Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

The property is a 20,725 sf lot in Takoma Park. There is an out of period and non-contributing house and garage on the property. The property is generally flat, with an approximately 2% slope from the street to the rear of the property.

The adjacent property to the North is not in the historic district and has Montgomery Community College campus buildings.

The adjacent property to the South (703 New York Ave) is an Outstanding Resource to the Takoma Historic District. That property includes a c. 1890 Queen Anne style home currently being operated as the Etta Mae Inn.

There are nine urban forest trees on the existing property.

Description of Work Proposed: Please give an overview of the work to be undertaken:

The lot is to be subdivided into two lots. The first being approximately 8,000 sf fronting along New York Ave. The second would be an approximately 12,725sf flag lot to the rear of the existing lot.

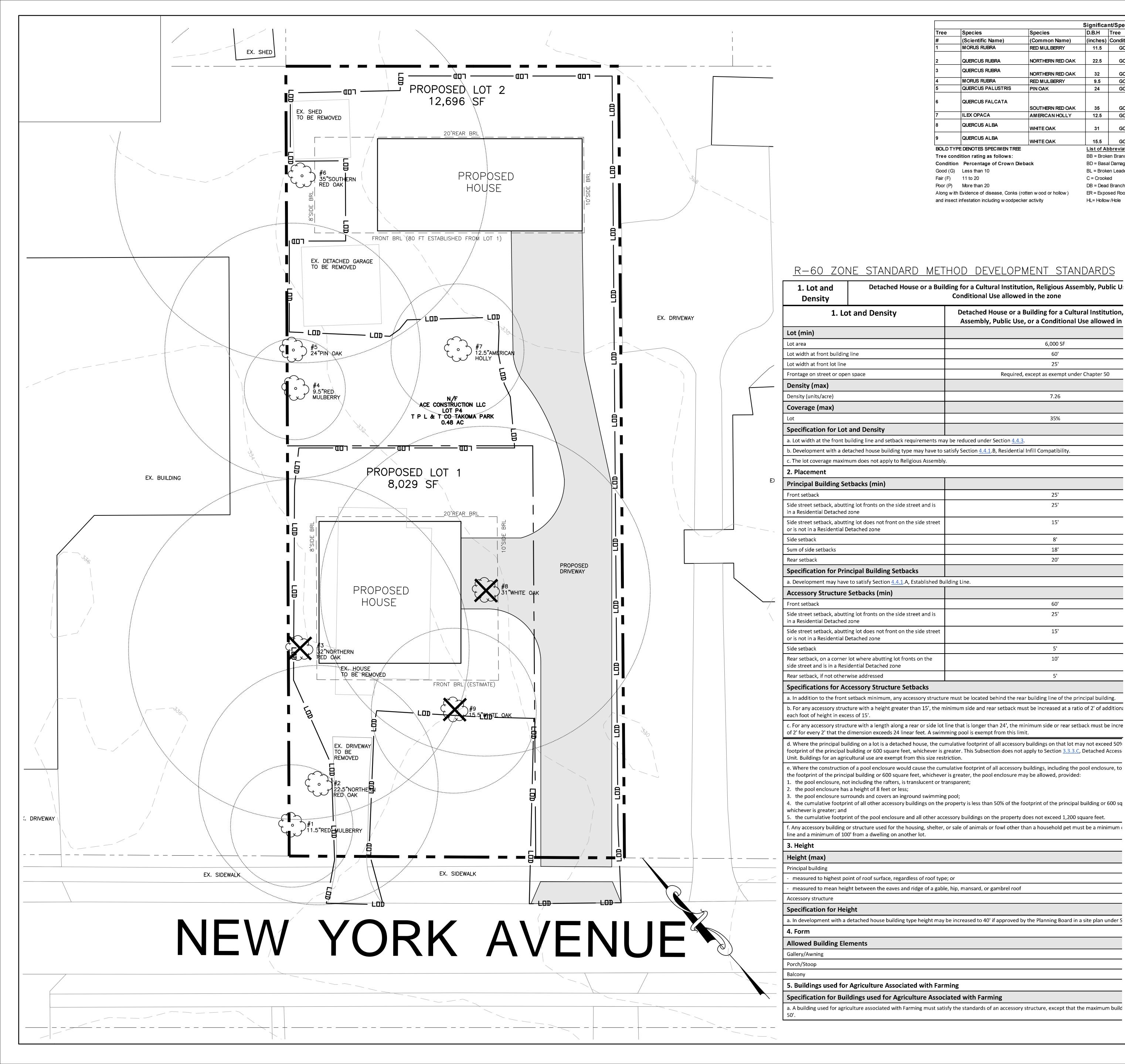
The existing garage would be demolished as part of the lot subdivision. The existing non-contributing house would be prior to construction of a new home on the proposed front lot, though that demolition may not be a condition of the lot subdivision at this time.

There will be separate HAWPs filed for the actual design and construction of the proposed new single family homes and site work required, such as for the shared driveway and stormwater management.

Three of the urban forest trees will likely be removed due to future site work to be completed after the approval of the lot subdivision. The remaining six urban forest trees will be protected.

The tree impact assessment application has not been filed with the City of Takoma Park as of the filing of this HAWP, but will be completed prior to the planned HPC Preliminary Consult on January 7, 2026.

