

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	10304 Montgomery Avenue, Kensington	Meeting Date:	9/3/2025
Resource:	Primary Resource Kensington Historic District	Report Date:	8/27/2025
Applicant:	Jeff and Gloria Capron (Luke Olson, Architect)	Public Notice:	8/20/2025
Review:	Historic Area Work Permit	Tax Credit:	No
Permit No.:	1060765 REVISION	Staff:	Laura DiPasquale
Proposal :	Revisions to previously-approved rear deck		

STAFF RECOMMENDATION

Staff recommends that the Historic Preservation Commission (HPC) **approve** the HAWP application.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Primary Resource within the Kensington Historic District
STYLE: Colonial Revival Four Square
DATE: c. 1904-1911

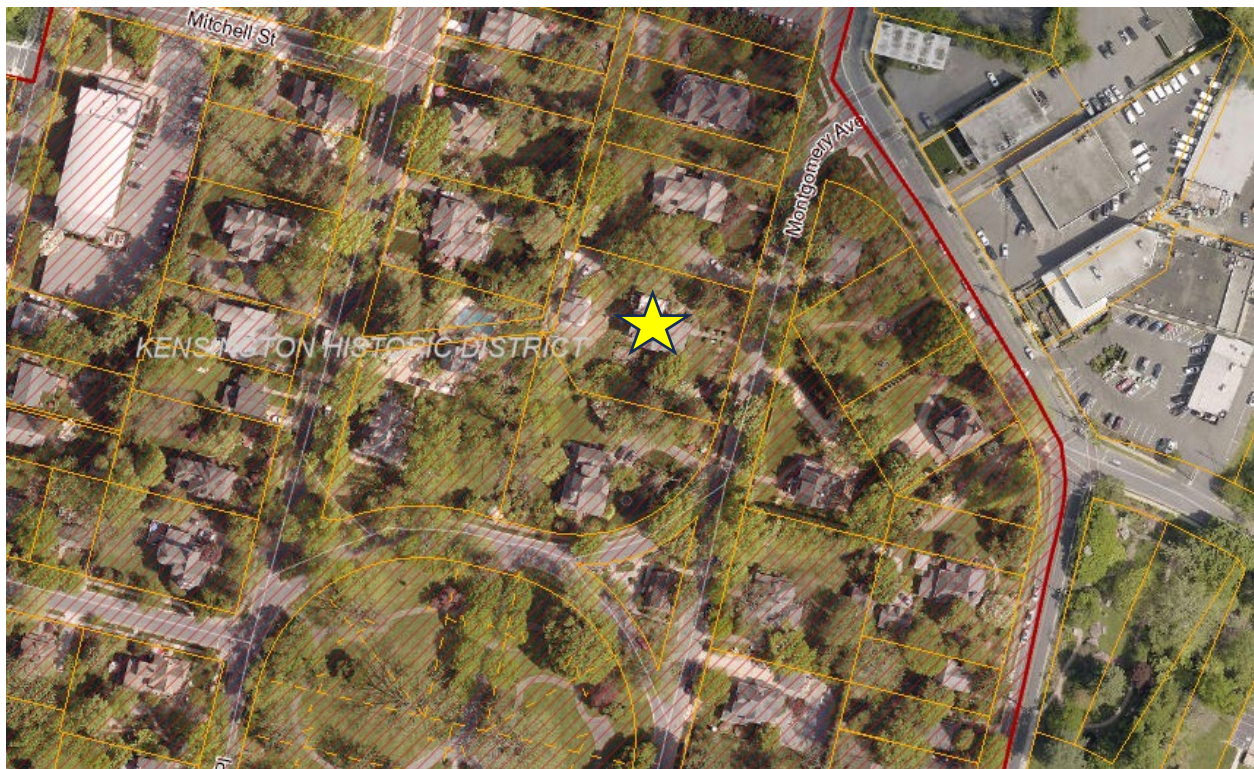


Figure 1: The subject property is located north of Warner Circle in the Kensington Historic District.



Figure 2: Front elevation of the subject property, August 2025 (Historic Preservation Office).

BACKGROUND

The current project proposes revisions to a new rear porch approved as part of a larger project by the HPC in 2024, which included fenestration alterations, new additions, hardscape alterations, and construction of a new detached garage. The HPC provided a preliminary consultation for the project at its September 6, 2023, meeting and was generally supportive.¹

At its March 20, 2024 meeting, the HPC approved the associated HAWP application (#1060765), which included fenestration alteration, new additions, hardscape alterations, and construction of new detached garage.

On June 12, 2024, the HPC approved a revision to the approved HAWP to enlarge the previously approved basement areaway and alter the fenestration on the right side of the historic house.²

The first HAWP and the subsequent revision contained seven (7) conditions of approval for the HAWP,. Those conditions were:

1. Applicant shall provide specifications for all features, including the masonry and flagstone steps and stairs, doors on the addition; light fixtures; and patio pavers.
2. Applicant shall specify all the proposed materials on the plans.
3. Applicant shall revise plans to correct any incorrect dimensions and labels.

¹ The staff report for the preliminary consultation report is available here: <https://montgomeryplanning.org/wp-content/uploads/2023/08/II.B-10304-Montgomery-Avenue-Kensington.pdf>

The minutes for the September 6, 2023, meeting are available here:

https://mncppc.granicus.com/MediaPlayer.php?publish_id=18960b37-4d9f-11ee-ae13-0050569183fa

² The approval letter and stamped approval documents for the March 20, 2024 and June 12, 2024 approvals are available here: https://mcatlas.org/tiles6/06_HistoricPreservation_PhotoArchives/HAWP/HPC%202024-06-12/10304%20Montgomery%20Avenue,%20Kensington%20-%201060765%20-%20Approval%208.1.24.pdf

4. The front porch floor shall be replaced in-kind with wood that is painted and not a composite material.
5. The applicant shall provide a detail for the replacement materials on the side porch.
6. The applicant must provide specifications for all proposed features, including doors, railings, and windows.
7. The infill siding in the proposed door opening needs to be either salvaged from other cuts in the house or be new wood siding that matches the profile, material, and finish.

The building permit for the overall project was issued September 11, 2024.

On April 9, 2025, the HPC approved a second round of revisions to the previously-approved HAWP to convert the fenestration on the second floor rear elevation from two double-hung windows to two awning windows and change the approved full-light French doors on the rear elevation of the addition to $\frac{3}{4}$ -light French doors.



