

Preliminary Consultation
MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	7130 Carroll Avenue, Takoma Park	Meeting Date:	9/3/2025
Resource:	Contributing Resource Takoma Park Historic District	Report Date:	8/27/2025
Applicant:	Antonios Tontisakis (Jennifer Goon, Agent)	Public Notice:	8/20/2025
Review:	Preliminary Consultation	Tax Credit:	No
Permit Number:	1115772	Staff:	Devon Murtha
PROPOSAL: Window alterations and retroactive awning removal			

STAFF RECOMMENDATION

Staff recommends that the applicant make any revisions based upon the HPC's comments and to work with Montgomery Planning staff to determine the appropriate next steps for a HAWP. Staff also recommends that the applicant submit accurately dimensioned shop drawings to staff, showing how the inserts will be installed within the existing historic wood frames



Figure 1: The subject property at 7130 Carroll Avenue is annotated with the yellow star. The Takoma Park Historic District boundaries are marked in red.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE:	Contributing Resource within the Takoma Park Historic District
STYLE:	Bungalow
DATE:	1915-1925

The subject property is located along Carroll Avenue in the Takoma Park Historic District. The one-a-half story frame bungalow features gabled dormers and a concrete front porch. The house is clad in a combination of pebbledash stucco and wood shakes. There is a small wood deck on the rear of the house and a small side porch on the left/south elevation.



Figure 2: Facade of subject property along Carroll Avenue (Bright MLS, 2025).

The window openings hold one-over-one double-hung vinyl sash windows with wood frames and wood trim. The existing frames and trim are capped with vinyl cladding. Historic photos taken at the time of designation show that the windows were historically double hung wood sash windows (*Figures 3 and 4*). Staff was not able to locate a HAWP for the replacement windows, but the work appears to have occurred prior to 2012 under previous ownership.



Figure 3: View of subject property at the time of designation in c. 1983.



Figure 4: View of left side of subject property at time of designation.

PROPOSAL

The applicant is proposing to remove all the non-historic vinyl windows and install Marvin Elevate double-hung fiberglass-clad wood window inserts. The proposal includes the installation of:

- Twenty-eight (28) 6/1 double hung fiberglass-clad wood inserts,
- Two (2) 4/1 double hung windows fiberglass-clad wood inserts, and
- One (1) fiberglass-clad clad casement wood window insert.

All proposed windows will have screens. All original frames and trim will be retained and repaired as needed. The window inserts will be installed in the pocket of the original frames. The applicant is proposing to remove all of the foundation-level windows and install six (6) new vinyl windows to replicate the existing windows.

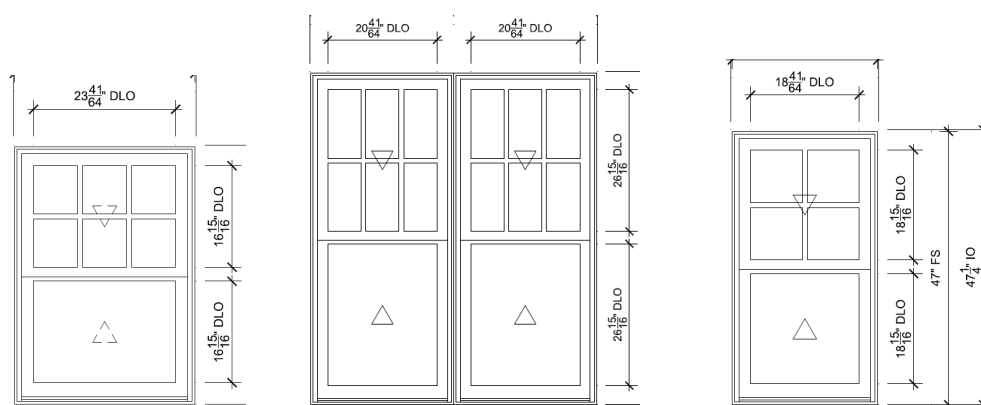


Figure 5: Sample profiles of the Marvin Elevate windows to be installed.

Additionally, the applicant is seeking retroactive approval for removing non-historic metal awnings from the façade.

APPLICABLE GUIDELINES

The Historic Preservation Office and Historic Preservation Commission (HPC) consults several documents when reviewing alterations and new construction within the Takoma Park Historic District. These documents include the historic preservation review guidelines in the approved and adopted amendment for the *Takoma Park Historic District (Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these three documents is outlined below.

Takoma Park Historic District Guidelines

There are two broad planning and design concepts which apply to all categories. These are:

- The design review emphasis will be restricted to changes that are all visible from the public right-of-way, irrespective of landscaping or vegetation (it is expected that the majority of new additions will be reviewed for their impact on the overall district), and
- The importance of assuring that additions and other changes to existing structures act to reinforce and continue existing streetscape, landscape, and building patterns rather than to impair the character of the historic district.

Contributing Resources should receive a more lenient level of design review than those structures that have been classified as Outstanding. The design review should emphasize the importance of the resource to the overall streetscape and compatibility with the existing patterns rather than focusing on a close scrutiny of architectural detailing. In general, however, changes to Contributing Resources should respect the predominant architectural style of the resource. As stated above, the design review emphases will be restricted to changes that are at all visible from the right-of-way, irrespective of landscaping or vegetation.

Specifically, some of the factors to be considered in reviewing HAWPs on Contributing Resources:

All exterior alterations, including those to architectural features and details, should be generally consistent with the predominant architectural style and period of the resource and should preserve the predominant architectural features of the resource; exact replication of existing details and features is, however, not required;

Major additions should, where feasible, be placed to the rear of existing structures so that they are less visible from the public right-of-way; additions and alterations to the first floor at the front of a structure are discouraged but not automatically prohibited;

Original size and shape of window and door openings should be maintained, where feasible, preservation of original windows and doors, particularly those with specific architectural importance, and of original size and shape of openings is encouraged.

Some non-original building materials may be acceptable on a case-by-case basis; artificial siding on areas visible from the public right-of-way is discouraged where such materials would replace or damage original building materials that are in good condition

Alterations to features that are not visible at all from the public right-of-way should be allowed as a matter of course

All changes and additions should respect existing environmental settings, landscaping, and patterns of open space.

Montgomery County Code, Chapter 24A-8

The following guidance which pertains to this project are as follows:

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to ensure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter;

Secretary of the Interior's Standards for Rehabilitation

The Secretary of the Interior defines rehabilitation as “the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values.” The applicable *Standards* are as follows:

2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

STAFF DISCUSSION

Staff is generally supportive of the proposal to remove the existing vinyl windows and install replacement windows. The existing 1/1 vinyl windows are not compatible with the historic resource and were installed without HPC approval by a previous owner (*Figure 6*). Staff finds that their removal should be approved as a matter of course. Staff is also generally supportive of the proposed Marvin Elevate fiberglass-clad wood windows on the rear and side elevations. Staff is seeking feedback from the HPC regarding the appropriateness of the material for the proposed replacement windows on the façade of the house.



Figure 6: Existing vinyl windows installed (2025). The historic wood trim is capped with vinyl cladding.

The HPC routinely approves clad wood windows for additions and new construction throughout the district; however, the replacement of windows on Contributing Resources in the Takoma Park is subject to review on a case-by-case basis. The HPC has consistently required that historic wood windows visible from the right-of-way on Contributing resources should be retained or replaced with appropriately detailed wood windows. However, in a few select instances in which the historic windows were removed by a previous owner, the HPC has determined that clad wood windows can be appropriate replacements.

In 2005, the HPC approved replacement of non-original aluminum windows with aluminum-clad wood

windows at 7051 Eastern Avenue.¹ In 2021, the HPC approved the replacement of non-original windows with Fiberex-clad wood windows on the façade of 7025 Eastern Avenue (*Figures 7 and 8*).² In 2025, the HPC approved the replacement of vinyl windows on the side elevation of 7310 Carroll Avenue with aluminum-clad wood windows. All three approvals were to properties classified as Contributing Resources, which receive a more moderate level of review as compared to Outstanding Resources. The approved windows were all appropriately detailed with simulated divided lites and historic profiles.



Figure 7: View of 7025 Eastern Avenue in 2021 (left) and 2024 (right) showing fiberex-clad windows replacement on the facade.



Figure 8: View of 7025 Eastern Avenue windows after installation (2025).

Staff finds that in this case, there are no historic wood windows on the subject property and the HPC may consider a substitute replacement material. The present applicant was not responsible for the removal of the historic windows, which appears to have occurred over 15 years ago. In the absence of historic material, the considerations for substitute materials include visibility from the public right-of-way and

¹ See the Staff Report for HAWP #379019 here; https://mcatlas.org/tiles6/06_HistoricPreservation_PhotoArchives/Padlock/HAR60640008/Box066/37-03-05R_Takoma%20Park%20Historic%20District_7051%20Eastern%20Ave_04-28-2005.pdf. Fiberex is a wood fiber and plastic composite material made by the Anderson company.

² See the approval for HAWP # 946470 here: https://mcatlas.org/tiles6/06_HistoricPreservation_PhotoArchives/HAWP/12-1-2021/7025%20Eastern%20Avenue,%20Takoma%20Park%20-%20946470%20-%20Approval.pdf.

compatibility of the substitute material's appearance.

Staff finds that the 6/1 and 4/1 profiles of the proposed windows are compatible with the character of the resource. Photographic documentation show that the house historically had double-hung wood windows, typical of an early twentieth-century bungalow. For the most part, the applicant has modeled the window proposal after the historic photographs to ensure consistency and compatibility with the resource and the district.

In past reviews of proposed windows, Staff has been generally unsupportive of fiberglass-clad window replacements on the façade of historic resources. Staff found that the material was excessively reflective and many of the proposed products had detailing that was incompatible with the character of the resource. Staff has generally favored aluminum-clad windows, finding the detailing to be more accurate and the material to be less reflective and paintable.

The applicant has provided Staff with samples of this product, and in this case, Staff finds that the profiles and detailing of the proposed Marvin Elevate windows are consistent with the overall appearance of a historic double-hung windows from this period, with some minor exceptions (*Figure 9*). The muntin profiles have a putty slope that mirrors the overall appearance of a glazed wood window. The Marvin Elevate fiberglass-clad windows have a matte finish, rather than a reflective one, and are paintable. The bottom rail appears to be lightly shorter than a traditionally historic wood window; however, Staff finds that this detail will likely not discernable from the right-of-way along Carroll Avenue, especially on the side and rear elevations.



Figure 9: Overall profile of Marvin Elevate double-hung windows without the grilles (left) and detailed profile of grilles and bottom rail (right). Note that the applicant is proposing to install double hung window with SDLs that feature a spacer bar, but Staff was not able to find a rendering of all these custom features together.

