



APPLICATION FOR
HISTORIC AREA WORK PERMIT
HISTORIC PRESERVATION COMMISSION
301.563.3400

FOR STAFF ONLY:

HAWP# _____

DATE ASSIGNED _____

APPLICANT:

Name: _____

E-mail: _____

Address: _____

City: _____ Zip: _____

Daytime Phone: _____

Tax Account No.: _____

AGENT/CONTACT (if applicable):

Name: _____

E-mail: _____

Address: _____

City: _____ Zip: _____

Daytime Phone: _____

Contractor Registration No.: _____

LOCATION OF BUILDING/PREMISE: MIHP # of Historic Property _____

Is the Property Located within an Historic District? ☐ Yes/District Name _____

☐ No/Individual Site Name _____

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: _____ Street: _____

Town/City: _____ Nearest Cross Street: _____

Lot: _____ Block: _____ Subdivision: _____ Parcel: _____

TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:

☐ New Construction

☐ Deck/Porch

☐ Shed/Garage/Accessory Structure

☐ Addition

☐ Fence

☐ Solar

☐ Demolition

☐ Hardscape/Landscape

☐ Tree removal/planting

☐ Grading/Excavation

☐ Roof

☐ Window/Door

☐ Other: _____

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent

Date

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address Randall Hawkins, Montgomery County, DBDC, DGS 101 Monroe Street, 11th Floor Rockville, MD 20850	Owner's Agent's mailing address Susan Hains, Grimm and Parker Architects 11720 Beltsville Drive, Suite 600 Calverton, MD 20705
Adjacent and confronting Property Owners mailing addresses	
RUDDEN JERRY N ET AL 5600 LAKE CHRISTOPHER DR ROCKVILLE MD JAISAI PROPERTIES LLC 4007 BROADSTONE ST FREDERICK MD	THIRD TRY LC 1355 BEVERLY RD STE 240 MCLEAN VA POTOMAC HOLDINGS LLC 7508 WISCONSIN AVE FL 2 BETHESDA MD
CLARKSBURG HOMEOWNERS ASSN INC 18401 WOODFIELD RD SUITE H GAITHERSBURG MD	MONTGOMERY COUNTY 101 MONROE ST FL 3 ROCKVILLE MD
BUFFINGTON ENTERPRISES II LLC 21020 LAYTON RIDGE DR LAYTONSVILLE MD KIA-WILLIAMS SONIA 23407 HARNESS POINT WAY CLARKSBURG MD	MODJARRAD AMIR H ET AL 22222 CREEKVIEW DR GAITHERSBURG MD

