

**MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION**  
**STAFF REPORT**

<b>Address:</b>	11650 Snowden Farm Pkwy., Germantown Formerly 22022 Ridge Rd.	<b>Meeting Date:</b>	9/3/2025
<b>Resource:</b>	Master Plan Site #13/19 <i>Howes Farm</i>	<b>Report Date:</b>	8/27/2025
<b>Applicant:</b>	NECC	<b>Public Notice:</b>	8/20/2025
<b>Review:</b>	HAWP	<b>Tax Credit:</b>	n/a
<b>Permit Number:</b>	1109684	<b>Staff:</b>	Dan Bruechert
<b>Proposal:</b>	Demolition and reconstruction of barn/accessory building		

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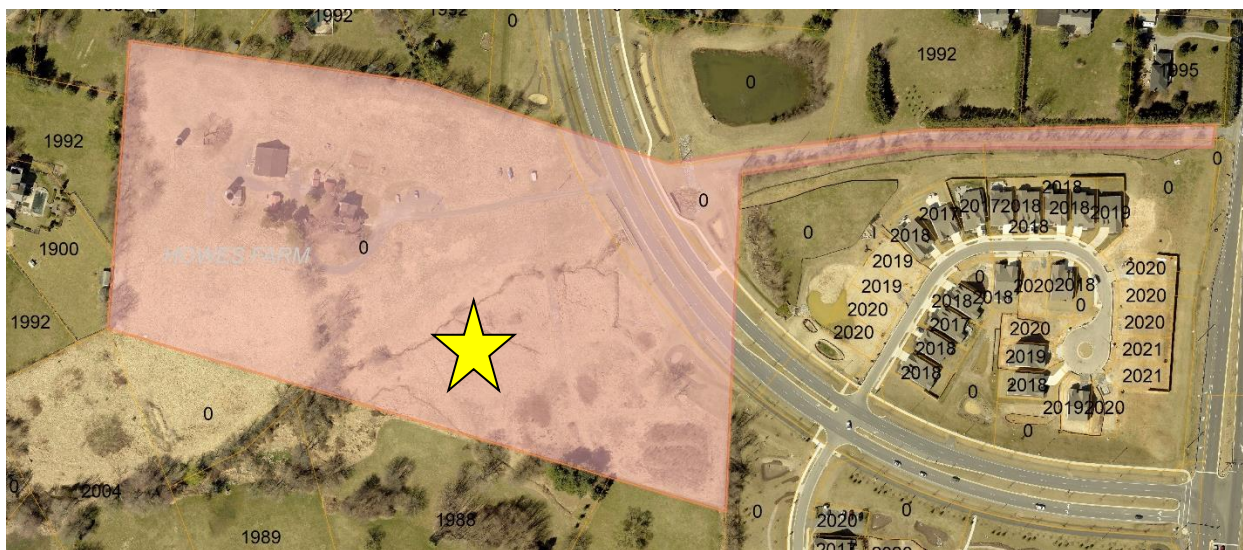
**STAFF RECOMMENDATION**

Staff recommends the HPC **approve with three (3) conditions** the HAWP application with final approval authority for all details delegated to Staff.

1. Materials to be salvaged must be labeled, recorded, and inspected by Staff on-site; and detailed information about their intermediate storage must be submitted to Staff prior to the issuance of the HAWP.
2. A report documenting the storage and condition of the salvaged materials, any dangers to the long-term material preservation, and the reuse of these materials needs to be submitted to the HPC annually upon approval of the HAWP.
3. The proposed permeable paved walkways to be constructed using permeable concrete, tinted to mimic the appearance of the existing gravel, or permeable pavers in a color consistent with the gravel on site.

**ARCHITECTURAL DESCRIPTION**

**SIGNIFICANCE:** Master Plan Site #13/19 (*Howes Farm*)  
**STYLE:** Gothic Revival  
**DATE:** c.1884 and 1920-30s



*Figure 1: Designated Master Plan Site - Howes Farm.*

*From Places from the Past:*

“The Howes House retains its late 19th-early 20th century appearance and setting, and the farm includes many of its original outbuildings. Between 1884-1892, Eliza and James Robert Howes built the ell-shaped, frame house. The traditional main block is one-room deep with a center cross gable and center-hall plan. Dominating the hallway is a striking curved wooden staircase, which Howes ordered from Philadelphia. Rough timbers for the house were sawn from trees on the farm. One of nine children of Eliza and James, Joseph G. Howes acquired the farm in 1917 and made several improvements over the next decade. In the early 1920s, Joseph enlarged the house with a wraparound porch. He installed indoor plumbing in 1919 and electricity in 1928 and covered the house in pebble-dash stucco. The farmstead has several notable outbuildings: a double corncrib with attached machine shed, concrete block milk house, pump house, combined smokehouse/workers house, 2 silos and feed room, and water tank house. A bank barn (late 1800s) and dairy barn (1930s) were destroyed by fire. The property remained in the Howes family until the early 1970s.”

*Master Plan for Historic Preservation Amendment – 13/19 Howes Farm – July 1994*

The Howes Farm meets the following criteria for Master Plan Designation: 1A, as an excellent example of a late 19<sup>th</sup>-early 20<sup>th</sup>-century family farm in the Clarksburg area; 1D, exemplifying the cultural, economic, and social heritage of agriculture and dairy farming in Montgomery County; 2A, embodying the distinct characteristics of a high-style Gothic Revival farmhouse with metal roof, narrow 2-over-2 shuttered windows, second-story bay window, and 20<sup>th</sup>-century rear wing, stuccoed siding, and wrap-around porch; and 2E, as an established and familiar feature in the community once dominated by family farms.

The Howes Farm was built in 1884 by James Robert Howes, who purchased the land from Sara D. Sellman. In the 1920s, the house was enlarged and stuccoed by their son, Joseph G. Howes, adding the wrap-around porch, modern utilities, and changing the drive from Brink Road to Ridge Road. The house retains its late 19<sup>th</sup> century integrity and many fine details, including the curved mahogany staircase ordered from Philadelphia.

The Howes Farm was formerly referred to in the Locational Atlas as the Elizabeth Waters Farm. However, research has not shown any connection of this property to the Waters family who lived nearby. The Howes family, long-time Clarksburg residents, were active members of the County Dairy Association, farming the 124-acre farm for over 90 years over three generations.

Several outbuildings remain from the period, including a hen house, a double corn crib and machine storage shed, a rusticated concrete block dairy building, pump house, meat house/handyman

shelter, silo, and feed room. A dairy barn (1930) and bank barn (1880s) burned in the late 1970s. The environmental setting is the entire 16.75 -acre parcel, including the outbuildings and long drive from Ridge Road.

## **BACKGROUND**

At the June 24, 2024 HPC meeting, the HPC held a Preliminary Consultation on the proposal to demolish the existing barn, salvaging some of the material, and constructing a new building that largely matches the appearance of the existing barn in its place. The HPC generally found the proposal to be appropriate, but at least one commissioner expressed reservations about how much material from the existing barn would be retained.<sup>1</sup>

On July 9, 2025, the applicant returned for a second Preliminary Consultation to discuss the changes to the proposal and seek additional feedback from the HPC.<sup>2</sup> The HPC continued to support the proposal and requested additional information regarding how the applicant was prepared to document the materials that could be salvaged from the existing barn, the doors, and windows. Commissioners were divided on the need to have the new building recreate the asymmetrical roof form of the existing barn. The Preliminary Consultation report is appended at the end of the application materials.

## **PROPOSAL**

The applicant proposes to demolish the existing barn and construct a new building in its place.

## **APPLICABLE GUIDELINES**

Proposed alterations to individual Master Plan Sites are reviewed under Montgomery County Code Chapter 24A (Chapter 24A) and the *Secretary of the Interior's Standards for Rehabilitation*.

Rehabilitation is defined as the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values.

### ***Montgomery County Code; Chapter 24A-8***

- (a) The commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate, inconsistent with or detrimental to the preservation, enhancement or ultimate protection of the historic site or historic resource within an historic district, and to the purposes of this chapter.
- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to ensure conformity with the purposes and requirements of this chapter, if it finds that:
  - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
  - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic

<sup>1</sup> The recording of the June 2024 Preliminary Consultation is available here:  
[https://mncppc.granicus.com/MediaPlayer.php?publish\\_id=711db033-34b6-11ef-81ef-005056a89546](https://mncppc.granicus.com/MediaPlayer.php?publish_id=711db033-34b6-11ef-81ef-005056a89546).

<sup>2</sup> The recording of the July 9, 2025 Preliminary Consultation is available here:  
[https://mncppc.granicus.com/player/clip/3223?publish\\_id=9434971d-5d93-11f0-b7f5-005056a89546&redirect=true](https://mncppc.granicus.com/player/clip/3223?publish_id=9434971d-5d93-11f0-b7f5-005056a89546&redirect=true).  
 The hearing on this item begins at approximately 21:30.

- resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
- (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
  - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
  - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
  - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.

***Secretary of the Interior's Standards for Rehabilitation:***

- 2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
- 5. Distinctive materials, features, finishes and construction techniques or examples of craftsmanship that characterize a property will be preserved.
- 6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
- 9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
- 10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

**STAFF DISCUSSION**

Between 1884 and 1892 Eliza and James Robert Howes built the L-shaped house. Eliza and James' son, Joseph G. Howes, modified the house in the 1910s including constructing the wrap-around porch and adding the stucco finish to the exterior. The house retains its appearance from this period of modification. Other agricultural buildings were constructed as they were needed to meet the family farm's needs including a large double corn crib barn, the building that is the subject of this HAWP.

The subject corn crib barn appears to have been constructed over three phases. The central portion was constructed first, with the west addition coming second, and the eastern portion third. The evolution of the barn is evident in both the roofing material and the roof slopes, and there is a larger break in the roof slope to the east. The existing barn is in poor shape and the applicants propose to demolish it and construct a new building that matches the barn's general exterior appearance. The applicant has revised the roof plan and removed the vestibule from the scope of work. Aside from those changes, the proposal is consistent with the proposal reviewed by the HPC in June of 2024 and on July 9, 2025.





*Figure 2: Front elevation of the subject barn.*

The HPC found that the existing barn suffered from significant material degradation, a result of years (possibly decades) of deferred maintenance, and commissioners unanimously supported the proposal to demolish the barn under 24A-8(b)(4) and (6) and to retain as much of the material as possible. Materials submitted with the Preliminary Consultation indicated their contractor estimated 30% (another portion of the application indicates approximately 40-50% of the material will be retained) of the existing materials could be salvaged including:

- 3- 6 3/4"x7 3/4" x 10' post
- 3- 5 1/2"x5 1/2"x 6' post
- 24- 5 3/4"x53/4" x 10' post
- 20- 3 3/4"x 5 3/4" posts
- 30- 1 3/4"x 5 1/2"x 14' studs
- 30- 1 3/4"x5 1/2"x 10' studs.



*Figure 3: The existing barn (marked with a star) is located to the northwest of the historic farmhouse.*

## Documentation

At the July 9, 2025 Preliminary Consultation, the commissioners stated they were satisfied with the level of documentation presented showing the physical condition of the building. Based on that information, commissioners unanimously voiced their support for demolishing the existing building. Commissioners questioned how much material would be retained and how it would be documented.

Application materials submitted for this HAWP include a proposed inventory database recording the material, its origin, dimensions, linear feet, percentage reused, and the location of reuse. Additionally, the applicant proposes to submit an annual report on the use of these materials.

Staff finds proposal by the applicant appears to be appropriate, however, the full extent of materials to be retained is just an estimate. Staff recommends the HPC add a condition to the approval of the building demolition that Staff must field verify the identified materials to be salvaged before work begins. Building materials to be retained must be labeled and recorded in the proposed database. The applicant can work with Staff to arrange the site inspection. Additionally, information about the storage of these materials must be submitted to Staff for review and final approval.

Staff finds submitting an annual report on the material condition is similar to what the HPC required for the partial demolition and rehabilitation at the Spencer-Carr House (#15/55).<sup>3</sup> As a condition for approval of this HAWP, Staff recommends the HPC require an annual report be submitted to the HPC documenting the storage and condition of the salvaged materials, any dangers to the long-term preservation of the materials, and how any of the materials have been reused. This report must include photographs and any other illustrations necessary to adequately document the materials and their condition.

With the proposed documentation and conditions identified by Staff, Staff recommends the HPC approve the demolition of the corn crib barn under 24A-8(b)(4) and (6).

## New Construction

The applicant proposes to construct a replacement building in the location of the existing barn for use as a gathering and event space. The proposed building matches the existing barn's form and fenestration. The proposed building will be approximately 1' (one foot) wider and deeper than the existing building. Staff finds the larger footprint is a nominal change that will not have a negative impact on the character of the proposed new construction. Additionally, the height of the building has been increased by 2' (two feet) over the historic ridge height. The increase in the proposed height allows the applicant to mirror the slope of the roof so that it now matches the slope of the existing roof. As discussed at the Preliminary Consultation, the ceiling height on the west (right) side of the new building would be too low to satisfy code. Several commissioners found that the roof form was a character defining feature and recommended raising the ridge height so that the slope could be retained, which is the exact course of action proposed. Staff finds the roof form change is consistent with the feedback from the HPC at the Preliminary Consultation and is appropriate under 24A-8(b)(2) and *Standard #2*.

Materials for the new building include siding and doors and windows that match the appearance and materials of the existing. Detailed section and elevation drawings were included in the submission as requested by the HPC at the Preliminary Consultation. The proposed windows will be true divided light windows that will be custom manufactured to match the dimensions of the existing. The openings on the north elevation will have casement windows manufactured to match the existing openings. Staff finds the

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<sup>3</sup> The Staff Report for the demolition at the Spencer-Carr House is available here: <https://montgomeryplanning.org/wp-content/uploads/2018/11/I.K-2420-Spencerville-Rd.-Demo-Staff-Report.pdf>.



proposed doors and windows are compatible with the character of the existing and that the general fenestration pattern matches the existing. Staff finds the siding, windows and doors are appropriate under 24A-8(b)(2) and *Standard #2*.

As discussed in the July 9, 2025 Staff Report, the applicants roof has 19 ½" (nineteen-and-a-half inch) wide panels with 1 ½" (one-and-a-half inch) tall seams. The ridge cap sits less than ¼" (one-quarter inch) above the seams. Staff finds the roof is compatible roofing material that is consistent with the agricultural character of the building and would recommends its approval under 24A-8(b)(2) and *Standards #2* and 9.