Work Item 1:	
Description of Current Condition: Existing single 20,725 sf lot	Proposed Work: Create two lots of approximately 8,000 sf and 12,725sf
Work Item 2:	Proposed Work:
Work Item 3:	
Description of Current Condition:	Proposed Work:



			Significa	nt/Specime	nTree Sum	nmary 24" +			
Tree	Species	Species	D.B.H	Tree	C.R.Z.	C.R.Z.	C.R.Z.	Comments	Disposition
#	(Scientific Name)	(Common Name)	(inches)	Condition	(Sq. Ft.)	Impacts (Sq. Ft.)	Impact %		
1	MORUS RUBRA	RED MULBERRY	11.5	GOOD	935	96	10%		SAVE/PROTECT
								IMPACTS FROM REMOVAL OF GRAVEL	
2	QUERCUS RUBRA	NORTHERN RED OAK	22.5	GOOD	3578	1702	48%	DRIVEWAY EXPECTED TO BE MINIMAL	SAVE/PROTECT
3	QUERCUS RUBRA							HEAVY VINES, WITHIN LOD FOR	
		NORTHERN RED OAK	32	GOOD	7238	7238	100%	CONSTRUCTION OF PROPOSED HOUSE	REMOVE
4	MORUS RUBRA	RED MULBERRY	9.5	GOOD	638	0	0%		SAVE/PROTECT
5	QUERCUS PALUSTRIS	PIN OAK	24	GOOD	4072	794	20%		SAVE/PROTECT
6	QUERCUS FALCATA					3158		HEAVY VINES, IMPACTS FROM REMOVAL OF	
								DETACHED GARAGE AND SHED EXPECTED TO	
		SOUTHERN RED OAK	35	GOOD	8659		36%	BEMINIMAL	SAVE/PROTECT
7	ILEX OPACA	AMERICAN HOLLY	12.5	GOOD	1104	287	26%		SAVE/PROTECT
8	QUERCUS ALBA					6793		WITHIN LOD FOR CONSTRUCTION OF	
		WHITE OAK	31	GOOD	6793		100%	PROPOSED HOUSE	REMOVE
9	QUERCUS ALBA					1698		WITHIN LOD FOR CONSTRUCTION OF	
		WHITEOAK	15.5	GOOD	1698		100%	PROPOSED HOUSE	REMOVE
BOLD T	YPE DENOTES SPECIMEN TREE		List of A	bbreviation					

BOLD TYPE DENOTES SPECIMEN TREE Tree condition rating as follows:

and insect infestation including woodpecker activity

Along with Evidence of disease, Conks (rotten wood or hollow)

Conditional Use allowed in the zone

BB = Broken Branches Condition Percentage of Crown Dieback Good (G) Less than 10 Poor (P) More than 20 DB = Dead Branches

Detached House or a Building for a Cultural Institution,

Assembly, Public Use, or a Conditional Use allowed in

6,000 SF

Required, except as exempt under Chapter 50

7.26

35%

SUC = Severe Undercut

UC = Under Cut

ER = Exposed Roots

HL= Hollow /Hole

CAN=Canopy INCT= Insects Damage LIC=Lichen CAV=Cavern or Hollowing OS= Tree out of Study Area

NOTES:

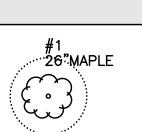
TWD=Trunk Wounds and Decay

- 1. THIS PROPERTY IS ZONED R-60.
- 2. THE TAX IDENTIFICATION NUMBER IS 01062383.
- 3. PROPERTY OWNER: ACE CONSTRUCTION LLC, 10300 EDGEWOOD AVE SILVER SPRING MD.
- 4. PROPERTY ADDRESS: 707 NEW YORK AVE TAKOMA PARK 20912
- 5. COUNTOURS & PROPERTY BOUNDARY INFORMATION FROM MNCPPC GIS DATA, BASEMAP 209NW01
- 6. PROPERTY SHOWN ON TAX MAP JN342.
- 7. WATER CATEGORY W-1 SEWER CATEGORY S-1
- 8. SITE IS LOCATED IN THE SLIGO CREEK WATERSHED USE I.
- 9. FEMA FLOODPLAIN MAP PANEL # 24031C0460D DO NOT INDICATE ANY FLOODPLAINS ON THE PROPERTY OR STUDY AREA.
- 10. THIS PROPERTY IS LOCATED IN THE TAKOMA PARK HISTORIC DISTRICT.
- 11. ALL AREAS ARE APPROXIMATE AND SUBJECT TO CHANGE AT THE TIME OF PRELIMINARY PLAN.

NOTE: LOD IS APPROXIMATE AND DOES NOT REFLECT GRADING, STORMWATER MANAGEMENT, UTILITIES ETC.

LEGEND

SUBJECT PROPERTY BOUNDARY ADJACENT PROPERTY BOUNDARY PROPOSED PROPERTY LINE BUILDING RESTRICTION LINE EX. CONTOUR — PROPOSED LIMITS OF DISTURBANCE



EXISTING REGULATED TREE ≥6 WITH CRITICAL ROOT ZONE PER HISTORIC REGULATIONS

licensed professional under the laws of the State of Maryland. License No. PLA 3310 Expiration Date 09.07.2027

Professional Certification. I hereby certify

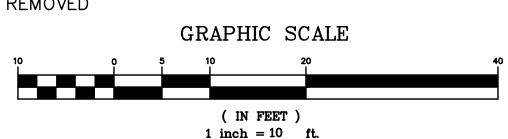
that these documents were prepared o

SLIGO AVENUE /

TREE TO BE REMOVED

WATER CLASS |

PROPOSED DRIVEWAY



CONCEPT SITE PLAN 707 NEW YORK AVE TAKOMA PARK, MD 20912 LOT P4, T P L & T CO TAKOMA PARK ELECTION 13, L.69629/F.0169 PREPARED FOR ACE CONSTRUCTION LLC 10300 EDGEWOOD AVE SILVER SPRING, MD 20906 aceconstruction127@gmail.com LANDSCAPE ARCHITECTURE & ENVIRONMENTAL PLANNING

SLIGO CREEK

DECEMBER 2025

25' 18'