CLARKSBURG LIBRARY

Capital Improvement Project No. 710500

Historic Preservation Commission Presentation

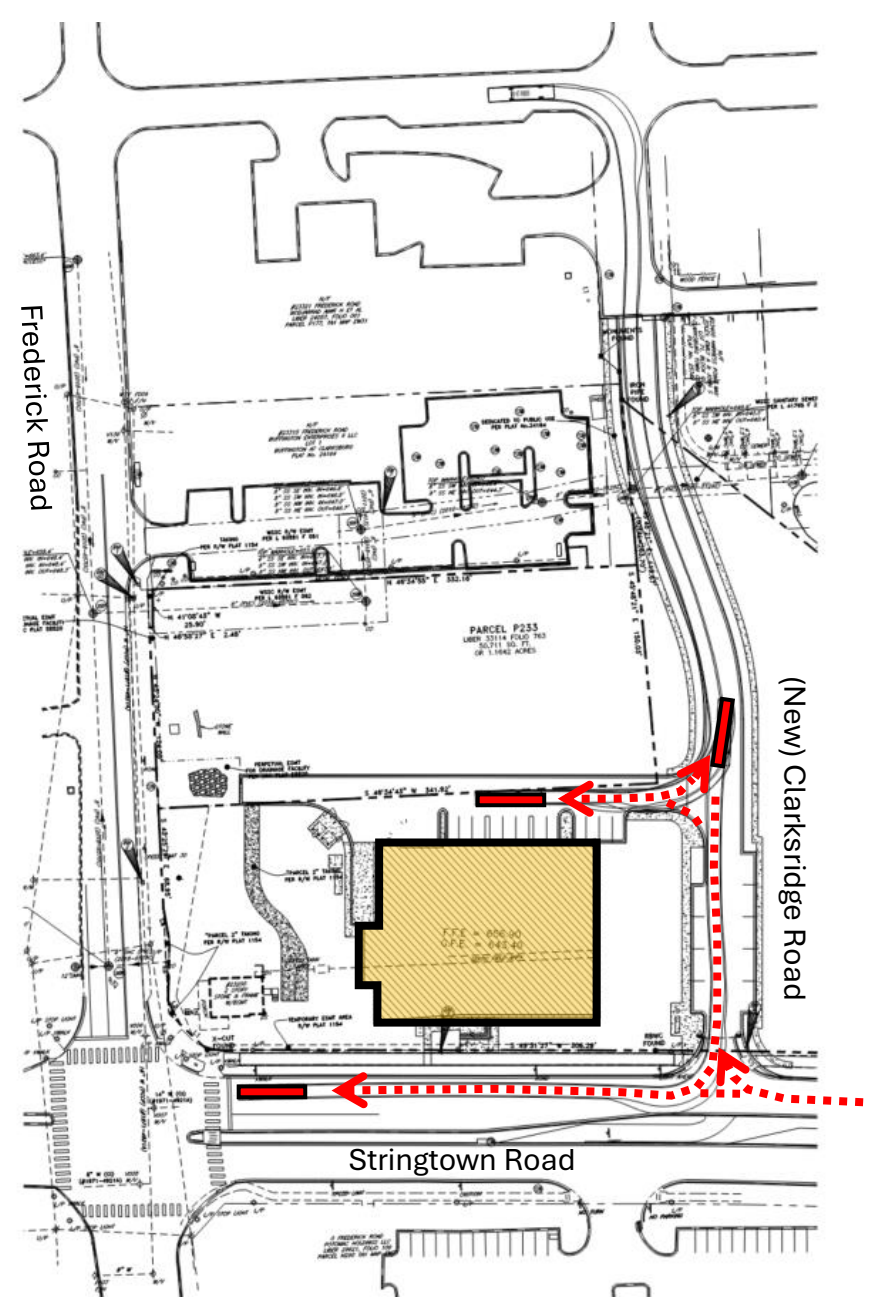