Staff finds that the proposed windows are appropriate for the rear elevations of the house. The rear elevation is not at all visible from the right-of-way (*Figure 10*). Per the Guidelines, alterations that are not visible from the right-of-way should be approved as a matter of course.



Figure 10: View of the left side of the house from the right-of-way (left) and the right side (right).

Staff finds that the proposed double-hung windows may also be appropriate for the side and front elevation of the house. The proposed fiberglass windows are a visual improvement to the existing vinyl windows and are generally compatible with the overall style of the house. Although Staff finds that the bottom rail is a little short, this detail will not be especially visible from the right-of-way due to the setback of the house from the street. Additionally, non-wood replacement windows are already an established feature on this block. Overwhelming, properties on this block are Contributing Resource that features non-original clad or vinyl windows on the front facades (*Figure 11*). The proposed window would not only be an improvement for the resource, but for the block as a whole.



Figure 11: Non-historic windows at 7132 Carroll Avenue adjacent to the subject property (left) and 7127 Carroll Avenue across the street (right).

The applicant is also proposing to install one (1) fiberglass-clad picture windows. The historic photograph shows that window opening originally held two paired windows, although Staff is not able to determine the window type from the photo (*Figure 12*). The applicant is proposing to install a new large fiberglass-clad picture windows to match the existing dimensions. Staff is seeking feedback from the HPC on the appropriateness of this window.



Figure 12: Current photo of the front window (left) and historic photo of the front windows (right).

The *Guidelines* state that exterior alterations to contributing resources, “should be generally consistent with the predominant architectural style and period of the resource and should preserve the predominant architectural features of the resource; exact replication of existing details and features is, however, not required.” While Staff does not find it necessary to replicate the exact profile of the window from the historic photo, Staff finds that a large picture window is not consistent with the architectural style of an early twentieth century bungalow. Bungalows from this period typically featured double-hung wood windows with a variety of profiles. Although not unheard of, a large picture window would have been an atypical design choice for this resource.

In determining what would be a compatible replacement, Staff looked to the pre-existing window condition at the subject property in addition to surrounding resources as examples. The vast majority of early twentieth century bungalows on the 7300 block of Carroll Avenue, and the surrounding blocks, feature single or ganged double hung windows in the larger window openings. Staff recommends that the applicant amend their proposal for this opening to hold paired double-hung windows, as opposed to a large picture window, in order to be more consistent with the resource and the district.

The applicant is also proposing to install vinyl window inserts into the foundation level windows. Staff finds that the existing windows are not original, and the foundation windows are minimally visible from the right-of-way (*Figure 13*). There are no foundation-level windows on the façade. Staff is generally supportive of the proposal, but requires that the applicant submit full specification of the foundation-level windows prior to approval.



Figure 13: View of existing foundation-level windows (left) and view from the right-of-way (right).

Staff is also supportive of the applicant's request for retroactive removal of the metal awnings on the façade. The awnings do not appear to be original, and likely date to the mid-century. Their removal does not substantially alter the exterior features of an historic site, per Chapter 24A-8.

Overall, Staff finds that a lenient design review is appropriate in this case due to the absence of historic windows on the subject property and the character of the surrounding block. Staff finds that the proposed windows are an improvement to the property as compared to the existing vinyl inserts and are generally compatible with the character of the resource, per the *Guidelines* and Chapter 24A-8. No historic fabric will be removed as part of this application, per *Standard 2*.

STAFF RECOMMENDATION

Staff recommends that the applicant make any revisions based upon the HPC's comments and to work with Montgomery Planning staff to determine the appropriate next steps to return for a HAWP. Staff also recommends that the applicant submit accurately dimensioned shop drawings to staff, showing how the inserts will be installed within the existing historic wood frames



**APPLICATION FOR
HISTORIC AREA WORK PERMIT**
HISTORIC PRESERVATION COMMISSION
301.563.3400

FOR STAFF ONLY:

HAWP# _____

DATE ASSIGNED _____

APPLICANT:

Name: Antonios Tontisakis

E-mail: tontisakis@gmail.com

Address: 7130 Carroll Ave

City: Takoma Park Zip: 20912

Daytime Phone: 714-325-2287

Tax Account No.: 01080622

AGENT/CONTACT (if applicable):

Name: Jennifer Goon

E-mail: permits@alcoproductsinc.com

Address: 4921 Wyaconda Rd

City: N Bethesda Zip: 20852

Daytime Phone: 301-832-6341

Contractor Registration No.: 87

LOCATION OF BUILDING/PREMISE: MIHP # of Historic Property 37/03

Is the Property Located within an Historic District? ☒ Yes/District Name Takoma Park Historic District
☐ No/Individual Site Name _____

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: _____ Street: _____

Town/City: _____ Nearest Cross Street: _____

Lot: _____ Block: _____ Subdivision: _____ Parcel: _____

TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:

- | | | |
|---|--|--|
| <input type="checkbox"/> New Construction | <input type="checkbox"/> Deck/Porch | <input type="checkbox"/> Shed/Garage/Accessory Structure |
| <input type="checkbox"/> Addition | <input type="checkbox"/> Fence | <input type="checkbox"/> Solar |
| <input type="checkbox"/> Demolition | <input type="checkbox"/> Hardscape/Landscape | <input type="checkbox"/> Tree removal/planting |
| <input type="checkbox"/> Grading/Excavation | <input type="checkbox"/> Roof | <input type="checkbox"/> Window/Door |
| | | <input type="checkbox"/> Other: _____ |

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature]
Signature of owner or authorized agent

8/6/25
Date

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address

Owner's Agent's mailing address

Adjacent and confronting Property Owners mailing addresses

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

Description of Work Proposed: Please give an overview of the work to be undertaken:

Work Item 1: _____

Description of Current Condition:

Proposed Work:

Work Item 2: _____

Description of Current Condition:

Proposed Work:

Work Item 3: _____

Description of Current Condition:

Proposed Work:

HISTORIC AREA WORK PERMIT CHECKLIST OF APPLICATION REQUIREMENTS

	Required Attachments						
Proposed Work	I. Written Description	2. Site Plan	3. Plans/ Elevations	4. Material Specifications	5. Photographs	6. Tree Survey	7. Property Owner Addresses
New Construction	*	*	*	*	*	*	*
Additions/ Alterations	*	*	*	*	*	*	*
Demolition	*	*	*		*		*
Deck/Porch	*	*	*	*	*	*	*
Fence/Wall	*	*	*	*	*	*	*
Driveway/ Parking Area	*	*		*	*	*	*
Grading/Exc avation/Land scaing	*	*		*	*	*	*
Tree Removal	*	*		*	*	*	*
Siding/ Roof Changes	*	*	*	*	*		*
Window/ Door Changes	*	*	*	*	*		*
Masonry Repair/ Repoint	*	*	*	*	*		*
Signs	*	*	*	*	*		*

City of Takoma Park

Housing and Community Development Department

Main Office 301-891-7119
Fax 301-270-4568
www.takomaparkmd.gov



7500 Maple Avenue
Takoma Park, MD 20912

MUNICIPALITY LETTER

May 06, 2025

To: Antonios Tontisakis
7130 Carroll Ave, Takoma Park, MD 20912
tontisakis@gmail.com

714-325-2287

To: Department of Permitting Services
2425 Reddie Drive, 7th floor
Wheaton, Maryland 20902

From: Planning and Development Services Division

THIS IS NOT A PERMIT – For Informational Purposes Only

VALID FOR ONE YEAR FROM DATE OF ISSUE

The property owner is responsible for obtaining all required permits from Montgomery County and the City of Takoma Park. If this property is in the **Takoma Park Historic District**, it is subject to Montgomery County Historic Preservation requirements.

Representative Name: Jennifer Goon

permits@alcoproductsinc.com 301-832-6341

Location of Project: 7130 Carroll Ave, Takoma Park, MD 20912

Proposed Scope of Work: Replace existing windows and doors

The purpose of this municipality letter is to inform you that the City of Takoma Park has regulations and city permit requirements that may apply to your project. This municipality letter serves as notification that, in addition to all Montgomery County requirements, you are required to comply with all City permitting requirements, including:

- Tree Impact Assessment/Tree Protection Plan
- Stormwater management
- City Right of Way

Failure to comply with these requirements could result in the issuance of a Stop Work Order and other administrative actions within the provisions of the law. Details of Takoma Park's permit requirements are attached on page 2.

The issuance of this letter does not indicate approval of the project nor does it authorize the property owner to proceed with the project. The City retains the right to review and comment on project plans during the Montgomery County review process.

City Of Takoma Park

The City of Takoma Park permits for the following issues:

Tree Impact Assessment/Tree Protection Plan/Tree Removal Application:

Construction activities that occur within 50 feet of any urban forest tree (7 and 5/8" in trunk diameter or greater), located on the project property or on an adjacent property, may require a Tree Impact Assessment and possibly a Tree Protection Plan Permit. Make sure to submit a request for a Tree Impact Assessment and schedule a site visit with the City's Urban Forest Manager if any urban forest tree is in the vicinity of proposed construction activities. See the Tree Permits section of the City website for the specific conditions in which a Tree Impact Assessment is required. Depending on the Urban Forest Manager's conclusion following the Tree Impact Assessment, you may need to prepare a full Tree Protection Plan and apply for a Tree Protection Plan Permit as well. Separately, the removal of any urban forest tree will require a Tree Removal Permit application. The tree ordinance is detailed in the City Code, section 12.12. For permit information check: <https://takomaparkmd.gov/services/permits/tree-permits>. The City's Urban Forest Manager can be reached at 301-891-7612 or urbanforestmanager@takomaparkmd.gov.

Stormwater Management:

If you plan to develop or redevelop property, you may be required to provide appropriate stormwater management measures to control or manage runoff, as detailed in City Code section 16.04. All commercial or institutional development in the city must apply for a Stormwater Management Permit regardless of the size of the land disturbance. Additions or modifications to existing detached single-family residential properties do not require a Stormwater Management permit if the project does not disturb more than 5,000 square feet of land area. For more information visit: <https://takomaparkmd.gov/government/public-works/stormwater-management-program/>. The City Engineer should be contacted to determine if a City permit is required. The City Engineer can be reached at 301-891-7620.

City Right of Way:

- To place a **construction dumpster or storage container** temporarily on a City right of way (usually an adjacent road), you will need to obtain a permit. A permit is not required if the dumpster is placed in a privately-owned driveway or parking lot.
- If you plan to install a new **driveway apron**, or enlarge or replace an existing driveway apron, you need a Driveway Apron Permit.
- If you plan to construct a **fence** in the City right of way, you need to request a Fence Agreement. If approved, the Agreement will be recorded in the Land Records of Montgomery County.

For more information and applications for City permits, see: <https://takomaparkmd.gov/services/permits/> or contact the Department of Public Works at 301-891-7633.