Figure 3: Current condition of the approved rear addition from the driveway, August 2025 (Historic Preservation Office). The proposed stone-clad deck would extend from the rear of the addition.

PROPOSAL

The applicant proposes to change the previously-approved wood-frame rear deck with composite decking to a poured concrete porch clad in stone with flagstone decking. No changes are proposed to the footprint of the deck or the railing.

IN

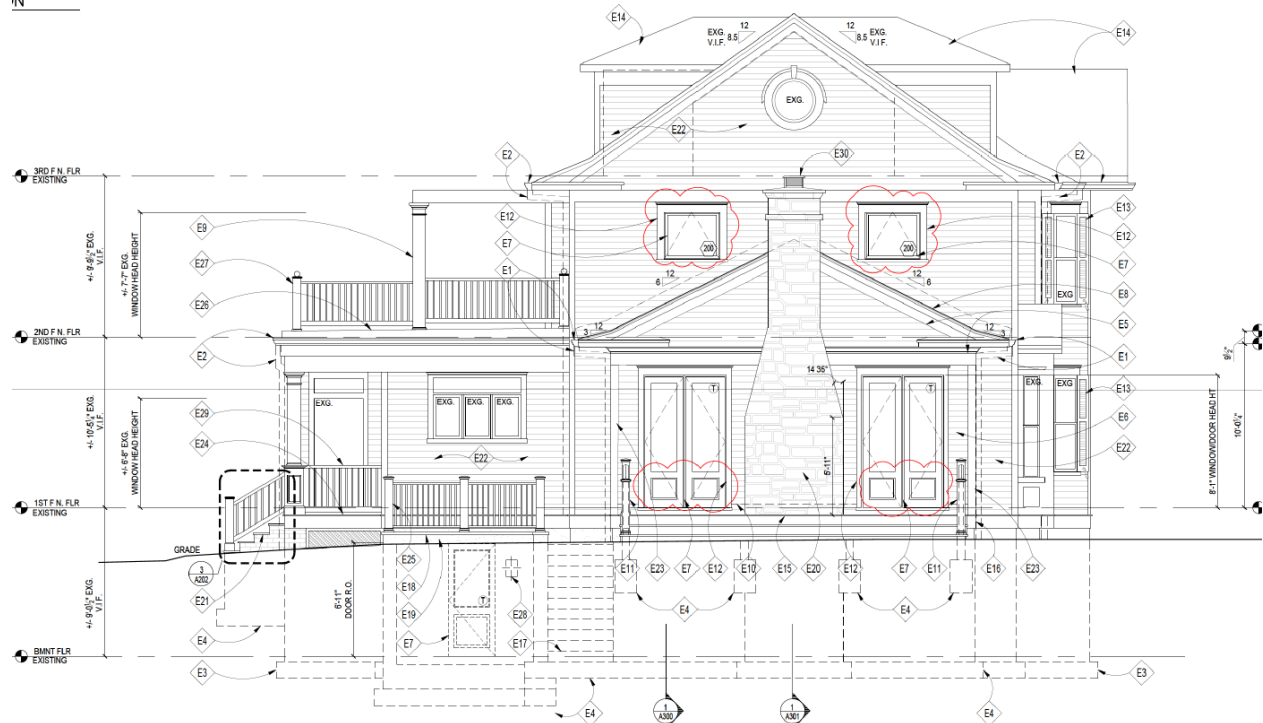


Figure 4: Rear elevation revisions approved at the April 9, 2025 HPC meeting.

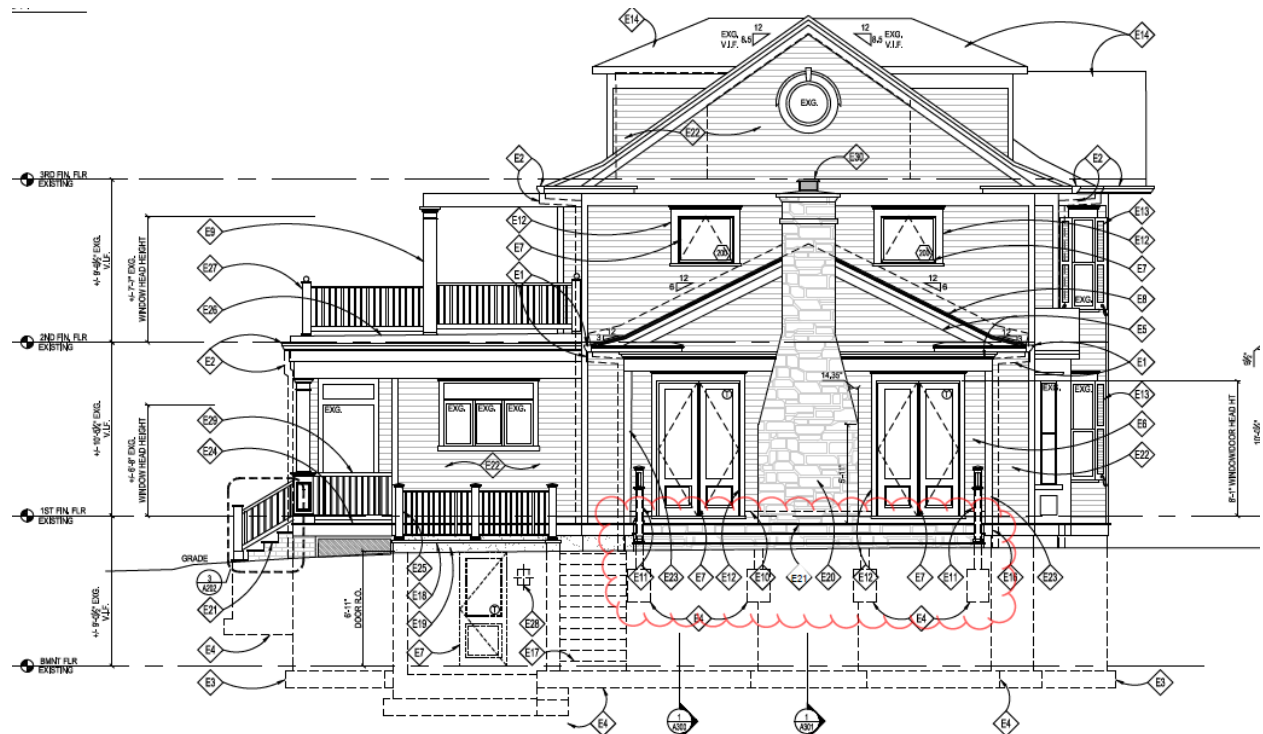


Figure 5: Currently-proposed rear elevation.