The applicant indicated that no more than 9" (nine inches) of the concrete foundation would be visible and only minor grading will occur to create a positive slope around the building for water drainage before the installation of French drains at a future date. Staff finds this amount of exposed foundation will not detract from the character of the proposed building and recommends the HPC approve the foundation under 24A-(b)(2) and *Standards #2* and 9.

In front of the building's south elevation, running the full width of the building, the applicant proposes to install a permeable paved walkway. A smaller, 10' (ten foot wide) walkway will be constructed on the north (rear) of the building. Staff finds these elements are likely necessary to satisfy egress and ADA requirements. No material specification beyond "permeable paved walkway" was included in the application materials. Staff finds the size of the proposed paving will not overwhelm the character of the site, but finds that any paved material needs to have a textured finish in a color that is not bright white contemporary concrete. Staff finds that most permeable concretes would be appropriate (see *Fig. 4*, below), as they come close to mimicking the appearance and texture of the existing gravel. Staff would support other permeable pavers provided they had a textured appearance and were not bright white. Staff recommends the HPC include a condition to the approval of this HAWP that requires the proposed permeable paved walkways to be constructed using permeable concrete, tinted to mimic the appearance of the existing gravel, or permeable pavers in a color consistent with the gravel on site. Final approval authority of the paving can be delegated to Staff for review and approval.



*Figure 4: An example of permeable concrete (above) compared to contemporary concrete.*

The proposed building originally included the construction of a glazed vestibule that would mimic the existing barn recess. That portion of the project has been eliminated from the current proposal.

Based on the HPC's feedback at the two previous Preliminary Consultations and the additional information submitted as part of this HAWP application, Staff recommends the HPC approve the new building under 24A-8(b)(2) *Standards #2 and 9*.

### **STAFF RECOMMENDATION**

Staff recommends that the Commission **approve with three (3) conditions** the HAWP application with final approval authority delegated to Staff.

1. Materials to be salvaged must be labeled, recorded, and inspected by Staff on-site; and detailed information about their intermediate storage must be submitted to Staff prior to the issuance of the HAWP.
2. A report documenting the storage and condition of the salvaged materials, any dangers to the long-term material preservation, and the reuse of these materials needs to be submitted to the HPC annually upon approval of the HAWP.
3. The proposed permeable paved walkways to be constructed using permeable concrete, tinted to mimic the appearance of the existing gravel, or permeable pavers in a color consistent with the gravel on site;

under the Criteria for Issuance in Chapter 24A-8(b)(2), (4), and (6), having found that the proposal will not substantially alter the exterior features of the historic resource and is compatible in character with the purposes of Chapter 24A;

and with the *Secretary of the Interior's Standards for Rehabilitation #2, and #9*;

and with the general condition that the applicant shall present an electronic set of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or [dan.bruechert@montgomeryplanning.org](mailto:dan.bruechert@montgomeryplanning.org) to schedule a follow-up site visit.

# APPLICATION FOR

**FOR STAFF ONLY: HAWP# \_\_\_\_\_**  
**DATE ASSIGNED \_\_\_\_\_**

# HISTORIC AREA WORK PERMIT

**HISTORIC PRESERVATION COMMISSION**  
**301.563.3400**

**APPLICANT:**

Name: Nepal Education and Cultural Center\_(NECC) \_ E-mail: necc.engteam@gmail.com\_\_\_\_\_

Address: 11650 Snowden Farm Pkwy City: Germantown Zip: 20876

Daytime Phone: 240-751-6359 Tax Account No.: 160202898373 & 160202975153

**AGENT/CONTACT (if applicable):**

Name: \_\_\_\_\_ E-mail: \_\_\_\_\_

Address: \_\_\_\_\_ City: \_\_\_\_\_ Zip: \_\_\_\_\_

Daytime Phone: \_\_\_\_\_ Contractor Registration No.: \_\_\_\_\_

**LOCATION OF BUILDING/PREMISE:** MIHP # of Historic Property\_\_22022 Ridge Rd, Germantown, MD 20876\_\_New Address: 11650 Snowden Farm Parkway, Germantown, MD\_\_\_\_\_

Is the Property Located within an Historic District? \_X Yes/District Name\_ Northern County\_\_\_\_\_  
\_No/Individual Site Name\_\_\_\_\_

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: \_\_\_\_\_ Street: \_\_\_\_\_

Town/City: \_\_\_\_\_ Nearest Cross Street: \_\_\_\_\_

Lot: \_\_\_\_\_ Block: \_\_\_\_\_ Subdivision: \_\_\_\_\_ Parcel: \_\_\_\_\_

**TYPE OF WORK PROPOSED:** See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:

Category	Count	Category	Count	Category	Count
New Construction Addition	4	Deck/Porch	2	Solar	1
Demolition	2	Fence	2	Tree	1
Grading/Excavation	2	Hardscape/Landscape	2	removal/planting	1
	1	Roof	2	Window/Door	1
	1		1	Other: __Barn	1
	1		1	Renovation	1

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate, and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

Pramod KC

03/17/2025

Signature of owner or authorized agent

Date \_\_\_\_\_



HAWP APPLICATION: MAILING ADDRESSES FOR NOTHING  
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

<p>Owner's mailing address</p> <p>11650 Snowden Farm Parkway Germantown, MD 20876</p>	<p>Owner's Agent's mailing address</p>
<p>Adjacent and confronting</p>	<p>Property Owners mailing addresses</p>
<p><b>Zhang Zhiyong</b> <b>Xu Jiju</b> <b>20301 Mallet Hill Ct</b> <b>Germantown, MD 20876</b></p> <p><b>MITCHELL RANDOLPH E</b> <b>MITCHELL LATECHIA</b> <b>20300 Mallet Hill Ct</b> <b>Germantown, MD 20876</b></p> <p>23075 Turtle Rock Terrace Clarksburg MD 20871</p> <p>11612 Morning Star Drive Germantown MD 20876</p>	<p><b>LYNAM FRANKLIN PATRICK</b> <b>LYNAM DANIELLE NICHOLE</b> <b>11722 Morning Star Dr</b> <b>Germantown, MD 20876</b></p> <p><b>ATWELL THOMAS M &amp; T</b> <b>R 11804 Morning Star Dr</b> <b>Germantown, MD 20876</b></p> <p>11608 Morning Star Drive Germantown MD 20876</p> <p>11604 Morning Star Drive Germantown MD 20876</p>
<p><b>ST ANGELO JOHN &amp; A</b> <b>11808 Morning Star Dr</b> <b>Germantown, MD 20876</b></p> <p>22030 Ridge Road Germantown MD 20876</p> <p><b>KERIAKOU LINDA M TR</b></p> <p><b>21725 Brink Meadow</b> <b>Ln Germantown, MD</b> <b>20876</b></p> <p>Timothy Mihill 20304 Mallet Hill Court Germantown MD 20876</p>	<p><b>HANCOCK WILLIAM M TR</b> <b>21721 Brink Meadow Ln</b> <b>Germantown, MD 20876</b></p> <p><b>BERTRAND WILLIAM C JR &amp; BRENDA</b> <b>21729 Brink Meadow Ln</b> <b>Germantown, MD 20876</b></p> <p><b>POND AMY TKAC</b> <b>21733 Brink Meadow Ln</b> <b>Germantown, MD 20876</b></p> <p>22021 Ridge Road Germantown MD 20876</p> <p>20250 Century Blvd, Suite 200 Germantown MD 20876</p>

**Description of Property:** Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

The property lies at 11650 Snowden Farm Parkway, Germantown, MD 20876 the area of the property as listed on plat is 16.75 Acres. The property falls in the Historical preservation master plan designated as Howes Farm (Elizabeth Waters Farm), which was built in 1884 by James R. Howes, several other outbuildings like a hen house, a double corn crib and a machine storage shed, a rusticated concrete block dairy building, pump house, meat house, Silo and feed room also remain from the period.

The property is enclosed by tree lines on all three sides and the frontage is connected to Snowden Farm Parkway, the property is mostly vegetated with grass, shrubs, and trees. A stream passes through the east side of the property and part of the property lies on 100-year floodplains.

**Description of Work Proposed:** Please give an overview of the work to be undertaken:

On June 26, 2024, NECC approached HPC for a preliminary consultation to obtain permit for the barn to be renovated/rebuilt. Considering the feedback and concerns from the commission NECC has developed a construction plan to rebuild the barn as it looked originally.

Looking at the scale of renovation work and the funding availability NECC has planned to complete renovation works in two (2) phases. The goal of this renovation is to prevent the barn from further damage; the rehab/repair work will strengthen the foundation and the structure while keeping the exterior facade matching existing. Below are the specifications of the proposed work.

**Demolition:**

- Demolish both side Lean-to additions (14'2" and 15'2") from either side of the existing structure, including walls and components, joists, rafters, roofing metal, wall foundations and concrete slabs; dispose of demo debris.
  - Demolish and dispose of 2, five-foot-wide corn cribs, on either side of the center section.
  - Demolish and dispose of the concrete slab in the center section of the building.
  - Demolish and dispose of the remainder of existing metal roofing.
  - Remove all existing siding, doors, windows, rake boards and fascia, and dispose.
- Footings and foundation:
- Dig and pour 2' x 8" footers 3' below grade around the entire perimeter
  - Lay 3 courses 10" block and 1 course 8" CMU block around the entire perimeter

**Interior Concrete:**

- Pour 4" of 4000 PSI concrete, with concrete wire, on 4" of stone, smooth finish throughout entire building

**Exterior Framing:**

- 2 x 6 walls with treated bottom plates and double top plates
- Install 2 x 4 purlins 2' O.C. to attached siding
- Windows and doors framed like original
- Sheet with OSB plywood and house wrap

**Siding:**

- Install all new 1x6, beaded Eastern White Pine T&G siding; install new rake and fascia boards to resemble originals.

**Roofing:**

- Install all new standing seam roofing metal with all standard trims on the entire building.

**Doors:**

- Install new pine doors made to resemble originals.

- (3) 12' x 7' pine split swinging doors
- (2) 3' x 7' pine swinging doors

**Windows:**

- Install all new Cypress barn sash windows, made to resemble originals.
- (15) 3' x 3' 6 lite windows
- (1) 4' x 3' 9 lite windows
- (1) 2' x 3' pine louver

NECC intends to salvage the existing materials as far as possible and items that are not salvageable will be replaced by in-kind materials. Upon the barn renovation contractor's visual inspection of the existing materials, it is estimated that about 30% of the existing materials can be salvaged. The renovation work will not change the exterior appearance of the barn, however, to bring the barn to the current building code compliance few dimensions like ceiling heights, and roof slope will have minor changes.

**In order to address HPC recommendations on July 9, 2025, we have revised description of work on the last 2 pages of the document.**

Work Item 1: Barn Renovation

Description of Current Condition:

The double corn crib barn currently has structural deficiencies that put the barn into unsafe conditions. The exterior walls on all sides of the barn have decayed structural wood. The roof of the barn has several leaks and sags.

Proposed Work:

NECC is requesting permission to renovate/repair the barn including but not limited to structural strengthening, roof replacement/repair, and flooring repairs.

Work Item 2: \_\_\_\_\_

Description of Current Condition:

Proposed Work:

Work Item 3:

Description of Current Condition:

Proposed Work:

# HISTORIC AREA WORK PERMIT CHECKLIST OF APPLICATION REQUIREMENTS

	Required Attachments						
Proposed Work	I. Written Description	2. Site Plan	3. Plans/ Elevations	4. Material Specifications	5. Photographs	6. Tree Survey	7. Property Owner Addresses
New Construction	*	*	*	*	*	*	*
Additions/ Alterations	*	*	*	*	*	*	*
Demolition	*	*	*		*		*
Deck/Porch	*	*	*	*	*		*
Fence/Wall	*	*	*	*	*	*	*
Driveway/ Parking Area	*	*		*	*	*	*
Grading/Excavation/Landscaping	*	*		*	*	*	*
Tree Removal	*	*		*	*	*	*
Siding/ Roof Changes	*	*	*	*	*		*
Window/ Door Changes	*	*	*	*	*		*
Masonry Repair/ Repoint	*	*	*	*	*		*
Signs	*	*	*	*	*		*



# Responses to HPC Comments/Recommendations during the consultation meeting held July 9, 2025

## HPC Comment 1: Reuse (Salvage) of Historic Materials

NECC: We commit to work with HPC staff during demolition to **document and inventory salvageable materials**. An annual report will be submitted to detail how materials are repurposed.

Example table we plan to use to document and inventory of salvaged materials

Material	Origin	Measurements (dimension)	Quantity (linear foot)	% use	To be reused at which location

## HPC Comment 2: Roof Slope

NECC: We have made revisions to the drawings to match the existing roof slope. Please refer to drawing sheets A2 for demolition drawing, and A4 and A5 for new elevations and cross sections.

## HPC Comment 3: Windows and Doors

NECC: We have verified that the dimensions in the drawing correspond to those of an existing window. Please refer to drawing sheet A6 for detailed window and door dimensions and specifications.

## HPC Comment 4: Vestibule Framing

NECC: The vestibule will not be constructed in this current phase. A future HAWP submission will include detailed specifications once NECC is prepared to begin that portion of the work.

**Dan’s 8/7 email:** The HPC was agreeable to leaving it open for the time being, so you could get to permitting, but if the proposal is to enclose it during initial construction, that detail needs to be in with the application packet.

**NECC Revised reply:** We will not enclose the vestibule during initial construction. We will leave it open as currently is. A future HAWP submission will include detailed specifications once NECC is prepared to begin that portion of the work. We have updated our drawing and removed vestibule enclosure related work. Please see the revised barn drawing.

**Dan’s 8/7 email:** I looked through the last submission for the barn that the HPC heard on July 9th. The first two pages are fine, but I believe the description of work narrative will need to be updated to reflect the changes and additional details.

Based on feedback received on the above **description of work** (page 3 and 4), we are making the following revisions:

## Demolition:

- NECC will verify all existing conditions and dimensions of the barn before demolition to grade.
- NECC will salvage all materials removed and assess the quality to determine reusing the material in construction of the new barn.
- NECC will record the quantity of material reused in new construction as percentage of existing material removed and use data for historic conservation records.
- All safety protocols will be followed during the project period.

**Exterior Framing/Doors/Windows:**

- Doors /windows details are provided with this submittal, refer the sheets A4, A5, and A6 for details.

**Roofing:**

- As per HPC recommendations, roof slopes have been revised to match the existing roof slopes. Refer the sheets A4, A5, and A6 for details.
- Description of proposed roofing materials can be found here: <https://www.abmartin.net/metal-roofing-panels/abseam>.



