MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 3924 Washington Street, Kensington Meeting Date: 9/3/2025

Resource: Secondary Resource **Report Date:** 8/27/2025

Kensington Historic District
Public Notice: 8/

Public Notice: 8/20/2025 **Applicant:** Stephen "Pooh" Strachan

Tax Credit: No **Review:** HAWP

Staff: Laura DiPasquale

Permit No.: 1128890

Proposal: Enclosure of existing screened porch, construction of new screened porch

STAFF RECOMMENDATION

Staff recommends that the HPC <u>approve with one (1) condition</u> the HAWP application, with final approval authority for all details delegated to staff:

1. The new windows must have simulated-divided-lights, not grilles-between-glass.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Secondary Resource within the Kensington Historic District

STYLE: Modern DATE: Post-1930

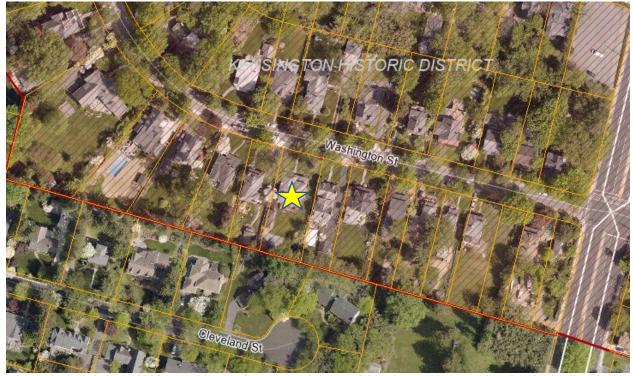


Figure 1: Aerial view of 3924 Washington Street, Kensington, within the Kensington Historic District (hatched in red).



Figure 2: View of the front and partial right (west) side elevations from Washington Street.

PROPOSAL

The applicant proposes to remove an existing rear deck, screened porch, rear and side windows, and portions of the first-floor rear wall, enclose the existing screened porch structure with new siding and double-hung windows, and to construct a new screened porch with stair to grade. The new screened porch would be 16-feet deep by 25.5-feet wide with a gabled roof intersecting the pitched roof of the existing rear addition and screened porch.

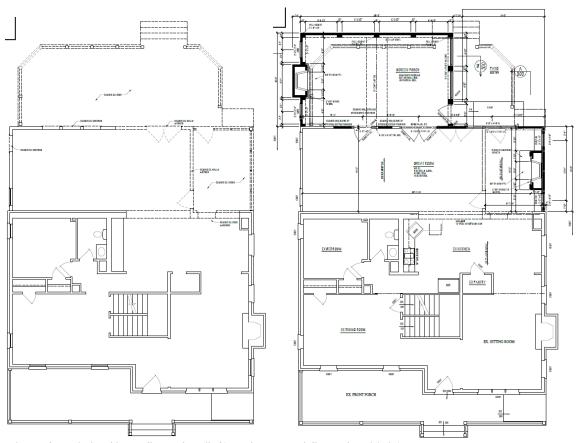


Figure 3: Existing/demo floor plan (left) and proposed floor plan (right).



Figure 4: Existing right elevation photograph, August 2025 (Historic Preservation Office).

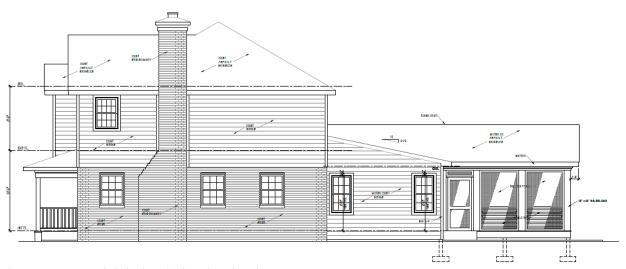


Figure 5: Proposed right (west) elevation drawing.



Figure 6: Existing rear (south) elevation photograph (left) and proposed elevation drawing (right).



Figure 7: Existing left (east) elevation photograph, August 2025 (Historic Preservation Office).

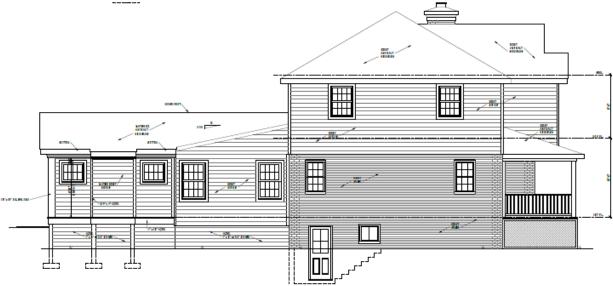


Figure 8: Existing left (west) elevation photograph (left) and proposed elevation drawing (right).

APPLICABLE GUIDELINES

When reviewing alterations and new construction within the Kensington Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the Approved & Adopted Amendment to the Master Plan for Historic Preservation: Kensington Historic District, Atlas #31/6 (Amendment); Vision of Kensington: A Long-Range Preservation Plan (Vision); Montgomery County Code Chapter 24A (Chapter 24A); and the Secretary of the Interior's Standards for Rehabilitation (Standards). The pertinent information in these documents is outlined below.

Approved & Adopted Amendment to the Master Plan for Historic Preservation: Kensington Historic District, Atlas #31/6

According to the Guidelines, a Historic District as identified....shall consist of the entire area represented by all of the historic resources with their appurtenances and environmental setting. Non-historic properties within the boundaries of the Historic District are also subject to regulation, as they are considered appurtenances and part of the environmental setting of the historic resources of the District.

In regard to the properties identified as secondary resources--that is visually contributing, but non-historic structures or vacant land within the Kensington District--the Ordinance requires the Preservation Commission to be lenient in its judgment of plans for contemporary structures or for plans involving new construction unless such plans would seriously impair the historic or architectural value of surrounding resources or impair the character of the district.

Vision of Kensington: A Long-Range Preservation Plan

The HPC formally adopted the planning study, *Vision of Kensington: A Long-Range Preservation Plan*, and is directed by the Executive Regulations, which were approved by the County Council, to use this plan when considering changes and alterations to the Kensington Historic District. The goal of this preservation plan as noted on Page 1 "was to establish a sound database of information from, which to produce a document that would serve the HPC, M-NCPPC, their staff and the community in wrestling with the protection of historic districts amidst the pressures of life in the 21st century." The plan provides a specific physical description of the district as it is; an analysis of character-defining features of the district; a discussion of the challenges facing the district; and a discussion of proposed strategies for maintaining the character of the district while allowing for appropriate growth and change.

Montgomery County Code Chapter 24A-8

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to ensure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

Secretary of the Interior's Standards for Rehabilitation

The Secretary of the Interior defines rehabilitation as "the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values." The Standards read are as follows:

- 2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
- 9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
- 10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Historic Preservation Commission Policy No. 24-01: Policy for the Appropriateness of Substitute Materials for Porch and Deck Flooring

Now, THEREFORE:

WHEREAS, Section 24A-8(b) of the Montgomery County Code identifies seven criteria to evaluate approvable HAWPs for properties designated on the Master Plan for Historic Preservation or properties that are in a historic district designated on the Master Plan for Historic Preservation;

WHEREAS, nothing in this policy may supersede Council-adopted Design Guidelines for Historic Districts or Sites that already specify the use of certain materials and finishes;

WHEREAS, porches and decks are identified as character-defining features of historic buildings;

WHEREAS, if the HPC determines the porch flooring/decking has deteriorated beyond repair, it shall be the policy of the Historic Preservation Commission that:

- Sites listed on the Master Plan for Historic Preservation are properties that have been
 designated to the Master Plan for Historic Preservation based on their individual historic
 significance, including architectural significance. Because of the significance of these sites,
 preserving its historic character is of paramount concern. Wood is the appropriate material to
 maintain the historic appearance, materials, and construction methods at Master Plan sites.
 The HPC does not evaluate wood and species. The finish applied needs to be compatible
 with the species selected.
- 2. Historic districts are comprised of groups of cohesive historic resources that collectively contribute to the county's historic, architectural, archaeological, or cultural values. Resources in many districts are categorized as 'Outstanding,' 'Contributing,' or 'Non-Contributing' and the treatment of these resources varies based on their categorization.
- 3. Outstanding Resources/Primary These resources have the highest level of architectural or historical significance in the historic district and the objective for Outstanding/Primary resources is to preserve the historic and architectural character to the greatest extent possible. Wood should be used on all porches and decks for Outstanding/Primary resources. The wood should be painted and installed in a historically appropriate method. Porches on building additions and new construction to Outstanding/Primary resources will be evaluated on a case-by-case basis. As with Master Plan Sites, the HPC does not evaluate wood species and the applied finish needs to be appropriate for the material selected.

- 4. Contributing Resources These are significant for their contribution to the district as a whole and prioritize retaining the architectural style, overall volume, and size. Porch floors on 'Contributing' resources may be a compatible substitute material (discussed below), provided the material matches the building's historic character and construction methods. Historic rear porches for 'Contributing' resources may be constructed using a compatible substitute material. Non-historic porches and decks on 'Contributing' resources that are not visible from the public right-of-way may be constructed using substitute materials.
- 5. Non-Contributing Resources/Secondary/Spatial These were constructed after the district's period of significance or have been so heavily modified that they no longer contribute to the historic district's character. These resources do not need to use traditional materials. New porch flooring/decking materials for these resources do not need to satisfy the criteria for compatible substitute material.
- 6. Compatible substitute materials for replacement porch flooring/decking On buildings where a substitute material is acceptable under this policy, the material must satisfy the following criteria:
 - It must match the dimensions and installation method (i.e.) of the existing material or a historically appropriate porch flooring, (e.g., boards must run perpendicular to the house for porches);
 - It must be millable;
 - It can be painted without voiding the product warranty; or,
 - Has a uniform appearance consistent with painted wood;
 - It has a minimal (or no) stamped or embossed texture on the surface; and,
 - It has a finished edge that appears as a cut solid board.

STAFF DISCUSSION

Staff supports the proposed alterations and recommends approval. Staff finds that the house, which is listed as a Secondary resource in the Kensington Historic District, was modified to its current appearance in 2003. As a Secondary resource, the *Amendment* states that the HPC should be lenient in its judgment of plans unless such plans would seriously impair the character of the district, per Chapter 24-8(d). Given its placement at the rear of the property, which is located along the southern district boundary, staff finds that the proposed work will have limited visibility from the public right-of-way and will not impact the character-defining features of the historic "garden setting" or the rhythm of the streetscape, per the *Vision*.

Staff further finds that the alterations are to be made to the non-historic addition, and therefore that no historic fabric will be removed, per *Standard* 2, and that the new work is compatible in features, size, scale, and massing to protect the integrity of the property and its environment, per *Standard* 9. Per *Standard* 10, if removed in the future, the proposed work would leave the integrity of the environment unimpaired.

Staff finds that the proposed Hardie Plank lap siding, Marvin Elevate fiberglass windows, and Belleville fiberglass doors, and Trex porch decking are compatible for use on a rear addition to a Secondary resource, per Chapter 24A-8(b)(2) and *Policy 24-01*. Staff notes, however, that the window specification includes both simulated-divided-light and grilles-between-glass options, and that the former is the more appropriate design for use on any resource in a historic district, and would match the upper floor windows on the existing house, which were approved by the HPC in 2003.

¹ The staff report and application for the second-floor addition at 3924 Washington Street, approved by the HPC in 2003: https://mcatlas.org/tiles/06_HistoricPreservation_PhotoArchives/Padlock/HAR60640010/Box084/31-06-03L Kensington%20Historic%20District%20PrelimConsult 3924%20Washington%20St 03-20-2002.pdf

STAFF RECOMMENDATION

Staff recommends that the Commission <u>approve with one (1) condition</u> the HAWP application, with final approval authority for all details delegated to staff:

1) The new windows must have simulated-divided-lights, not grilles-between-glass;

under the Criteria for Issuance in Chapter 24A-8(b)(1) and (2), and (d), having found that the proposal will not substantially alter the exterior features of the historic resource and is compatible in character with the purposes of Chapter 24A;

the Vision of Kensington: A Long-Range Preservation Plan;

and with the Secretary of the Interior's Standards for Rehabilitation # 2, 9, and 10;

and with the *Historic Preservation Commission Policy No. 24-01: Policy for the Appropriateness of Substitute Materials for Porch and Deck Flooring;*

and with the general condition that the applicant shall present an electronic set of drawings, if applicable, to HPC staff for review and stamping prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the HPC as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the HPC staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will <u>contact the staff person</u> assigned to this application at 301-495-2167 or <u>laura.dipasquale@montgomeryplanning.org</u> to schedule a follow-up site visit.