Meeting No.3

October 22, 2025

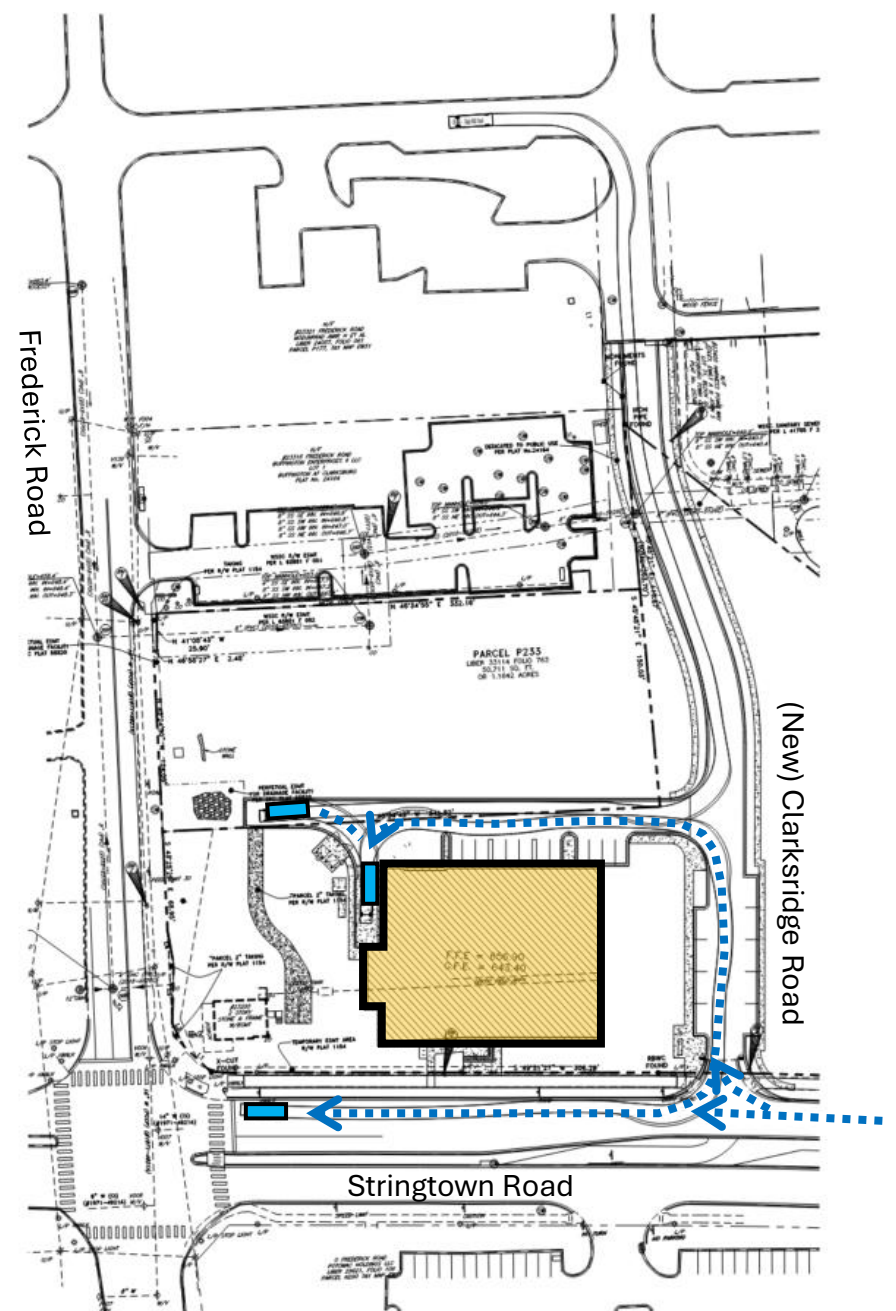


2. Site Plan – Suggested Preliminary Emergency Vehicle Path Diagram