Failure to comply with the City's permitting requirements could result in the issuance of a Stop Work Order and other administrative actions within the provisions of the law.

eSigned via SeamlessDocs.com
Jennifer Goon
Key: 38bf2056622713c0b979ea7ee94776a

Jennifer Goon

05-05-2025

eSigned via SeamlessDocs.com
Takoma Park Planning Division
Key: 19fe84f123e98a3ff4576219059d5fba

05-06-2025



4921 Wyconda Road
Rockville, MD 20852

301-593-1691
alcoproductsinc.com

THE EXTERIOR HOME EXPERTS → EST. 1956

Antonios Tontisakis

7130 Carroll Ave

Takoma Park, MD 20912

Historic Permit App #1115772

Summary of scope of work:

Remove existing Vinyl windows.

Install Marvin Elevate Pocket replacement windows.

Remove existing metal capping over exterior trim and window frame.

Leave existing wood window frame and exterior trim - repair trim as needed and paint.

Windows are fiberglass outside and wood inside.

Windows to have 6/1 SDL Grids.

📍 38.9770° N, 77.0082° W

📅 7/21/2025, 1:18 PM



Front Window - no capping

📍 38.9770° N, 77.0082° W

📅 7/21/2025, 1:19 PM

Front Window - no capping

38.9772° N, 77.0084° W

7/21/2025, 11:37 AM



Right Side - No Capping

38.9772° N, 77.0084° W

7/21/2025, 11:38 AM

Left Side - no capping

📍 38.9772° N, 77.0083° W

📅 7/21/2025, 11:34 AM



Back of House - no capping



38.9772° N, 77.0083° W



7/21/2025, 11:33 AM

Back of House - no capping

📍 38.9772° N, 77.0083° W

📅 7/21/2025, 11:35 AM



Left side of House —
NO lapping

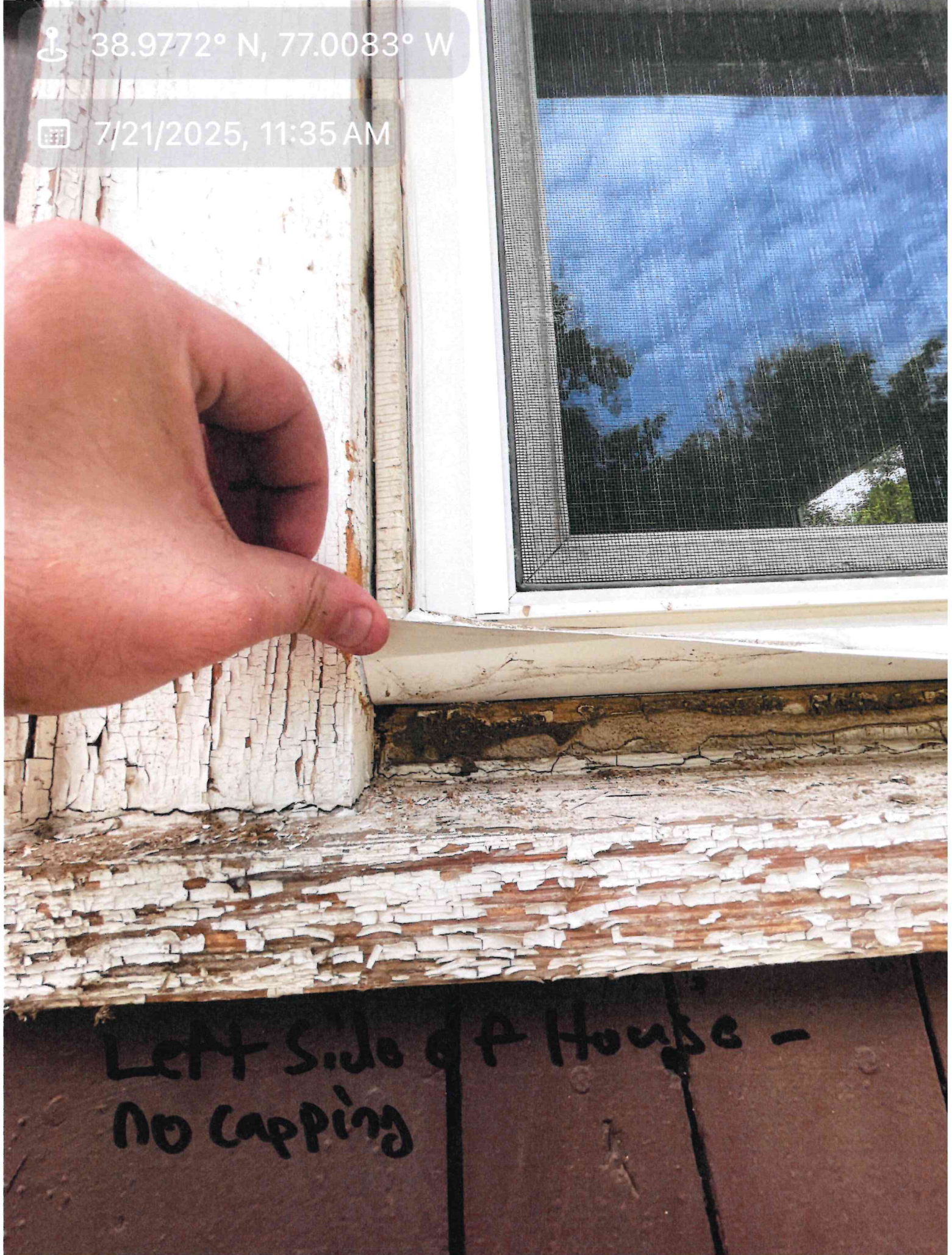




38.9772° N, 77.0083° W



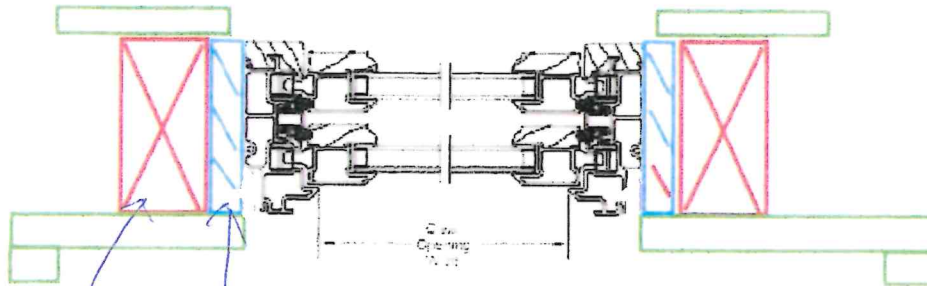
7/21/2025, 11:35 AM



Left Side of House -
No Capping

Install Method

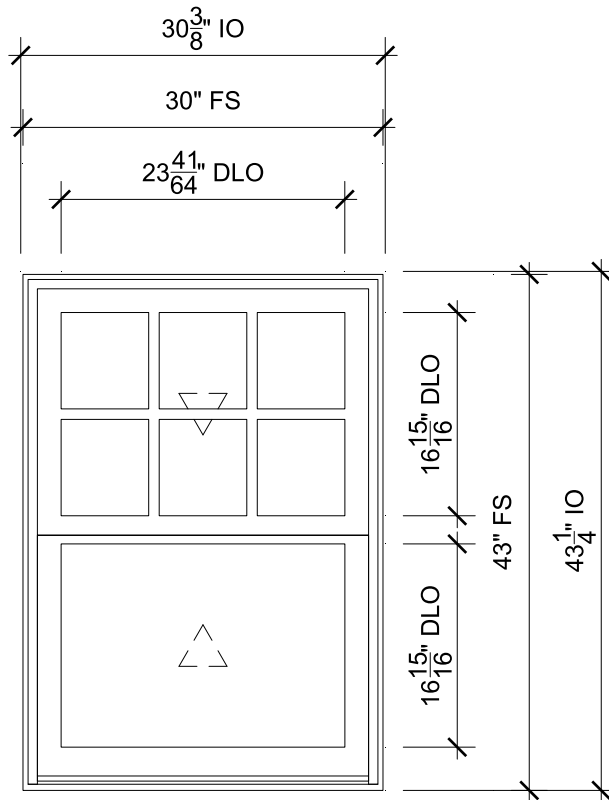
Elevate Insert Double Hung installed into
existing frame



studs

existing window
frame to remain

↑ exterior Trim to remain



KITCHEN

SCALE: 3/4" = 1'-0"



Head



Jamb



Sill



Divided Lite



Check Rail

SPECIFICATIONS

Line #: 1

Qty: 1

Mark Unit: Kitchen

Product Line: Elevate

Unit Description: Double Hung Insert

Frame Size: 30" X 43"

Exterior Finish: Stone White

Species: None

Interior Finish: White

Glass Information: IG, Low E2 w/Argon, Stainless

Divider Type: 7/8" Rectangular SDL W/ Spacer - Stainless, None

Hardware Type: Sash Lock

Screen Type: Aluminum Screen

Hardware Color: White

Screen Surround Color: Stone White

Screen Mesh Type: Bright View Mesh

Jamb Depth: 3 1/4



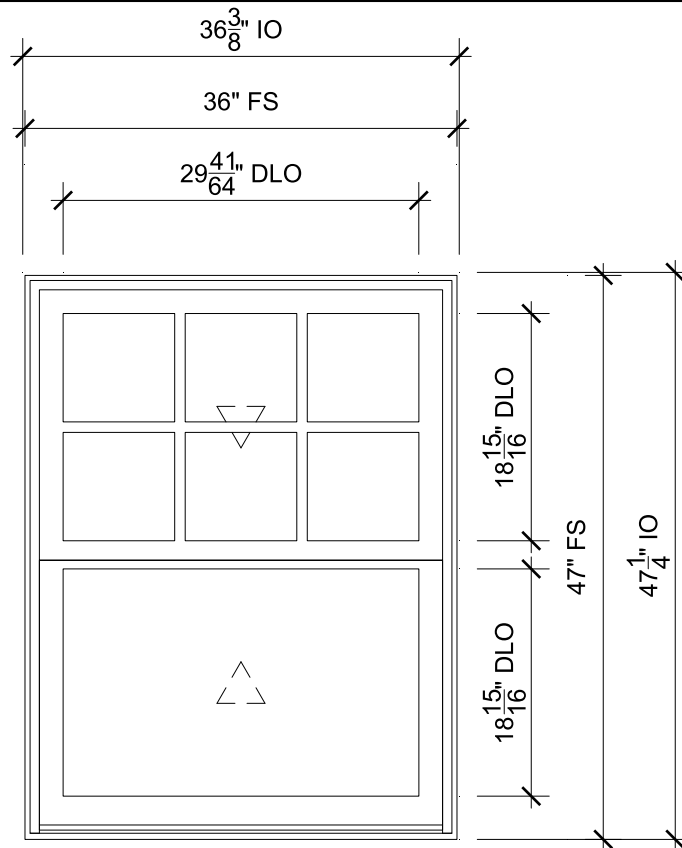
PROJ/JOB: Tontisakis / Tontisakis
DIST/DEALER: ALCO PRODUCTS COMPANY INC-CIR
DRAWN: HOWIE KREISMAN
QUOTE#: R3U8P2S PK VER: 0004.16.01