APPLICATION FOR HISTORIC AREA WORK PERMIT HISTORIC PRESERVATION COMMISSION 301.563.3400

APPLICANT:

Name:	E-m	nail:	
Address:	City	/:	Zip:
Daytime Phone:	Tax	Account	No.:
AGENT/CONTACT (if applicable):			
Name:	E-m	nail:	
Address:	City	/:	Zip:
Daytime Phone:	Cor	ntractor R	egistration No.:
LOCATION OF BUILDING/PREMISE	: MIHP # of Historic Pro	perty	
Is there an Historic Preservation/Lar map of the easement, and documen Are other Planning and/or Hearing E (Conditional Use, Variance, Record P supplemental information. Building Number:	tation from the Easeme xaminer Approvals /Re lat, etc.?) If YES, include Street:	ent Holde views Rec e informa	r supporting this application. quired as part of this Application? tion on these reviews as
Lot: Block:	Subdivision:	Parce	el:
TYPE OF WORK PROPOSED: See to for proposed work are submitted be accepted for review. Check all and accurate and that the construction I hereby certify that I have the author and accurate and that the construction agencies and legacy acknowledge and the construction and accurate and the construction agencies and legacy acknowledge and the construction are constructed as a construction and accurate and the construction are constructed as a construction accurate and the construction are constructed as a construction and accurate and the construction are constructed as a constr	I with this application that apply: Deck/Porch Fence Hardscape/Landscape Roof ority to make the foregotion will comply with pla	i. Incomp	Shed/Garage/Accessory Structure Solar Tree removal/planting Window/Door Other: cation, that the application is corrected and approved by all necessary

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFING [Owner, Owner's Agent, Adjacent and Confronting Property Owners] Owner's mailing address Owner's Agent's mailing address Adjacent and confronting Property Owners mailing addresses

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:
Description of Work Proposed: Please give an overview of the work to be undertaken:

Work Item 1:	
Description of Current Condition:	Proposed Work:
Work Item 2:	
Description of Current Condition:	Proposed Work:
Work Item 3:	
Description of Current Condition:	Proposed Work:

HISTORIC AREA WORK PERMIT CHECKLIST OF APPLICATION REQUIREMENTS

	Required Attachments						
Proposed Work	I. Written Description	2. Site Plan	3. Plans/ Elevations	4. Material Specifications	5. Photographs	6. Tree Survey	7. Property Owner Addresses
New Construction	*	*	*	*	*	*	*
Additions/ Alterations	*	*	*	*	*	*	*
Demolition	*	*	*		*		*
Deck/Porch	*	*	*	*	*	*	*
Fence/Wall	*	*	*	*	*	*	*
Driveway/ Parking Area	*	*		*	*	*	*
Grading/Exc avation/Land scaing	*	*		*	*	*	*
Tree Removal	*	*		*	*	*	*
Siding/Roof Changes	*	*	*	*	*		*
Window/ Door Changes	*	*	*	*	*		*
Masonry Repair/ Repoint	*	*	*	*	*		*
Signs	*	*	*	*	*		*















MR. & MRS. POOH STRACHAN

3924 WASHINGTON STREET KENSINGTON, MD 20895

JOBSITE LOCATION:

3924 WASHINGTON STREET KENSINGTON, MD 20895 DATE: 08-08-2025

GENERAL NOTES

GROUND SNOW LOAD	WIND SPEED	SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM			WIN IER LINI	ICE SHIELD	FLOOD	AIR	MEAN	
			Weathering	Frost line depth	Termite	Decay	IFMP I	LAYMENT REQUIRED			ANNUAI TEMP
30 p.s.f.	115 mph	В	Severe	30"	Moderate to Heavy	Slight to Moderate	13°F	Yes	7-2-79	300	55℉

1) All construction to be in conformance with 2021 I.R.C., one and two family dwelling code & all MONTGOMERY COUNTY additions and revisions thereto.

2) Design live loads:

- 3) Soil bearing to be 2000 p.s.f. minimum. Design for 60 p.s.f. lateral soil pressure
- 4) Design wind load 115 mph.
- 5) Bottom of all concrete footings to be 30" minimum below finished grade.
- 6) Foundation walls shall comply to I.R.C. Sec. R-401. thru 404.
- 7) Foundation drainage shall comply to I.R.C. Sec. R-405.
- 8) Foundation waterproofing shall comply to I.R.C. Sec. R-406.
- 9) Attached Garages shall comply to I.R.C. Sec. R-309.
- 10) Concrete floors shall comply to I.R.C. Sec. R-506.
- 11) All concrete to be 150 p.c.f. and conform to the latest A.C.I. 318 specifications. Porches, garages, slabs and steps exposed to weather, to be 3500 p.s.i. air entrained concrete. Foundation walls, exterior walls and other vertical concrete work to be 3000 p.s.i. air entrained concrete. All other concrete to be 4000 p.s.i.
- 12) All c.m.u. used in basement and foundation walls shall be load bearing units conforming to A.S.T.M. C 90—70 for hollow units. At wood post and wood beam bearing locations on c.m.u. wall cells shall be filled solid with grout or mortar for top two course minimum.
- 13) All c.m.u. walls shall have standard truss type DUR—0—WALL bed joint reinforcing at maximum 16" vertical spacing.
- 14) All brick units used in exterior shall conform to A.S.T.M. C 62 or A.S.T.M. C 216
- 15) All mortar shall be type "S" conforming to A.S.T.M. C 270
- 16) Stone and masonry veneer shall conform to I.R.C. Sec. R-703.8.
- 17) Backfilling against basement walls shall not be performed until first floor framing is in place and top of reinforced c.m.u. walls are braced against overturning.
- 18) Maximum allowable lateral pressure on basement walls 60 p.s.f.
- 19) All reinforcing steel to be grade 60 and conform to A.S.T.M. Spec. A 615. Unless otherwise noted. Provide corner bars at all wall corners. Submit reinforcing steel shop drawings for approval.
- 20) Steel post cap plates to conform to A.S.T.M., Spec. A 36, Fy = 36,000 p.s.i. Bolts shall be A.S.T.M. A 307 or better.
- 21) Steel columns in basement to be adjustable 3"I.D. S40 columns unless specified otherwise. structural steel shall meet A.S.T.M.982 standards. All connections to be A.I.S.C. standard.
- 22) All structural wood framing, including roof and floor sheathing, to be in accordance with the "National Design Specifications for Wood Construction", published by The National Forest Products Association. Framing lumber shall be of the following grades or better:

CLASSIFICATION	SIZE	BENDING "Fb"	MODULUS OF ELASTICITY "E"
POSTS #1 D.F.		1200	1600000
HEADERS, BEAMS, ROOF HIPS #1 S.P.	2X4 2X6 2X8 2X10 2X12	1850 1650 1500 1300 1250	1700000 1700000 1700000 1700000 1700000
RAFTERS, JOISTS AND STUDS #2 H.F.	2X4 2X6 2X8 2X10 2X12	1000 1000 1000 1000 1000	1500000 1500000 1500000 1500000 1500000
Gang-Lam Beams (Fv = 285 PSI)	all	2800	2000000

23) All headers to be 2 - 2" x 12" unless specified otherwise.

24) Provide double jack studs at each end of headers and beams, 4'-0" to 5'-11", and triple jack studs for 6'-0" or longer, unless noted otherwise.

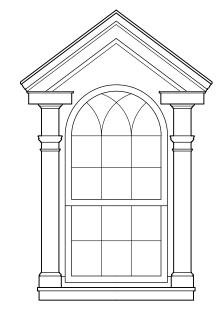
- 25) Splices of the bottom and top portion of a double top plate must be staggered a minimum of 4'-0".
- 26) All roof, floor and girder trusses to be designed by truss manufacturer to carry required loads and to be installed according to manufacturer's specifications.
- 27) Contractor to provide architect with shop drawings for all roof and floor trusses. Shop drawings to be provided to architect for approval prior to ordering trusses.
- 28) Provide solid blocking under all jack studs not bearing directly on joists or T.J.I.'s.
- 29) In those cases where floor trusses are not centered directly over the studs, splices of the top plate shall occur only over the studs.
- 30) Where installation of plumbing, heating or other pipes necessitates cutting of top plates, a metal tie not less than eighteen gauge, forty—five thousandths (0.045)" thickness and 1 1/2" wide shall be fastened to the plate across and to each side of the opening with not less than 16d nails
- 31) Double beams, double hip and valley rafters shall be nailed securely together to ensure that the two members act conjointly in resisting the applied load.
- 32) Unless specified otherwise provide the following lintel over masonry openings:

BRICK & STONE: UP TO 4"	3'-0"	3 1/2" X 3 1/2" X 1/4"
	5'-0"	3 1/2" X 4" X 1/4"
	8'-0"	3 1/2" X 5" X 5/16"
	9'-0"	3 1/2" X 6" X 5/16"
STONE: UP TO 6"	3'-0"	6" X 4" X 5/16"
	5'-0"	6" X 6" X 5/16"
	8'-0"	6" X 6" X 3/8"
	9'-0"	6" X 8" X 7/16"

- 33) All untreated lumber to be minimum of 8" above finished grade. All lumber in contact with concrete or c.m.u. to be pressure treated.
- 34) All prefab fireplaces to be U.L. rated and installed according to manufacturers specifications.
- 35) Chimney and fireplace construction to be in accordance with I.R.C. Chapter 10 and fig. R-1001.1.
- 36) Fireplace hearth to project 20" from front of facing and 12" to side of opening.
- 37) Fireblocking shall be provided according to I.R.C. Sec. R 602.8. The integrity of all fireblocking shall be maintained.
- 38) Draftstopping shall be provided according to I.R.C. Sec. R 302.12.
- 39) Provide radon mitigation according to I.R.C. Appendix AF.
- 40) Provide interconnected smoke detectors, carbon monoxide dectectors & automatic sprinkler systems to protect all floors, bedrooms, and basements according to I.R.C. Sec. R-313 & R-314
- 41) Stairways shall comply with I.R.C. Sec. R-311. Minimum headroom to be 6'-8'' clear at all points. Minimum tread to be 10". Maximum riser to be 7.3/4".
- 42) Handrails & guardrails shall comply to I.R.C. Sec. R-311 & 312.
- 43) All exits shall comply to I.R.C. Sec. R-311.
- 44) Sleeping room windows shall comply with I.R.C. Sec. R—310 Maximum sill height 44" above finished floor.
- 45) All Glazing shall comply to I.R.C. Sec. R-308.
- 46) All Ceiling heights shall comply to I.R.C. Sec. R-305.
- 47) All exterior wall coverings shall comply to I.R.C. Sec. R-703.
- 48) All gas piping shall conform to N.F.P.A. 54 or 2021 IFGC.
- 49) Electrical wiring must conform to the latest 2017 National Electrical Code and County
- 50) Steel joists to be accordance with S.J.I specifications. Provide angle bridging top and bottom per S.J.I. . Submit shop drawings for approval.
- 51) Steel deck shall conform to S.J.I. specifications.
- Note: Builder shall provide roof framing plans signed and sealed by truss manufacturer and shop drawings for floor joists at framing inspection.
- Note: Trusses shall be braced per. manufacturers recommendations.

INDEX

000	COVER SHEET
D100	DEMOLITION PLAN
A100	FOUNDATION & FIRST FLOOR PLANS
A101	ROOF PLAN
A200	RIGHT ELEVATION
A201	LEFT & REAR ELEVATIONS
A300	SECTIONS A & B
A400	WIND BRACING DETAILS
S100	FIRST FLOOR & ROOF FRAMING PLANS
S110	BEAM CALCULATIONS
S200	STRUCTURAL PANEL ANALYSIS
E100	FIRST FLOOR ELECTRIC PLAN
EC100	THERMAL ENVELOPE
Z100	SITE PLAN
Z101	DRAINAGE PLAN



CLAUDE C. LAPP — ARCHITECTS, LLC—

REVISIONS

7361 CALHOUN PLACE, SUITE 205 ROCKVILLE, MD 20855 TEL. 301-881-6856 WWW.CCLARCHITECTS.COM INFO@CCLARCHITECTS.COM

FLOOR AREA (SQ. FT.)