1. The Contractor shall verify all existing conditions at the site and shall be responsible for same. If there is any variation in the field conditions from these Drawings, the Contractor shall notify the Architect.
2. If the g.c. or homeowner anticipate that any deviations from these Drawings during construction, the Architect must be notified.
3. All Contractors shall have and maintain Contractor's Liability Property Damage Insurance and Workmen's Compensation Insurance. All phases of construction shall comply to local, state and federal safety laws.
4. All Contractors and materials must comply with all applicable local, state and federal codes. All plumbing and heating work shall conform with the local Health Department requirements and with all other applicable codes and ordinances.
5. These specifications are general in form. The Contractor in applying them assumes complete responsibility for their use, substitutions, changes and omissions.
6. The Contractor shall have control or charge of and shall not be responsible for construction means, methods, techniques, sequences or procedures, or for safety precautions and programs in connection with the Work in accordance with the Contract Documents.
7. The Contractor shall supply all materials, fixtures, appliances and labor necessary to complete all work noted on premises and in accordance with the Owner's requirements or as otherwise noted. All new material and labor shall be free from any defects.
8. Remove from premises all rubbish and accumulated materials of whatever nature, except as indicated by Owner. Floors shall be left in a clean, orderly condition acceptable to the Owner and ready for occupancy.
9. All workmanship and materials shall be guaranteed for one year from date of Owner's acceptance unless otherwise noted.
10. All exterior openings shall be properly flashed. Provide complete weather-stripping of jams, head and sill at all exterior openings.
11. The contractor is solely responsible for site safety.

1. Provide all labor, materials and equipment necessary to complete all Excavating, Backfill and Grading Work as indicated on the Drawings and as specified herein. All structural backfill shall be minimum 95% and top 8 inches of the grassy areas shall be compacted not to exceed 85%
2. Excavate to levels shown or as required to reach required bearing soil for all footings, foundations, columns, walls, piers, pits, etc. Care shall be taken not to disturb earth or excavate below depths indicated on the Drawings. Excavation shall extend a sufficient distance from walls and footings to allow for forms, installation of services and for inspection. Protect all excavations from freezing. Stockpiling of excavated soil should be enclosed inside the silt fence. If excavation work is performed during cold weather, the bottom of excavation shall be covered or otherwise kept free of frost until concrete is poured.
3. The Contractor shall provide and operate all pumps, dewatering and other equipment necessary to drain and keep all excavations reasonably free from water.
4. Foundation approval to be dependent upon proper foundation bracing (temporary or attached form framing) After approval of foundations and other work, backfill against same using approved excavated materials, free from rubbish, vegetable matter and other objectionable matter. Backfill with suitable soil in layers not more than 6 in. thick, tamping each layer before installing succeeding layer. Bring backfill to proper elevations to receive work which is to be installed thereon.
5. Remove top soil to its full depth within the area of the "extent of work" and under all proposed walls, drives, etc., and stack carefully in location where directed on site.
6. All outside areas of the building, unless otherwise indicated, within the grading lines shall be graded to elevations below the finish grades shown, to allow for fill and finished materials. All grading must avoid leaving ponds or large collections of water.
7. Provide 1/4" Q.P. under driveway and all paver walkways
8. Soil compaction under all footings and grade beams, spread footing, etc., shall be designed to sustain a soil bearing pressure of 3000 PSF under footing.

1. Provide all labor, material, equipment and services necessary to complete all Concrete and Masonry Work as indicated on the Drawings and as specified herein for wall footings, Concrete FLOOR SLABS and steps, concrete sidewalks and curbs; all forms and reinforcing required, all exterior and interior masonry walls and partitions, all anchor bolts, all ties, reinforcing, and anchors required for securing all masonry work together, gravel base and vapor barrier under concrete slabs, pre-cast concrete slabs where required, pointing and cleaning under all masonry work exposed to view, damp proofing concrete walls below grade, and all other labor and materials as may be reasonably inferred as needed to make the Work under this Section complete.
2. Contractor to remove existing foundation walls that IMPEDED the new footprint for new foundation walls, footings, slabs, etc.
3. Concrete block, load bearing units shall conform to the current edition of the ASTM Specifications for Concrete Units, Designation C-90.
4. Premolded joint fillers used wherever edges of concrete slabs abut a vertical surface shall be rigid non-expanding approved type pre-molded asphalt impregnated fiberboard, 1/2 inch, thick.
5. Masonry wall reinforcement shall be Dur-O-Wall truss designed or approved equal reinforcement. Reinforcing shall be new deformed steel bars conforming to the latest requirements of ASTM A-15. Deformations shall be in accordance with the ASTM A-305. Fabric reinforcement shall be welded wire fabric conforming to the latest edition of the ASTM A-185.
6. Vapor barrier under slabs on grade shall be polyethylene 6 mils or approved equal.
7. Gravel for porous fill shall be clean and well graded.

8. Concrete mix shall be designed to secure a minimum 28-day compressive strength of 3000 psi in all accordance with the procedure set forth by the ASTM. The consistency of the mix shall be that required for the specific placing conditions and methods of placement and ordinarily the slump shall be between 4 in. and 5 in, but in no case more than 5 in. Concrete below ground should be air entrained.
9. Soil under slabs on ground shall be compacted to minimum 95% a firm, unyielding surface. No concrete shall be laid on frozen soil and adequate protection against frost of action shall be placed on earth which has been backfilled or otherwise disturbed on-site during placement of concrete.
10. Concrete footings are required under all masonry walls, under all footings, grade beams, and spread footings, soil compaction shall be adequate enough to support a soil bearing pressure of 3000 psi under footing.
11. Construction joints are to be avoided if possible. However, where required as to the end of the day's pour, construction joints will be allowed. At construction joints, keyways shall be cast in the concrete and where concrete is reinforced, the steel shall extend through the joint.
12. All concrete below grade shall be damp proofed on the exterior face with approved materials

Exterior wall framing:  
All exterior wall framing shall be 2x6 wood studs at 16" o.c. spruce pine fir (north) #2 . contractor shall not cut, notch nor bore into framing member beyond that which is acceptable by normal construction industry practices and applicable local and state building codes.

If not specifically specified on the plans to state otherwise, the exterior window headers to be (2) 2x10 with 1/2" plywood

1. Provide all labor, materials, and equipment necessary to complete all framing and related work required by the Drawings and/or as described in this Section. Rough lumber for framing and rough carpentry shall be Douglas Fir-LARCH NO.2 or approved equal free from loose or large knots, large shakes, excess sap or other defects whereby its strength may be impaired.
2. Plywood sheathing shall be of thickness indicated on Drawings complying with all of the requirements of the American Plywood Association.

The following notes are suggested minimum requirements only due to a variance of codes per region, please refer and comply with all your local codes. Consult with local engineers for all structural requirements:

1. Provide 2"x4" horizontal blocking at mid height of exterior walls only.
2. All joists and rafters shall be aligned over studs below.
3. If g.c. substitutes engineered lumber as specified on drawings, with different manufacturer, then architect shall charge an additional hourly rate to the g.c. or owner for any design work associated with revising the drawings.
4. Framer to install double floor joists under partition wall parallel to joists direction.
5. Provide 1x4 cords bridging at mid span of joist spans over 16'-0".
6. All exterior sheathing at corners and narrow wall areas shall be installed vertically refer to figures 6002.10.7 & 602.10.5, International Residential Code 2021 (IRC 2021), all exterior corners (inside and outside corners) shall be braced with cxd plywood, nailing schedule shall be 8d commons at 6" o.c. at all edges and 8d commons at 12" o.c. at all intermediate studs. (optional) install diagonal corner bracing at both directions at all corners.
7. All columns or solid framing shall extend down to all levels and terminate at the basement floor and be supported by a thickened slab, grade beam, or footing designed to carry load
8. Provide double 2x8 strongback at mid span for ceiling joists w/ span greater than 10'-0"
9. Provide collar ties at upper of: vertical distance between ridge board and ceiling joists as shown on drawings or at 32" o.c., whichever is smaller.
10. Hip, valley, rafters and ridge boards shall be one 2"x size larger than rafters.
11. Roof decking shall be one layer 7/16" osb board as requested by g.c., wall sheathing to by 7/16" Osb board as requested by g.c.
12. When pre engineered floor and roof trusses are used, truss manufacturer must provide shop drawings which bear seal of registered engineer in state of nj.
13. All ceiling joists any other bracing to bear on load bearing walls designed to carry load thru all levels and terminate at basement floor and be supported by thickened slab grade beam or footing designed to carry load.

1. Furnish and install all insulation as specified by the ucc approved prescriptive package label provided by the architect which correlates with the building sections shown on the drawings. The architect shall be responsible for providing the architect's prescriptive prescriptive package label shall govern, and the G.C. is to notify the architect of any conflicting information. All flash & batt or blanket type insulation shall be as manufactured by Owens Corning Corporation or CertainTeed Corporation or approved equal.

2. All insulation shall be cut to fit the building sections. Insulation shall be cut to lengths required for installation. All batts should fit tightly between studs or joists. Insulation shall be fastened with staples, through stapling flanges every 8 in. on both sides. No gaps should be present along studs or joists or between batts. The face of the insulation shall be at least 1/4" from the framing members. Allow for air flow around the insulation.

3. Installation shall be in accordance with manufacturer's recommendations. Required insulation R values as shown on building sections.

1. Roof shall be standing seam metal roof or equal installed as per manuf. specs by a certified commercial roofer.
2. Exposed flashings and counter flashings shall be copper, concealed flashings may be of other suitable corrosion resistant material.
3. Install all roofing material and flashing in strict accordance with manufacturer's specifications. Install roof-to-wall flashings at all intersections. On single roofs sheet metal install flashing in "step" fashion. In masonry walls install counter-flashing embedded in masonry. Flash pipes projecting through roof with one piece sheet metal forming a flange which extends at least 6 in. on all sides.
4. All other sheet metal items and accessories, - gutters, downspouts, shall be designed and installed by the gutter subcontractor

1. Exterior finish to be cast stone veneer, cast stone watertable, cast stone window and door moldings and thin cut real stone veneer. Style and color to be selected by architect and approved by homeowner
2. Thin cut stone veneer with limestone or bluestone watertable cap ( or approved equal) installed in strict accordance with manu. specifications. Color and style needs to be approved by architect. May provide as an alternative, cast-stone water table between stone veneer and siding as shown on elevations provided by owners cornice or approved equal.

1. Furnish and install all labor, material and equipment necessary for the complete installation of the vinyl soffit system under the roof eaves. Soffit material shall be hidden vent soffit manufactured by greenbriar (color in light beige) g.c. To provide color swatches to owner for color selection of soffit for architect approval. Soffit shall be installed in strict accordance with manufacturer's instructions.

1. Window manuf. to be selected by owner. See A-9 for window schedule, g.c. to submit plans, elevation and window schedule to window supplier for formal purchase quote and opening roughing schedule. Window supplier to provide all dimensions on window schedule. g.c. to utilize opening roughs as provided by window supplier's purchase quote and frame-and-unit windows accordingly. Prior to purchasing of windows, g.c. shall submit window purchase quote to architect for review and sign-off. If g.c. or owner fails to submit window purchase quote to window supplier, window supplier is not responsible for errors or omissions that either originated from the window purchase quote or from architect's original drawings. Provide screens at operable window units in gliding exterior doors. PROVIDE double pane, LOW-E GLASS, WHITE VINYL EXTERIOR, WHITE VINYL INTERIOR. Provide standard finish hardware. Tempered glass as required in the following circumstances:

- 1) when windows are less than 18" to the floor.
- 2) when a door swing is closer than 24" to a window.
- 3) when a window is in a stairwell or shower.
- 4) when a window is above a tub or in a shower.
- 5) when a window is above a built-in bench seat.

1. The Contractor shall furnish and install all finish hardware, all hardware shall be best quality equal to Schlage Manufacturing Company or approved equal. Hardware supplier shall wrap hardware in separate packages, complete with trimmings, screws, etc., distinctly labeled with item number and door number for each opening.

2. DOOR HARDWARE AS PROVIDED BY OWNER. OR g. shall provide a reasonable allowance in the construction contract for door hardware. All installation costs are assumed as the responsibility of the Owner. If the cost of hardware as selected exceeds the allowance sum, the Owner is to pay the General Contractor the difference, but should the cost be less than the allowance sum, the Contractor will credit the Owner with the difference. All locks to be master keyed and two copies of all keys be supplied to the Owner.

3. Butts for 1-3/4 in. doors shall be 4-1/2 in., 1-3/8 in. shall be 3-1/2 in. Interior doors shall have approved wall bumpers or floor stops equal in quality to that manufactured by Baldwin Hardware Manufacturing Co.

1. To prepare for floor finish, flooring shall be sanded, if required, to obtain a smooth surface. All scratches, dents, gouges, etc. shall be replaced or repaired with filler as per the manufacturer's recommendation. Finish all wood floors with polyurethane in strict accordance with manufacturer's specifications. Where required, stain specific rooms as noted in room finish schedule.
2. Furnish all labor and material necessary for the complete painting and caulking of all new work on interior and exterior of building. Painted surfaces, both exterior and interior, shall receive at least two coats over primer except when paint manu. suggests that one coat is acceptable. All paint colors and interior stains shall match colors of Benjamin Moore.

INTERNATIONAL BUILDING CODE 2021 (IBC 2021)  
Seismic Design Category: B  
Site class: D

GROUND SNOW LOAD	- 25 psf
DEAD ROOF LOAD	- 15 psf
DEAD FLOOR LOAD	- 15 psf
LIVE ROOF LOAD	- 20 psf
SNOW LOAD	- 25 lb/sq
LIVE FLOOR LOAD	- 40 psf
WIND SPEED	- 110 mph
WIND EXPOSURE	- B
SOIL BEARING CAPACITY	- 2000 psf

Walls:	R-13 (Cavity Insulation) R-20 (Continuous Insulation or a combination of cavity + continuous insulation)
Floors / Slabs:	R-19 (Cavity Insulation) R-10 (Continuous Insulation for Slab)
Roofs / Ceilings:	R-38 (Attic) R-49 (Sloped Roof)

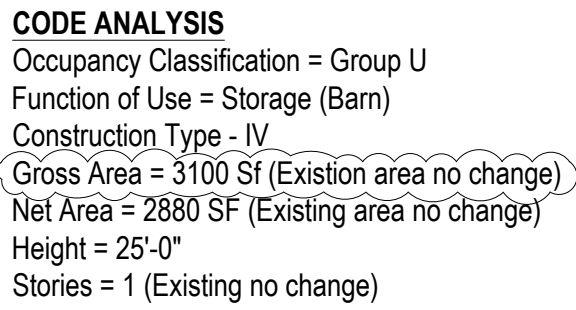
Salvage approx. 40-50% of existing frame material and reuse as appropriate.