CREATED: 08/13/2025 REVISION:

SHEET

1

OF 19



KITCHEN

SCALE: 3/4" = 1'-0"



Head



Jamb



Sill



Divided Lite



Check Rail

SPECIFICATIONS

Line #: 2

Qty: 1

Mark Unit: Kitchen

Product Line: Elevate

Unit Description: Double Hung Insert

Frame Size: 36" X 47"

Exterior Finish: Stone White

Species: None

Interior Finish: White

Glass Information: IG, Low E2 w/Argon, Stainless

Divider Type: 7/8" Rectangular SDL W/ Spacer - Stainless, None

Hardware Type: Sash Lock

Screen Type: Aluminum Screen

Hardware Color: White

Screen Surround Color: Stone White

Screen Mesh Type: Bright View Mesh

Jamb Depth: 3 1/4



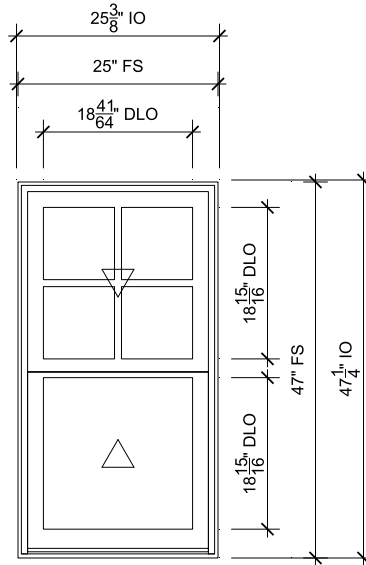
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CREATED: 08/13/2025 REVISION:

SHEET

2

OF 19



DINING ROOM

SCALE: 1/2" = 1'-0"

- 1
17 Head
- 2
17 Jamb
- 3
17 Sill
- 4
17 Divided Lite
- 1
18 Check Rail

SPECIFICATIONS

Line #: 3
 Qty: 3
 Mark Unit: Dining Room
 Product Line: Elevate
 Unit Description: Double Hung Insert
 Frame Size: 25" X 47"
 Exterior Finish: Stone White
 Species: None
 Interior Finish: White
 Glass Information: IG, Low E2 w/Argon, Stainless
 Divider Type: 7/8" Rectangular SDL W/ Spacer - Stainless, None
 Hardware Type: Sash Lock
 Screen Type: Aluminum Screen
 Hardware Color: White
 Screen Surround Color: Stone White
 Screen Mesh Type: Bright View Mesh
 Jamb Depth: 3 1/4



PROJ/JOB: Tontisakis / Tontisakis
 DIST/DEALER: ALCO PRODUCTS COMPANY INC-CIR
 DRAWN: HOWIE KREISMAN
 QUOTE#: R3U8P2S

PK VER: 0004.16.01

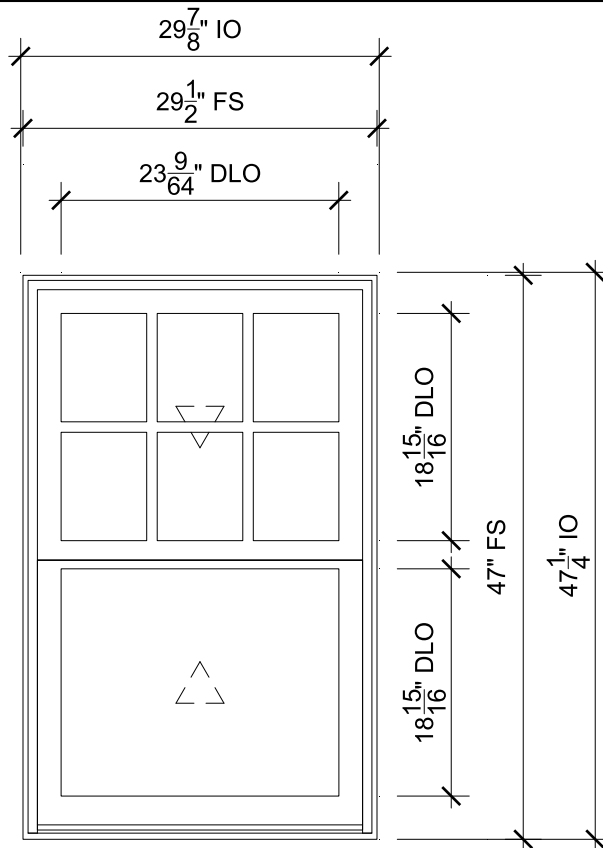
CREATED: 08/13/2025

REVISION:

SHEET

3

OF 19



FAMILY ROOM

SCALE: 3/4" = 1'-0"



Head



Jamb



Sill



Divided Lite



Check Rail

SPECIFICATIONS

Line #: 4

Qty: 3

Mark Unit: Family Room

Product Line: Elevate

Unit Description: Double Hung Insert

Frame Size: 29 1/2" X 47"

Exterior Finish: Stone White

Species: None

Interior Finish: White

Glass Information: IG, Low E2 w/Argon, Stainless

Divider Type: 7/8" Rectangular SDL W/ Spacer - Stainless, None

Hardware Type: Sash Lock

Screen Type: Aluminum Screen

Hardware Color: White

Screen Surround Color: Stone White

Screen Mesh Type: Bright View Mesh

Jamb Depth: 3 1/4



PROJ/JOB: Tontisakis / Tontisakis

DIST/DEALER: ALCO PRODUCTS COMPANY INC-CIR

DRAWN: HOWIE KREISMAN

QUOTE#: R3U8P2S

PK VER: 0004.16.01

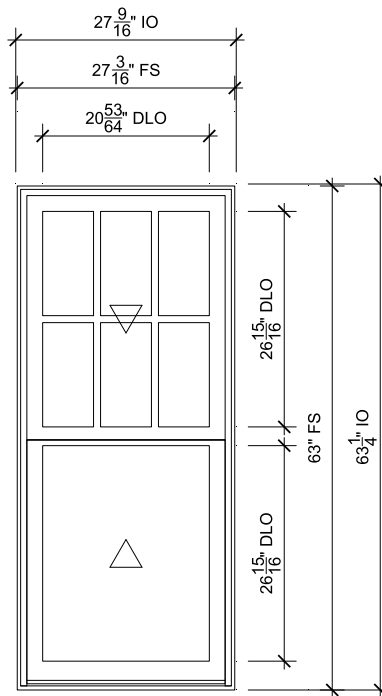
CREATED: 08/13/2025

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




4

OF 19



LIVING ROOM

SCALE: 1/2" = 1'-0"

-  Head
-  Jamb
-  Sill
-  Divided Lite
-  Check Rail

SPECIFICATIONS

Line #: 5

Qty: 2

Mark Unit: Living Room

Product Line: Elevate

Unit Description: Double Hung Insert

Frame Size: 27 3/16" X 63"

Exterior Finish: Stone White

Species: None

Interior Finish: White

Glass Information: IG, Low E2 w/Argon, Stainless

Divider Type: 7/8" Rectangular SDL W/ Spacer - Stainless, None

Hardware Type: Sash Lock

Screen Type: Aluminum Screen

Hardware Color: White

Screen Surround Color: Stone White

Screen Mesh Type: Bright View Mesh

Jamb Depth: 3 1/4"



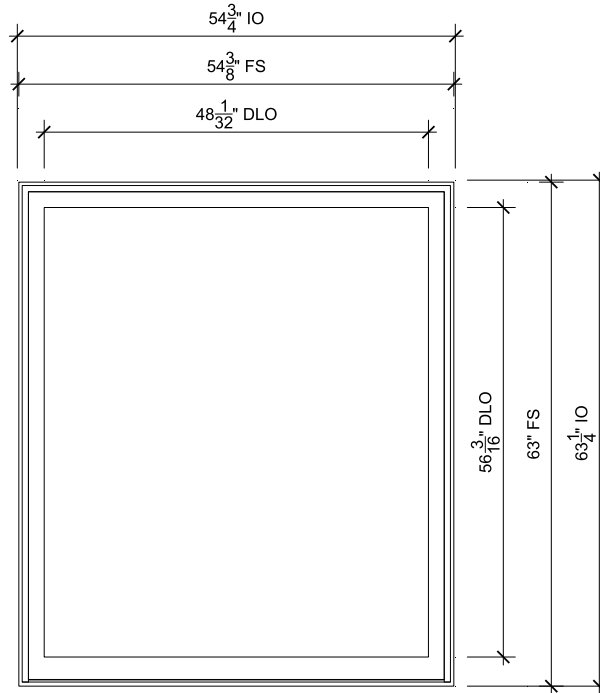
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5

OF 19



LIVING ROOM MIDDLE

SCALE: 1/2" = 1'-0"



Head



Jamb



Sill

SPECIFICATIONS

Line #: 16

Qty: 1

Mark Unit: Living Room Middle

Product Line: Elevate

Unit Description: Double Hung Insert Picture

Frame Size: 54 3/8" X 63"

Exterior Finish: Stone White

Species: None

Interior Finish: White

Glass Information: IG, Low E2 w/Argon, Stainless

Divider Type: None

Hardware Type: None

Screen Type: None

Hardware Color: None

Screen Surround Color: None

Screen Mesh Type: None

Jamb Depth: 3 1/4



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 QUOTE#: R3U8P2S

PK VER: 0004.16.01

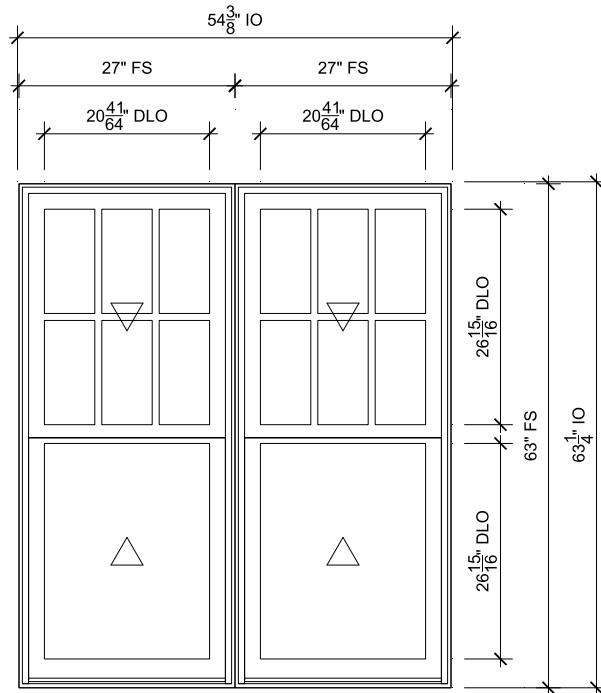
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16