BSMT	FINISHED			
	UNFINISHED			
1ST FL.	NEW MAIN	147		
	GARAGE			
	FRONT PORCH			
	SCREENED PORCH	423		
2ND FL.	MAIN			

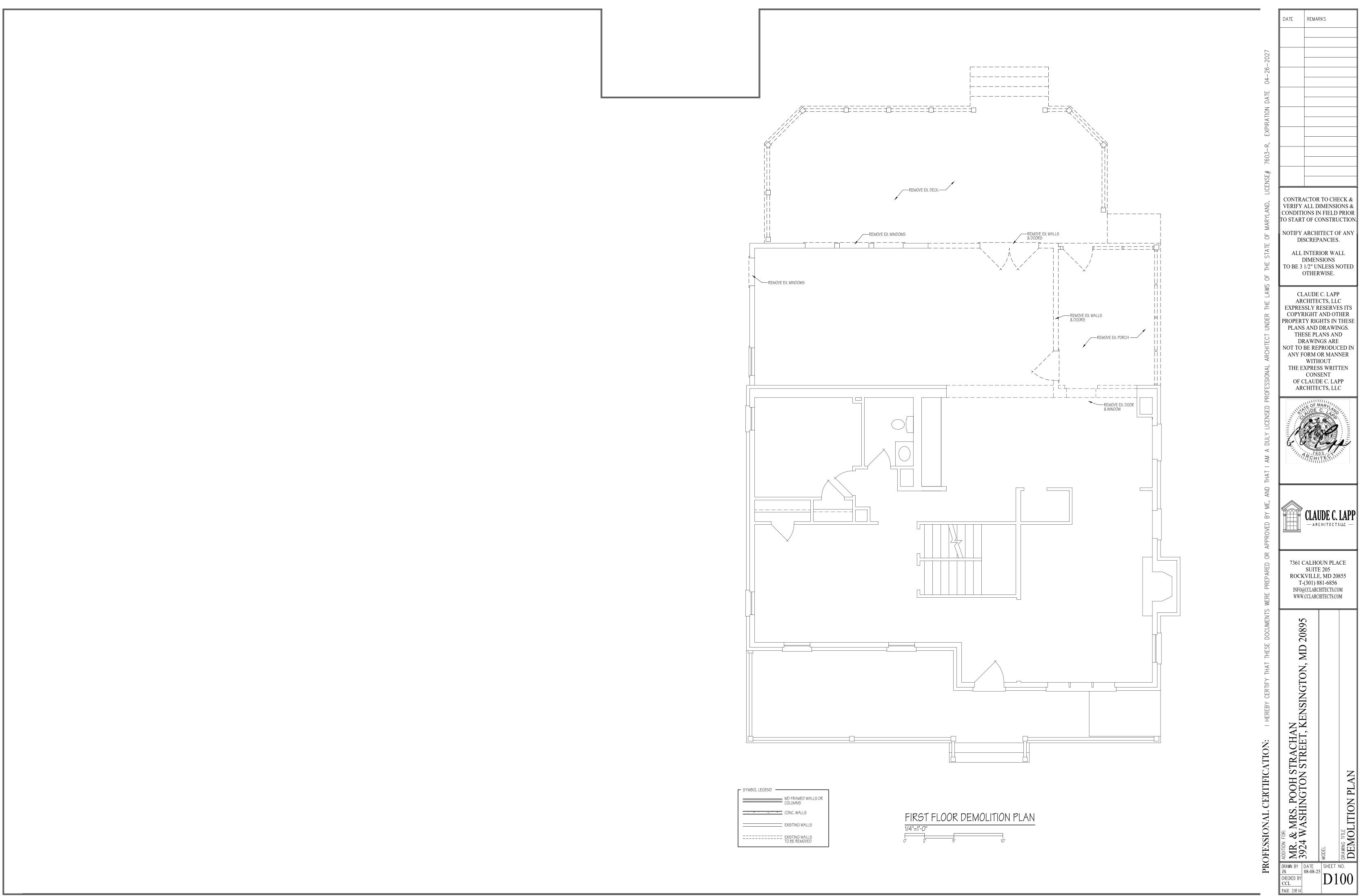
PROFESSIONAL CERTIFICATION

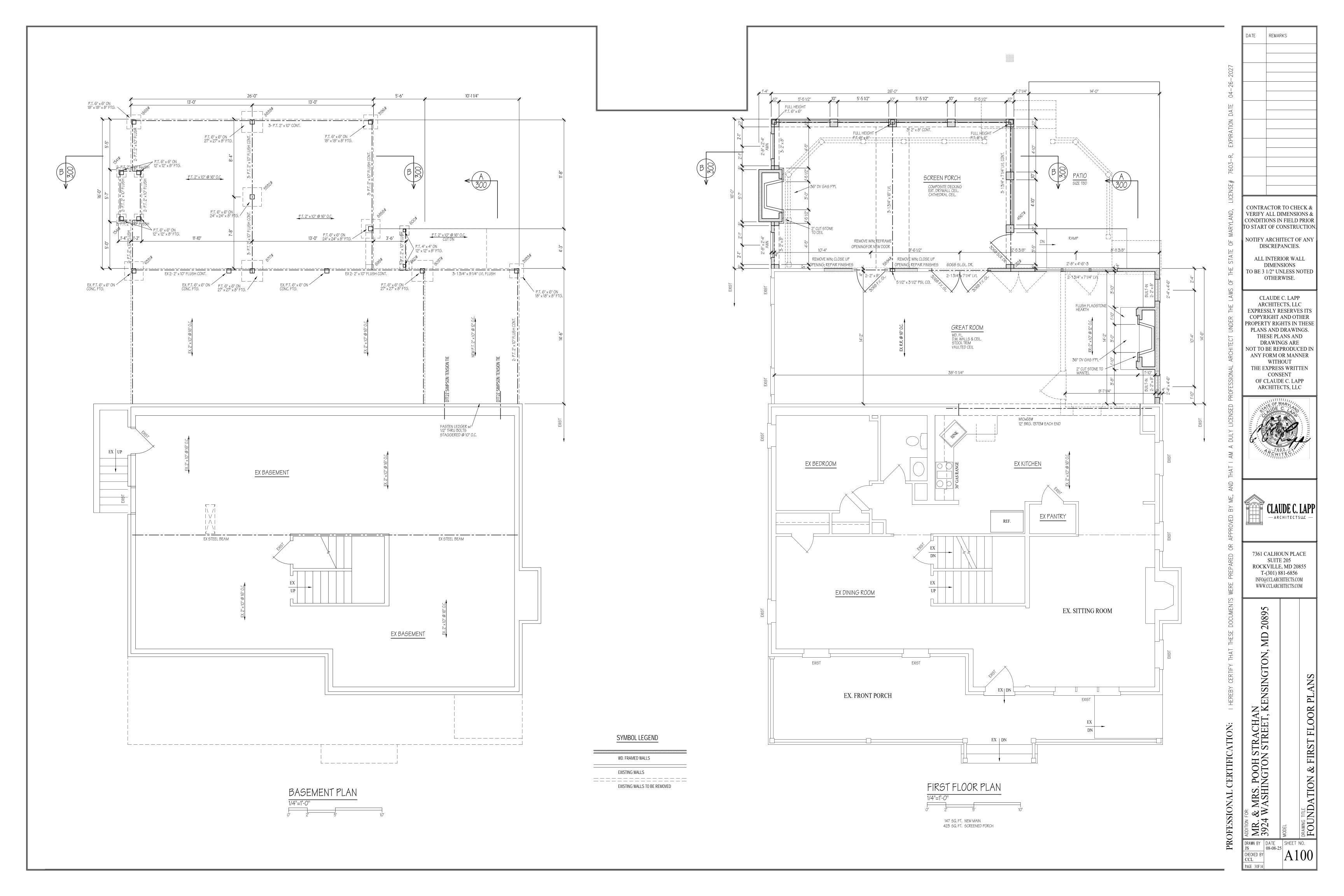
I HEREBY CERTIFY THAT THESE DOCUMENTS
WERE PREPARED OR APPROVED BY ME, AND
THAT I AM A DULY LICENSED PROFESSIONAL
ARCHITECT UNDER THE LAWS OF THE STATE OF
MARYLAND, LICENSE# 7603-R,
EXPIRATION DATE 04-26-2027

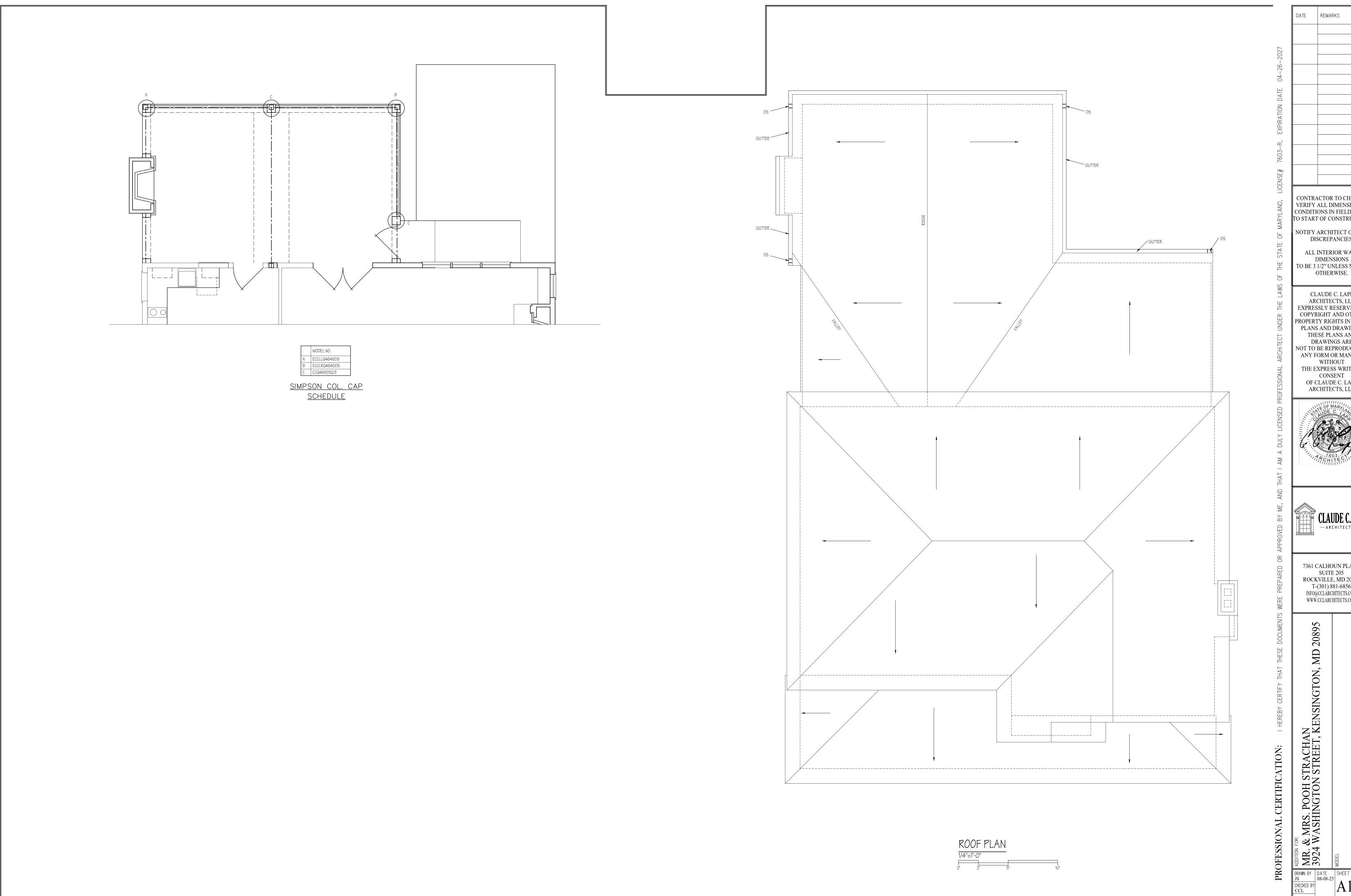


ENERGY COMPLIANCE PATH

OPTION	2021 IECC CODE
☐ PRESCRIPTIVE COMPLIANCE OPTION	R402.1.2
□ PRESCRIPTIVE R-VALUE ALTERNATIVE	R402.1.3
□ TOTAL UA ALTERNATIVE	R402.1.5
MD PRESCRIPTIVE R-VALUE ALTERNATIVE	R402.1.3.1
□ TOTAL BUILDING PERFORMANCE	R405
☐ ENERGY RATING INDEX COMPLIANCE ALTERNATIVE	R406
NOTE:	







DATE REMARKS CONTRACTOR TO CHECK & VERIFY ALL DIMENSIONS &

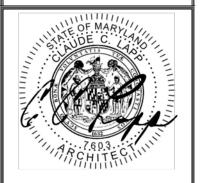
CONDITIONS IN FIELD PRIOR TO START OF CONSTRUCTION.

NOTIFY ARCHITECT OF ANY DISCREPANCIES.

ALL INTERIOR WALL DIMENSIONS TO BE 3 1/2" UNLESS NOTED

CLAUDE C. LAPP ARCHITECTS, LLC EXPRESSLY RESERVES ITS COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS AND DRAWINGS. THESE PLANS AND DRAWINGS ARE NOT TO BE REPRODUCED IN ANY FORM OR MANNER WITHOUT

THE EXPRESS WRITTEN CONSENT OF CLAUDE C. LAPP ARCHITECTS, LLC



CLAUDE C. LAPP	

7361 CALHOUN PLACE SUITE 205 ROCKVILLE, MD 20855 T-(301) 881-6856 INFO@CCLARCHITECTS.COM WWW.CCLARCHITECTS.COM

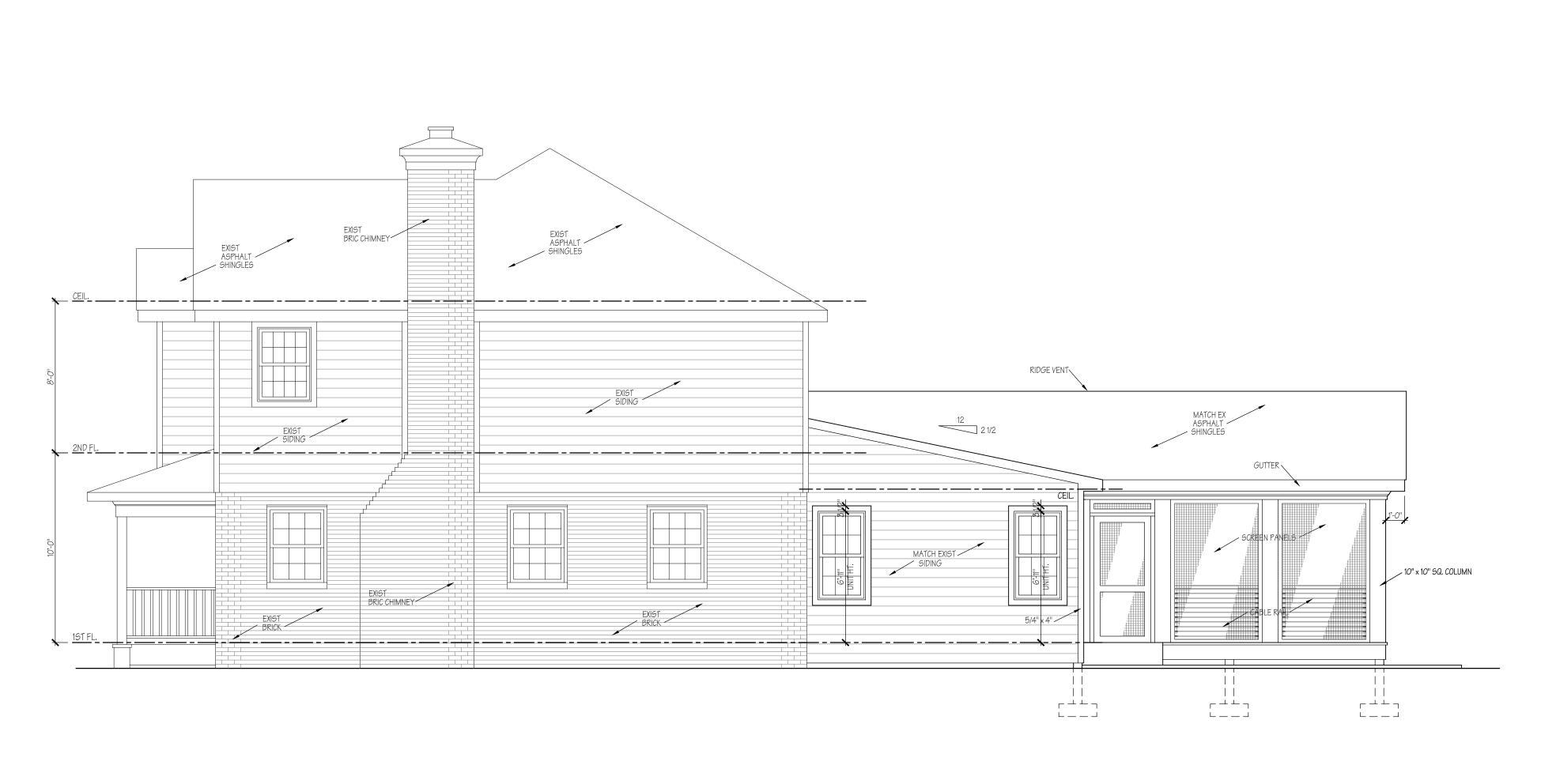
ADDITION FOR:

MR. & MRS. POOH STRACHAN

3924 WASHINGTON STREET, KENSINGTON, MD 20895

10 S DRAWING TILE

BOOF PLAN



RIGHT ELEVATION

=	DATE	REMARKS
04-26-2027		
04-26		
DATE		
XPIRATION		
7603-R, EXPIRATION DATE		
LICENSE#		
	CONTRA	ACTOR TO CHECK &

VERIFY ALL DIMENSIONS & CONDITIONS IN FIELD PRIOR TO START OF CONSTRUCTION

NOTIFY ARCHITECT OF ANY DISCREPANCIES.

ALL INTERIOR WALL DIMENSIONS TO BE 3 1/2" UNLESS NOTED OTHERWISE.

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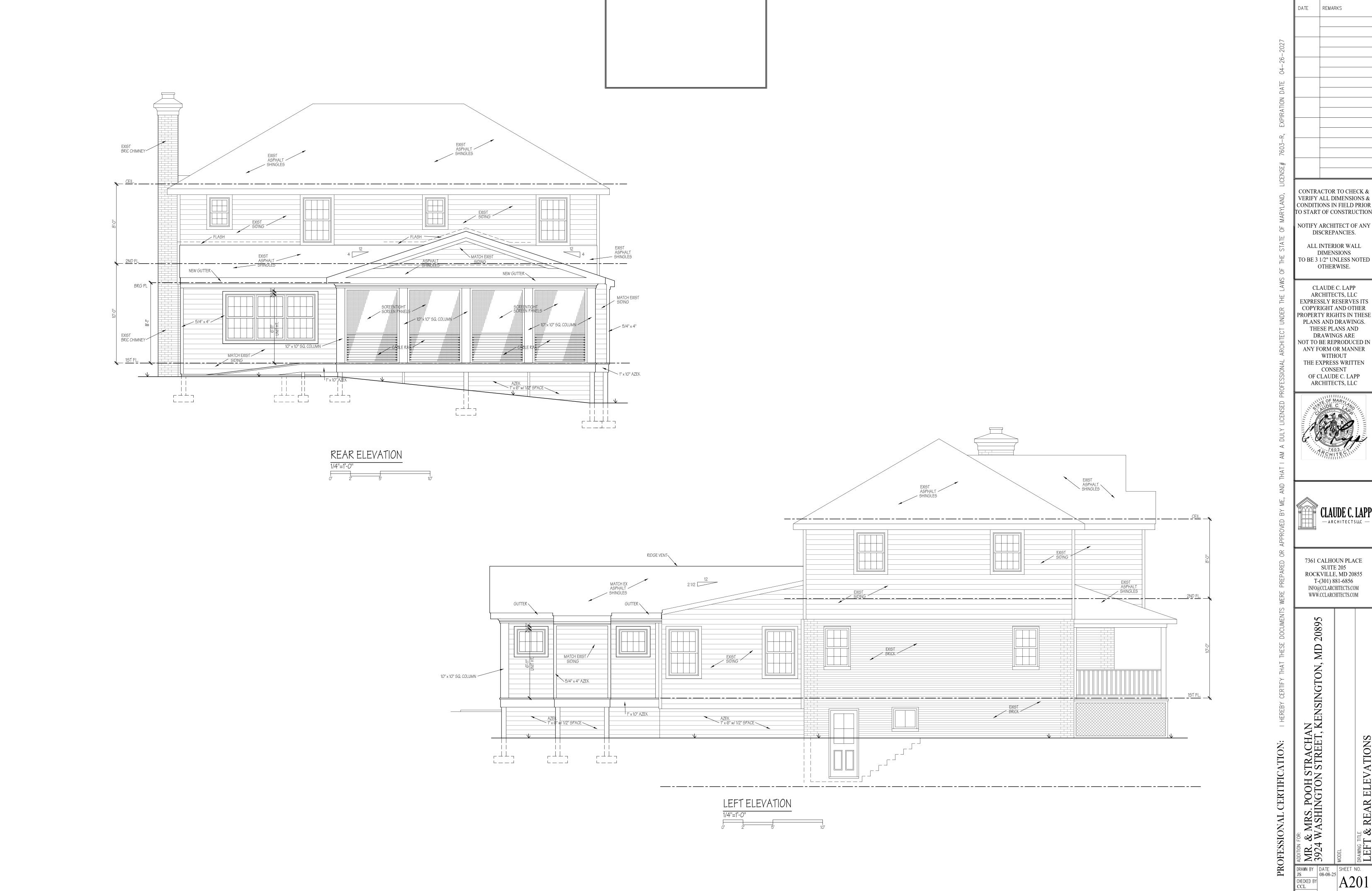
ADDITION FOR:

MR. & MRS. POOH STRACHAN

3924 WASHINGTON STREET, KENSINGTON, MD 20895

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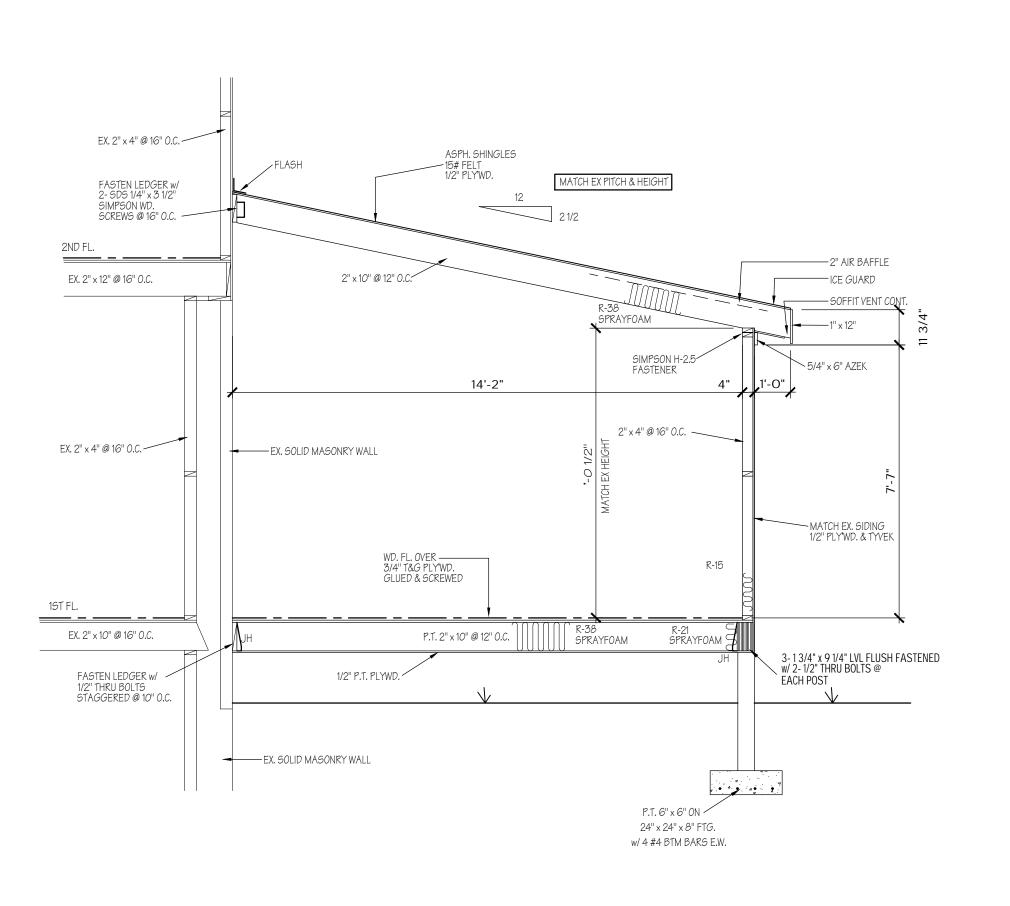
PROFESSIONAL CERTIFICATION:

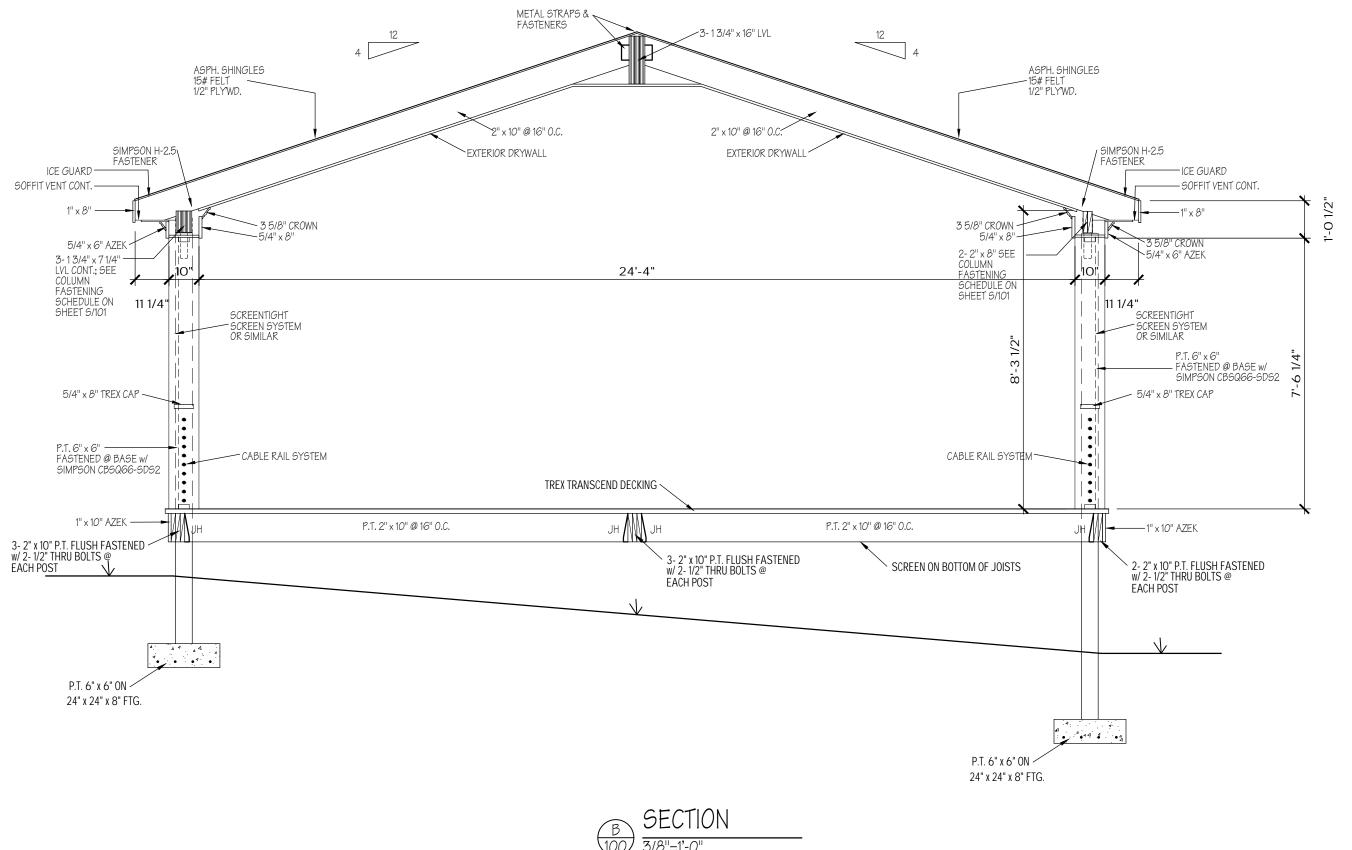












DATE REMARKS CONTRACTOR TO CHECK & VERIFY ALL DIMENSIONS & CONDITIONS IN FIELD PRIOR TO START OF CONSTRUCTION NOTIFY ARCHITECT OF ANY DISCREPANCIES. ALL INTERIOR WALL **DIMENSIONS** TO BE 3 1/2" UNLESS NOTED OTHERWISE. CLAUDE C. LAPP ARCHITECTS, LLC EXPRESSLY RESERVES ITS COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS AND DRAWINGS. THESE PLANS AND DRAWINGS ARE NOT TO BE REPRODUCED IN ANY FORM OR MANNER WITHOUT THE EXPRESS WRITTEN

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PROFESSIONAL CERTIFICATION:

ADDITION FOR:

| CASE |

A300

The type, material and configuration of sheathing methods vary. There are two types of bracing: intermittent (FIGURE 8) and continuous-sheathing (FIGURE 9). Intermittent braced-wall-panels are

placed at required locations only. The nonsheathed area between them is infilled with other material such as insulating foam. In continuous-sheathing the entire face of the wall is sheathed, including areas above and below openings.