- Install 2x studs from reclaimed lumber.
- Install 1" rigid insulation on OSB sheathing
- Install 1 x 4 girts 2' O.C. from reclaimed lumber
- Install all new 1x6, Knotty Pine T&G siding;
- Install new rake and fascia boards to resemble originals.

- Install new pine doors made to resemble originals.
- Faux pine swinging double doors
- Pine split sliding doors

- Install all new Cypress barn sash windows, made to resemble originals.

<https://www.montgomerycountymd.gov/DPS/Codes/commercial-bldg-code.html>  
 2021 International Building Code ER 31-19  
 Chapter 8 County Building Code  
 2021 International Building Code  
 2021 International Existing Building Code  
 2021 IgCC Published  
 Maryland Accessibility Code  
 2015 NFPA Fire Code  
 2015 NFPA 101 Life Safety Code  
 2012 International Green Construction Code  
 2015 IBC Amendments



① LIFE SAFETY PLAN  
1/8" = 1'-0"

Sheet List		
Sheet Number	Sheet Name	Comments
A1	GENERAL NOTES. LIFE SAFETY PLAN	
A2	EXISTING MAIN FLOOR PLAN. TOP ROOF PLAN. ELEVATIONS. TO DEMOLISH	
A3	MAIN FLOOR PLAN. TOP ROOF PLAN	
A4	ELEVATIONS	
A5	ELEVATIONS	
A6	SECTION	

that these documents were  
prepared or approved by me, and  
that I am a duly licensed architect  
under the laws of the State of  
Maryland, license number  
21584, expiration date  
6/4/2027.

[illegible]

	08.15.2025					HAWP PERMIT REVISION
	25.03.2025					ISSUED FOR CONSTRUCTION
REV.	DATE	BY	CHK	APP	GK	REVISION DESCRIPTION

11650 Snowden Farm  
Parkway,  
Germantown, MD 20876

## GENERAL NOTES. LIFE SAFETY PLAN

DOB JOB No.:

DRAWING NO.

**A1**

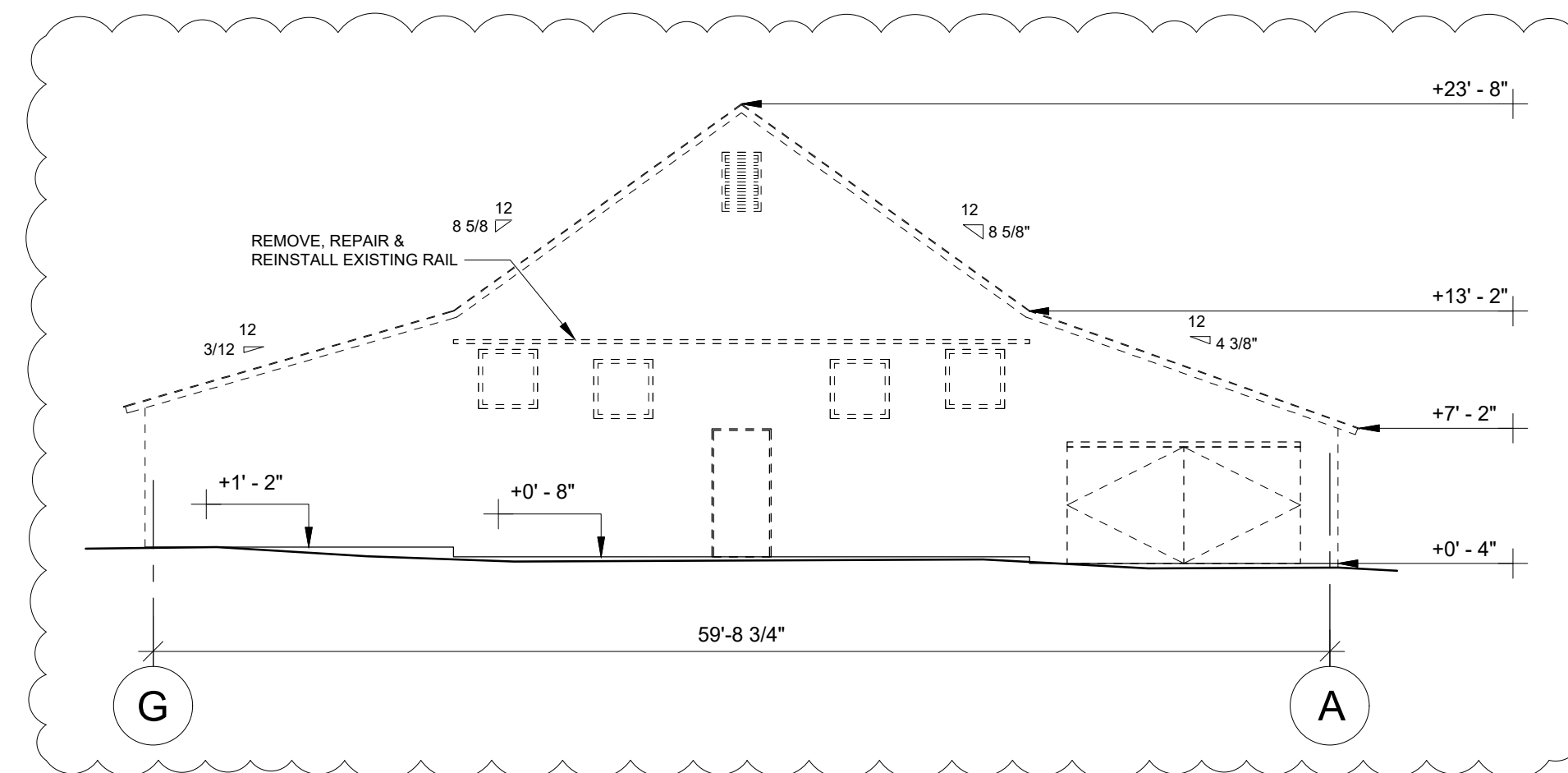
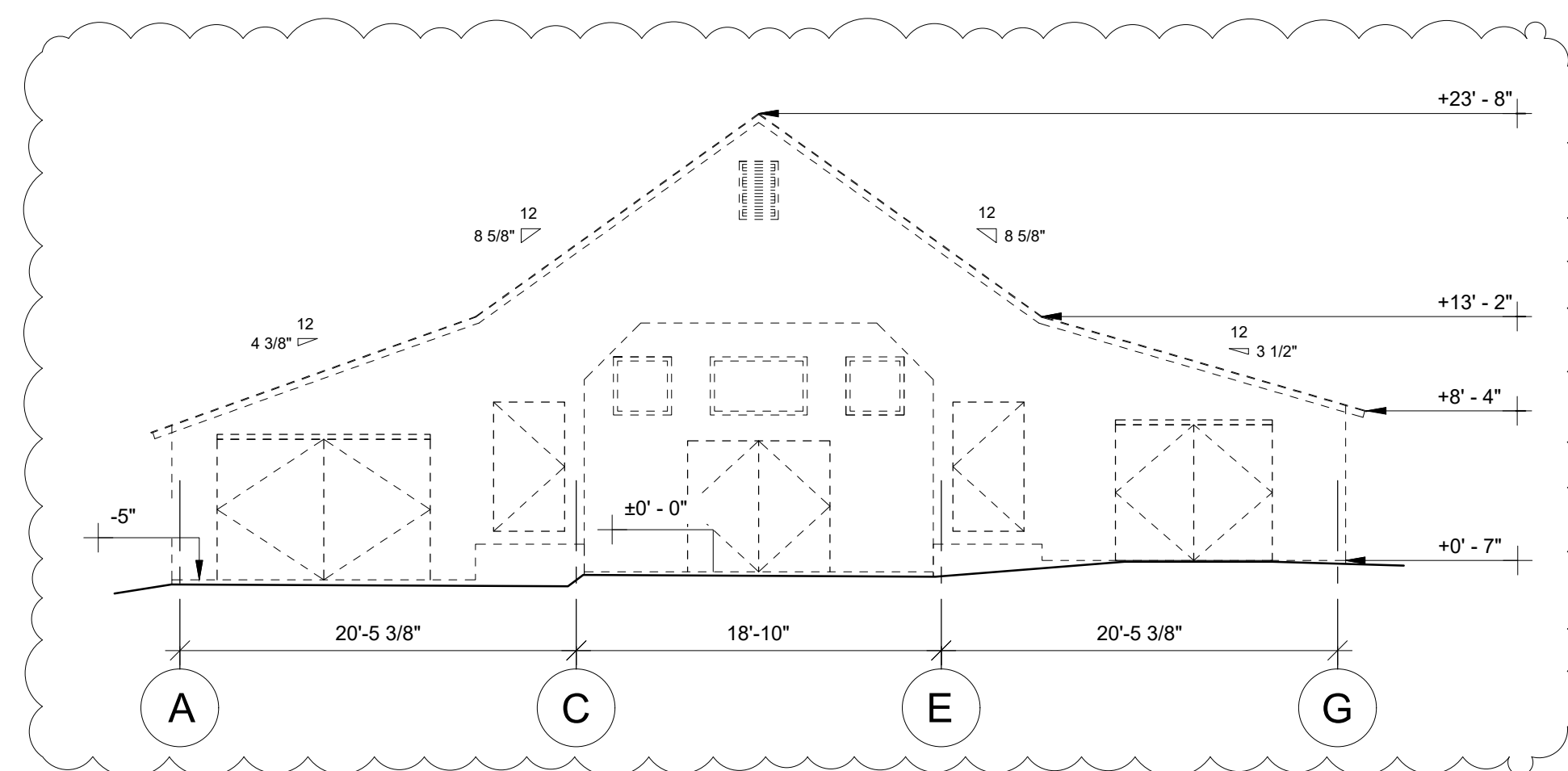
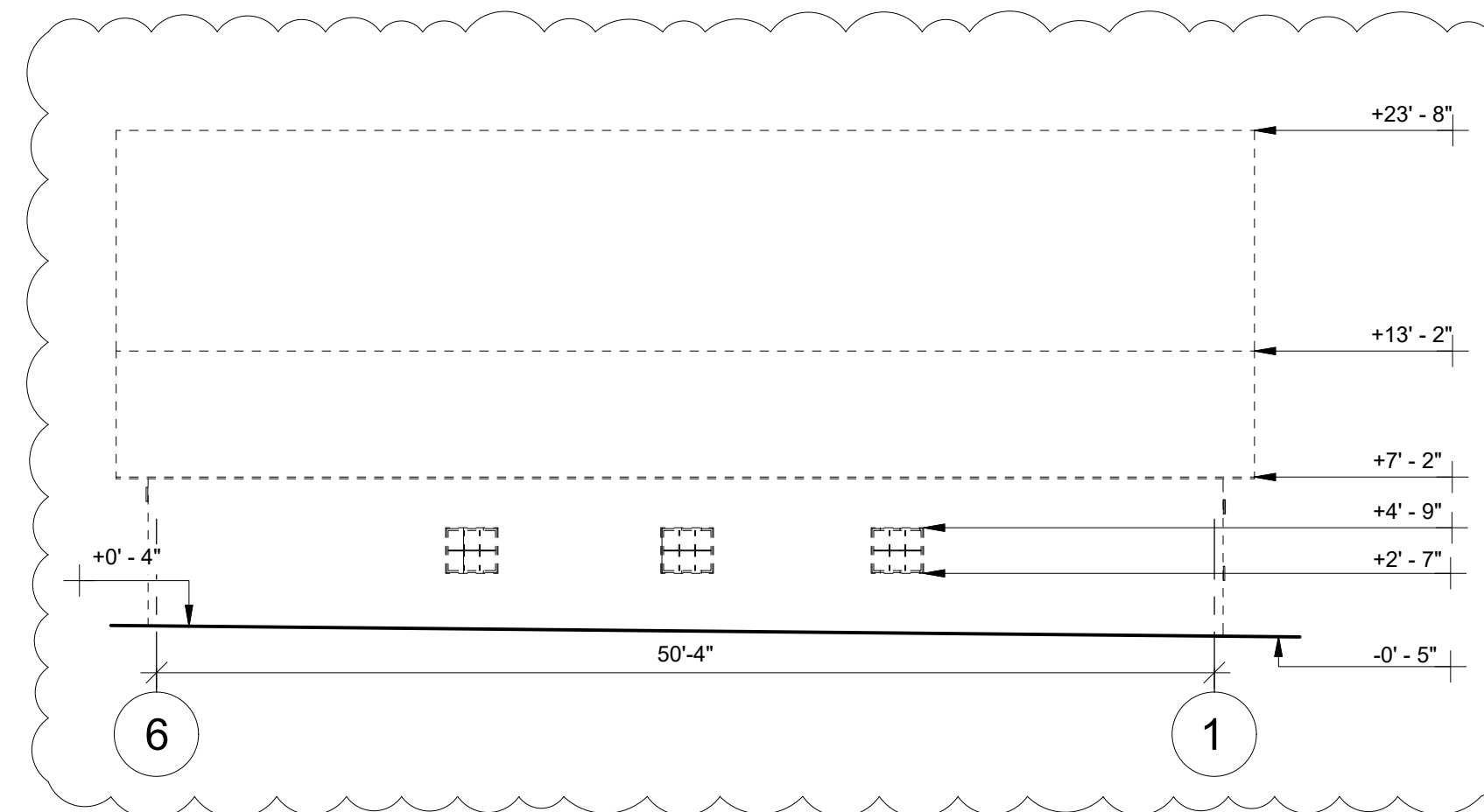
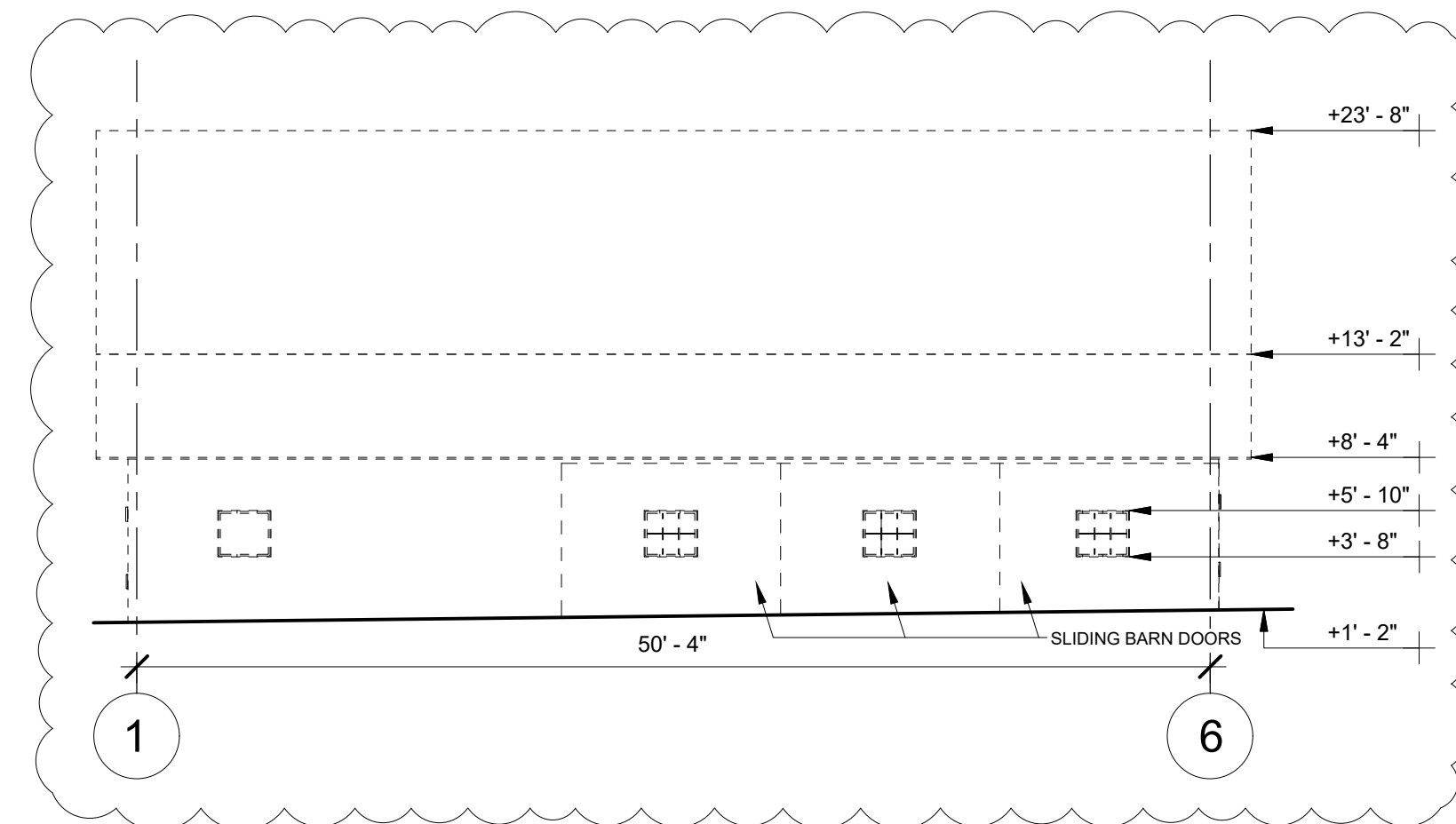
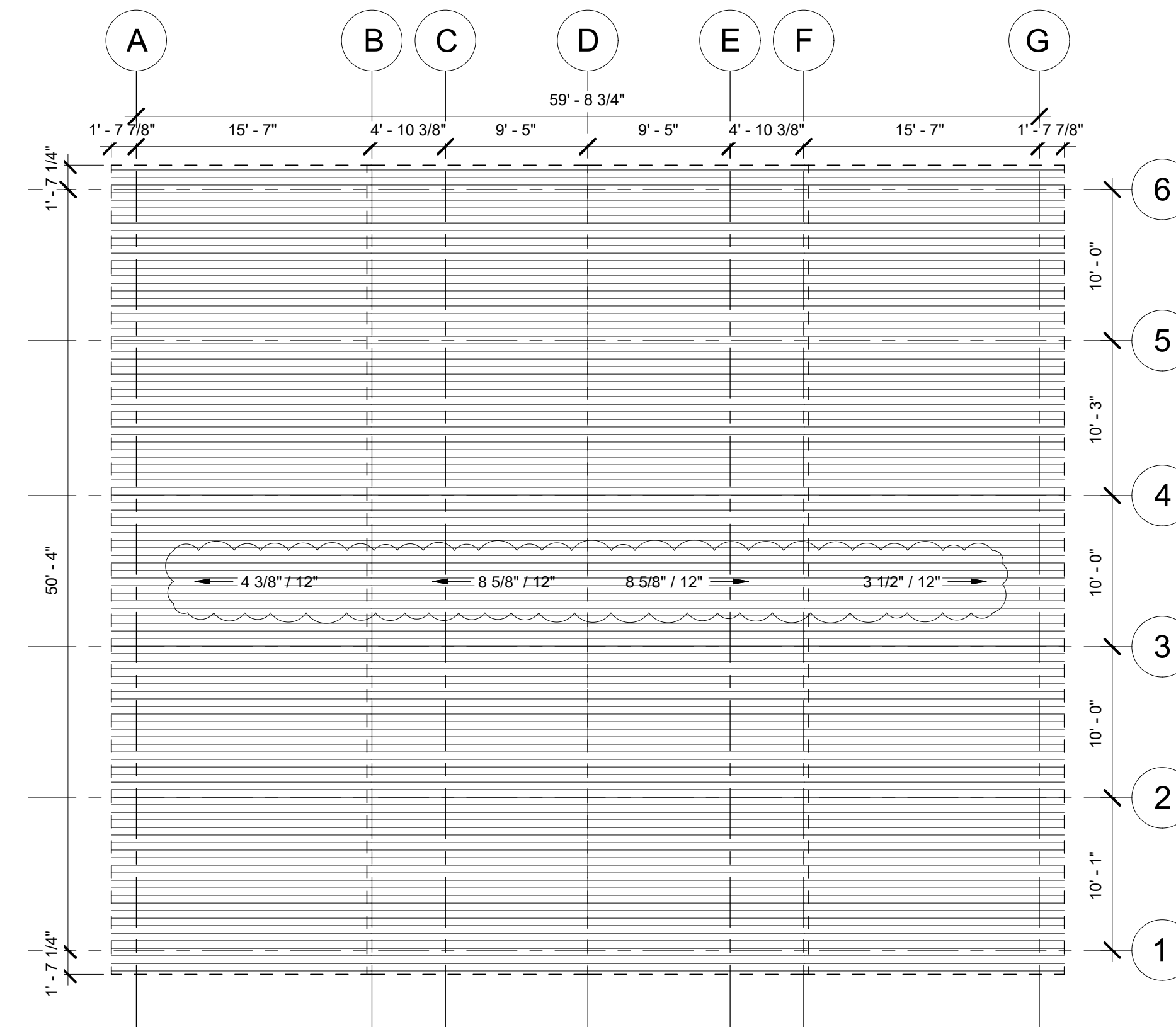
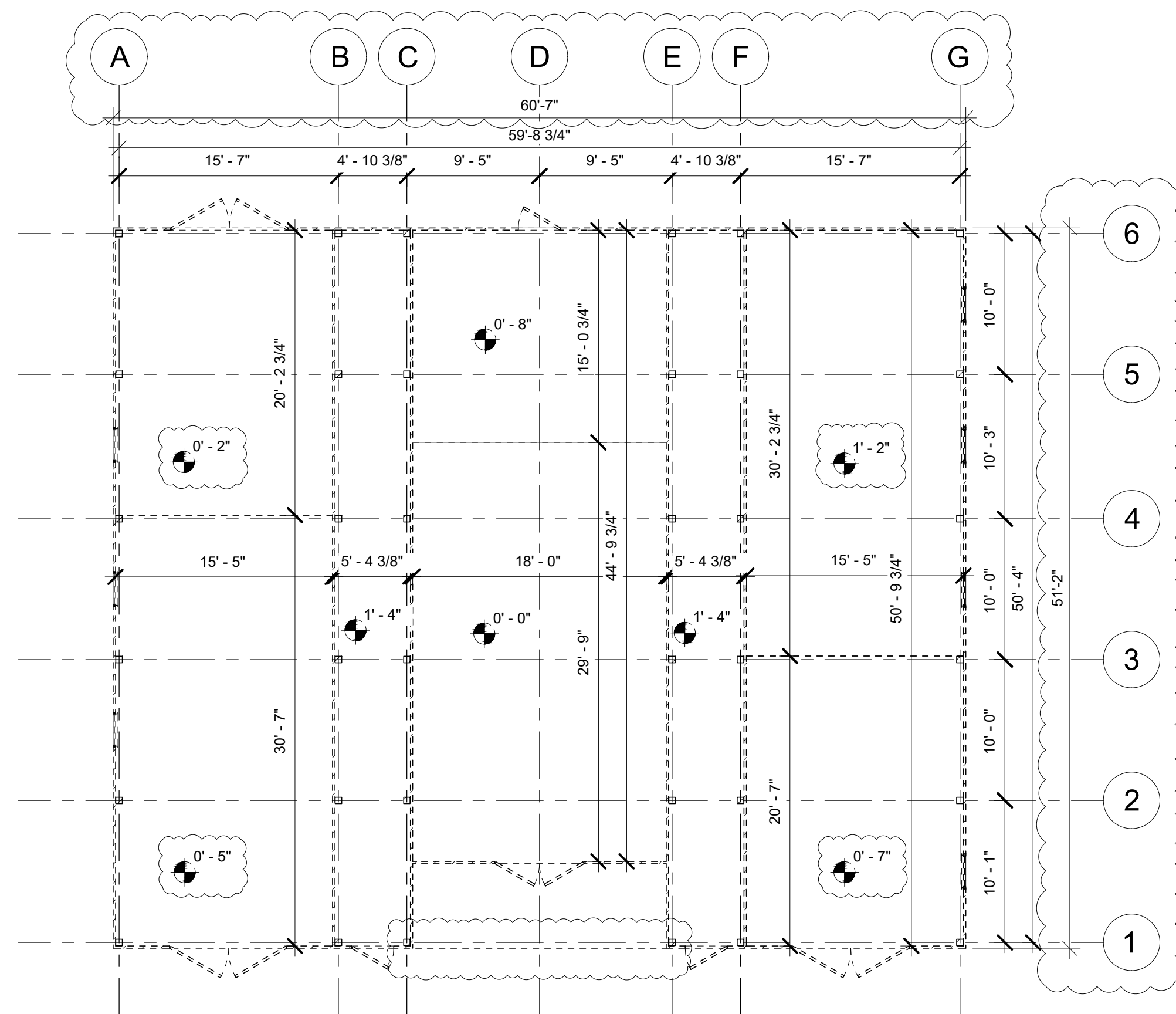
1 of 6