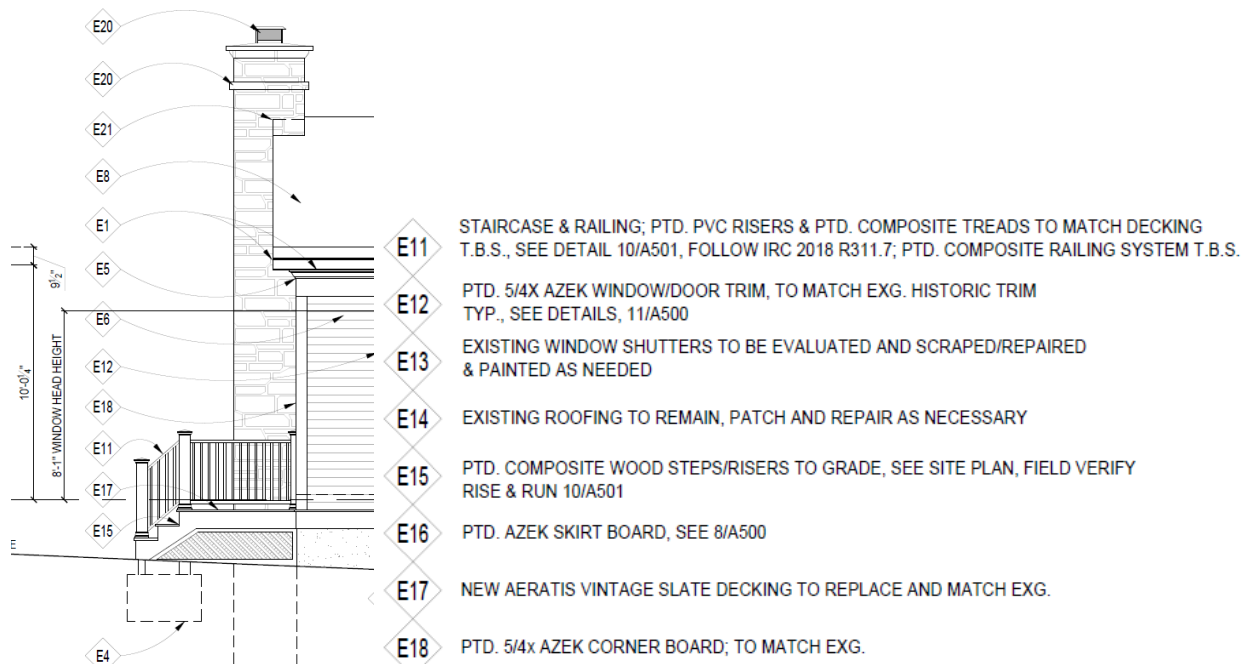


Figure 6: Detail of the left side elevation of the new rear porch (left) and material notes (right), per previous approval documents stamped August 1, 2024.

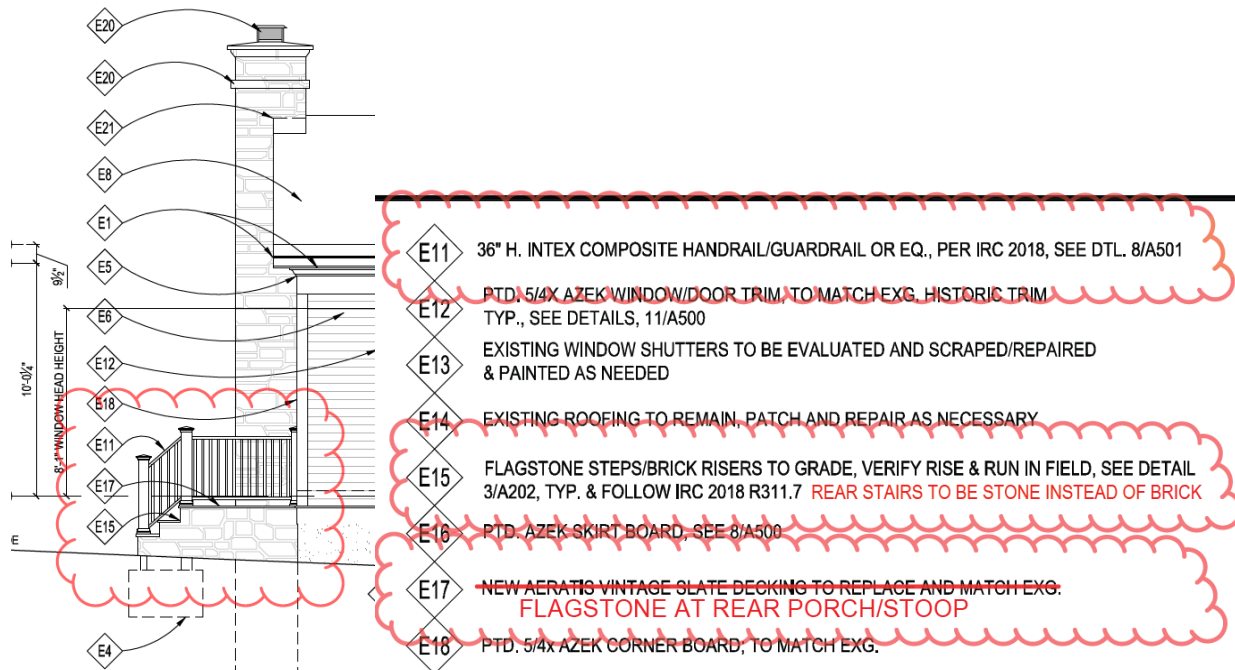


Figure 7: Current, revised left side elevation rear porch detail (left) and material notes (right).

APPLICABLE GUIDELINES

When reviewing alterations and new construction within the Kensington Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the *Approved & Adopted Amendment to the Master Plan for Historic Preservation: Kensington Historic District, Atlas #31/6 (Amendment)*; *Vision of Kensington: A Long-Range Preservation Plan (Vision)*; *Montgomery County Code Chapter 24A (Chapter 24A)*; and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*, and Policy No. 24-01, *the Policy for the Appropriateness of Substitute Materials for Porch and Deck Flooring*. The pertinent information in these documents is outlined below.