In our region, continuous-sheathing is the predominant sheathing type for the exterior, while intermittent is most common for the interior.

Continuous-sheathing

portal frame

Wind Bracing

TABLE 3 below lists the most common bracing methods and a description of each.

FIGURE 9: CONTINUOUS-SHEATING

FIGURE 8: INTERMITTENT BRACING

Methods, Materials	Minimum Thickness	Minimum Thickness Connection Criteria							
Intermittent Methods									
LIB Let-in-bracing	1x4 wood or metal straps, 45° to 60° angles	Wood: 2-8d common nails (2½" long x 0.113" dia.) at each stud Metal: per manufacturer							
WSP Wood structural panel (OSB or plywood)	 %"	8d common nails (2 ½" long x 0.113" dia.) @ 6" edges, @ 12" field							
SFB Structural fiberboard sheathing	½" (maximum 16" stud spacing)	Galv. roofing nails (1½" long x 0.113" dia.) @3" edges, @ 6" field or 8d common nails (2½" long x 0.113" dia.) @ 6" edges, @ 12" field							
GB Gypsum board	1/2"	Nails: 13 gage x 1¾" long, ¹⁹ / ₆₄ " head or 0.098" dia., 1¼" long, annular-ringed or 5d cooler nails, 0.086" dia., 1¾" long @ 7" Screws: Type W or S @ 7"							
PFH Portal frame with hold-downs	3/8 "	See Page 7 for portal frames.							
PFG Portal frame at garage	⁷ / ₁₆ "	See Page 7 for portal frames.							
	Continuous-Sheathing	Methods							
CS-WSP Continuous wood structural panel	3 /8"	8d common nails (2 ½" long x 0.113" dia.) @ 6" edges, @ 12" field							
CS-G Continuous wood structural panel at garage door opening	%" (applies to one wall of one-story garages only)	8d common nails (2 ½" long x 0.113" dia.) @ 6" edges, @ 12" field							
CS-SFB ½" Continuous structural fiberboard (maximum 16" stud spacing)		Galv. roofing nails (1½" long x 0.113" dia.) @3" edges, @ 6" field 8d common nails (2 ½" long x 0.113" dia.) @ 6" edges, @ 12" field							
CC DE									

MIXING METHODS

permitted provided the method which portion of a braced-wall-line with per TABLE 1 governs the braced-wall- the exterior portion, the corners each braced-wall-line. line design.

bracing methods along the interior end of the continuous-sheathing

portion(s) of the braced-wall-line must meet the conditions listed below. Method CS-SFB cannot be mixed generates the highest required bracing continuous-sheathing methods along with any other method in the same

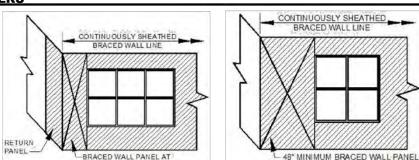
CONTINUOUS-SHEATHING CORNERS

The corners at each end of a braced-wall-line with continuoussheathing must be strengthened using the options described below.

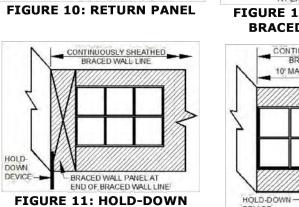
The first option is to have a braced-wall-panel at each end and a return-panel on the intersecting braced-wall-line as shown in FIGURE 10. The minimum size of a return panel is 24 inches for wood structural panels and 32 inches for structural

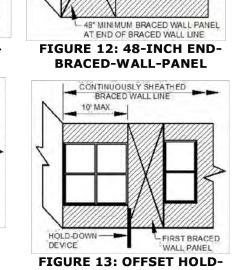
A return panel may be omitted if the end-braced-wall-panel is 48 inches minimum as shown in FIGURE 12 or you install an 800 pound hold-down at the end-panel, as shown in FIGURE 11.

If your end-braced-wall-panel is offset from the corner, then you must install an 800 pound hold-down at the edge of the braced-wall-panel as shown in FIGURE 13.









A double portal includes a braced-

CONTRIBUTING LENGTH

spanning over each panel.

PORTAL FRAMES

narrow options that can be

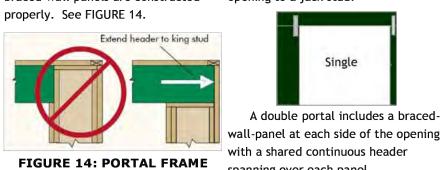
constructed with common building materials. The code provides three different portal frames. Methods PFH and PFG are intermittent methods, and Method CS-PF is a continuoussheathing method.

Portal frames are tested assemblies equivalent to a standard bracedwall-panel. Their strength is derived from the stiffness created by the connection of the wood sheathing to

Wind Bracing

Wind Bracing

For those applications where it is the header which must span over the single portal includes the braced-walldifficult to place a full-length braced- panel. Therefore, it is essential these panel and header spanning over the wall-panel, portal frames are easy, braced-wall-panels are constructed opening to a jack stud.



Portal frames can be constructed as a single portal or double portal. A

TABLE 5: MINIMUM LENGTH OF BRACED WALL PANELS

Single and double portals can be used together to frame numerous openings, such as garage doors or with wall bracing requirements. See FIGURE 15. <u>METHOD PFH</u>

Method PFH is an intermittent

portal frame with hold-downs per

oundation with cast-in-place hold-Method PFG is an intermittent

portal frame with anchor bolts per FIGURE 17. Permitted only at garage windows in sunrooms, and still comply openings, PFG panels can be constructed atop a concrete or masonry foundation.

<u>METHOD CS-PF</u>

material strengths as listed in TABLE 4. Method CS-PF, per FIGURE 18, is a portal frame used with continuous-

constructed atop a concrete

sheathing. CS-PF panels can be FIGURE 16. PFH panels must be two single portals one single and one double portal wall for 3-car

constructed atop concrete or masonry

foundations or a raised wood floor as

shown in FIGURE 18. A maximum of

constructed in each braced-wall-line.

Portal frames are permitted to be

constructed up to 10 feet tall with an

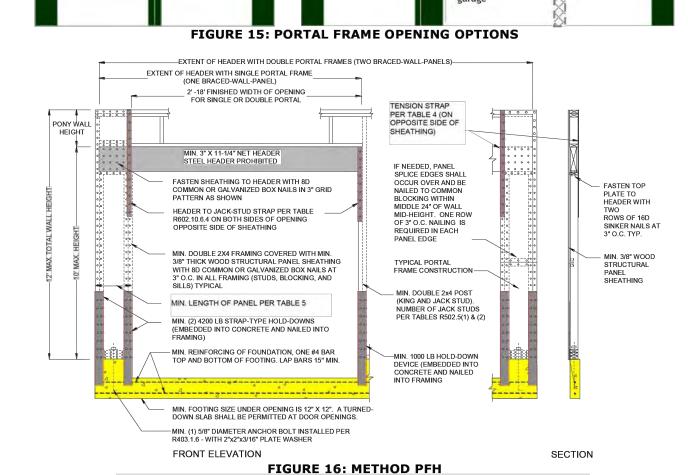
tall. The inclusion of a pony wall does

have limitations and requires specific

optional pony wall atop up to 2 feet

four Method CS-PF panels can be

PORTAL FRAME PONY WALLS



EXTENT OF HEADER WITH SINGLE PORTAL FRAME (ONE BRACED-WALL-PANEL) 2'-18' FINISHED WIDTH OF OPENING FOR SINGLE OR DOUBLE PORTAL FASTEN SHEATHING TO HEADER WITH 8D COMMON OR GALVANIZED BOX NAILS IN 3" GRID PATTERN AS SHOWN HEADER TO JACK-STUD STRAP PER TABLE R602.10.6.4 ON BOTH SIDES OF OPENING OPPOSITE SIDE OF SHEATHING MIN. DOUBLE 2X4 FRAMING COVERED WITH MIN. 7/16" THICK WOOD STRUCTURAL PANEL SHEATHING O.C. IN FRAMING (STUDS AND SILLS) AS SHOWN, MIN. LENGTH OF PANEL PER TABLE 5 NUMBER OF JACK STUDS PER TABLES R502.5(1) & (2)

FIGURE 17: METHOD PFG

SECTION

EXTENT OF HEADER WITH DOUBLE PORTAL FRAMES (TWO BRACED-WALL-PANELS)

FRONT ELEVATION

MINIMUM WALL STUD FRAMING NOMINAL SIZE AND GRADE	MAXIMUM PONY WALL HEIGHT (ft)	MAXIMUM TOTAL WALL HEIGHT (ft)	MAXIMUM OPENING WIDTH (ft)	TENSION STRAP CAPACITY REQUIRED (Ibs) ¹
	0	10	18	1000
			9	1000
	1	10	16	1000
			18	1200
			9	1000
	2	10	16	2025
2x4 No. 2 Grade			18	2400
	2	12	9	1200
			16	3200
			18	3850
		12	9	2350
			16	design required
			9	1000
	2	12	16	2050
2x6 Stud Grade			18	2450
			9	1500
	4	12	16	3150
			18	3675

Wind Bracing

EXTENT OF HEADER WITH DOUBLE PORTAL FRAMES (TWO BRACED-WALL-PANELS) (ONE BRACED-WALL-PANEL)

See Page 7 for portal frames.

PER TABLE 4 (ON OPPOSITE SIDE OF SHEATHING) COMMON OR GALVANIZED BOX NAILS IN 3" GRID PATTERN AS SHOWN HEADER WITH TWO ROWS OF 16D SINKER NAILS AT 3" O.C. TYP. IF NEEDED PANEL
SPLICE EDGES SHALL
OCCUR AND BE
ATTACHED TO
COMMON BLOCKING
WITHIN 24" OF WALL
MID-HEIGHT. ONE ROW
OF 3" O.C. NAILING IS
REQUIRED IN EACH
PANEL EDGE. R602.10.6.4 ON BOTH SIDES OF OPENING OPPOSITE SIDE OF SHEATHING OVER CONCRETE OR MASONRY BLOCK FOUNDATION

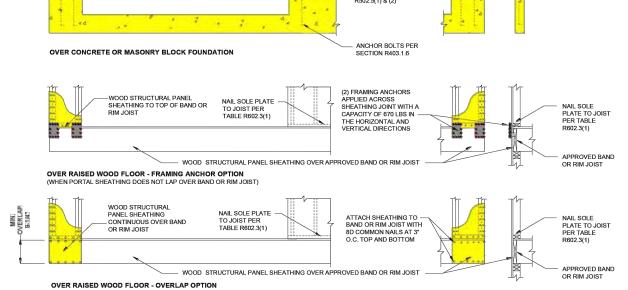


FIGURE 18: METHOD CS-PF

BRACED-WALL-PANELS REQUIREMENTS

FRONT ELEVATION

considered braced-wall-panels, they LIB, you may eliminate the interior must meet the minimum requirements finish material if you multiply the bracing determined in TABLE 1 by a noted herein. **INTERIOR FINISH MATERIAL**

With the exception of Methods GB, <u>JOINTS</u> PFH, PFG and CS-PF, the interior side of a braced-wall-panel must be

Wind Bracing

A braced-wall-panel is not required to be constructed with a finished with ½-inch gypsum board or single sheet of OSB, plywood, an equivalent material such as fiberboard or gypsum board. Vertical paneling. and horizontal joints are permitted.

For braced segments of walls to be For all methods except Method Joints must be fastened using edge nailing requirements. Vertical joints must occur at a stud. Except for portal frames, horizontal joints must have 2x

> blocking and may occur anywhere along the height of the braced-wall-Horizontal blocking is not required when the amount of actual bracing

provided in the braced-wall-line is at least double that required by TABLE 1

GB Single sided = 0.5 x Actual Supporting roof only pporting one story and roof Actual 2 CS-SFB

 2 Use the actual length provided it is greater than or equal to the minimum length. Maximum header height for is 10°; however, wall height may be increased to 12° with a pony wall per TABLE 4.

LENGTH

FIGURE 20: BRACED-WALL-PANELS WITH METHODS CS-WSP AND CS-SFB

FLOOR/CEILING CONNECTION

Wind Bracing

Where framing is perpendicular to a braced-wall-panel, a rim joist or blocking must be provided along its length as shown in FIGURE 22. Where framing is parallel to a braced-wall-panel, a rim joist, framing member or blocking must be provided along its length as shown in FIGURE 23.