comm. no.

date

ID.





**GENERAL  
DEMOLITION NOTES:**

1. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS OF THE BARN BEFORE DEMOLITION.
2. CONTRACTOR SHALL DEMOLISH THE EXISTING BARN TO GRADE.
3. CONTRACTOR SHALL SALVAGE ALL MATERIAL REMOVED AND ASSESS THE QUALITY TO DETERMINE REUSING THE MATERIAL IN CONSTRUCTION OF THE NEW BARN.
4. CONTRACTOR SHALL RECORD THE QUANTITY OF MATERIAL REUSED IN NEW CONSTRUCTION AS PERCENTAGE OF EXISTING MATERIAL REMOVED. OWNER SHALL USE DATA FOR HISTORIC CONSERVATION RECORDS.
5. CONTRACTOR SHALL PROTECT THE CONSTRUCTION SITE AND INSTALL BARRICADE AROUND TO PREVENT LOSS OF PROPERTY AND LIFE.

Professional Certification. I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland, license number 21584, expiration date 6/4/2027.

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PROJECT ADDRESS  
11650 Snowden Farm  
Parkway,  
Germantown, MD 20876

DRAWING TITLE

EXISTING MAIN FLOOR PLAN.  
TOP ROOF PLAN. ELEVATIONS.  
TO DEMOLISH

DOB JOB No.:

DRAWING NO.