OF 19



FRONT BEDROOM

SCALE: 1/2" = 1'-0"



Head



Jamb



Vertical Mullion



Sill



Divided Lite



Check Rail

SPECIFICATIONS

Line #: 6

Qty: 1

Mark Unit: Front Bedroom

Product Line: Elevate

Unit Description: Elevate Assembly

Frame Size: 54" X 63"

Exterior Finish: Stone White

Species: None

Interior Finish: White

Glass Information: IG, Low E2 w/Argon, Stainless

Divider Type: 7/8" Rectangular SDL W/ Spacer - Stainless, None

Hardware Type: Sash Lock

Screen Type: Aluminum Screen

Hardware Color: White

Screen Surround Color: Stone White

Screen Mesh Type: Bright View Mesh

Jamb Depth: 3 1/4



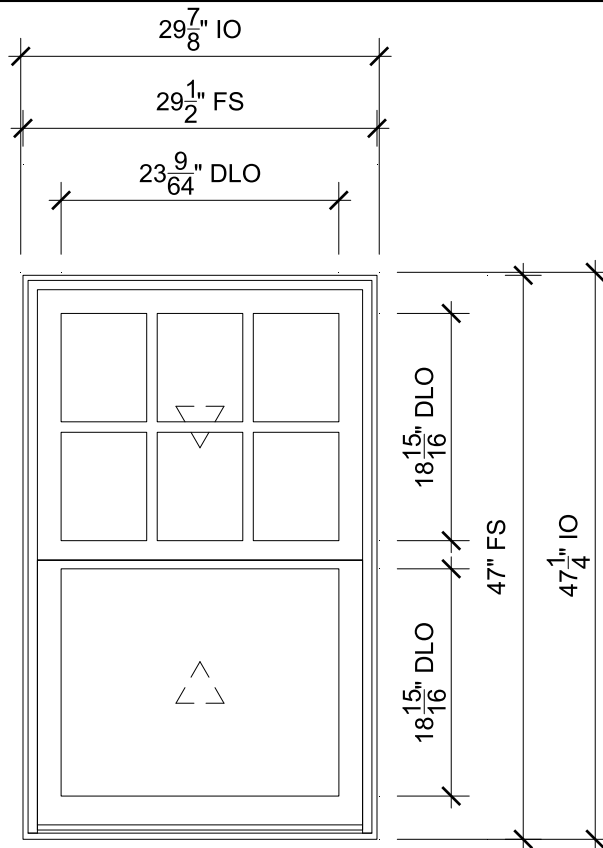
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DIST/DEALER: ALCO PRODUCTS COMPANY INC-CIR
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SHEET

6

OF 19



FRONT BEDROOM

SCALE: 3/4" = 1'-0"



Head



Jamb



Sill



Divided Lite



Check Rail

SPECIFICATIONS

Line #: 7

Qty: 3

Mark Unit: Front Bedroom

Product Line: Elevate

Unit Description: Double Hung Insert

Frame Size: 29 1/2" X 47"

Exterior Finish: Stone White

Species: None

Interior Finish: White

Glass Information: IG, Low E2 w/Argon, Stainless

Divider Type: 7/8" Rectangular SDL W/ Spacer - Stainless, None

Hardware Type: Sash Lock

Screen Type: Aluminum Screen

Hardware Color: White

Screen Surround Color: Stone White

Screen Mesh Type: Bright View Mesh

Jamb Depth: 3 1/4



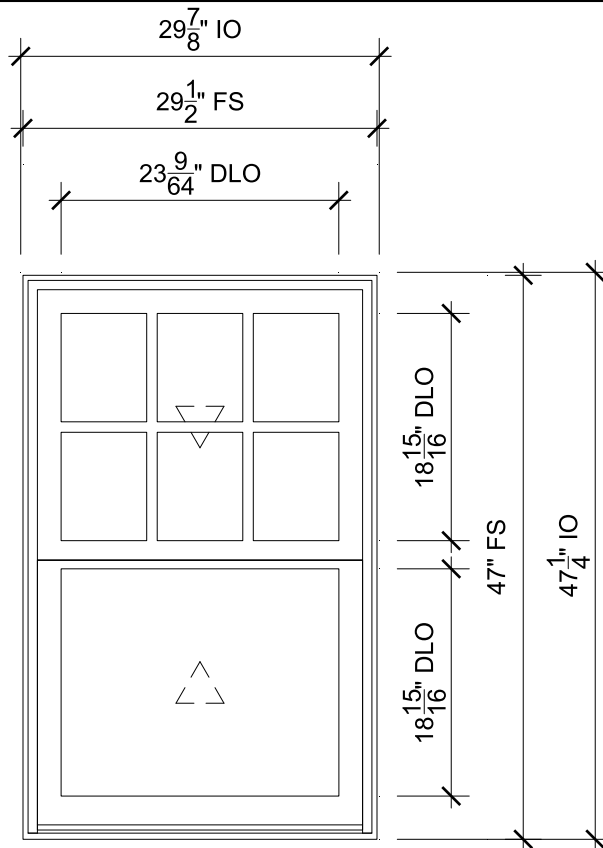
PROJ/JOB: Tontisakis / Tontisakis
DIST/DEALER: ALCO PRODUCTS COMPANY INC-CIR
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OF 19



FRONT BATHROOM

SCALE: 3/4" = 1'-0"



Head



Jamb



Sill



Divided Lite



Check Rail

SPECIFICATIONS

Line #: 8

Qty: 1

Mark Unit: Front Bathroom

Product Line: Elevate

Unit Description: Double Hung Insert

Frame Size: 29 1/2" X 47"

Exterior Finish: Stone White

Species: None

Interior Finish: White

Glass Information: IG, Low E2 w/Argon, Stainless

Divider Type: 7/8" Rectangular SDL W/ Spacer - Stainless, None

Hardware Type: Sash Lock

Screen Type: Aluminum Screen

Hardware Color: White

Screen Surround Color: Stone White

Screen Mesh Type: Bright View Mesh

Jamb Depth: 3 1/4



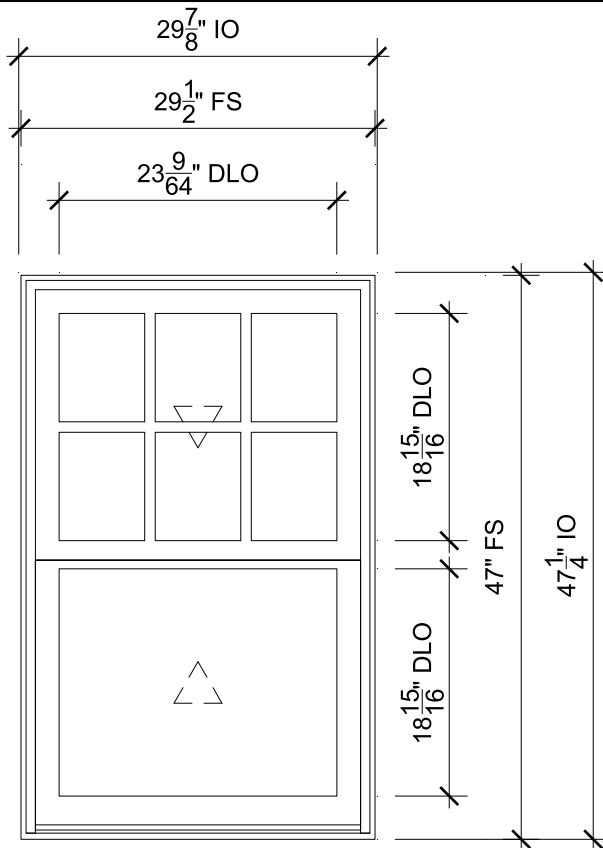
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DIST/DEALER: ALCO PRODUCTS COMPANY INC-CIR
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8

OF 19



BACK BEDROOM

SCALE: 3/4" = 1'-0"



Head



Jamb



Sill



Divided Lite



Check Rail

SPECIFICATIONS

Line #: 9

Qty: 3

Mark Unit: Back Bedroom

Product Line: Elevate

Unit Description: Double Hung Insert

Frame Size: 29 1/2" X 47"

Exterior Finish: Stone White

Species: None

Interior Finish: White

Glass Information: IG, Low E2 w/Argon, Stainless

Divider Type: 7/8" Rectangular SDL W/ Spacer - Stainless, None

Hardware Type: Sash Lock

Screen Type: Aluminum Screen

Hardware Color: White

Screen Surround Color: Stone White

Screen Mesh Type: Bright View Mesh

Jamb Depth: 3 1/4



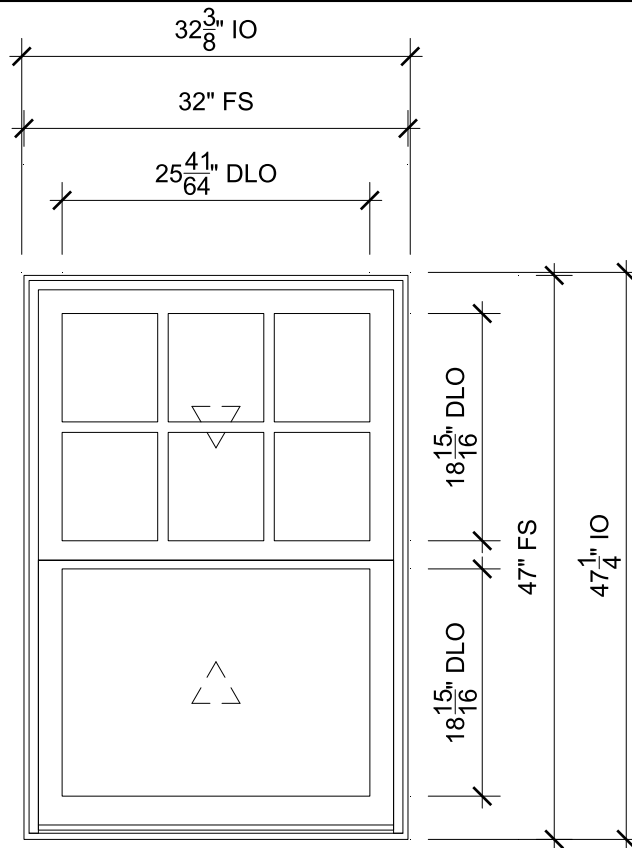
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DIST/DEALER: ALCO PRODUCTS COMPANY INC-CIR
DRAWN: HOWIE KREISMAN
QUOTE#: R3U8P2S PK VER: 0004.16.01

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SHEET

9

OF 19



BACK BEDROOM

SCALE: 3/4" = 1'-0"