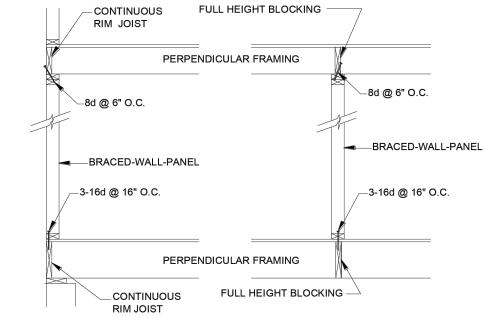
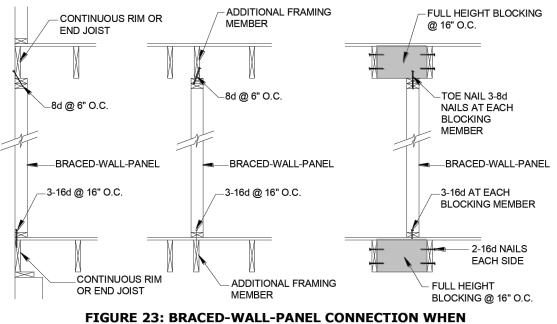


FIGURE 22: BRACED-WALL-PANEL CONNECTION WHEN PERPENDICULAR TO FLOOR/CEILING FRAMING



PARALLEL TO FLOOR/CEILING FRAMING

Wind Bracing

ROOF CONNECTION

Wind Bracing

At the roof eave, blocking between the rafter or truss framing is required at braced-wall-panel locations when dimension D, as shown in FIGURE 24, is greater than 9.25 inches. The blocking must be constructed in accordance with

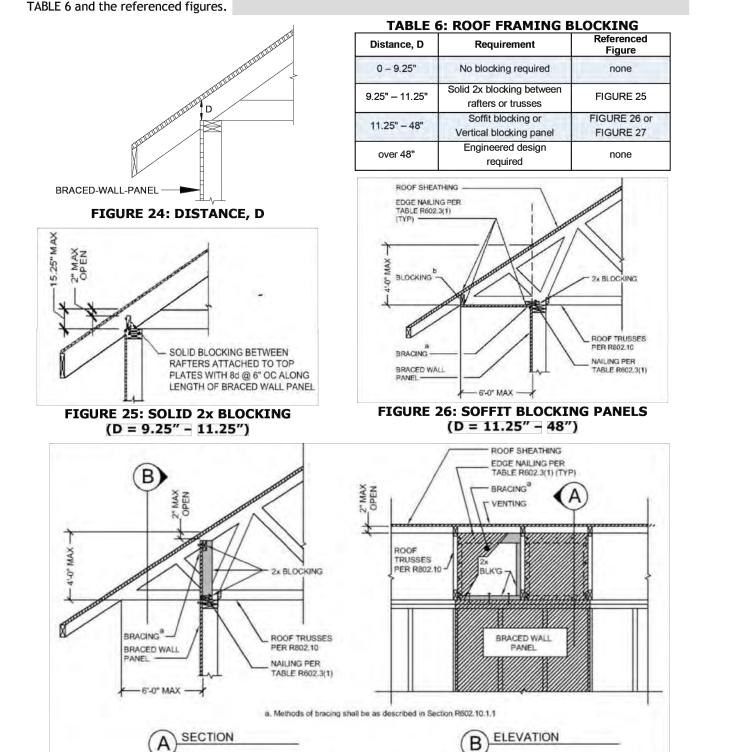


FIGURE 27: VERTICAL BLOCKING PANELS

(D = 11.25'' - 48'')

DATE

REMARKS

CONTRACTOR TO CHECK &

VERIFY ALL DIMENSIONS &

CONDITIONS IN FIELD PRIOR

TO START OF CONSTRUCTION

NOTIFY ARCHITECT OF ANY

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DIMENSIONS

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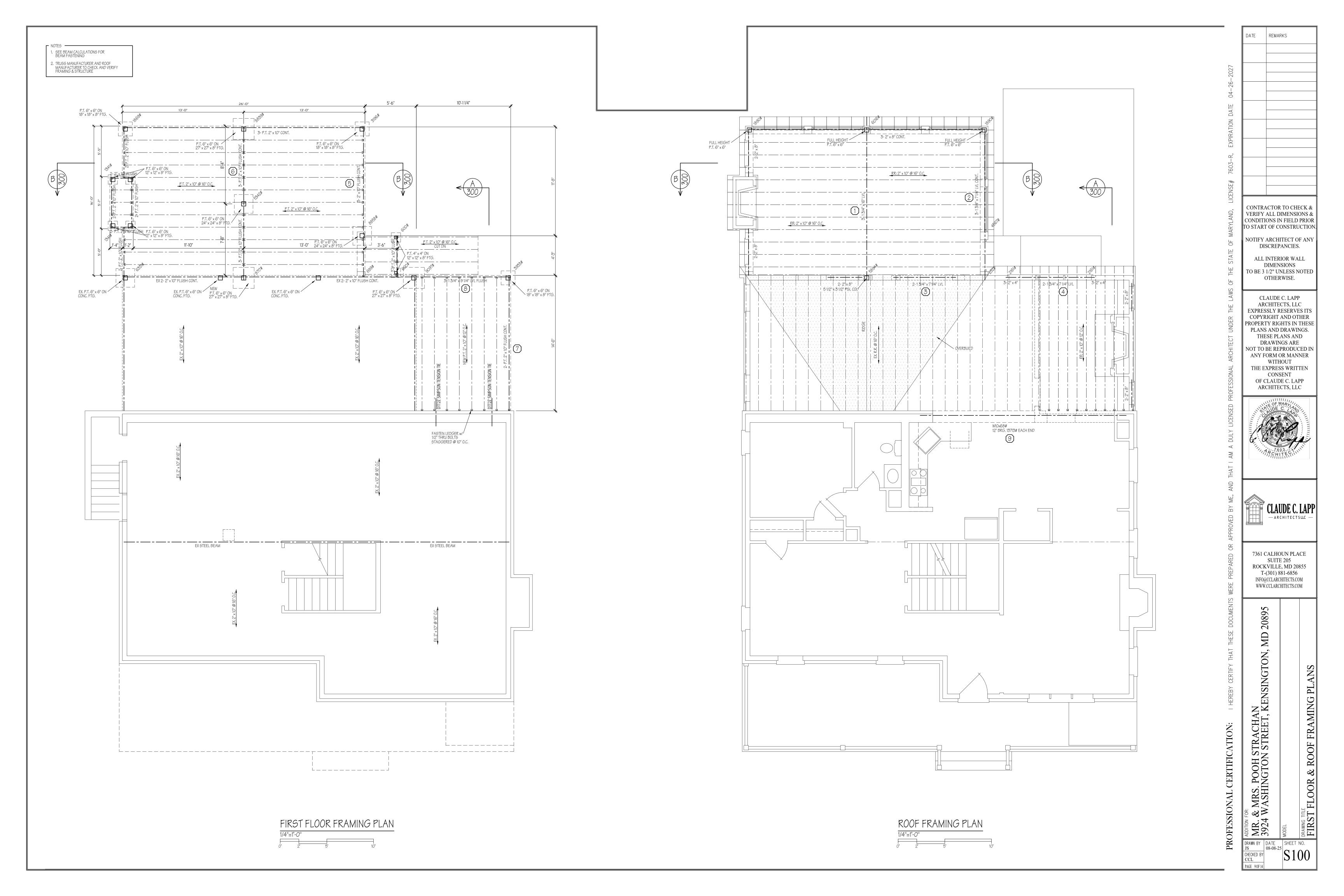
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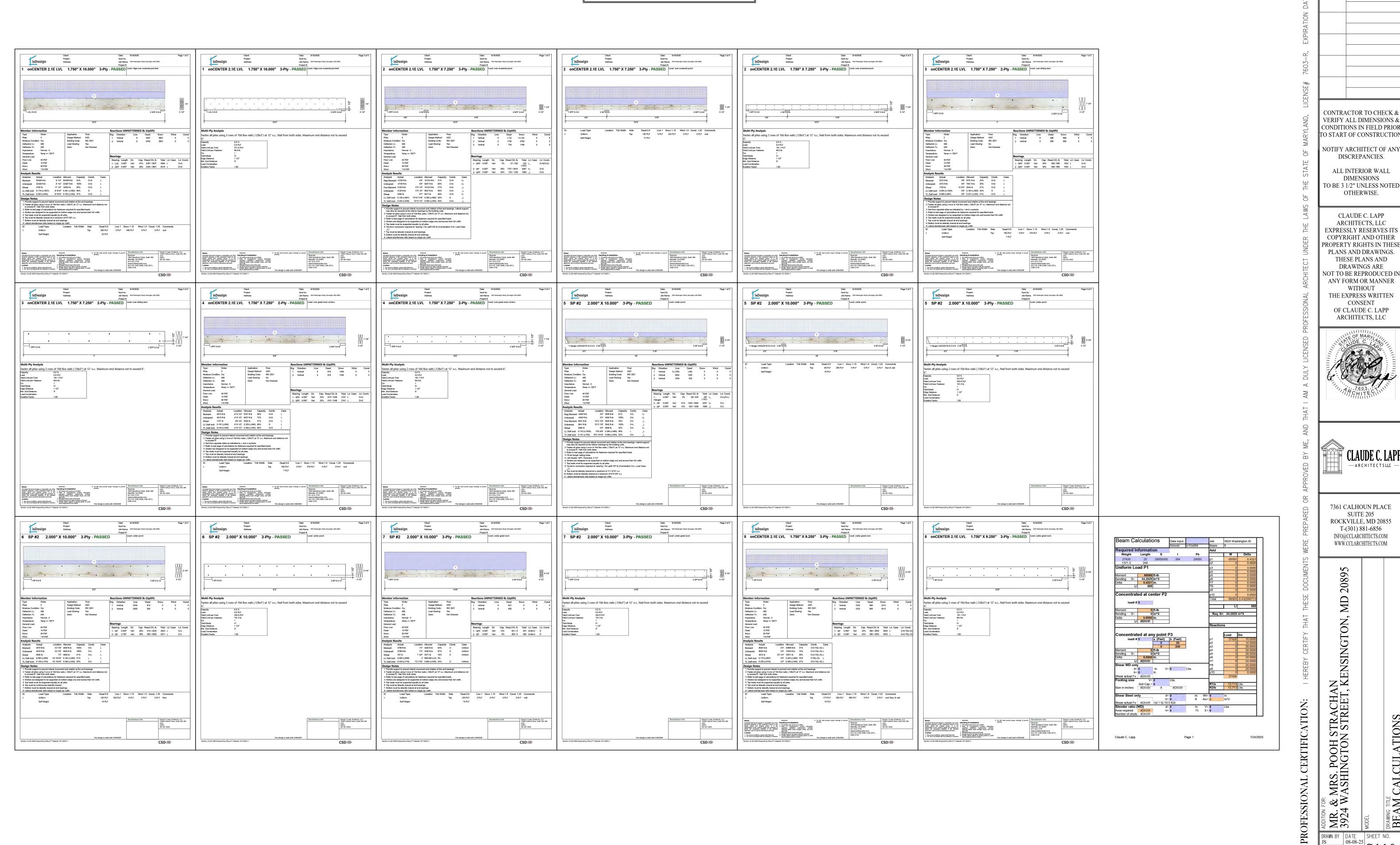
O BE 3 1/2" UNLESS NOTED