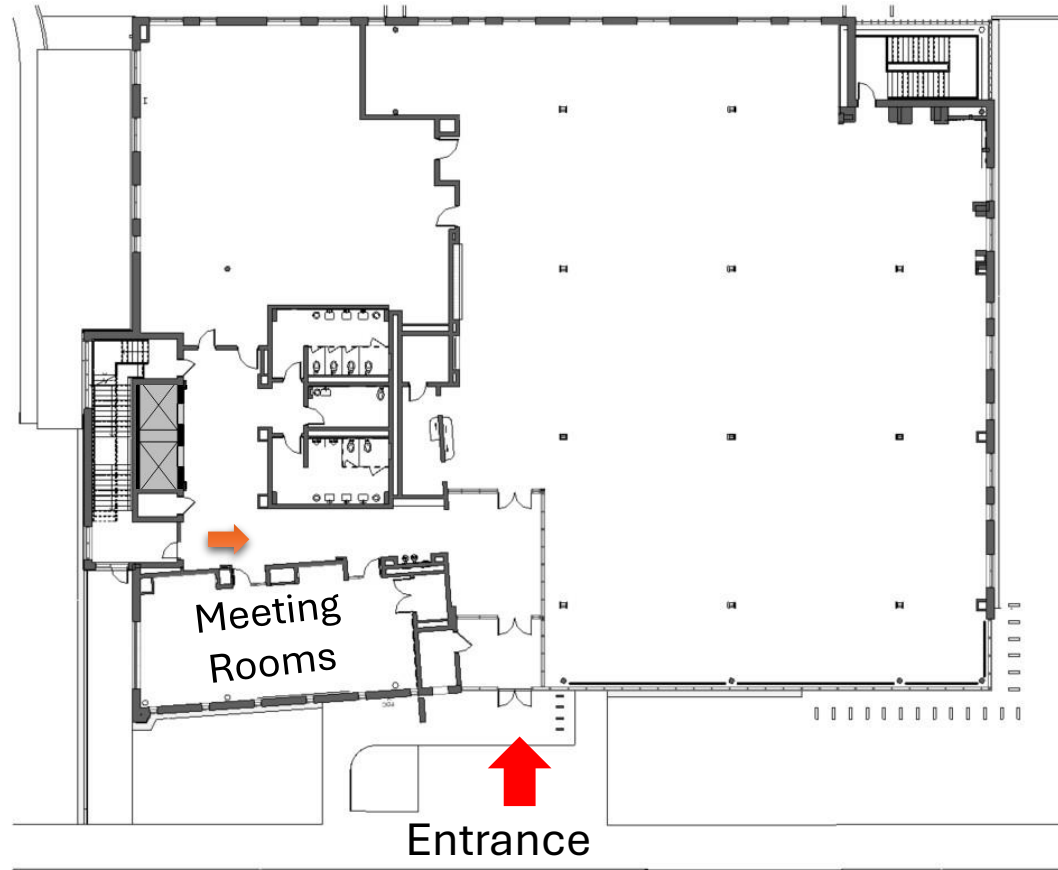
Fire-Truck Path



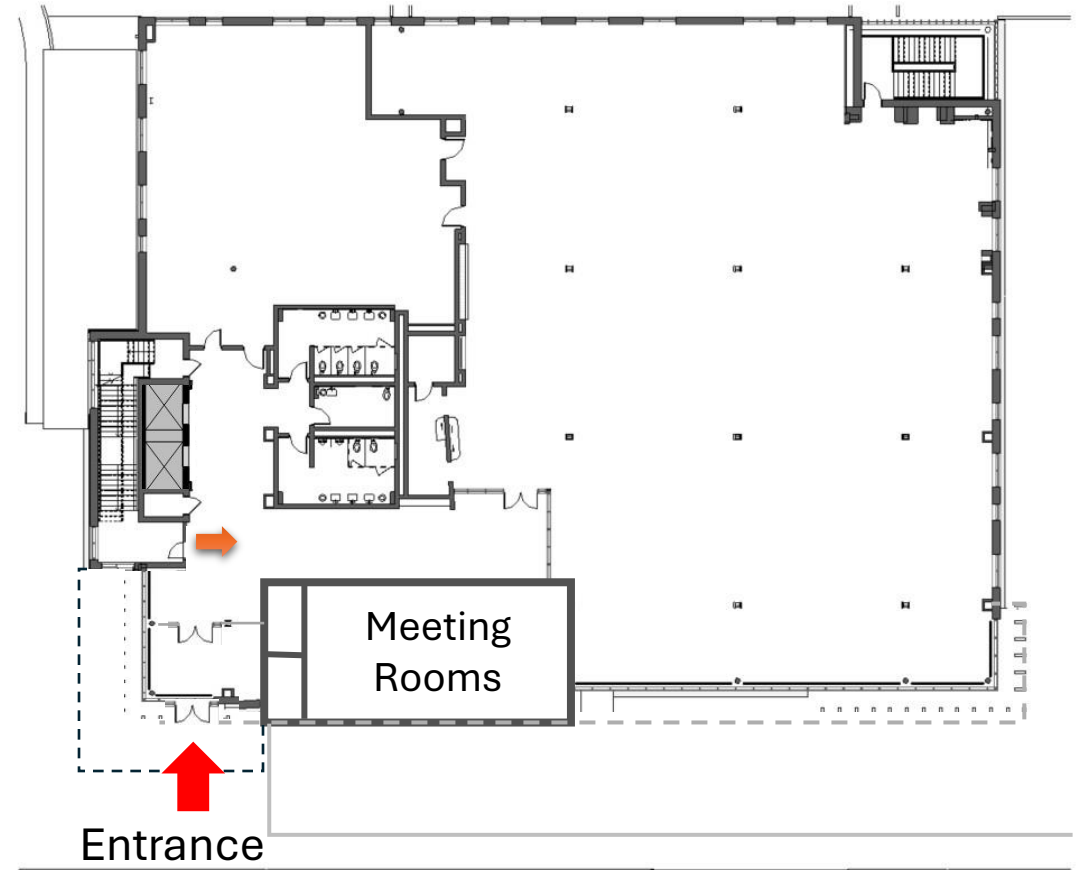
Ambulance Path