Head



Jamb



Sill



Divided Lite



Check Rail

SPECIFICATIONS

Line #: 10

Qty: 2

Mark Unit: Back Bedroom

Product Line: Elevate

Unit Description: Double Hung Insert

Frame Size: 32" X 47"

Exterior Finish: Stone White

Species: None

Interior Finish: White

Glass Information: IG, Low E2 w/Argon, Stainless

Divider Type: 7/8" Rectangular SDL W/ Spacer - Stainless, None

Hardware Type: Sash Lock

Screen Type: Aluminum Screen

Hardware Color: White

Screen Surround Color: Stone White

Screen Mesh Type: Bright View Mesh

Jamb Depth: 3 1/4



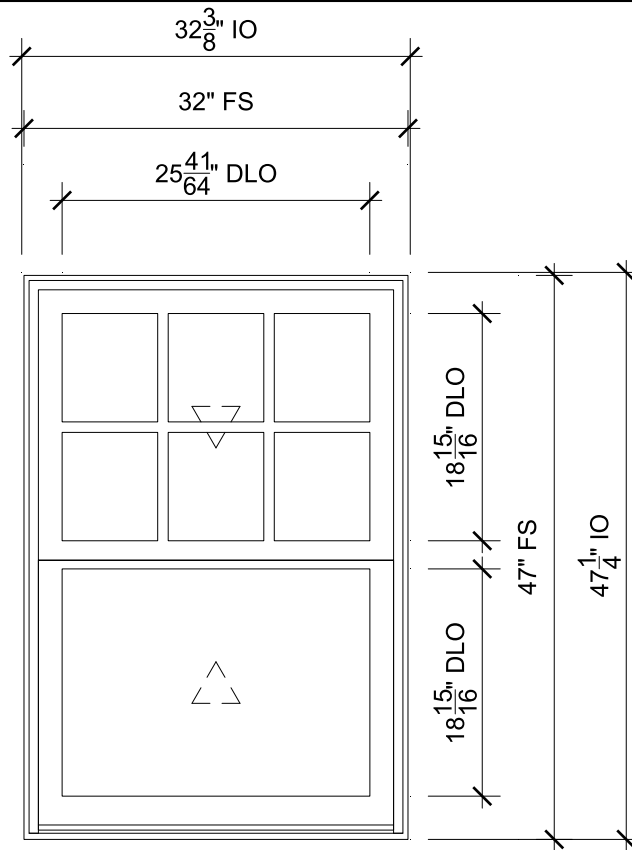
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DRAWN: HOWIE KREISMAN
QUOTE#: R3U8P2S PK VER: 0004.16.01

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OF 19



BACK BATHROOM

SCALE: 3/4" = 1'-0"



Head



Jamb



Sill



Divided Lite



Check Rail

SPECIFICATIONS

Line #: 11

Qty: 1

Mark Unit: Back Bathroom

Product Line: Elevate

Unit Description: Double Hung Insert

Frame Size: 32" X 47"

Exterior Finish: Stone White

Species: None

Interior Finish: White

Glass Information: IG, Low E2 w/Argon, Stainless

Divider Type: 7/8" Rectangular SDL W/ Spacer - Stainless, None

Hardware Type: Sash Lock

Screen Type: Aluminum Screen

Hardware Color: White

Screen Surround Color: Stone White

Screen Mesh Type: Bright View Mesh

Jamb Depth: 3 1/4



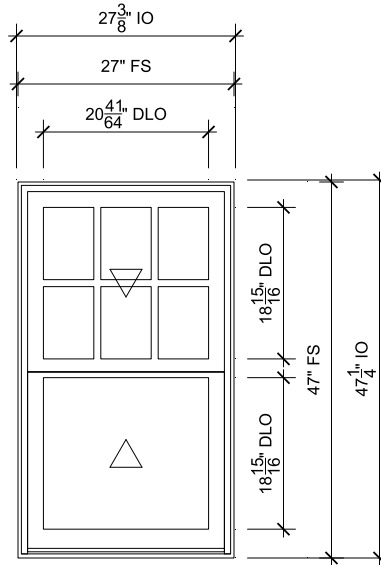
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DRAWN: HOWIE KREISMAN
QUOTE#: R3U8P2S PK VER: 0004.16.01

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OF 19



BACK BEDROOM

SCALE: 1/2" = 1'-0"

- 1
17 Head
- 2
17 Jamb
- 3
17 Sill
- 4
17 Divided Lite
- 1
18 Check Rail

SPECIFICATIONS

Line #: 12

Qty: 2

Mark Unit: Back Bedroom

Product Line: Elevate

Unit Description: Double Hung Insert

Frame Size: 27" X 47"

Exterior Finish: Stone White

Species: None

Interior Finish: White

Glass Information: IG, Low E2 w/Argon, Stainless

Divider Type: 7/8" Rectangular SDL W/ Spacer - Stainless, None

Hardware Type: Sash Lock

Screen Type: Aluminum Screen

Hardware Color: White

Screen Surround Color: Stone White

Screen Mesh Type: Bright View Mesh

Jamb Depth: 3 1/4



PROJ/JOB: Tontisakis / Tontisakis
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 DRAWN: HOWIE KREISMAN
 QUOTE#: R3U8P2S

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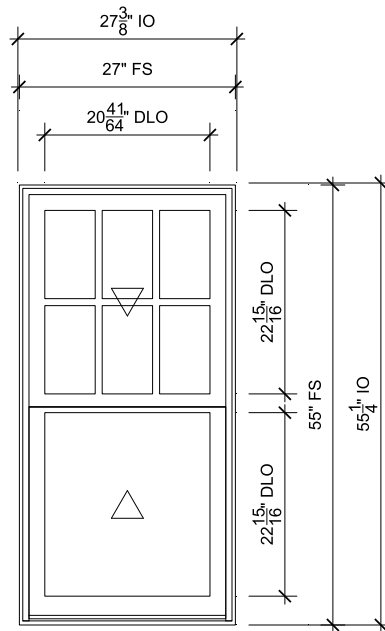
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OF 19



UPSTAIRS FUTURE BATHROOM

SCALE: 1/2" = 1'-0"

- 1
17 Head
- 2
17 Jamb
- 3
17 Sill
- 4
17 Divided Lite
- 2
18 Check Rail

SPECIFICATIONS

Line #: 13
 Qty: 2
 Mark Unit: Upstairs Future Bathroom
 Product Line: Elevate
 Unit Description: Double Hung Insert
 Frame Size: 27" X 55"
 Exterior Finish: Stone White
 Species: None
 Interior Finish: White
 Glass Information: IG, Low E2 w/Argon, Stainless
 Divider Type: 7/8" Rectangular SDL W/ Spacer - Stainless, None
 Hardware Type: Sash Lock
 Screen Type: Aluminum Screen
 Hardware Color: White
 Screen Surround Color: Stone White
 Screen Mesh Type: Bright View Mesh
 Jamb Depth: 3 1/4



PROJ/JOB: Tontisakis / Tontisakis
 DIST/DEALER: ALCO PRODUCTS COMPANY INC-CIR
 DRAWN: HOWIE KREISMAN
 QUOTE#: R3U8P2S

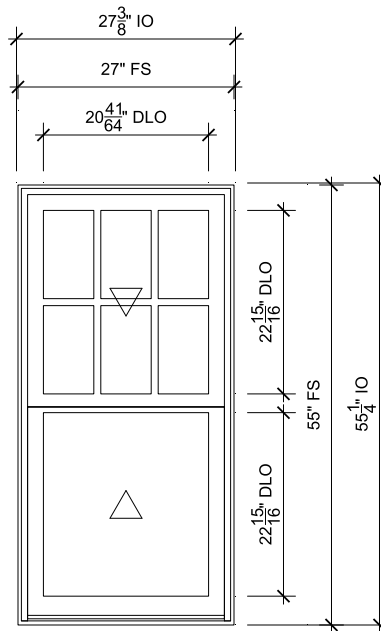
PK VER: 0004.16.01

CREATED: 08/13/2025 REVISION:

SHEET

13

OF 19



STUDY

SCALE: 1/2" = 1'-0"

- 1
17 Head
- 2
17 Jamb
- 3
17 Sill
- 4
17 Divided Lite
- 2
18 Check Rail

SPECIFICATIONS

Line #: 14
 Qty: 2
 Mark Unit: Study
 Product Line: Elevate
 Unit Description: Double Hung Insert
 Frame Size: 27" X 55"
 Exterior Finish: Stone White
 Species: None
 Interior Finish: White
 Glass Information: IG, Low E2 w/Argon, Stainless
 Divider Type: 7/8" Rectangular SDL W/ Spacer - Stainless, None
 Hardware Type: Sash Lock
 Screen Type: Aluminum Screen
 Hardware Color: White
 Screen Surround Color: Stone White
 Screen Mesh Type: Bright View Mesh
 Jamb Depth: 3 1/4



PROJ/JOB: Tontisakis / Tontisakis
 DIST/DEALER: ALCO PRODUCTS COMPANY INC-CIR
 DRAWN: HOWIE KREISMAN
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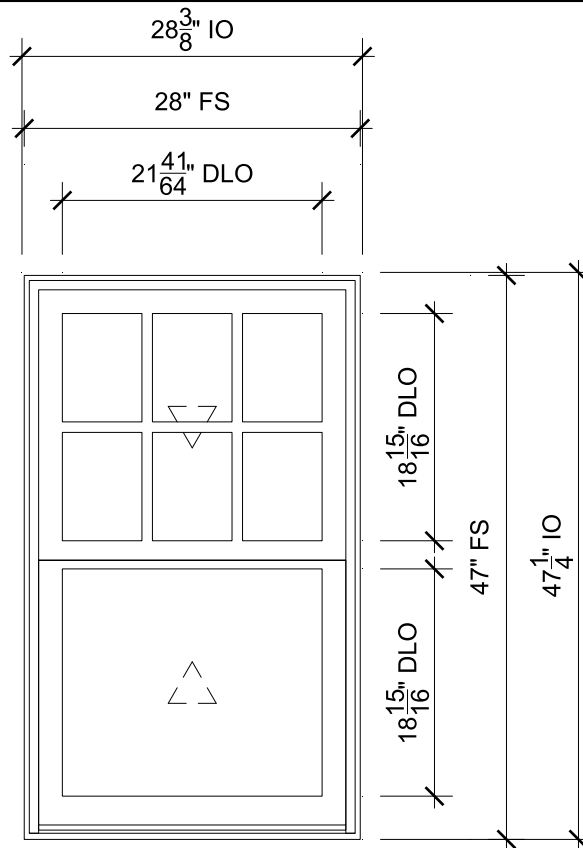
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OF 19



UPSTAIRS FRONT BEDROOM

SCALE: 3/4" = 1'-0"