MR. 3924 08-08-25

MRS. POOH STRACHAN ASHINGTON STREET, K

CHECKED BY





MR. & MRS. POOH STRACHAN 3924 WASHINGTON STREET, KENSINGTON,

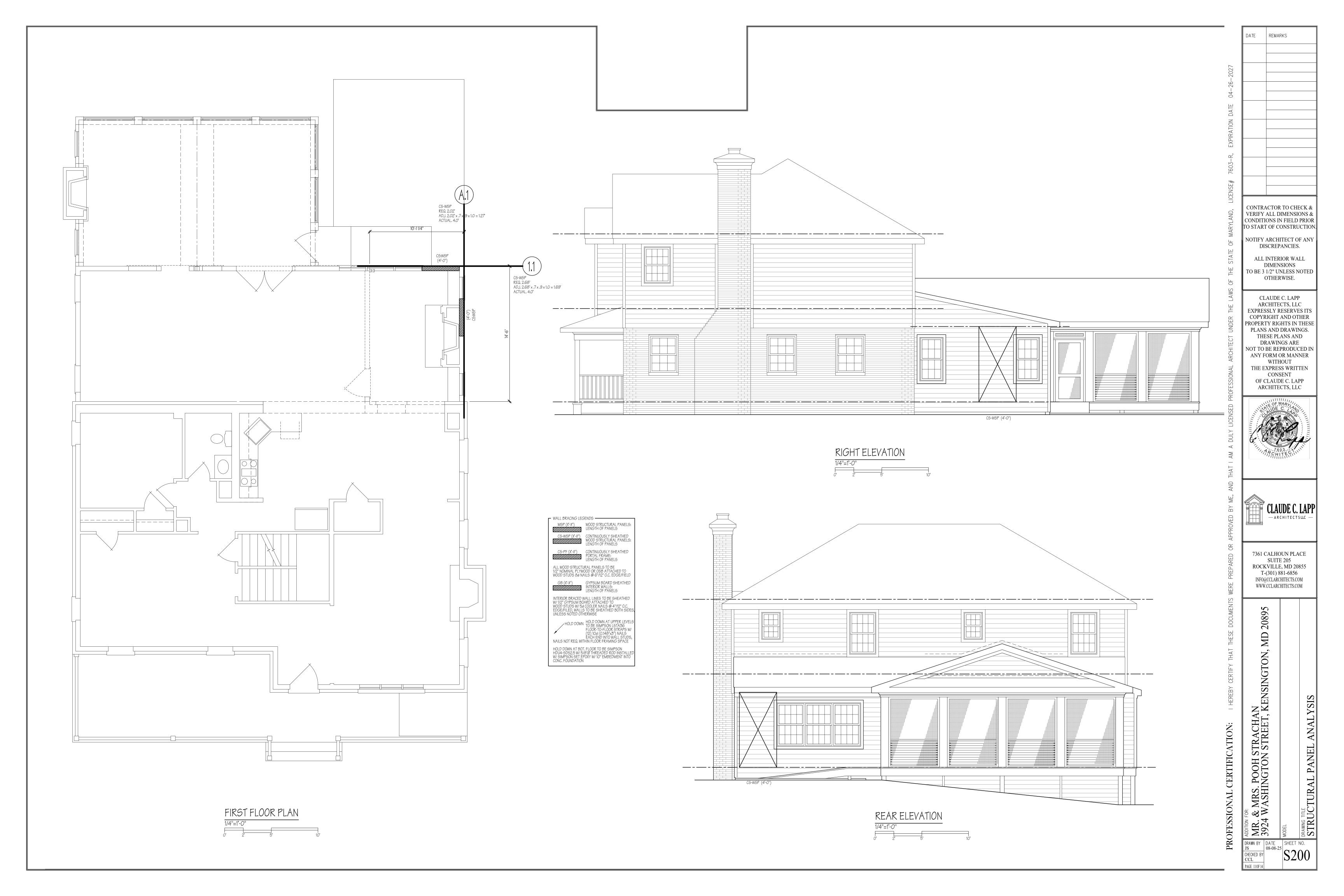
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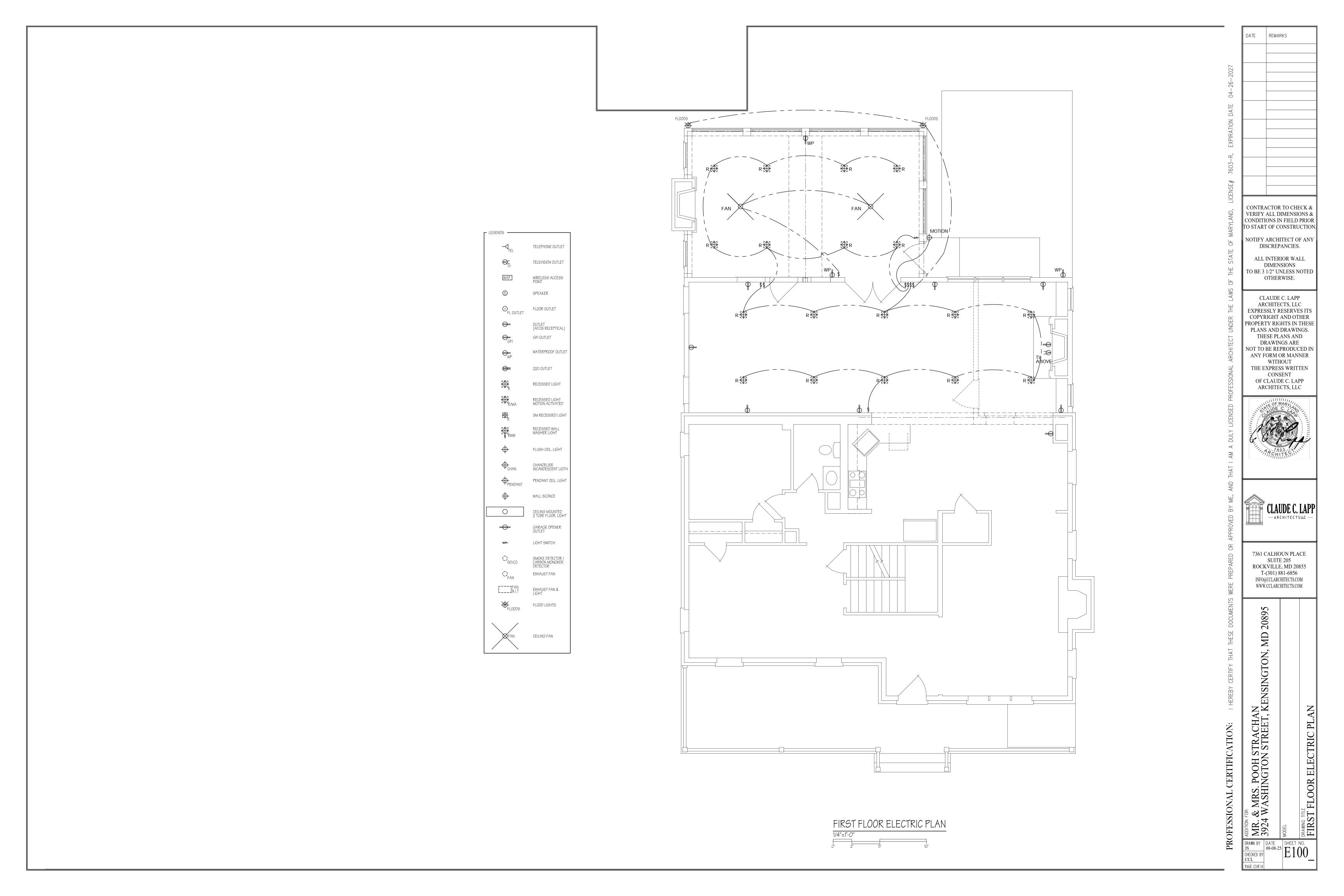
REMARKS

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08-08-25 S110 CHECKED BY CCL PAGE 10 OF 14





LINE OF BUILDING
THERMAL ENVELOPE CEIL THERMAL AREA R-19 THERMAL AREA OVER UNCONDITIONED SPACE THERMAL AREA OVER
OUTSIDE AIR 1. ALL DUCTS TO BE INSUL w/ MINIMUM R-6, R-8 IN ATTICS

2. ALL DUCTS TO BE SEALED PER IRC M1601.4.1

FIRST FLOOR PLAN

1/4"=1'-0"

0' 2' 5' 10'

DATE REMARKS CONTRACTOR TO CHECK & VERIFY ALL DIMENSIONS &

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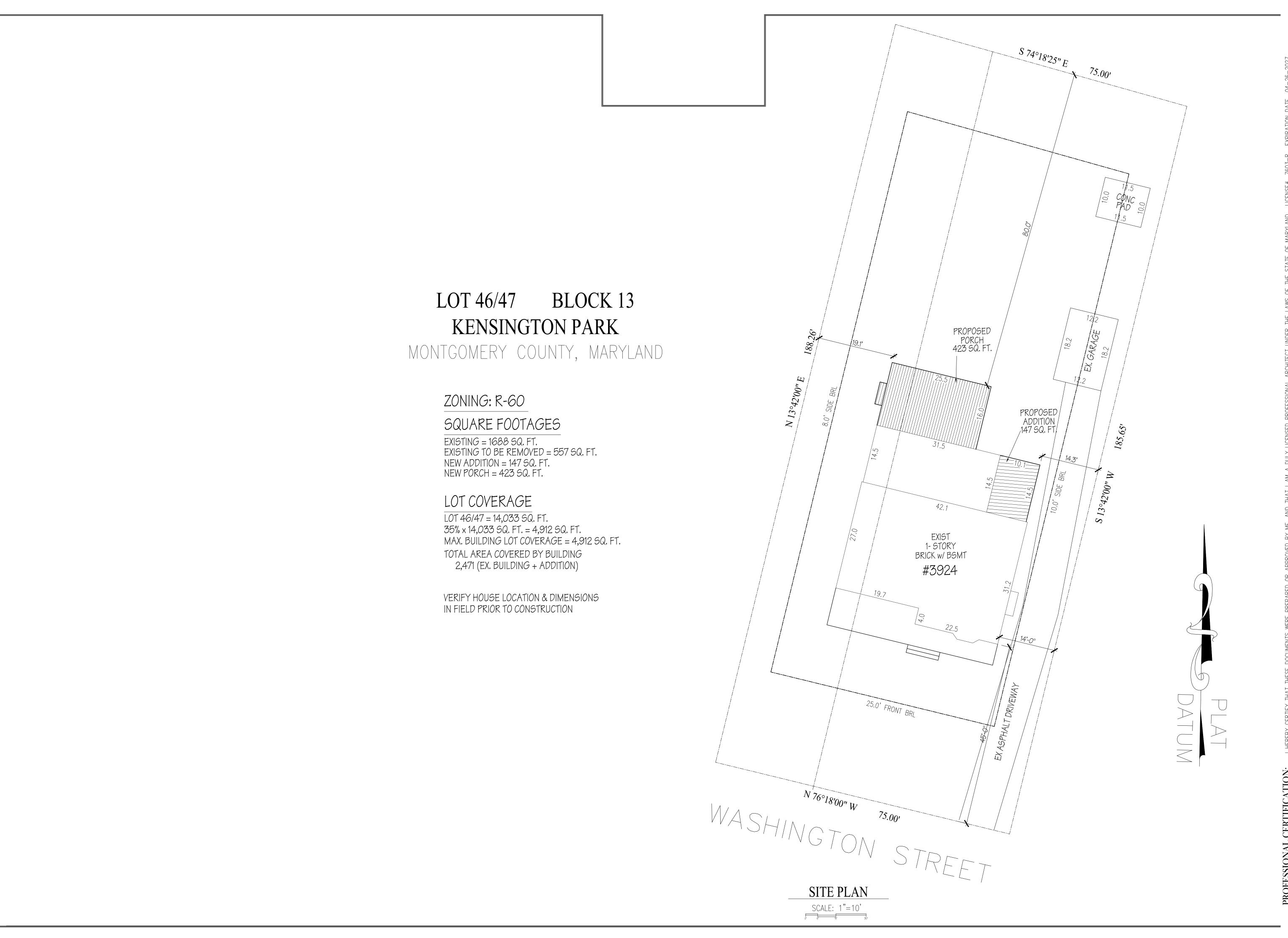
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ADDITION FOR:

| CASE |

LOT 46/47 BLOCK 13 KENSINGTON PARK

MONTGOMERY COUNTY, MARYLAND

SQUARE FOOTAGE OF EACH ROOF SECTION CALCULATED SHOWN ON ROOF PLAN.

DRYWELL #1 EXISTING ROOF: 405 S.F.

NEW ROOF: 354 S.F.

ROOF TOTAL: 759 S.F.

DRYWELL #1 TOP ELEVATION: 304' DRYWELL #1 BTM ELEVATION: 300' DRYWELL #1 HIGH SIDE FINISHED GRADE: 306.5'

DRYWELL #1 LOW SIDE FINISHED GRADE: 305.5'

DRYWELL #1 BOTTOM OF INVERT PIPE: 303'

DRYWELL #2

EXISTING ROOF: 493 S.F. NEW ROOF: 160 S.F.

ROOF TOTAL: 653 S.F.

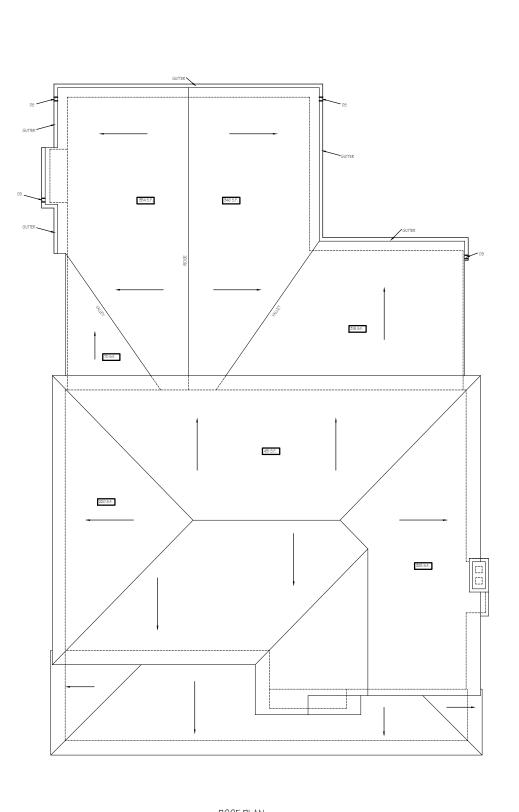
DRYWELL #2 TOP ELEVATION: 306' DRYWELL #2 BTM ELEVATION: 302'

DRYWELL #2 HIGH SIDE FINISHED GRADE: 308.8' DRYWELL #2 LOW SIDE FINISHED GRADE: 308'