A2

2 of 6

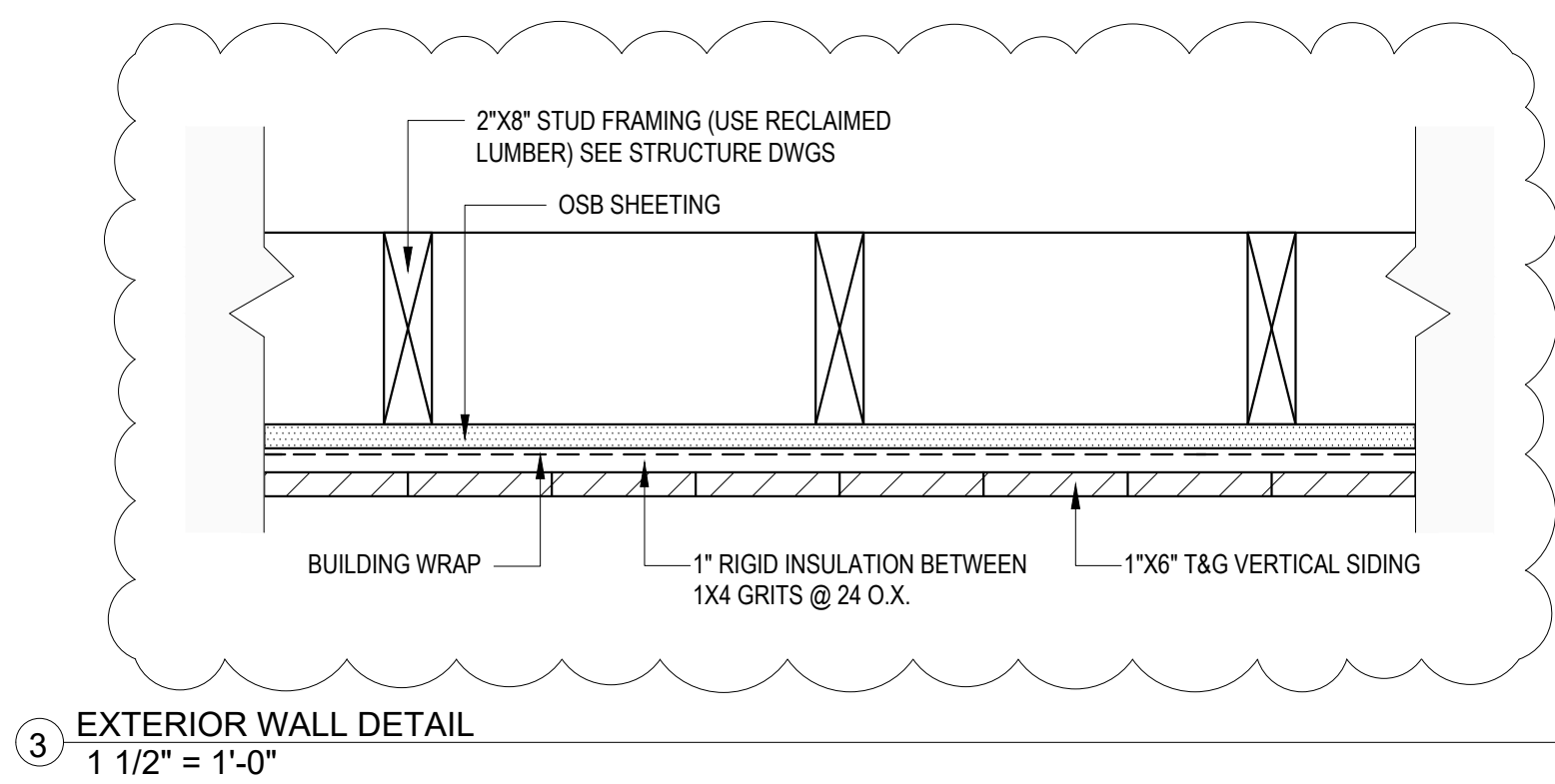
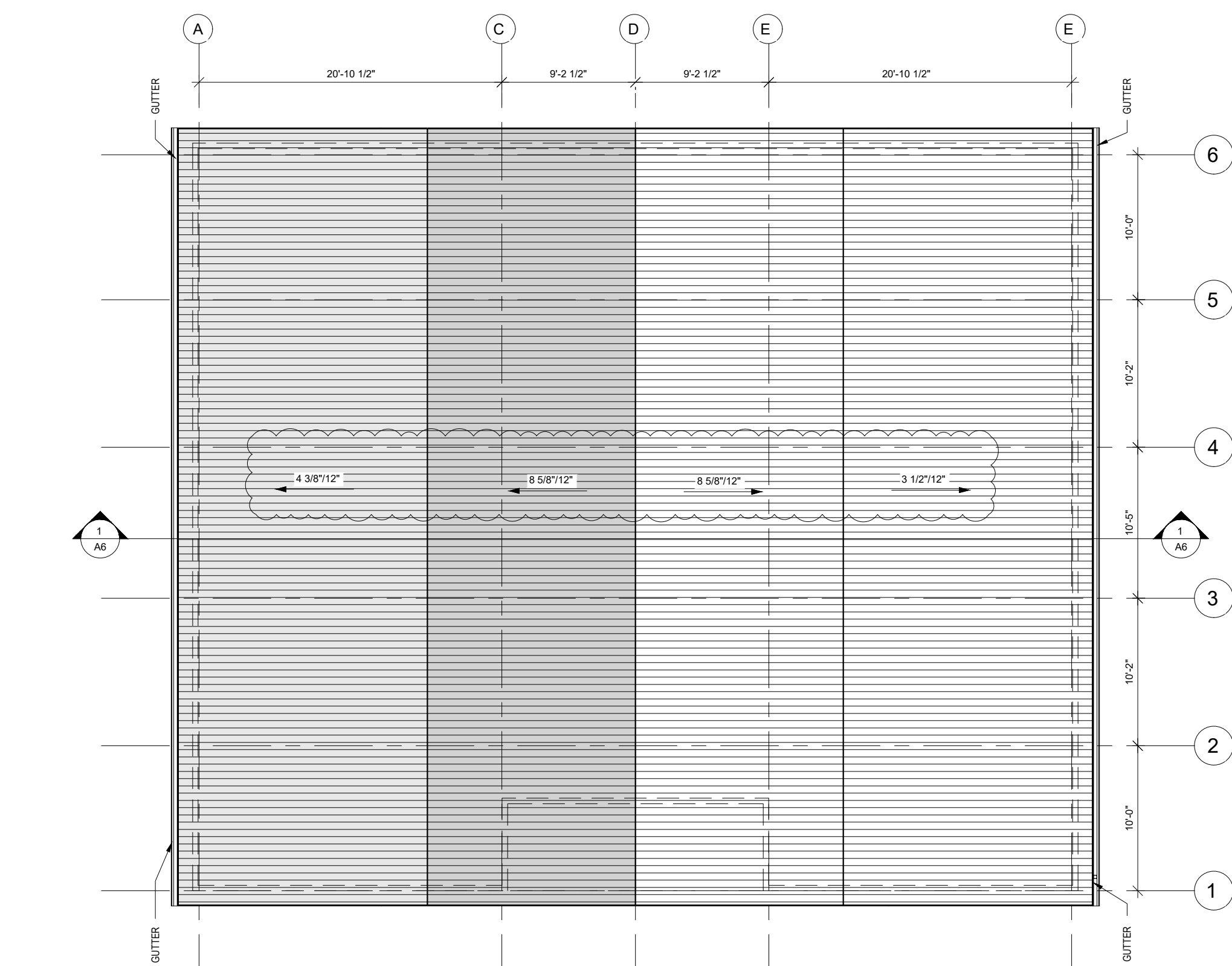
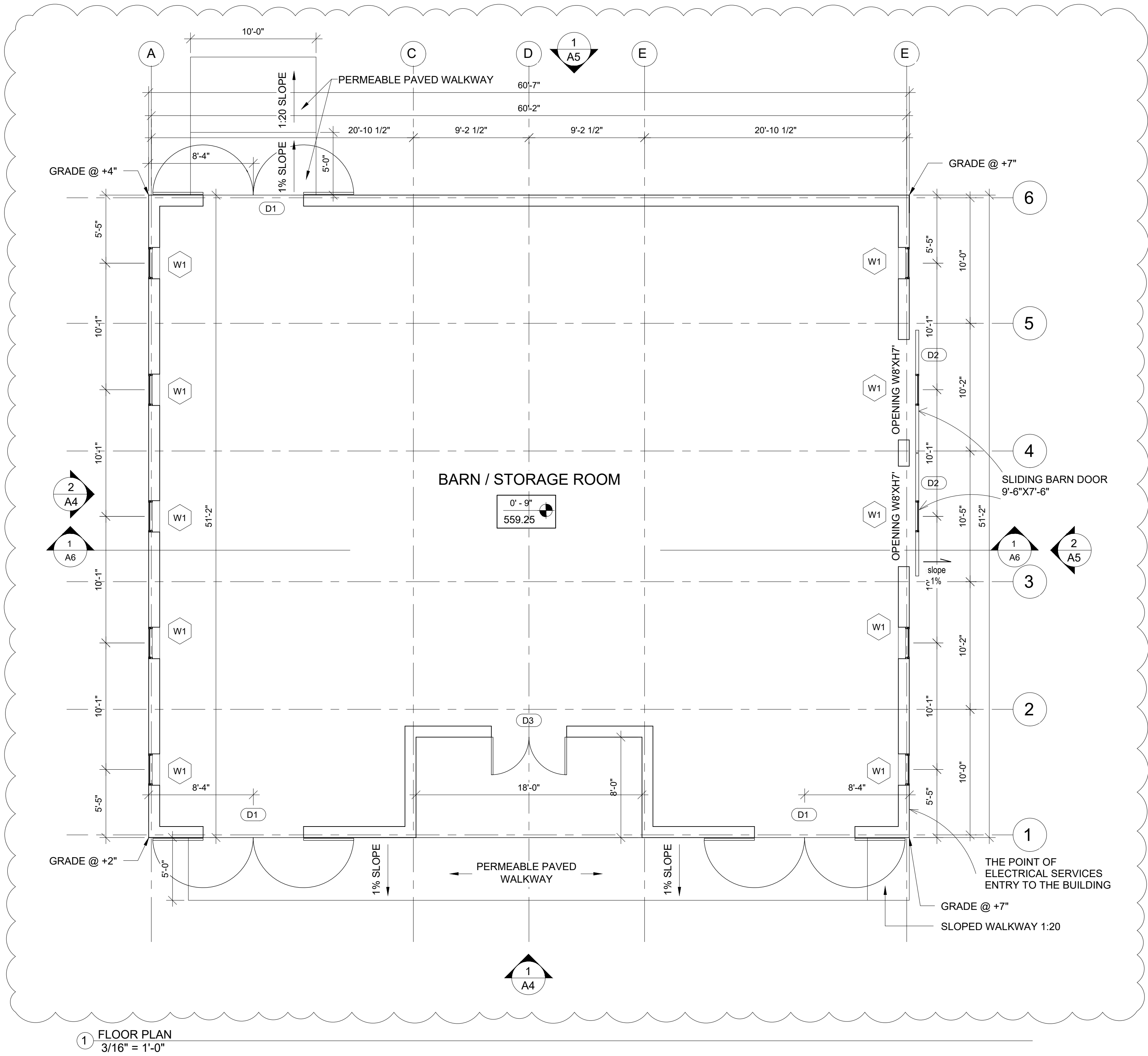
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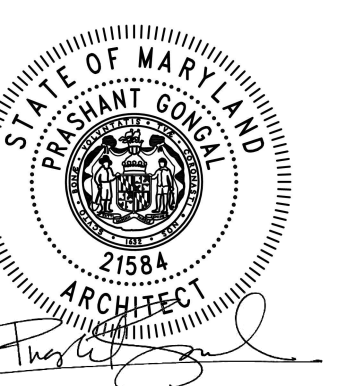
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27.03.2025

03.04.2025



Professional Certification. I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland, license number 21584, expiration date 6/4/2027.



REV.	DATE	BY	CHK	APP	GK	REVISION DESCRIPTION
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	03.25.2025					ISSUED FOR CONSTRUCTION

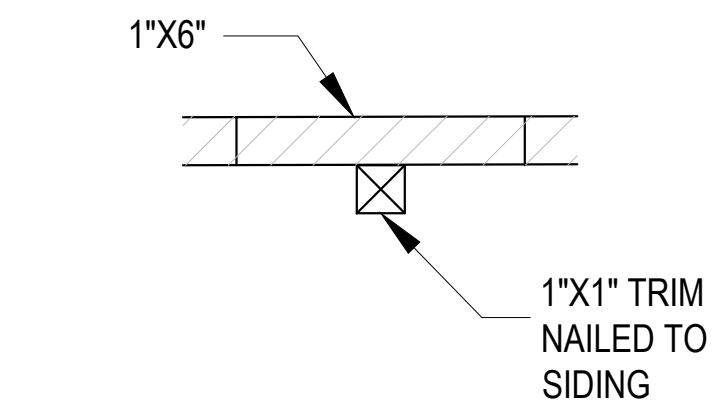
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11650 Snowden Farm  
Parkway,  
Germantown, MD 20876

DRAWING TITLE  
MAIN FLOOR PLAN, TOP ROOF  
PLAN

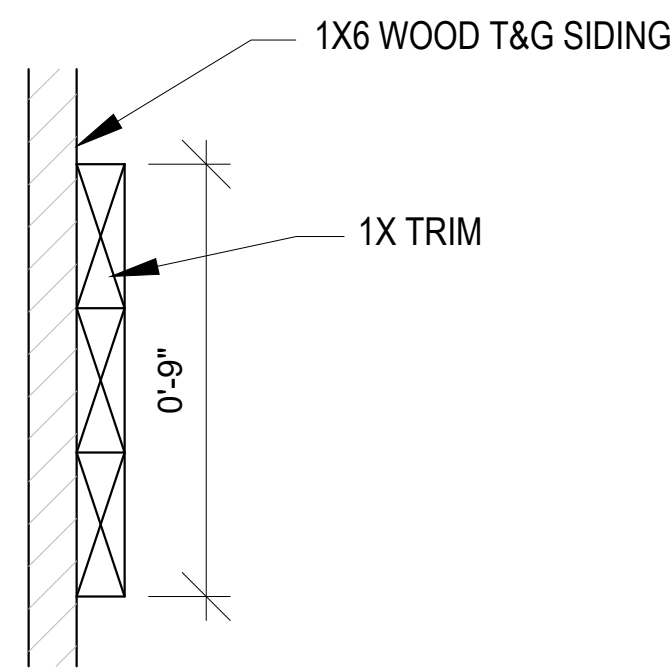
DOB JOB No.:

DRAWING NO.	A3	2	of	6
comm no.				
date		27.03.2025		
ID.		03.04.2025		

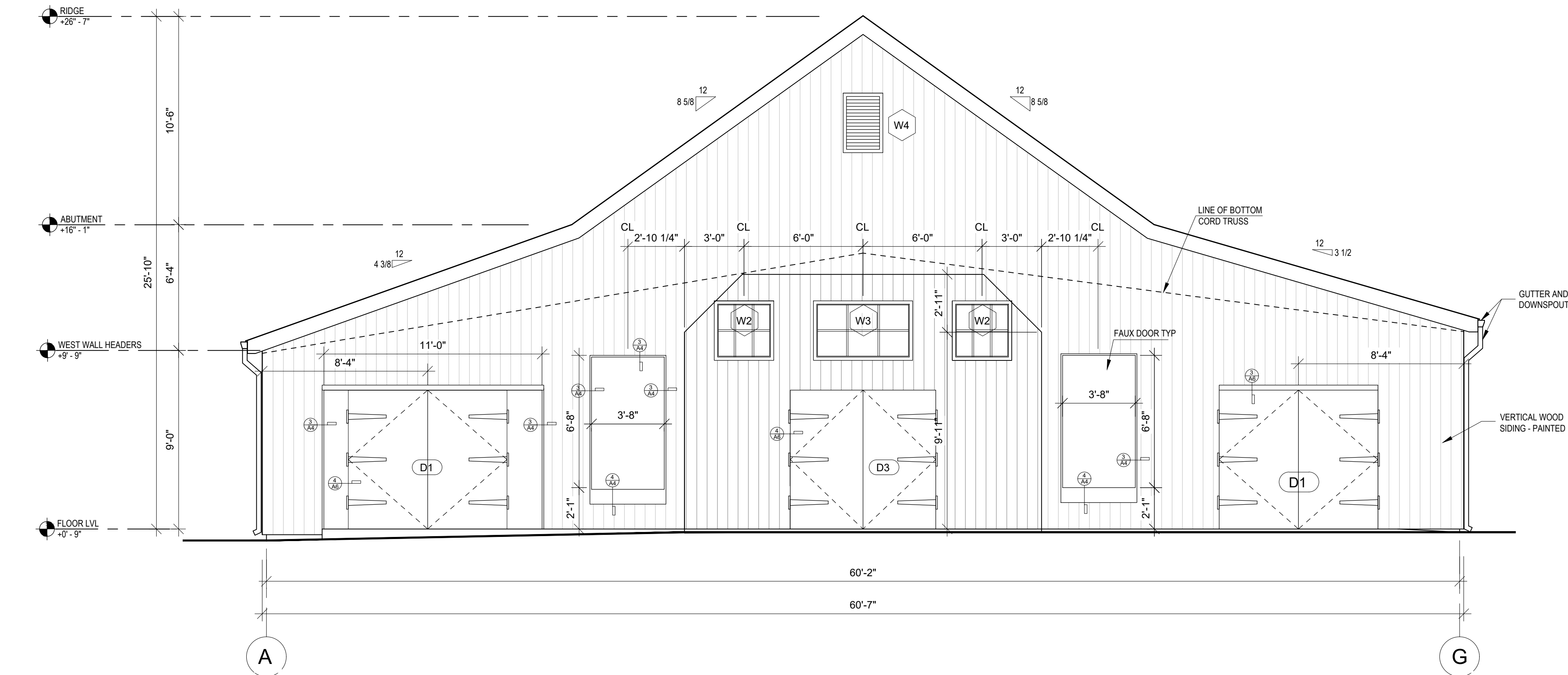




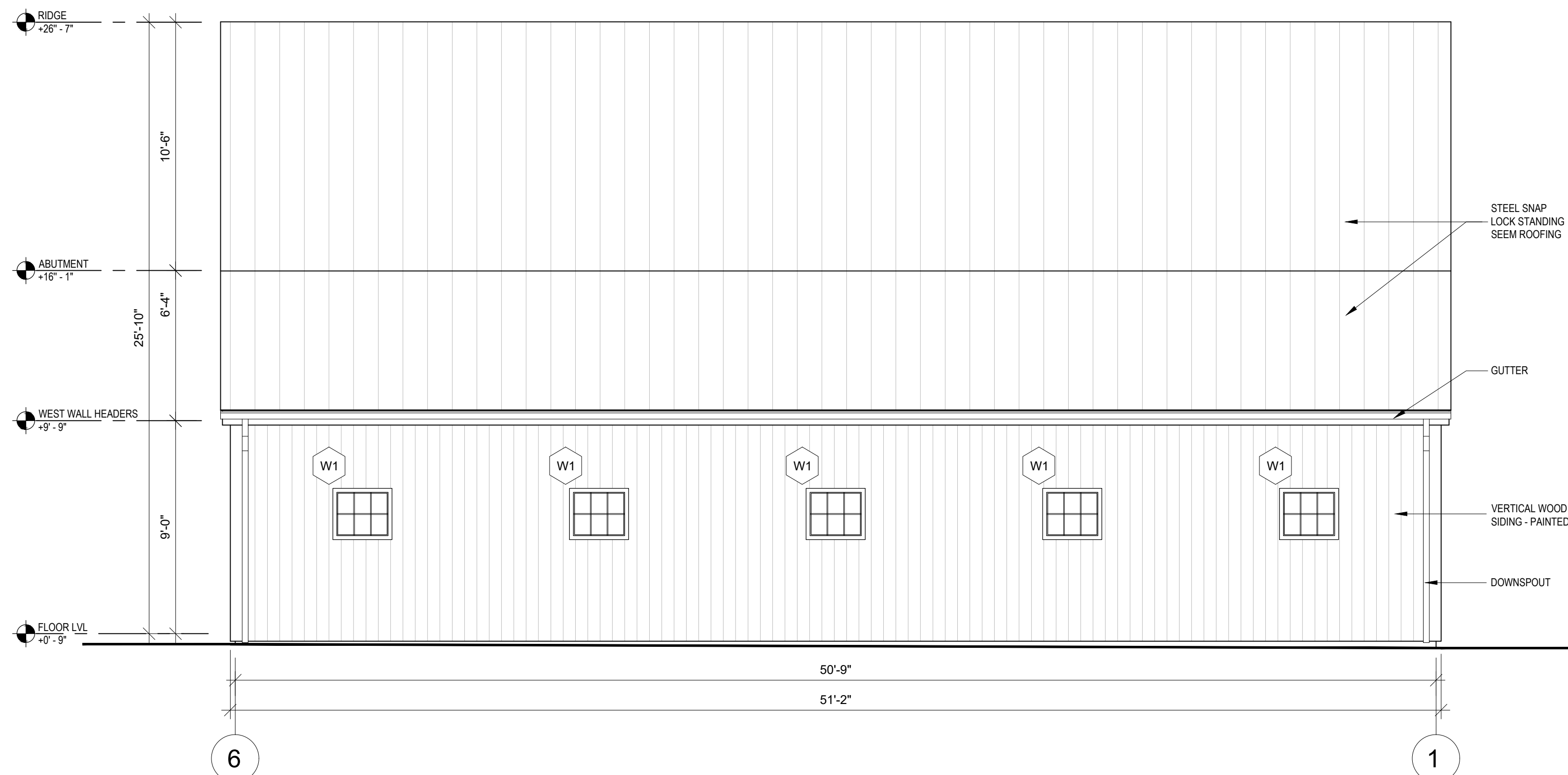
3 FAUX JAMB TRIM DTL - TYP  
3" = 1'-0"



4 FAUX SILL TRIM DTL - TYP  
3" = 1'-0"



1 SOUTH ELEVATION  
1/4" = 1'-0"

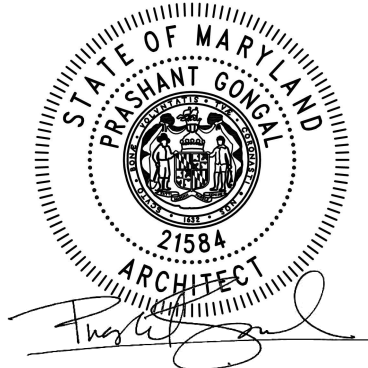


2 WEST ELEVATION  
1/4" = 1'-0"

## GENERAL ELEVATION NOTES:

- CONTRACTOR SHALL REUSE MATERIAL REMOVED FROM EXISTNG BARN AS MUCH AS POSSIBLE.
- REUSE EXISTING SIDING FOR GRITS. REUSE EXISTING POST FOR WALL STUDS.
- PROVIDE NEW 1X6 NOTTY PINE T&G SIDING. INSTALL NEW RAE AND FACIA TO RESEMBLE ORIGINAL.
- USE TRIM AS SHOWN IN ELEVATION AND DETAIL TO REPRESENT ORIGINAL OPENINGS.
- PAINT THE SIDING PER OWNERS DESIRED COLOR. ARCHITECT RECOMMENDS TERRACOTTA RED.
- PROVIDED FLASING AT THE BOTTOM OF THE WALL.
- ALL DOORS TO BE NEW PINE DOORS MADE TO RESEMBLE ORIGINAL.
- ALL CYPRESS BARN SASH WINDOWS SHALL BE MADE TO RESEMBEL ORIGINAL
- PROVIDE ICE AND WATER SHIELD ALONG THE EAVES AND AT THE LOCTION WHERE ROOF PITCH CHANGES. COVER BALANCE OF ROOF WITH SYNTHETIC FELT.

Professional Certification. I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland, license number 21584, expiration date 6/4/2027.



REV.	DATE	BY	CHK	APP	GK	REVISION DESCRIPTION
	08.15.2025					HAWP PERMIT REVISION
	03.25.2025					ISSUED FOR CONSTRUCTION

### PROJECT ADDRESS

11650 Snowden Farm  
Parkway,  
Germantown, MD 20876

### DRAWING TITLE

ELEVATIONS

DOB JOB No.:

DRAWING NO.

A4

4

of 6

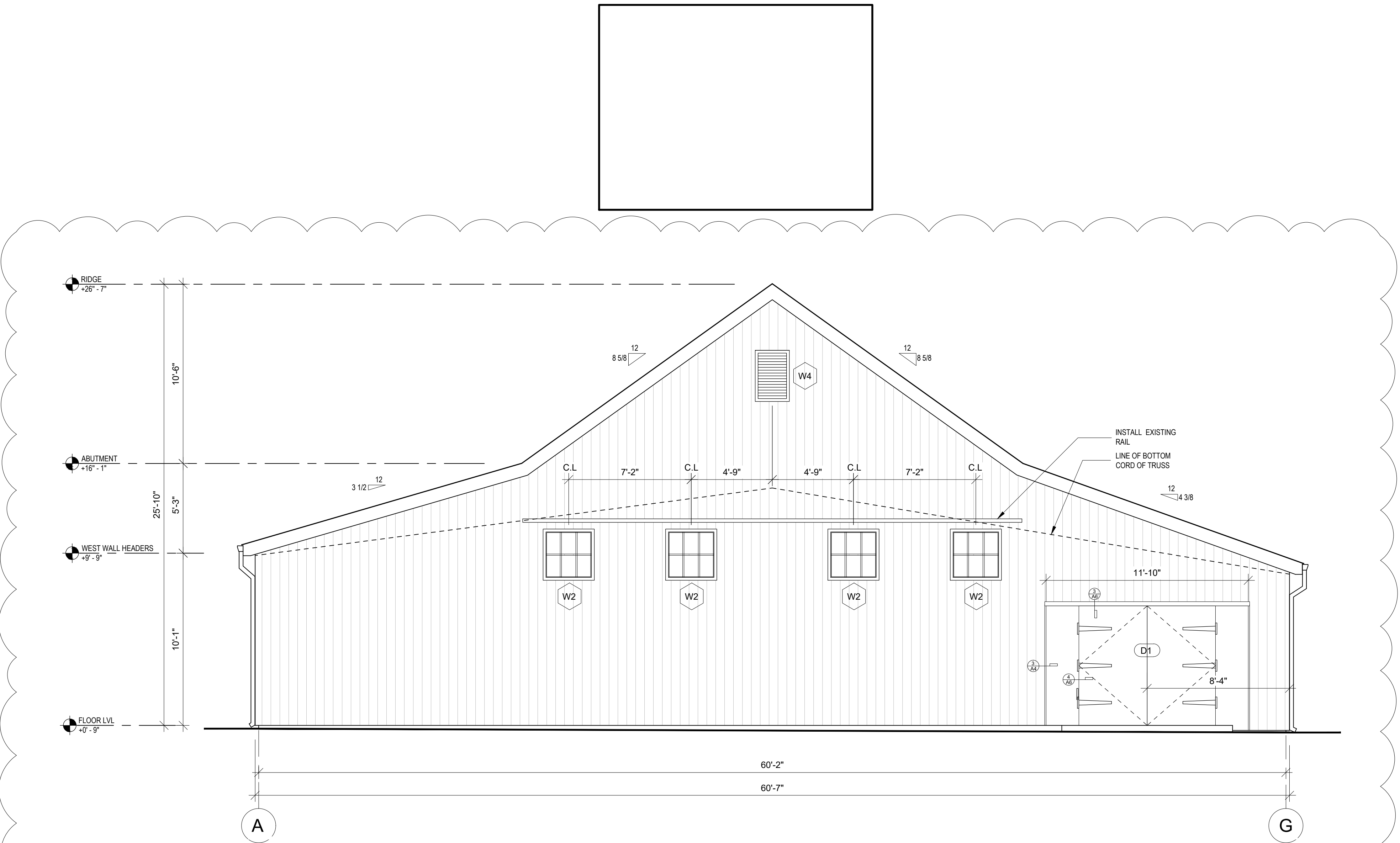
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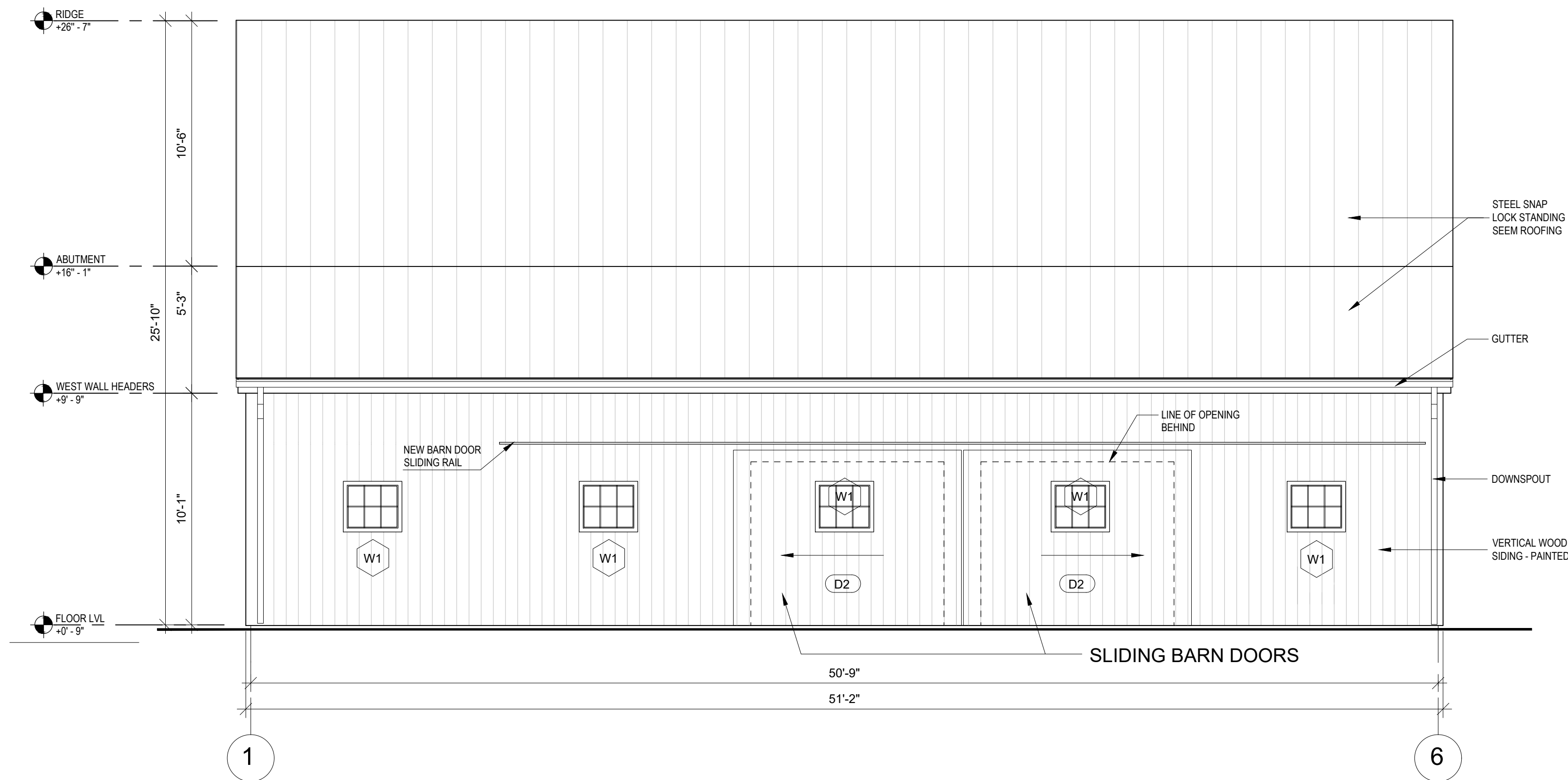
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27.03.2025

