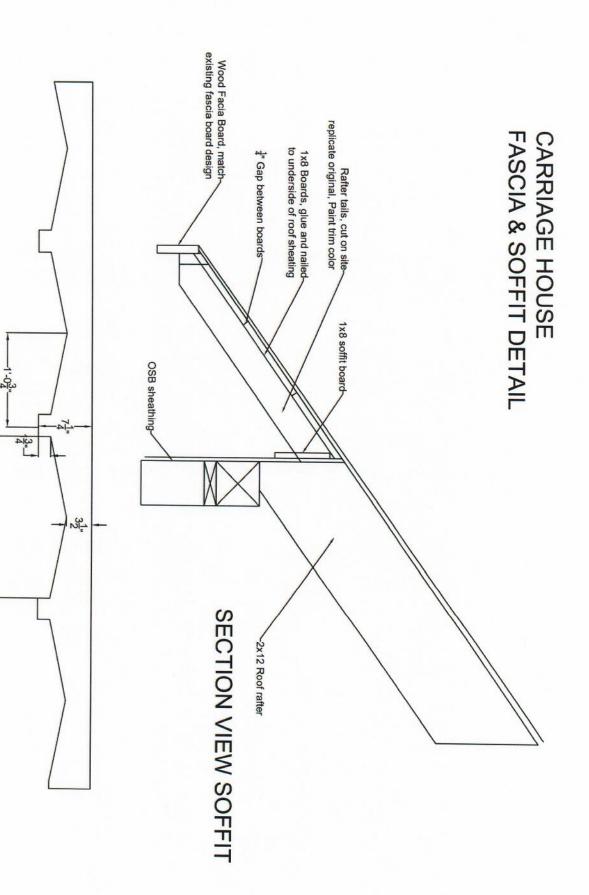






FAUX DOUBLE HUNG WINDOW DESIGN CASEMENT WINDOW.





**FASCIA ELEVATION**