Head



Jamb



Sill



Divided Lite



Check Rail

SPECIFICATIONS

Line #: 15

Qty: 3

Mark Unit: Upstairs Front Bedroom

Product Line: Elevate

Unit Description: Double Hung Insert

Frame Size: 28" X 47"

Exterior Finish: Stone White

Species: None

Interior Finish: White

Glass Information: IG, Low E2 w/Argon, Stainless

Divider Type: 7/8" Rectangular SDL W/ Spacer - Stainless, None

Hardware Type: Sash Lock

Screen Type: Aluminum Screen

Hardware Color: White

Screen Surround Color: Stone White

Screen Mesh Type: Bright View Mesh

Jamb Depth: 3 1/4



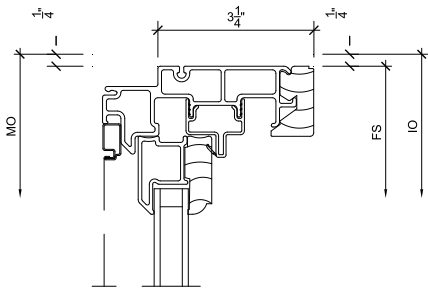
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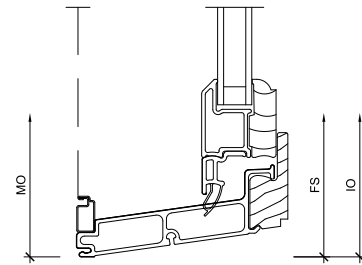
OF 19



1
17

Head

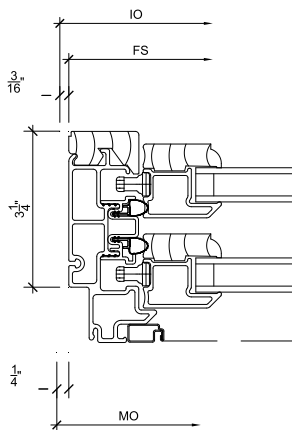
SCALE: 3" = 1'-0"



3
17

Sill

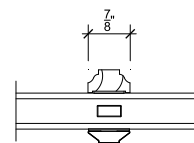
SCALE: 3" = 1'-0"



2
17

Jamb

SCALE: 3" = 1'-0"



4
17

Divided Lite

SCALE: 3" = 1'-0"



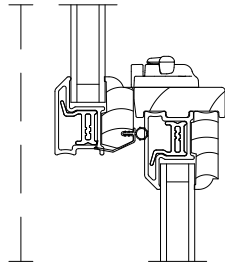
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17

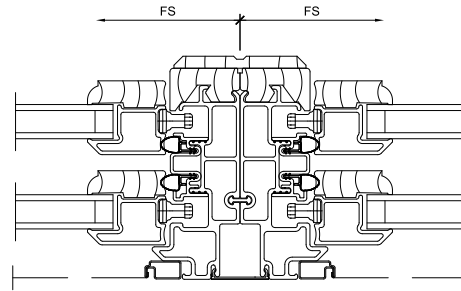
OF 19



1
18

Check Rail

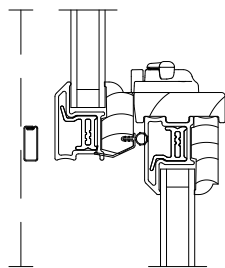
SCALE: 3" = 1'-0"



3
18

Vertical Mullion

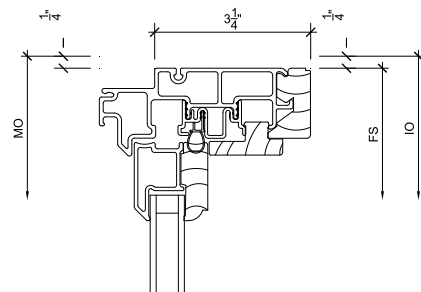
SCALE: 3" = 1'-0"



2
18

Check Rail

SCALE: 3" = 1'-0"



4
18

Head

SCALE: 3" = 1'-0"



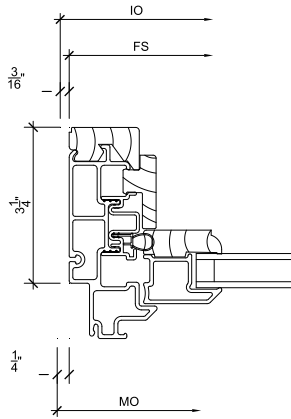
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OF 19



1
19

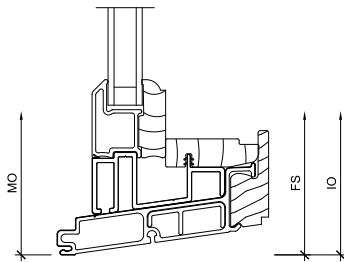
Jamb

SCALE: 3" = 1'-0"

3
19

NOT USED

SCALE: 3" = 1'-0"



2
19

Sill

SCALE: 3" = 1'-0"

4
19

NOT USED

SCALE: 3" = 1'-0"



PROJ/JOB: Tontisakis / Tontisakis
DIST/DEALER: ALCO PRODUCTS COMPANY INC-CIR
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19

OF 19



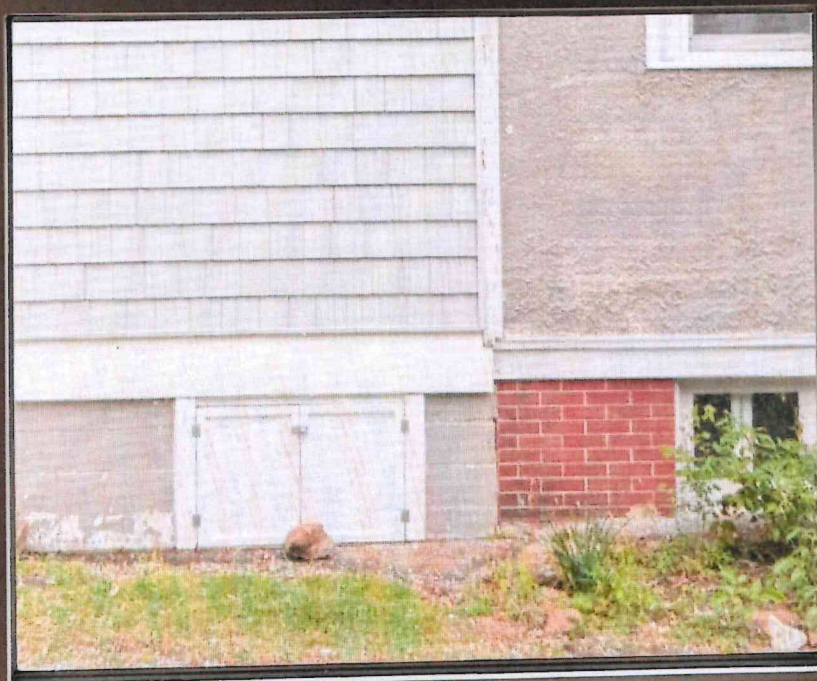
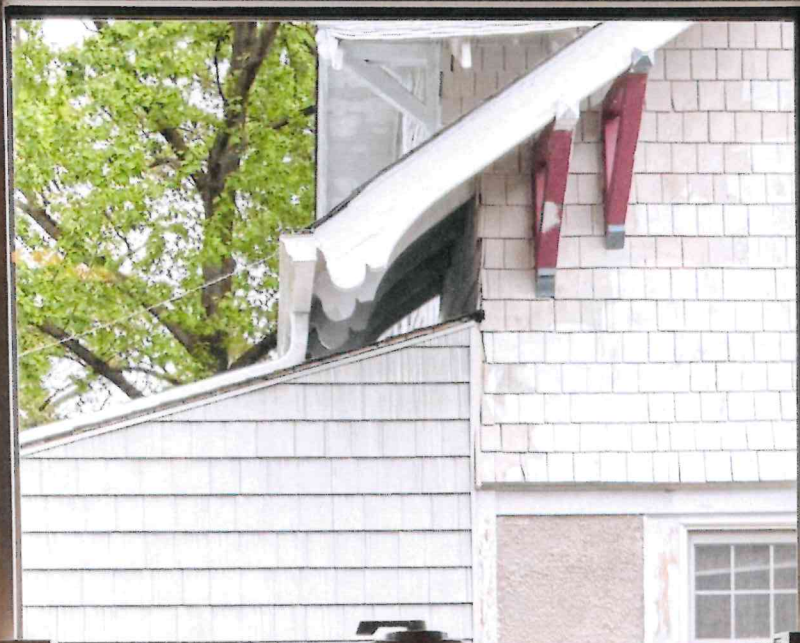


bright MLS









Kitchen



**Basement w6
Insert awning**

A photograph of a basement wall made of light-colored concrete blocks. A window with a white frame is set into the wall, showing a view of a blue sky and some greenery. A red rectangular box is drawn around the window and the text below it. The text is in a bold, yellow, sans-serif font. To the right of the wall, a white door with a glass panel and a brass handle is visible. Two white pipes run horizontally across the top of the wall, one on each side of the window.