Approved & Adopted Amendment to the Master Plan for Historic Preservation: Kensington Historic District, Atlas #31/6

The Amendment notes:

The district is architecturally significant as a collection of late 19th and early 20th Century houses exhibiting a variety of architectural styles popular during the Victorian period including Queen Anne, Shingle, Eastlake and Colonial Revival. The houses share a uniformity of scale, set backs and construction materials that contribute to the cohesiveness of the district's streetscapes. This uniformity, coupled with the dominant design inherent in Warner's original plan of subdivision, conveys a strong sense of both time and place, that of a Victorian garden suburb.

Vision of Kensington: A Long-Range Preservation Plan

The HPC formally adopted the planning study, *Vision of Kensington: A Long-Range Preservation Plan*, and is directed by the Executive Regulations, which were approved by the County Council, to use this plan when considering changes and alterations to the Kensington Historic District. The goal of this preservation plan as noted on Page 1 "was to establish a sound database of information from, which to produce a document that would serve the HPC, M-NCPPC, their staff and the community in wrestling with the protection of historic districts amidst the pressures of life in the 21st century." The plan provides a specific physical description of the district as it is; an analysis of character-defining features of the district; a discussion of the challenges facing the district; and a discussion of proposed strategies for maintaining the character of the district while allowing for appropriate growth and change.

Montgomery County Code Chapter 24A-8

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to ensure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

Secretary of the Interior's Standards for Rehabilitation

2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

Historic Preservation Commission Policy No. 24-01: Policy for the Appropriateness of Substitute Materials for Porch and Deck Flooring

WHEREAS, Section 24A-8(b) of the Montgomery County Code identifies seven criteria to evaluate approvable HAWPs for properties designated on the Master Plan for Historic Preservation or properties that are in a historic district designated on the Master Plan for Historic Preservation;

WHEREAS, nothing in this policy may supersede Council-adopted Design Guidelines for Historic Districts or Sites that already specify the use of certain materials and finishes;

WHEREAS, porches and decks are identified as character-defining features of historic buildings;

WHEREAS, if the HPC determines the porch flooring/decking has deteriorated beyond repair, it shall be the policy of the Historic Preservation Commission that:

1. Sites listed on the Master Plan for Historic Preservation are properties that have been designated to the Master Plan for Historic Preservation based on their individual historic significance, including architectural significance. Because of the significance of these sites, preserving its historic character is of paramount concern. Wood is the appropriate material to maintain the historic appearance, materials, and construction methods at Master Plan sites. The HPC does not evaluate wood and species. The finish applied needs to be compatible with the species selected.
2. Historic districts are comprised of groups of cohesive historic resources that collectively contribute to the county's historic, architectural, archaeological, or cultural values. Resources in many districts are categorized as 'Outstanding,' 'Contributing,' or 'Non-Contributing' and the treatment of these resources varies based on their categorization.
3. Outstanding Resources/Primary – These resources have the highest level of architectural or historical significance in the historic district and the objective for Outstanding/Primary resources is to preserve the historic and architectural character to the greatest extent possible. Wood should be used on all porches and decks for Outstanding/Primary resources. The wood should be painted and installed in a historically appropriate method. Porches on building additions and new construction to Outstanding/Primary resources will be evaluated on a case-by-case basis. As with Master Plan Sites, the HPC does not evaluate wood species and the applied finish needs to be appropriate for the material selected.
4. Contributing Resources – These are significant for their contribution to the district as a whole and prioritize retaining the architectural style, overall volume, and size. Porch floors on 'Contributing' resources may be a compatible substitute material (discussed below), provided the material matches the building's historic character and construction methods. Historic rear porches for 'Contributing' resources may be constructed using a compatible substitute material. Non-historic porches and decks on 'Contributing' resources that are not visible from the public right-of-way may be constructed using substitute materials.
5. Non-Contributing Resources/Secondary/Spatial – These were constructed after the district's period of significance or have been so heavily modified that they no longer contribute to the

historic district's character. These resources do not need to use traditional materials. New porch flooring/decking materials for these resources need to satisfy the criteria for compatible substitute material.

6. Compatible substitute materials for replacement porch flooring/decking – On buildings where a substitute material is acceptable under this policy, the material must satisfy the following criteria:
 - It must match the dimensions and installation method (i.e.) of the existing material or a historically appropriate porch flooring, (e.g., boards must run perpendicular to the house for porches);
 - It must be millable;
 - It can be painted without voiding the product warranty; or,
 - Has a uniform appearance consistent with painted wood;
 - It has a minimal (or no) stamped or embossed texture on the surface; and,
 - It has a finished edge that appears as a cut solid board.

STAFF DISCUSSION

Staff supports the proposed material changes for the proposed rear deck and recommends approval. Staff finds this revision is a de minimis change that will not impact the massing of the proposed addition or the character of the house or surrounding district, per Chapter 24A-8(b)(1). Staff finds that, as a Primary resource, *Policy No. 24-01* allows for case-by-case evaluation of the appropriate porch and deck material on a building addition. Staff finds that the HPC previously approved construction of the new rear deck with compatible substitute materials—Azek and Aeratis. Staff finds that the change to a poured concrete structure clad with stone risers, cheek walls, and flagstone decking, is compatible with the resource and district for use on a non-historic rear addition. Staff finds these changes will be minimally visible or invisible from the public right-of-way, will not impact the historic fabric or the historic character of the house and will be compatible with the resource and district, per Chapter 24A-8(b)(2) and *Standards 2* and *9*.



Figure 8: View of the right side elevation without tree cover, December 2024 (Google Streetview). The new addition is located behind the side projection and white stair visible on the right in this image.



Figure 9: Proposed stone riser veneer and flagstone decking.

STAFF RECOMMENDATION

Staff recommends that the Commission **approve** the revisions to this HAWP application under the Criteria for Issuance in Chapter 24A-8(b)(1) and (2), having found that the proposal is consistent with the *Vision of Kensington*, and therefore will not substantially alter the exterior features of the historic resource and is compatible in character with the district and the purposes of Chapter 24A;

and with the *Vision of Kensington: A Long-Range Preservation Plan*;

and with the *Secretary of the Interior's Standards for Rehabilitation* # 2 and 9;

and with the *Historic Preservation Commission Policy No. 24-01: Policy for the Appropriateness of Substitute Materials for Porch and Deck Flooring*;

and with the general condition that the applicant shall present an electronic set of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation staff if they propose to make any alterations to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-495-2167 or laura.dipasquale@montgomeryplanning.org to schedule a follow-up site visit.