03.04.2025



1 NORTH ELEVATION  
1/4" = 1'-0"



2 EAST ELEVATION  
1/4" = 1'-0"

## GENERAL ELEVATION NOTES:

- CONTRACTOR SHALL REUSE MATERIAL REMOVED FROM EXISTNG BARN AS MUCH AS POSSIBLE.
- REUSE EXISTING SIDING FOR GRITS. REUSE EXISTING POST FOR WALL STUDS.
- PROVIDE NEW 1X6 NOTTY PINE T&G SIDING. INSTALL NEW RAE AND FACIA TO RESEMBLE ORIGINAL.
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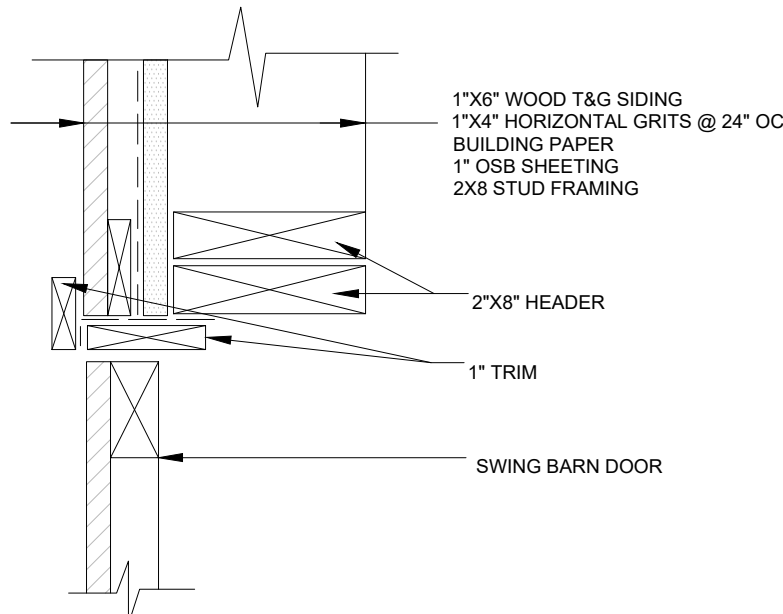
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11650 Snowden Farm  
Parkway,  
Germantown, MD 20876

DRAWING TITLE  
ELEVATIONS

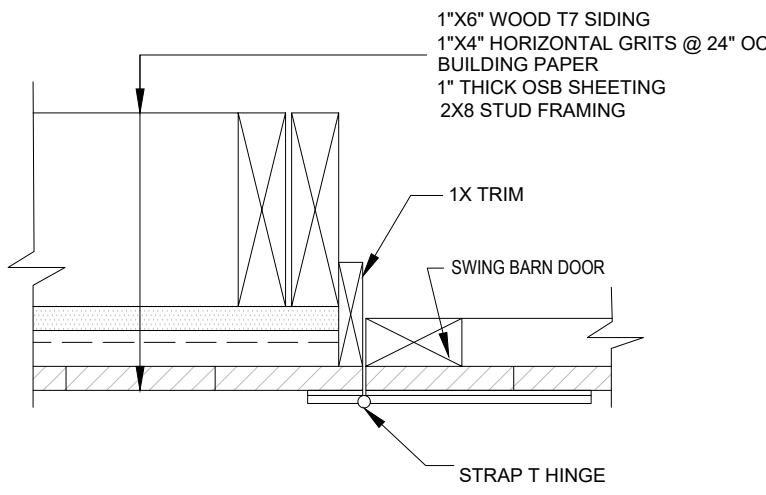
DOB JOB No.:

DRAWING NO.	
A5	5 of 6
comm no.	
date	27.03.2025
ID.	03.04.2025

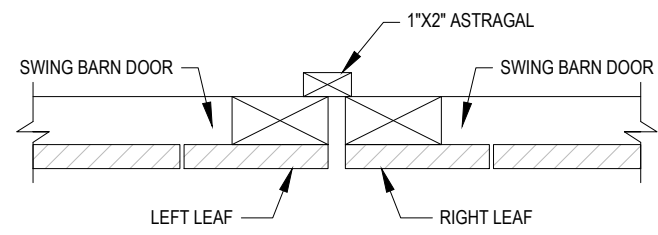




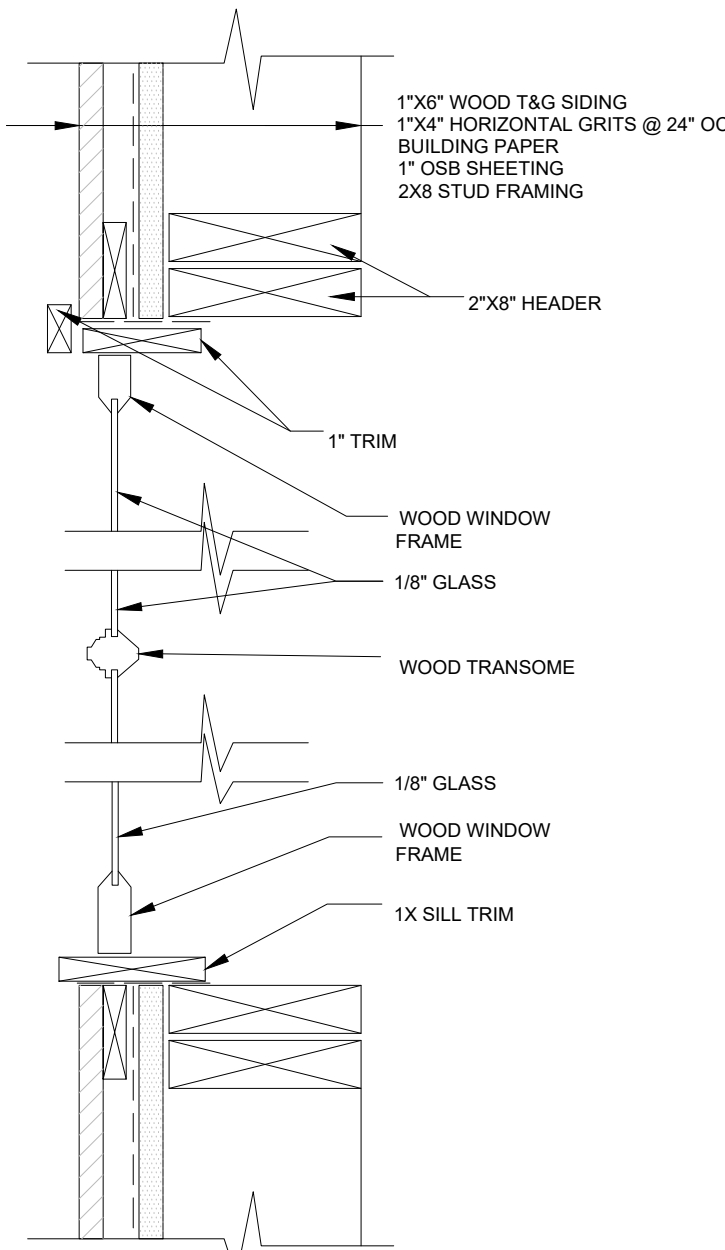
3 BARN SWING DOOR HEAD DTL-TYP  
1 1/2" = 1'-0"



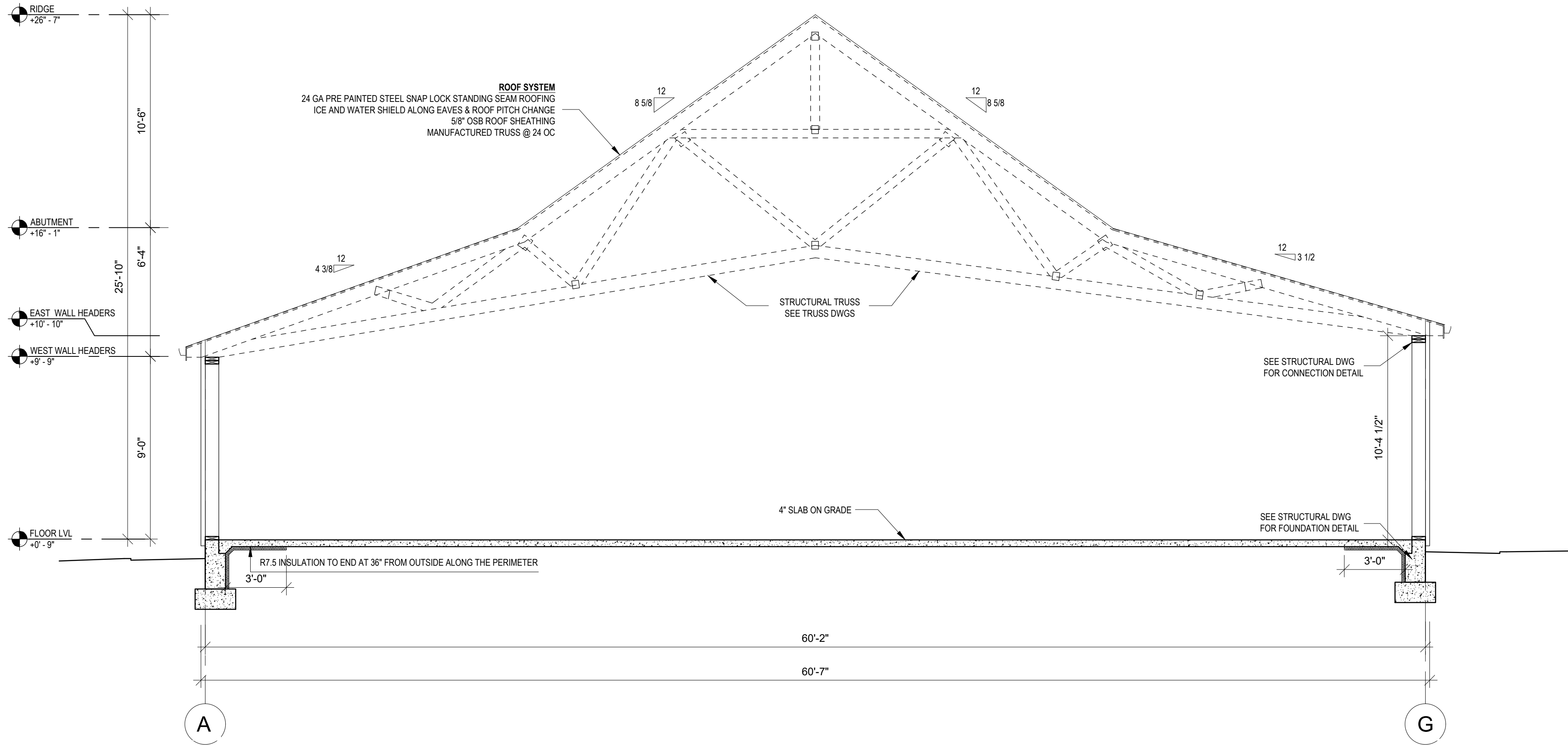
4 BARN SWING DOOR JAMB DTL-TYP  
1 1/2" = 1'-0"



5 SWING DOOR ASTRGL DTL-TYP  
1 1/2" = 1'-0"



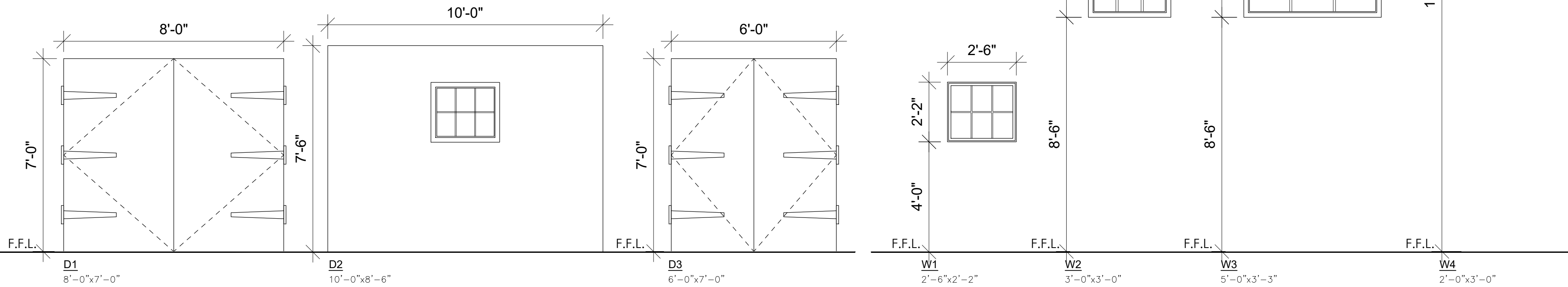
6 WINDOW DETAIL TYPICAL  
1 1/2" = 1'-0"



1 SECTION  
1/4" = 1'-0"

DOOR SCHEDULE				
MARK	COUNT	WIDTH	HEIGHT	COMMENTS
D1	3	8'-0"	7'-0"	SWING OUT BARN DOOR WITH STRAP T HINGE
D2	2	10'-0"	7'-6"	SLIDING BARN DOOR
D3	1	6'-0"	7'-0"	SWING OUT BARN DOOR WITH STRAP T HINGE
GRAND TOTAL: 6				

WINDOW SCHEDULE			
MARK	COUNT	WIDTH	HEIGHT
W1	10	2'-6"	2'-2"
W2	6	3'-0"	3'-0"
W3	1	5'-0"	3'-0"
W4	2	2'-0"	3'-0"
GRAND TOTAL: 19			



2 DOOR & WINDOW ELEVATION  
1/4" = 1'-0"

Professional Certification. I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland, license number 21584, expiration date 6/4/2027.



REV.	DATE	BY	CHK	APP	GK	REVISION DESCRIPTION
	08.15.2025					HAWP PERMIT REVISION
	03.25.2025					ISSUED FOR CONSTRUCTION

PROJECT ADDRESS  
11650 Snowden Farm  
Parkway,  
Germantown, MD 20876

DRAWING TITLE  
SECTION

DOB JOB No.:

DRAWING NO.	A6	6	of	6
comm no.				
date		27.03.2025		
ID.		03.04.2025		







































