**Basement w5
Insert awning
(Ignore red box)**



**Basement w4
Insert awning**



**Basement w3
Insert awning**



**Basement w2
Insert awning**

**Basement W1
Insert awning**

Vent moving



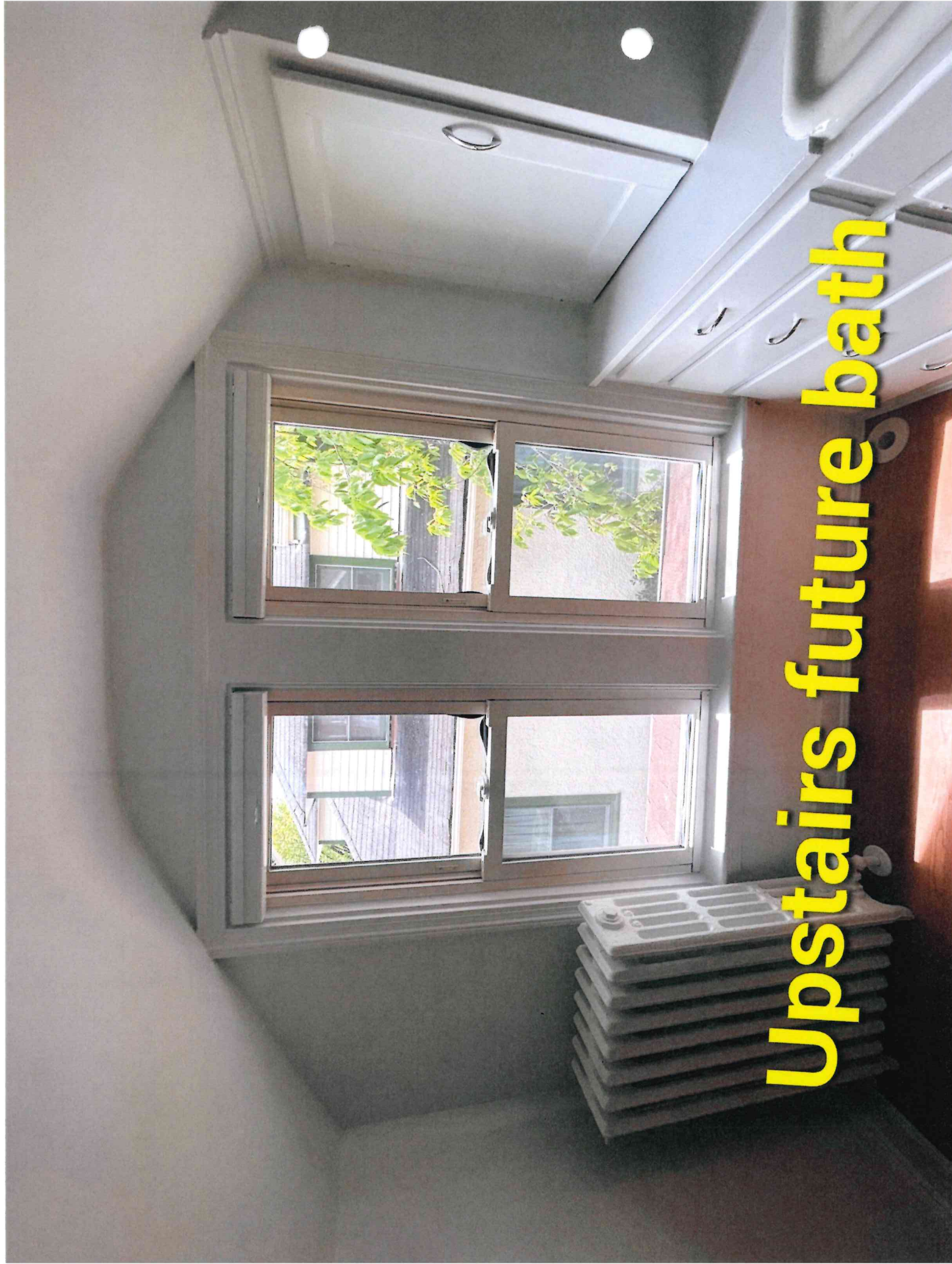
Upstairs front bedroom

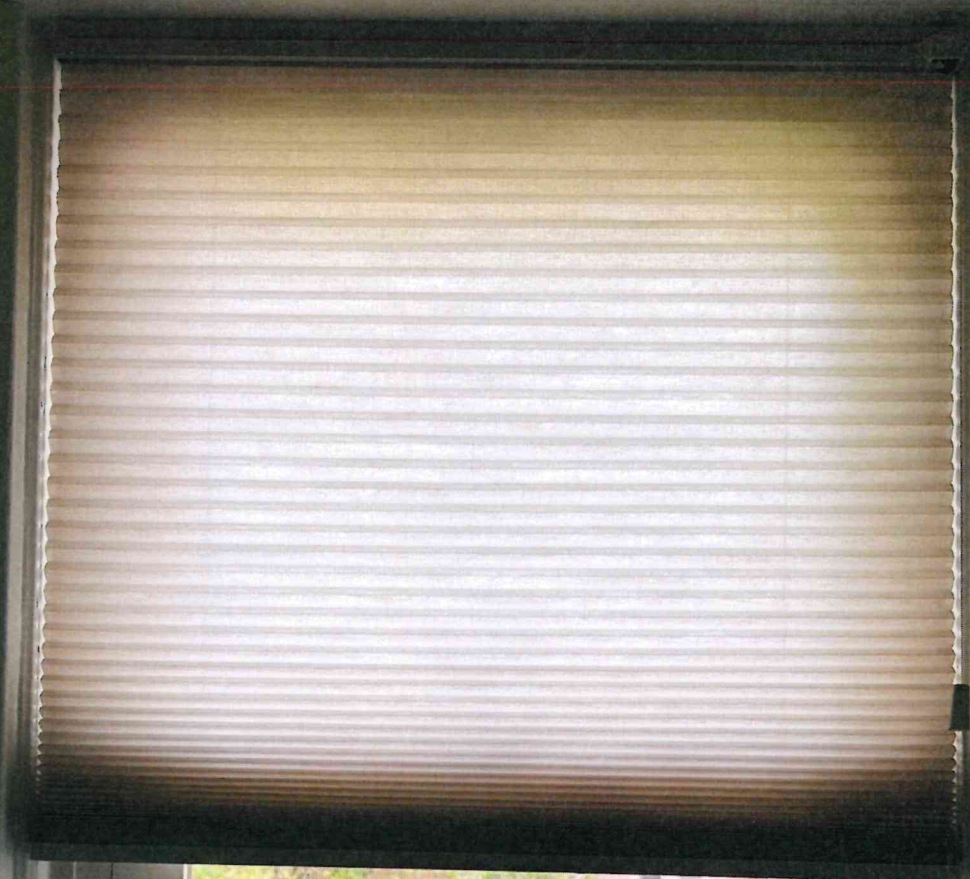


A photograph of an upstairs study. The room is dimly lit, with light coming from a window with white horizontal blinds. The blinds are partially open, showing a view of a red brick building outside. Below the window is a dark-colored radiator. The walls are dark, and there are two small circular lights on the ceiling. The text "Upstairs study" is overlaid in yellow at the bottom.

Upstairs study

Upstairs future bath





Back bathroom

A photograph of a bedroom interior. On the left, a white door is partially open, showing a black handle and a lock. The wall is a light beige color. Three white-framed, double-hung windows are set into the wall, each with a light-colored blind. The windows look out onto a garden with green bushes and a white building. The floor is made of dark-stained wooden planks. The text "Back bedroom" is written in large, bold, yellow letters across the lower part of the image.

Back bedroom

A photograph of a window in a bathroom. The window is white-framed and has two panes. The top pane shows a view of a house with a light-colored stucco exterior and green shutters. The bottom pane shows a view of a garden with a large green bush and a metal railing. The bathroom walls are covered in reddish-brown tiles. The text "Front bathroom" is overlaid in yellow at the bottom of the image.

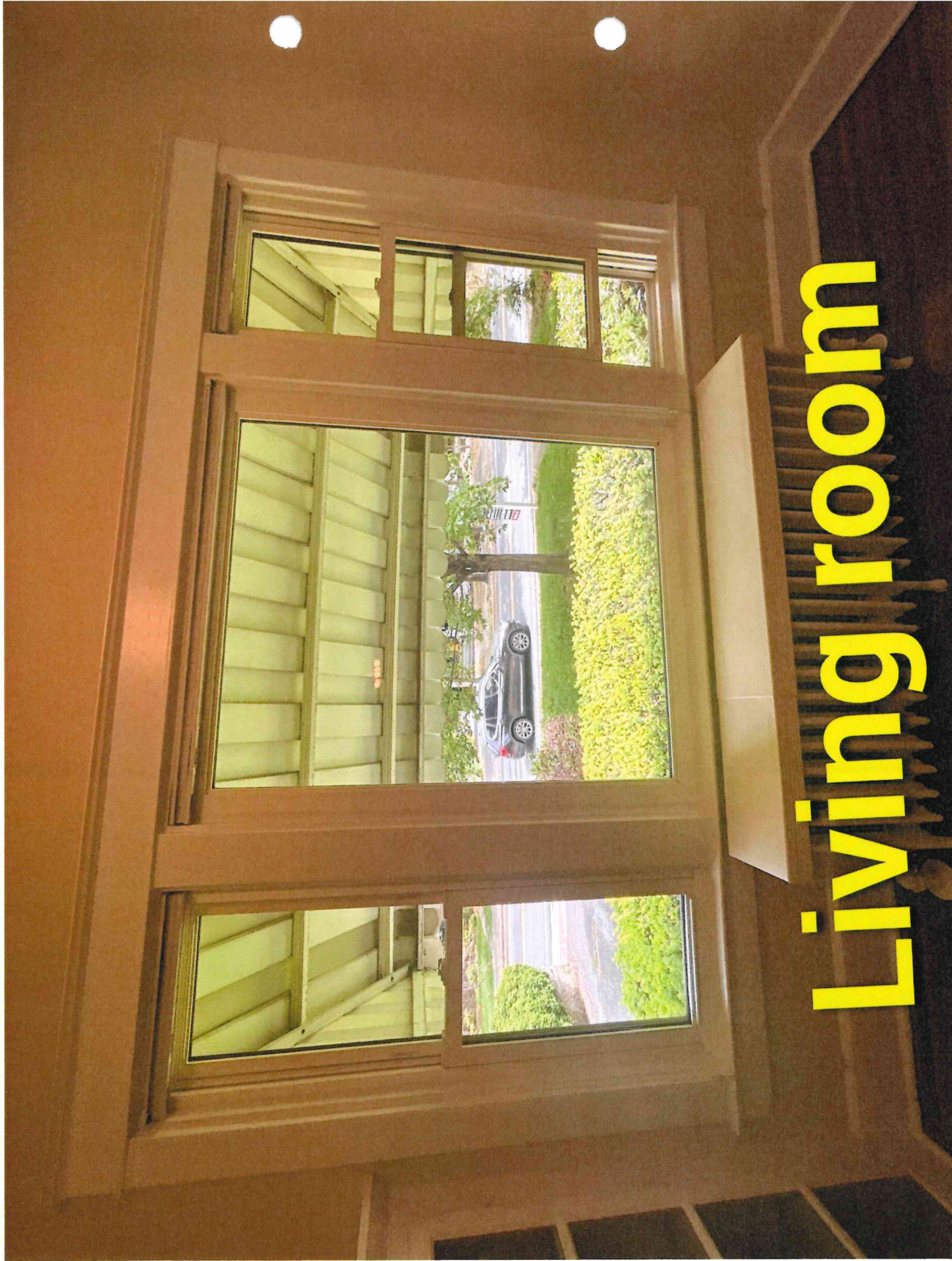
Front bathroom

Front bedroom

Fixed



Living room



Family room



Dining room



Kitchen





DEPARTMENT OF PERMITTING SERVICES

Marc Elrich
County Executive

Rabbiah Sabbakhan
Director

HISTORIC AREA WORK PERMIT APPLICATION

Application Date: 5/5/2025

Application No: 1115772
AP Type: HISTORIC
Customer No: 1461541

Affidavit Acknowledgement

The Contractor is the Primary applicant authorized by the property owner
This application does not violate any covenants and deed restrictions

Primary Applicant Information

Address 7130 CARROLL AVE
TAKOMA PARK, MD 20912
Othercontact Alco Products Company (Primary)

Historic Area Work Permit Details

Work Type RESREP
Scope of Work Replacing existing windows with casements. Replace existing storm door.