FOR STAFF ONLY:
HAWP# 1060765
DATE ASSIGNED _____

APPLICATION FOR HISTORIC AREA WORK PERMIT

HISTORIC PRESERVATION COMMISSION
301.563.3400

APPLICANT:

Name: Jeff and Gloria Capron E-mail: gcidesign@gloriacapron.com
jeffcapron5504@gmail.com
Address: 10304 Montgomery Ave City: Kensington Zip: 20895
Daytime Phone: _____ Tax Account No.: 01018853

AGENT/CONTACT (if applicable):

Name: LUKE OLSON E-mail: LOLSON@GTMARCHITECTS.COM
Address: 7735 OLD GEORGETOWN RD STE 700 City: BETHESDA Zip: 20814
Daytime Phone: 240-333-2021 Contractor Registration No.: _____

LOCATION OF BUILDING/PREMISE: MIHP # of Historic Property _____

Is the Property Located within an Historic District? ☒ Yes/District Name Kensington
_____ No/Individual Site Name _____

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: 10304 Street: Montgomery Ave
Town/City: Kensington Nearest Cross Street: Kensington Pkwy
Lot: 12 Block: 2 Subdivision: 0015 Parcel: _____

TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:

<input type="checkbox"/> New Construction	<input checked="" type="checkbox"/> Deck/Porch	<input checked="" type="checkbox"/> Shed/Garage/Accessory Structure
<input checked="" type="checkbox"/> Addition	<input checked="" type="checkbox"/> Fence	<input type="checkbox"/> Solar
<input type="checkbox"/> Demolition	<input checked="" type="checkbox"/> Hardscape/Landscape	<input type="checkbox"/> Tree removal/planting
<input checked="" type="checkbox"/> Grading/Excavation	<input type="checkbox"/> Roof	<input type="checkbox"/> Window/Door
		<input checked="" type="checkbox"/> Other: <u>DRIVEWAY MODIFICATION</u>

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature]
Signature of owner or authorized agent

3/18/25
Date

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address

JEFF & GLORIA CAPRON
10304 MONTGOMERY AVE
KENSINGTON, MD 20895

Owner's Agent's mailing address

Luke Olson
7735 Old Georgetown Rd Ste 700
Bethesda, MD 20814

Adjacent and confronting Property Owners mailing addresses

JAMES & CAROL SHARP
10226 CARROLL PL
KENSINGTON MD 20895

MICHAEL & DEBRA MCCURRY
10313 FAWCETT ST
KENSINGTON MD 20895

NICHOLAS & CARRIE STORER
10234 CARROLL PL
KENSINGTON MD 20895

DENNIS & ANGELA KILCULLEN
10308 MONTGOMERY AVE
KENSINGTON MD 20895

MACKIE BARCH & JACQUELINE FORTI
10303 MONTGOMERY AVE
KENSINGTON MD 20895

JENNIFER BRUSH
10312 MONTGOMERY AVE
KENSINGTON MD 20895

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

EXISTING 2-STORY COLONIAL REVIVAL HOUSE WITH CLAPBOARD SIDING AND ASPHALT SHINGLE ROOF CIRCA 1893 WITH 2-STORY DETACHED ACCESSORY STRUCTURE IN REAR YARD.

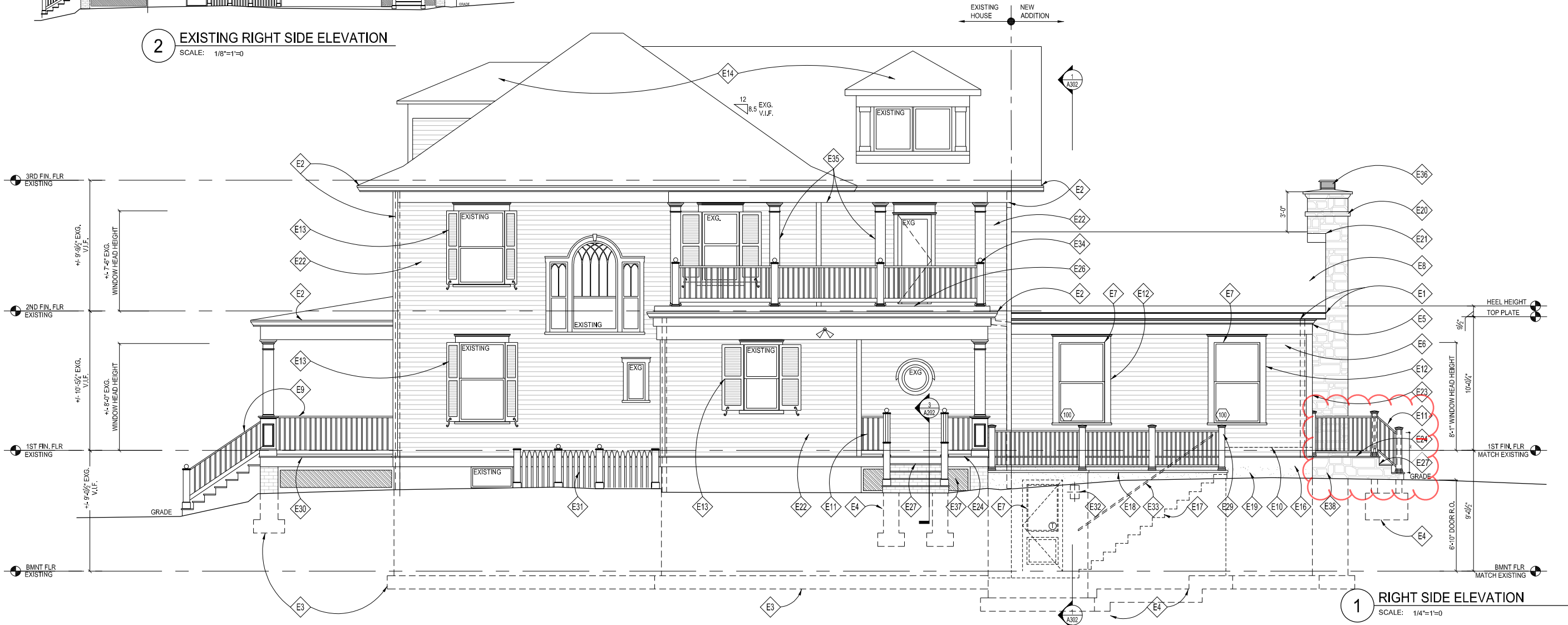
Description of Work Proposed: Please give an overview of the work to be undertaken:

We have previously received approval for our Historic Area Work Permit application. We would like to make a revision to change the rear porch from a wood-frame porch with composite decking to a poured conc. porch clad in stone with flagstone decking.