3. Building Plan – Revised



September 17, 2025

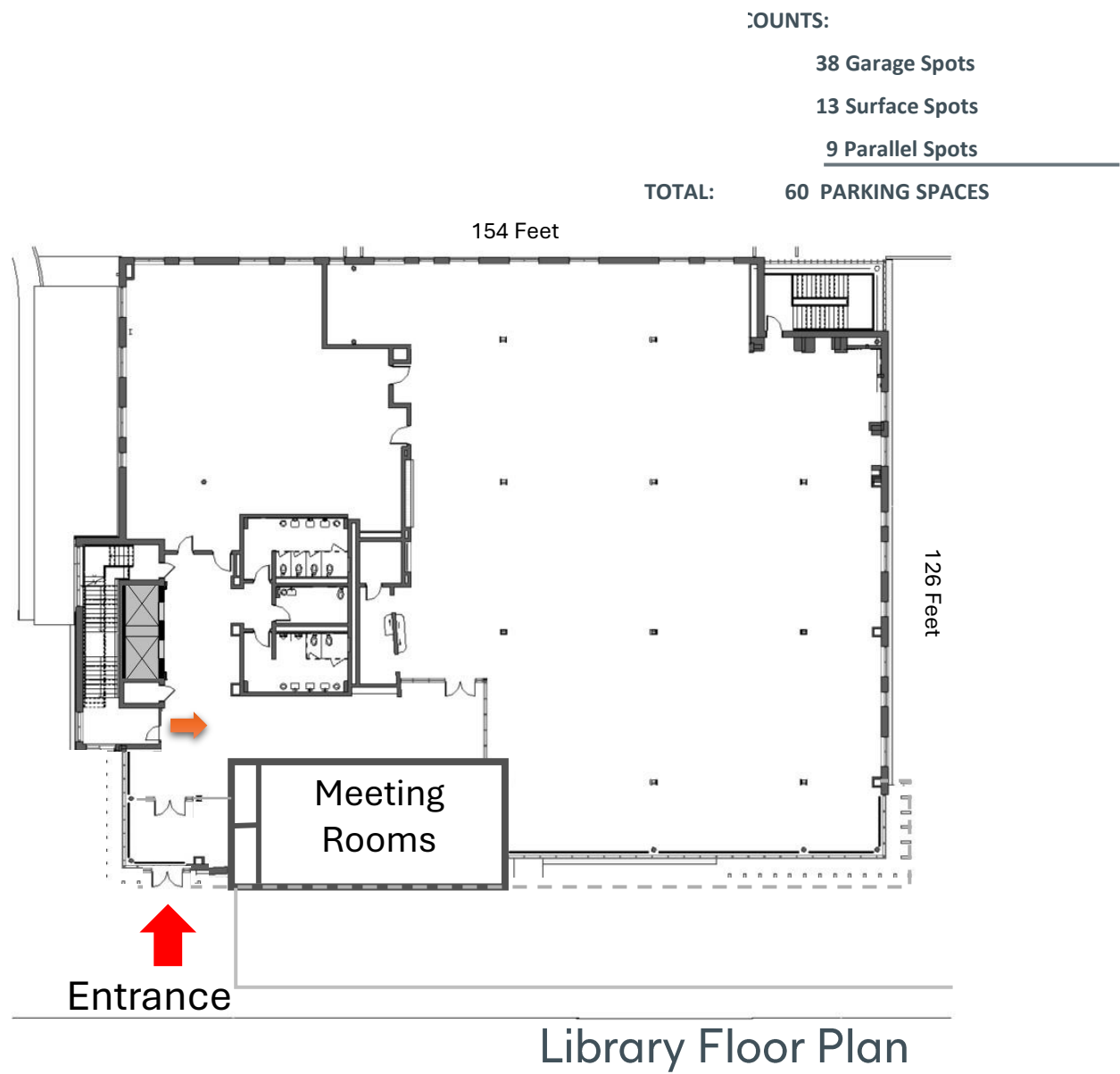
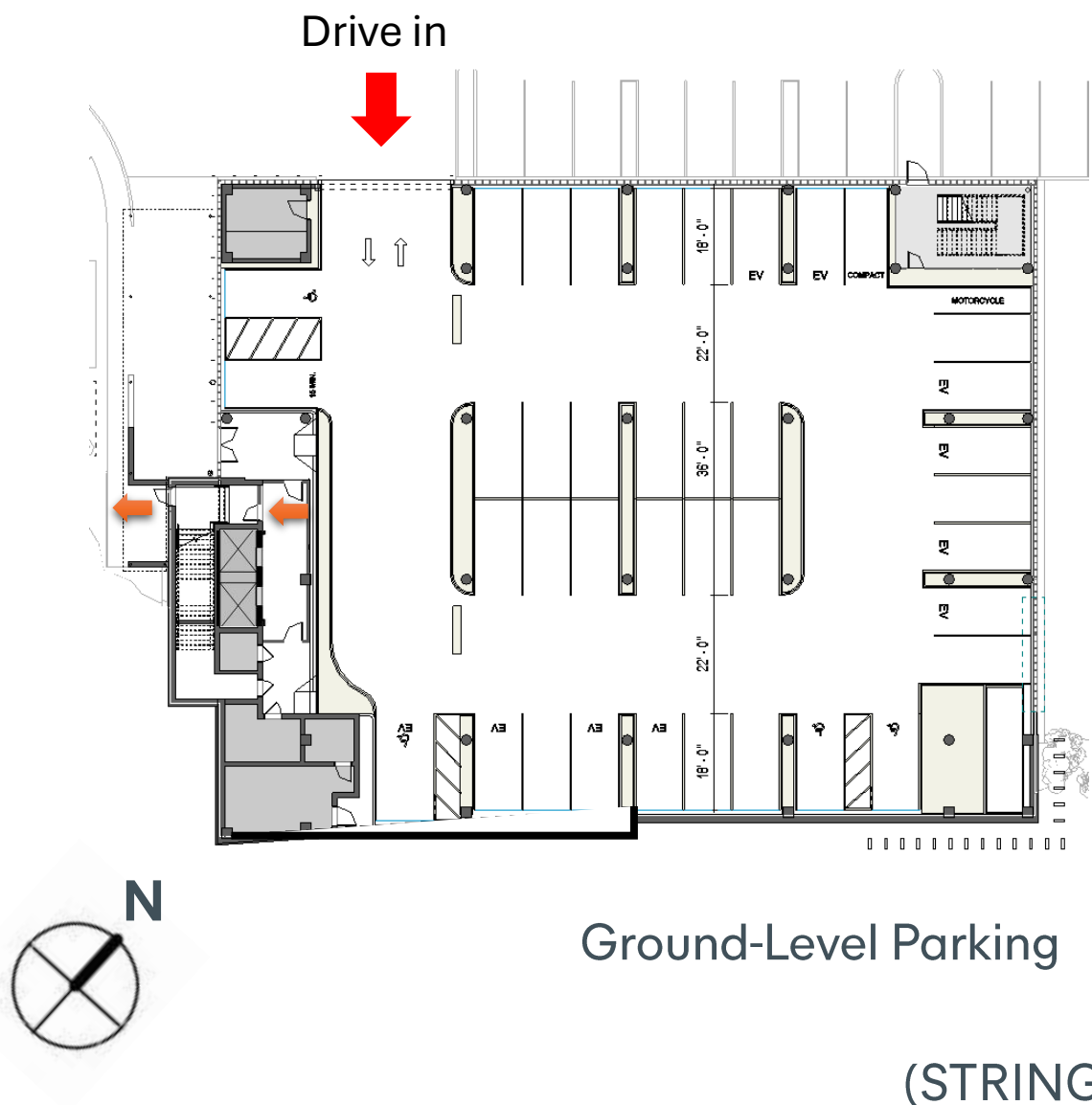