D
C
B
A
FILE NAME:



2 EXISTING RIGHT SIDE ELEVATION
SCALE: 1/8"=1'-0"



1 RIGHT SIDE ELEVATION
SCALE: 1/4"=1'-0"

ELEVATION NOTES

- E1 GUTTER & DOWNSPOUT, TO MATCH EXISTING. SEE ROOF PLAN, TYPICAL.
E2 EXISTING GUTTERS AND DOWNSPOUTS TO REMAIN, G.C. TO EVALUATE CONDITION OF ROOF DRAINAGE AND REPAIR AS REQ'D.
E3 APPROX. LINE OF EXISTING FOUNDATION & FOOTINGS BELOW, VERIFY IN FIELD.
E4 APPROX. LINE OF PROPOSED FOUNDATION/FOOTINGS BELOW, SEE FOUNDATION PLAN FOR ADDITIONAL INFO.
E5 PTD. AZEK EAVE/CORNICE TRIM TO MATCH EXISTING. SEE DETAILS.
E6 PTD. FIBERCEMENT LAP SIDING TO MATCH EXG.
E7 NEW ALUMINUM CLAD WOOD DOORS & WINDOWS AS SCHEDULED.
E8 ROOFING TO MATCH EXISTING; COLOR TO MATCH EXG. ROOFING.
E9 EXISTING PORCH, RAILING, DECKING & TRIM TO REMAIN; PATCH/REPAIR, SCRAPE, SAND AND REPAINT AS REQUIRED.
E10 PROVIDE NEW CONCEALED ALUMINUM FLASHING @ ALL EXG. VERT. TRANSITIONS; PROVIDE IF MISSING & EXTEND VERT. TRANSITIONS 8" MIN. BEHIND SIDING, TYP.
- E11 36" H. INTEX COMPOSITE HANDRAIL/GUARDRAIL OR EQ., PER IRC 2018, SEE DTL. 8/A501.
E12 PTD. 5/4x AZEK WINDOW/DOOR TRIM, TO MATCH EXG. HISTORIC TRIM TYP., SEE DETAILS, 11/A500.
E13 EXISTING WINDOW SHUTTERS TO BE EVALUATED AND SCRAPED/REPAIRED & PAINTED AS NEEDED.
E14 EXISTING ROOFING TO REMAIN, PATCH AND REPAIR AS NECESSARY.
E15 PTD. COMPOSITE WOOD STEPS/RISERS TO GRADE, SEE SITE PLAN, FIELD VERIFY RISE & RUN.
E16 PTD. AZEK SKIRT BOARD, SEE 8/A500.
E17 FLAGSTONE STEPS/PARGED CONCRETE RISERS TO GRADE, VERIFY RISE & RUN IN FIELD, SEE DETAIL 17/A501, TYP. & FOLLOW IRC 2018 R311.7.
E18 AREAWAY WALL W/ SLOPED STONE CAP, SEE STRUCTURAL DETAIL 2/A500.
E19 CEMENTITIOUS PARGE COAT OVER FOUNDATION WALLS.
E20 NEW MASONRY CHIMNEY, SEE SHEET A501 FOR DETAILS.

- E21 PTD. ALUMINUM BASE & COUNTER FLASHING @ NEW CHIMNEY.
E22 EXISTING SIDING TO REMAIN; PATCH/REPAIR, SCRAPE, SAND AND REPAINT AS REQUIRED.
E23 PTD. 5/4x AZEK CORNER BOARD; TO MATCH EXG.
E24 NEW AERATIS VINTAGE SLATE DECKING TO REPLACE EXG. DECKING.
E25 NOT USED.
E26 EXG. DECKING TO BE SELECTIVELY REMOVED TO PROVIDE ACCESS TO DECK SUBSTRUCTURE TO BE EVALUATED/REPAIRED; STORE ON-SITE FOR REINSTALL, REPLACE IN-KIND AS REQ'D.
E27 2" FLAGSTONE STEPS/BRICK RISERS TO GRADE, VERIFY RISE & RUN IN FIELD, SEE DETAIL 3/A202, TYP. & FOLLOW IRC 2018 R311.7. REAR STAIRS TO BE STONE INSTEAD OF BRICK.
E28 NOT USED.
E29 36" H. INTEX COMPOSITE GUARDRAIL OR EQ., PER IRC 2018, SEE DTL. 5/A500.
E30 REPLACE EXG. DECKING IN-KIND W/ WOOD DECKING.

- E31 EXG. TRASH ENCLOSURE TO REMAIN.
E32 EXTERIOR LIGHTING, ALLENBURY 12" 1 LIGHT WALL LIGHT OR EQ.
E33 PTD. COMPOSITE 36" HANDRAIL, PER IRC 2018, INTEX OR EQ.; SEE ELEVATIONS & DETAIL 4/A500.
E34 EXG. GUARDRAIL TO REMAIN WHERE POSSIBLE, BE STORED ON SITE, EVALUATED AND SCRAPED, PAINTED, REPAIRED, OR REPLACED IN-KIND WHERE REQUIRED.
E35 EXG. COLUMNS AND PERGOLA STRUCTURE TO REMAIN WHERE POSSIBLE, TO BE STORED ON SITE, EVALUATED AND SCRAPED, PAINTED, REPAIRED, OR REPLACED IN-KIND WHERE REQUIRED.
E36 LARGE KENSINGTON CHIMNEY POT BY CLAYCHIMNEYPOTS OR EQ.
E37 PTD. PVC LATTICE PANEL TO REPLACE EXG. AS REQ'D.
E38 PTD. PVC LATTICE PANEL TO MATCH EXG.

NOTES:

1. VERIFY ALL EXTERIOR RISER & TREAD DIMENSIONS IN FIELD.
2. EXITING BRICK TO BE REPAINTED.
3. = TEMPERED GLASS.

GTM ARCHITECTS

7735 OLD GEORGETOWN ROAD
SUITE 700
BETHESDA, MD 20814
(240)333-2000
(240)333-2001 FAX
WWW.GTMARCHITECTS.COM



Seal



Consultant

Project

CAPRON
RESIDENCE

10304 MONTGOMERY AVE., KENSINGTON, MD 20895

Owner

Developer

DESIGN DEVELOPMENT 2/13/2024
Issue Description Date

GTM Project No. 23.0138

Checked By GTM

Drawn By LEO/TK

Scale AS NOTED

Sheet Title

RIGHT SIDE
ELEVATION

Sheet No.

A201

COPYRIGHT, 2024 GTM ARCHITECTS, INC.

D

C

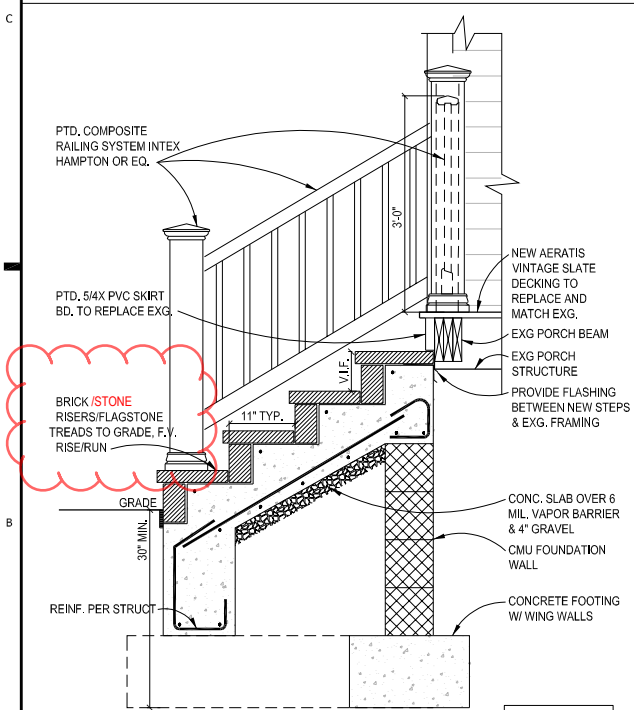
B

A

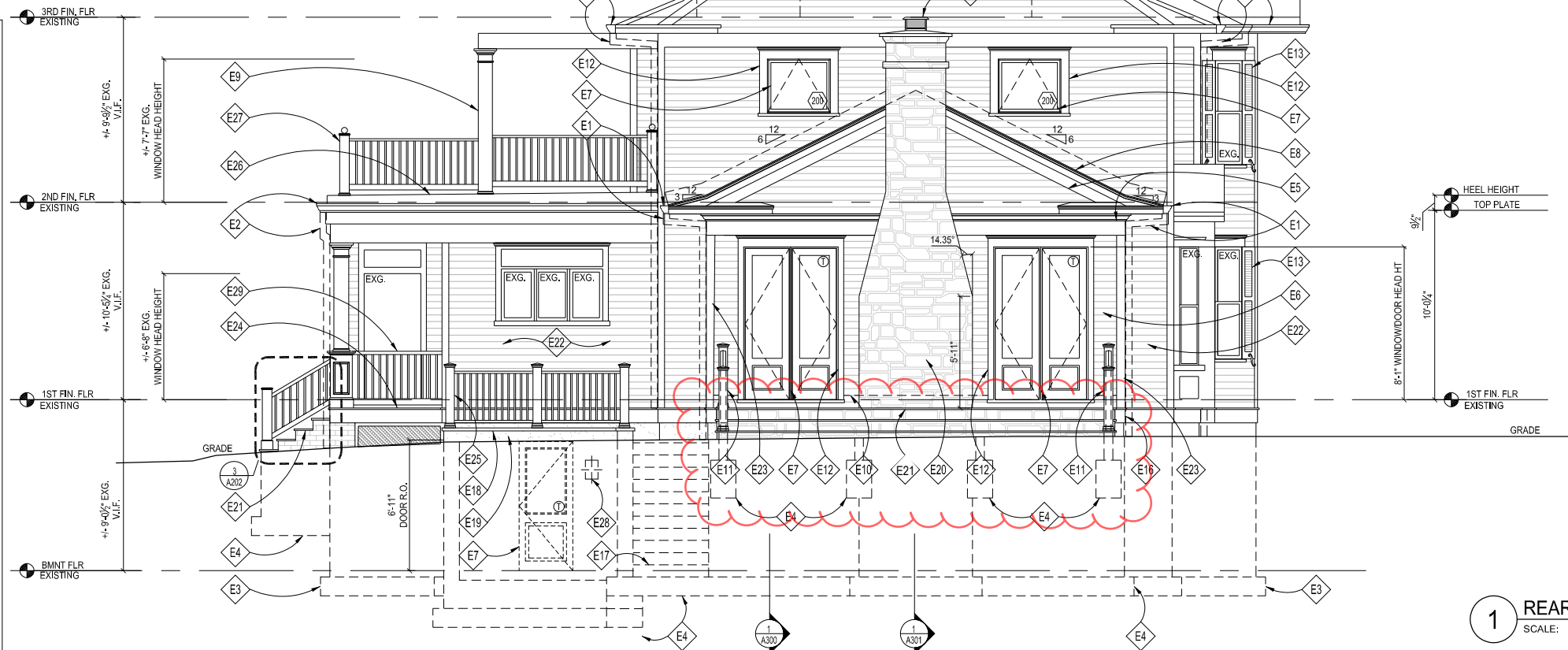
FILE NAME:



2 EXISTING REAR ELEVATION
SCALE: 1/8"=1'-0"



3 CONCRETE STAIR DETAIL
SCALE: 3/4"=1'-0"



1 REAR ELEVATION
SCALE: 1/4"=1'-0"

ELEVATION NOTES

- E1

GUTTER & DOWNSPOUT, TO MATCH EXISTING. SEE ROOF PLAN, TYPICAL.
- E2

EXISTING GUTTERS AND DOWNSPOUTS TO REMAIN, G.C. TO EVALUATE CONDITION OF ROOF DRAINAGE AND REPAIR AS REQ'D.
- E3

APPROX. LINE OF EXISTING FOUNDATION & FOOTINGS BELOW, VERIFY IN FIELD.
- E4

APPROX. LINE OF PROPOSED FOUNDATION/FOOTINGS BELOW, SEE FOUNDATION PLAN FOR ADDITIONAL INFO.
- E5

PTD. AZEK EAVE/CORNICE TRIM TO MATCH EXISTING. SEE DETAIL 1/A500.
- E6

PTD. FIBERCEMENT LAP SIDING TO MATCH EXG.
- E7

NEW ALUMINUM CLAD WOOD DOORS & WINDOWS AS SCHEDULED.
- E8

ROOFING TO MATCH EXISTING; COLOR TO MATCH EXG. ROOFING.
- E9

EXG. COLUMNS AND PERGOLA STRUCTURE TO REMAIN WHERE POSSIBLE, TO BE STORED ON SITE, EVALUATED AND SCRAPPED, PAINTED, REPAIRED, OR REPLACED IN-KIND WHERE REQUIRED.
- E10

PROVIDE NEW CONCEALED ALUMINUM FLASHING @ ALL EXG. VERT. TRANSITIONS; PROVIDE IF MISSING & EXTEND VERT. TRANSITIONS 8" MIN. BEHIND SIDING, TYP.
- E11

36" H. INTEX COMPOSITE HANDRAIL/GUARDRAIL OR EQ., PER IRC 2018, SEE DTL. 8/A501.
- E12

PTD. 5/4X AZEK WINDOW/DOOR TRIM, TO MATCH EXG. HISTORIC TRIM TYP., SEE DETAILS, 11/A500.
- E13

EXISTING WINDOW SHUTTERS TO BE EVALUATED AND SCRAPPED/REPAIRED & PAINTED AS NEEDED.
- E14

EXISTING ROOFING TO REMAIN, PATCH AND REPAIR AS NECESSARY.
- E15

STAIRCASE & RAILING; PTD. PVC RISERS & PTD. COMPOSITE TREADS TO MATCH DECKING T.B.S., SEE DETAIL 10/A501, FOLLOW IRC 2018 R311.7; PTD. COMPOSITE RAILING SYSTEM T.B.S.
- E16

PTD. AZEK SKIRT BOARD, SEE 8/A500.
- E17

FLAGSTONE STEPS/PARGED CONCRETE RISERS TO GRADE, VERIFY RISE & RUN IN FIELD, SEE DETAIL 17/A501, TYP., & FOLLOW IRC 2018 R311.7.
- E18

AREAWAY WALL W/ SLOPED STONE CAP, SEE STRUCTURAL DETAILS.
- E19

CEMENTITIOUS PARGE COAT OVER FOUNDATION WALLS.
- E20

NEW MASONRY CHIMNEY, SEE SHEET A501 FOR DETAILS.

- E21

FLAGSTONE STEPS/BRICK RISERS TO GRADE, VERIFY RISE & RUN IN FIELD, SEE DETAIL 3/A202, TYP., & FOLLOW IRC 2018 R311.7. REAR STAIRS TO BE STONE INSTEAD OF BRICK.
- E22

EXISTING SIDING TO REMAIN, PATCH/REPAIR, SCRAPE, SAND AND REPAINT AS REQUIRED.
- E23

PTD. 5/4X AZEK CORNER BOARD; TO MATCH EXG.
- E24

NEW AERATIS VINTAGE SLATE DECKING TO REPLACE EXG. DECKING.
- E25

36" H. INTEX COMPOSITE GUARDRAIL OR EQ., PER IRC 2018, SEE DTL. 5/A500.
- E26

EXG. DECKING TO BE SELECTIVELY REMOVED TO PROVIDE ACCESS TO DECK SUBSTRUCTURE TO BE EVALUATED/REPAIRED, STORE ON-SITE FOR REINSTALL, REPLACE IN-KIND AS REQ'D.
- E27

EXG. GUARDRAIL TO REMAIN WHERE POSSIBLE, BE STORED ON SITE, EVALUATED AND SCRAPPED, PAINTED, REPAIRED, OR REPLACED IN-KIND WHERE REQUIRED.
- E28

EXTERIOR LIGHTING, ALLENBURY 12" 1 LIGHT WALL LIGHT OR EQ.
- E29

PTD. COMPOSITE 36" HANDRAIL/GUARDRAIL PER IRC 2018, INTEX OR EQ.; SEE ELEVATIONS & DETAIL 10/A501.
- E30

LARGE KENSINGTON CHIMNEY POT BY CLAYCHIMNEYPOTS OR EQ.

- NOTES:
1. VERIFY ALL EXTERIOR RISER & TREAD DIMENSIONS IN FIELD.
 2. EXITING BRICK TO BE REPAINTED.
 3. = TEMPERED GLASS.

GENERAL NOTES

- FOR ENTIRE HOUSE:
1. INVESTIGATE & REPLICATE/RESTORE HISTORIC WOOD LAP SIDING TRIM DETAILS AS NECESSARY. CONFER WITH HISTORIC PRESERVATION STAFF BEFORE COMMENCING WORK ON ANY EXISTING TRIM/SIDING. PROVIDE NEW PTD. PVC TRIM DETAILS TO MATCH EXISTING HISTORIC DETAILS AS CLOSELY AS POSSIBLE ON ADDITION.
 2. ALL WOOD TRIM (CORNERBOARDS, FRIEZE BOARDS, SOFFITS, WINDOW CASING, SKIRTBOARDS, APRONS, ETC.) TO BE WINDSOR-ONE+ OR APPROVED EQ. PRIME ALL END CUTS & INSTALL PER MANUFACTURERS INSTRUCTIONS.

GTM ARCHITECTS

7735 OLD GEORGETOWN ROAD
SUITE 700
BETHESDA, MD 20814
(240)333-2000
(240)333-2001 FAX
WWW.GTMARCHITECTS.COM



Seal



I certify that these documents were prepared by me or under my direct supervision and that I am a duly licensed architect under the laws of the State of Maryland, license number 8385, Expiration Date: 12-31-2024.

Consultant

Project

CAPRON
RESIDENCE

10304 MONTGOMERY AVE, KENSINGTON, MD 20895

Owner

Developer

DESIGN DEVELOPMENT
Issue Description

2/13/2024
Date

GTM Project No. 23.0138

Checked By GTM

Drawn By LEO/TK

Scale AS NOTED

Sheet Title

REAR ELEVATION

Sheet No.

A202