October 22, 2025



(STRINGTOWN ROAD)

4. Building Plans – Revised Plan – (Entrance at the Corner)



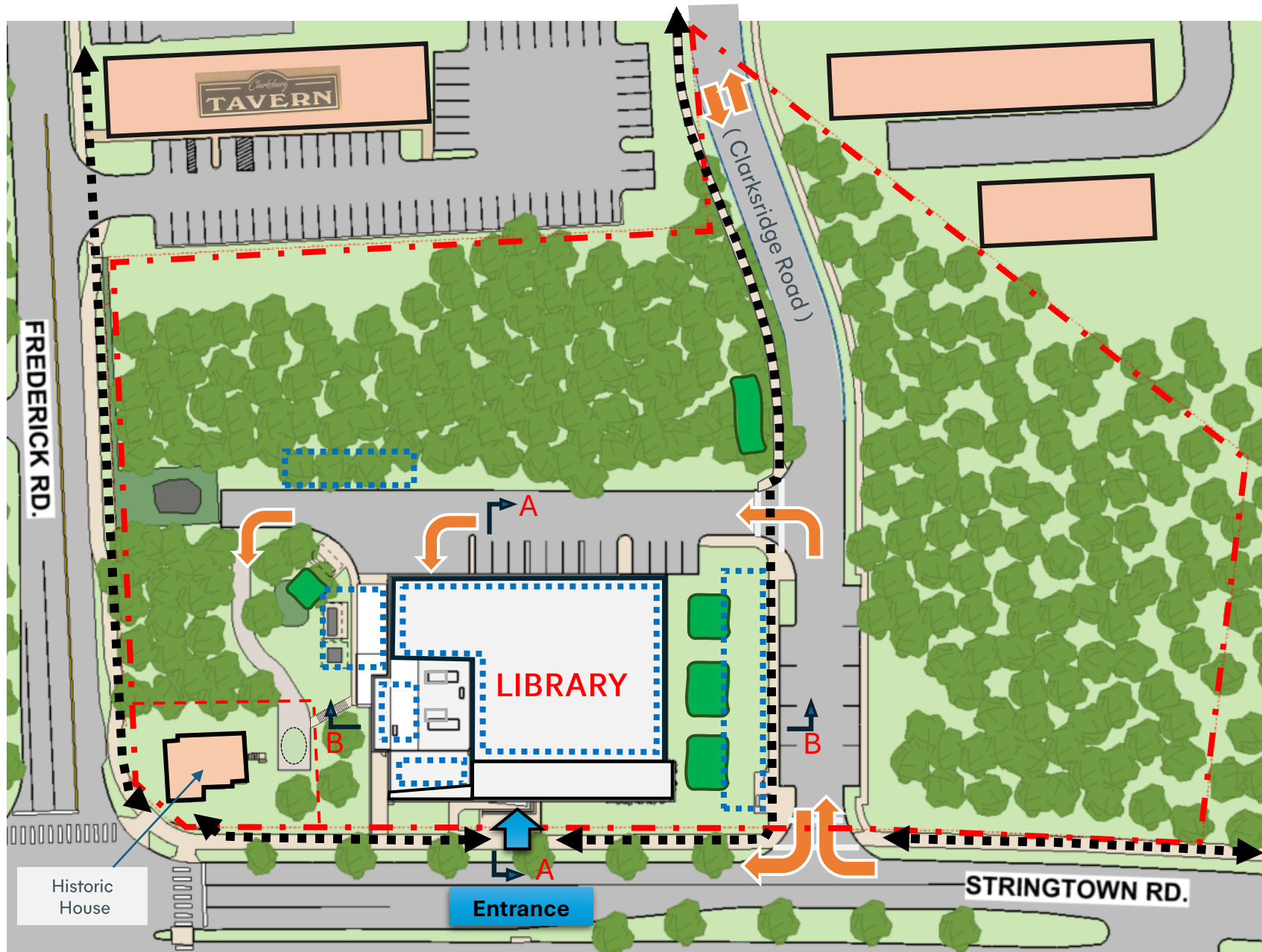
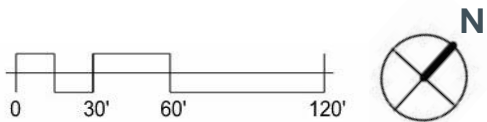
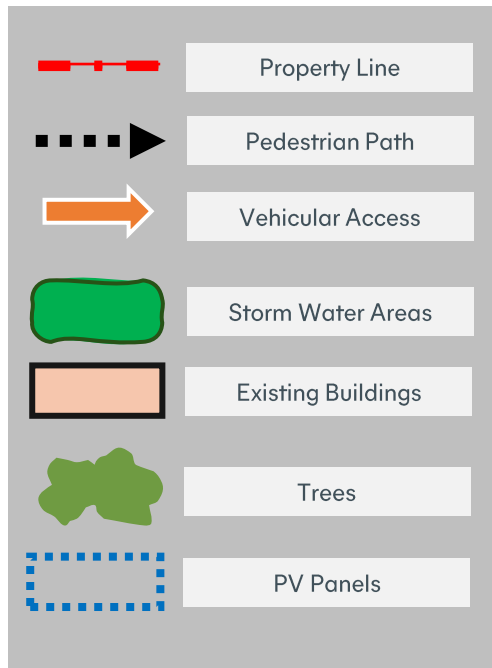
COUNTS:

38	Garage Spots
13	Surface Spots
9	Parallel Spots
<hr/>	
TOTAL:	60 PARKING SPACES

5. Site Plan

Previously Shown on September 16, 2025

Legend



7. Site Plan Concept



8. Building Character – Previous Submission – (Entrance in the Middle)



9. Building Character – Revised – (Entrance at the Corner)



10. Building Character (Entrance at the Corner)



11. Building Elevations



16. Plaza Concept



19. Day House - Existing Conditions



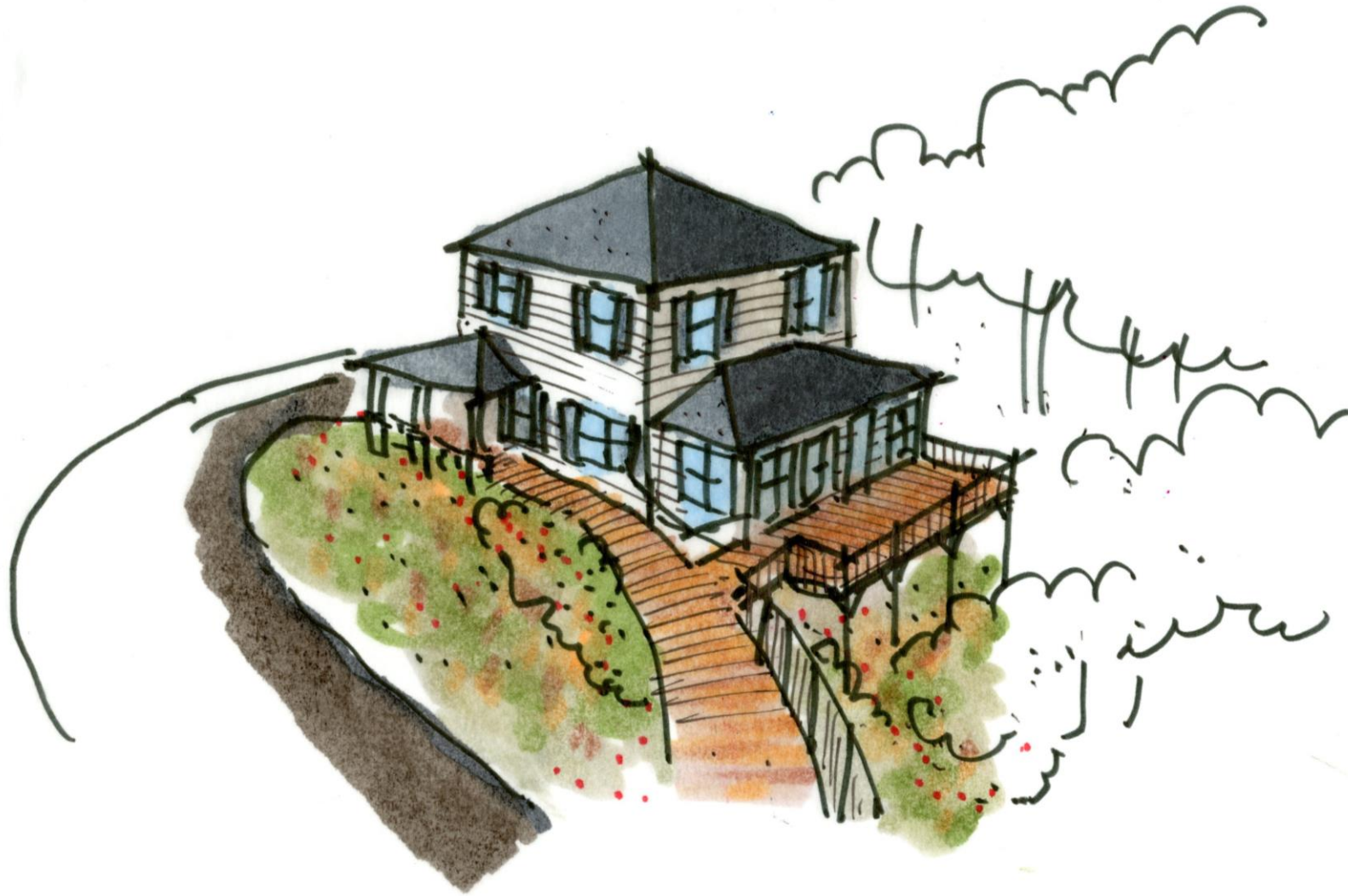
13. Future Possible Options for Day House in Phase II - Option 1

Remove rear door and stair + add new rear entrance directly from new A.D.A. Pathin



14. Future Possible Options for Day House in Phase II - Option 2

Remove rear door and stair + add new rear entrance from new rear deck connected to A.D.A. Path



15. Future Possible Options for Day House in Phase II - Option 3

Renovate Rear addition into a Porch similar to Front Porch + connect new porch to A.D.A. Path



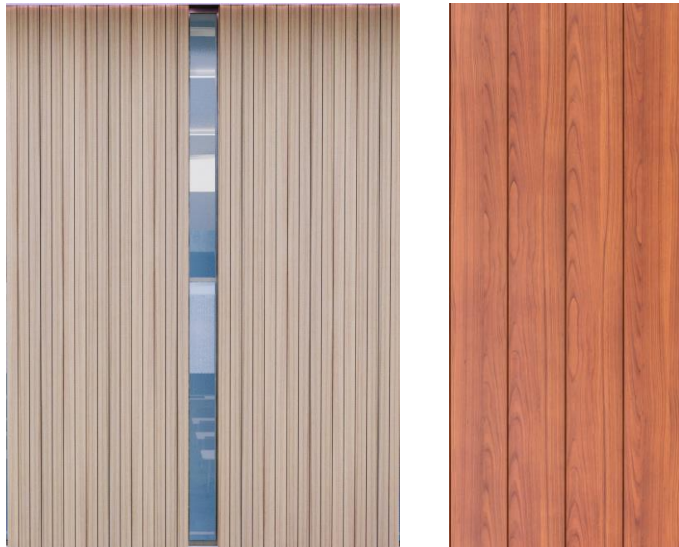
16. Exterior Building Materials



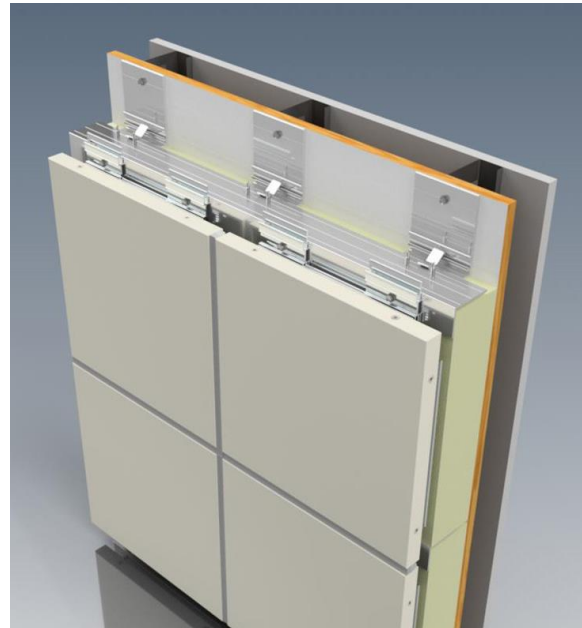
Tongue And Groove Aluminum Plank Cladding – by Longboard



Link and Lock Vertical Battens – by Longboard



Proposed Exterior Building Panel System and Window Proportions



White Aluminum Composite Panels

22. Exterior Plaza Materials



Polymer Plank Decking ("Trex")



Natural Landscaping



Concrete Walk

Thank You