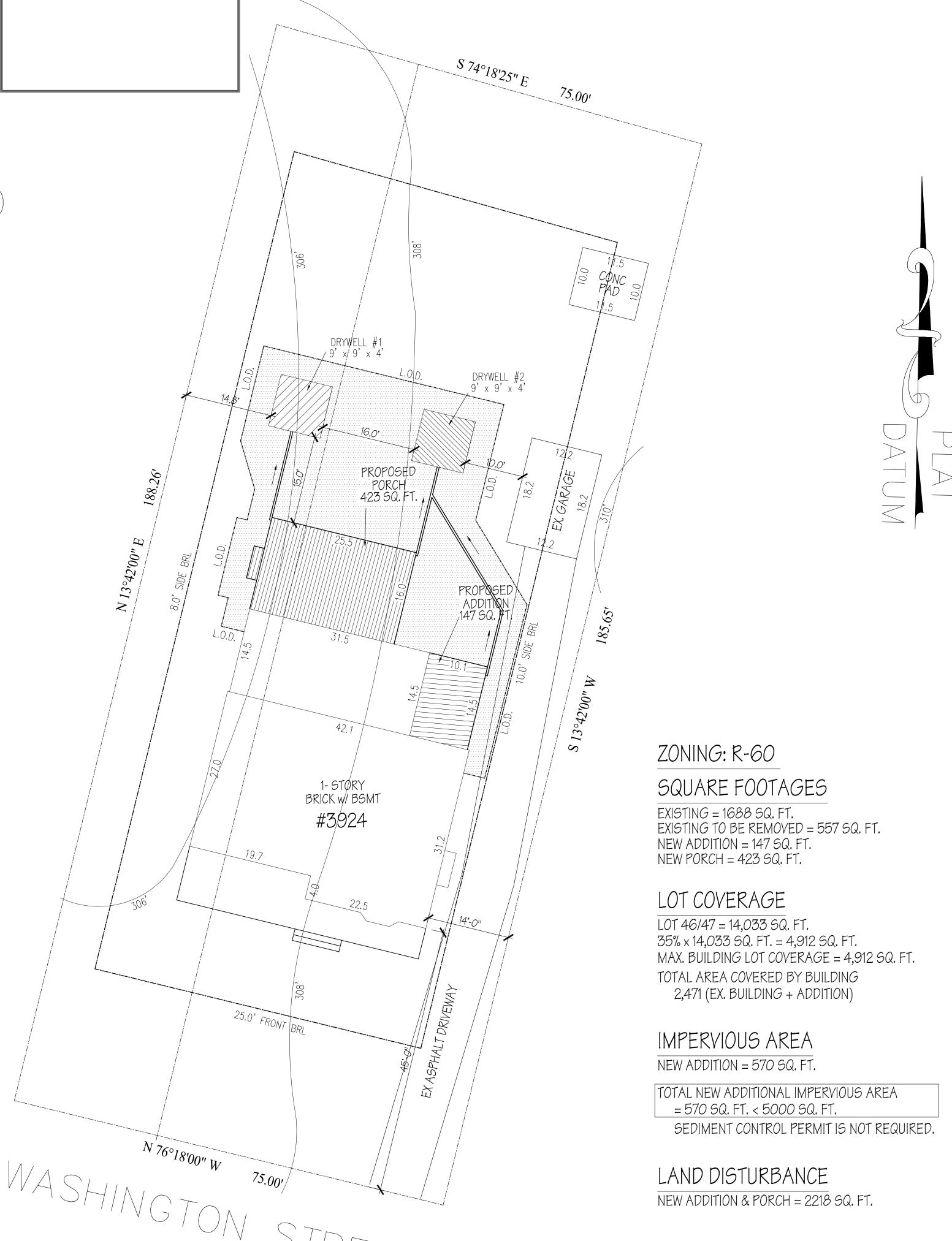
DRYWELL #2 BOTTOM OF INVERT PIPE: 305'

ALL PIPING TO BE 4" SCHEDULE 40 PVC PIPE

CONSTRUCTION ACCESS TO BE FROM DRIVEWAY



SCALE: 1"=10'



DATE REMARKS

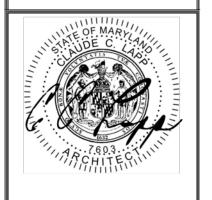
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MR. & MRS. POOH STRACHAN 3924 WASHINGTON STREET, KENSINGTON,

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America's #1-selling shingle just got better — again

With GAF time-release algaefighting technology and LayerLock® technology, Timberline HDZ® offers everything you can expect from an architectural shingle roof, and more.



Benefits:

- LayerLock® technology mechanically fuses the common bond between overlapping shingle layers
- Up to 99.9% nailing accuracy the StrikeZone® nailing area is so easy to hit that a roofer placed 999 out of 1,000 nails correctly in our test¹
- WindProven[™] Limited Wind Warranty — when installed with the required combination of GAF accessories, Timberline HDZ[®] shingles are eligible for a wind warranty with no maximum wind speed limitation²
- Dura Grip[™] sealant pairs with the microgranule surface of the StrikeZone[®] nailing area, and an asphalt-to-asphalt monolithic bond cures for durability, strength, and exceptional wind-uplift performance
- 25-year StainGuard Plus[™] Algae Protection Limited Warranty against blue-green algae discoloration.³ Proprietary GAF time-release algaefighting technology helps protect your shingles from unsightly stains.
- For the best look use TimberTex® premium ridge cap shingles or TimberCrest® premium SBS-modified ridge cap shingles

Product details:

Product/System Specifics

- Fiberglass asphalt construction
- **Dimensions (approx.):** 13 1/4" x 39 3/8" (337 mm x 1,000 mm)
- **Exposure:** 5 % (143 mm)
- Bundles/Square: 3
- Pieces/Square: 64
- StainGuard Plus[™] Algae Protection Limited Warranty³
- Hip/Ridge: TimberTex®; TimberCrest®; Seal-A-Ridge®; Z®Ridge; Ridglass®4
- Starter: Pro-Start®; QuickStart®; WeatherBlocker™

Applicable Standards & Protocols:

- Passes UL 2218 Impact-Resistance Test with Class 3 rating
- UL Listed to ANSI/UL 790 Class A
- State of Florida Approved
- Classified by UL in accordance with ICC-ES AC438
- Meets ASTM D7158, Class H
- Meets ASTM D3161, Class F
- Meets ASTM D3018 Type 1
- Meets ASTM D3462⁵
- Miami-Dade County Product Control Approved
- ICC-ES Evaluation Reports ESR-1475 and ESR-3267
- Meets Texas Department of Insurance Requirements
- Rated by the CRRC; Can be used to comply with Title 24 Cool Roof Requirements (some colors)

Lifetime refers to the length of warranty coverage provided and means as long as the original individual owner(s) of a single-family detached residence [or eligible second owner(s)] owns the property where the qualifying GAF products are installed. For other owners/structures, Lifetime coverage is not applicable. Lifetime coverage on shingles requires the use of GAF Lifetime shingles only. See the GAF Shingle & Accessory Limited Warranty for complete coverage and restrictions. Visit gaf.com/LRS for qualifying GAF products. Lifetime coverage on shingles and accessories requires the use of any GAF Lifetime shingle and at least 3 qualifying GAF accessories. See the GAF Roofing System Limited Warranty for complete coverage and restrictions. For installations of eligible for the GAF Roofing System Limited Warranty, see the GAF Shingle & Accessory Limited Warranty. Visit gaf.com/LRS for qualifying GAF products.

- Results based on study conducted by Home Innovation Research Labs, an independent research lab, comparing installation of Timberline HD® Shingles to Timberline HDZ® Shingles on a 16-square roof deck using standard 4-nail nailing pattern under controlled laboratory conditions. Actual results may vary.
- 2 15-year WindProven® Limited Wind Warranty on GAF shingles with LayerLock® technology requires the use of GAF starter strips, roof deck protection, ridge cap shingles, and leak barrier or attic ventilation. See GAF Roofing System Limited Warranty for complete coverage and restrictions. Visit gaf.com/LRS for qualifying GAF products. For installations not eligible for the GAF WindProven™ Limited Warranty, see the GAF Shingle & Accessory Limited Warranty.
- ³ 25-year StainGuard Plus™ Algae Protection Limited Warranty against blue-green algae discoloration is available only on products sold in packages bearing the StainGuard Plus™ logo. See GAF Shingle & Accessory Limited Warranty for complete coverage and restrictions and qualifying products.
- ⁴ Harvest Blend colors are only available on TimberTex® Ridge Cap Shingles, Seal-A-Ridge® Ridge Cap Shingles, and TimberCrest® Premium SBS-Modified Ridge Cap Shingles.
- ⁵ Periodically tested by independent and internal labs to ensure compliance with ASTM D3462 at time of manufacture.

Colors:



Harvest Blend Colors⁵











Hardie® Plank Lap Siding

Submittal Form

Submitted to:	☐ HZ5® Product Zone ☐ HZ10® Product Zone
Project Name:	Product Width: ☐ 5-1/4in ☐ 6-1/4in ☐ 7-1/4in ☐ 8in ☐ 8-1/4in ☐ 9-1/4in ☐ 12in
Submitted by:	Product Finish: Primed ColorPlus® Technology
Date:	Product Texture: ☐ Smooth ☐ Select Cedarmill® ☐ Colonial Roughsawn® ☐ Colonial Smooth® ☐ Rustic Cedar

Hardie® Plank Lap Siding

Specification Sheet

DIVISION: 07 00 00 THERMAL AND MOISTURE PROTECTION

SECTION: 07 46 46 FIBER CEMENT SIDING

HARDIE® PLANK LAP SIDING

Manufacturer

James Hardie Building Products, Inc.

The products are manufactured at the following locations, with quality control inspections by ICC-ES:

- Cleburne, Texas
- Plant City, Florida
- Reno, Nevada
- Waxahachie, Texas
- Prattville, Alabama
- Peru, Illinois
- · Pulaski, Virginia
- Tacoma, Washington
- Fontana, California
- · Summerville, South Carolina

Compliance with the following codes

- 2006 thru 2021 International Building Code (IBC)
- 2006 thru 2021 International Residential Code (IRC)

For more information about other compliances and applicable uses, refer to ICC-ES ESR-2290

Features

- Noncombustible
- Dimensionally Stable
- Resists damage from pests
- Weather Resistant-Engineered for Climate®
- Impact resistant
- Sustainable

Hardie® fiber-cement lap siding is used as exterior wall covering. The product complies with IBC Section 1403.9 and IRC Section R703.10. The product may be used on exterior walls of buildings of Type I, II, III and IV construction (IBC)

Description

Hardie® Plank lap siding is a single-faced, cellulose fiber-reinforced cement (fiber-cement) product. Hardie® Plank lap siding complies with ASTM C1186, as Grade II, Type A; has a flame-spread index of 0 and a smoke-developed index of 5 when tested in accordance with ASTM E84; and is classified as noncombustible when tested in accordance with ASTM E136.

Available Sizes

Width (in)	Length	Thickness (in)
5-1/4, 6-1/4,	12 feet	5/16
7-1/4, 8, 8-1/4,		
9-1/4, 12		
	5-1/4, 6-1/4, 7-1/4, 8, 8-1/4,	5-1/4, 6-1/4, 12 feet 7-1/4, 8, 8-1/4,

^{*} HZ5: 9-1/4, 12 only available primed HZ10: 5-1/4, 9-1/4, 12 only available primed.

Weight2.31 lbs. per square foot

Texture & Finish

Hardie® Plank lap siding comes in a variety of textures and finishes. The product is available in smooth or wood grain texture. Additional textures are available on a regional basis. Finish options are primed for field paint, or factory finished with ColorPlus® Technology. Color availability varies by region.

Engineered for Climate®

Hardie® Plank lap siding is engineered for performance to specific weather conditions by climate zones as identified by the following map.



SPECIFICATION SHEET 01 FEBRUARY 2024

Performance Properties

	General Property	Test Method	Unit or Characteristic	Requirement	Result
			Length	± 0.5% or ± 1/4 in	•
			Width	\pm 0.5% or \pm 1/4 in	
ËS			Thickness	± 0.04 in	
ATTRIBUTES	Dimensional Tolerances	ASTM C1185	Squareness	Δ in diagonals \leq 1/32 in/ft of sheet length. Opposite sheet sides shall not vary in length by more than 1/32 in/ft	Pass
			Edge Straightness	≤ 1/32 in/ft of length	
PHYSICAL	Density, lb/ft ³	ASTM C1185		As reported	83
ΥSI	Water Absorption, % by mass	ASTM C1185		As reported	36
풉	Water Tightness	ASTM C1185	Physical Observations	No drop formation	Pass
	Flexural Strength	ASTM C1185	Wet conditioned, psi	>1015 psi	Pass
	riexurai otrerigiri	A31101 01 103	Equilibrium conditioned, psi	>1450 psi	1 000
Ļ	Thermal Conductivity		(BTU/(hr·ft°F))/inch		2.07
THERMAL	Actual Thermal Conductivity	ASTM C177	(K_{eff})	As reported	6.62
臣	Thermal Resistance	ASTIVI CTTT	$R=1/K_{eff}$	As reported	0.48
Ė	Actual Thermal Resistance		(R)		0.15
	Warm Water Resistance	ASTM C1185	Physical Observations	No visible cracks or structural alteration	Pass
≽	Heat/Rain Resistance	ASTM C1185	Physical Observations	No visible cracks or structural alteration	Pass
DURABILITY			Physical Observations	No visible cracks or structural alteration	
RAI	Freeze/Thaw Resistance	ASTM C1185	Mass Loss, %	% ≤ 3.0%	
В			Freeze/Thaw, % strength retention	≥ 80%	
	UV Accelerated Weathering Test	ASTM G23	Physical Observations	No cracking, checking, or crazing	Pass
			Flame Spread Index (FSI)		0
SS	Surface Burning Characteristics	ASTM E84	Smoke Developed Index (SDI)		≤ 5
ST			Fuel Contributed		0
FIRE CHARACTERISTICS			NFPA Class		Α
			Uniform Building Code Class	As reported	1
٩R٨			International Building Code® class		Α
Ξ	Noncombustibility	ASTM E136	Noncombustible	Pass/fail	Pass
_	Fire Resistance Rated Construction	ASTM E119	Fire Resistance Rating	1-hour	Note 1

Note 1: listed on Warnock Hersey and ESR 2290

Installation

Install Hardie® Plank lap siding in accordance with:

- Hardie® Plank lap siding installation instructions
- ICC-ES ESR 2290
- Requirements of authorities having jursidiction

Warranty

Hardie® Plank lap siding: 30-year, Non-Prorated, Limited Warranty ColorPlus® Technology: 15-year Limited Finish Warranty

Sustainable Design Contribution

- Regionally sourced content- varies by project location
- Avoidance of certain chemicals or Red List Compliance

Detailed product information for LEED projects, or other state or regional sustainability programs is available through James Hardie Technical Services.

Storage and Handling

Store flat and keep dry and covered prior to installation.

Technical Services

Contact James Hardie Technical Services online at James Hardie.com, or by phone at (800)426-4051

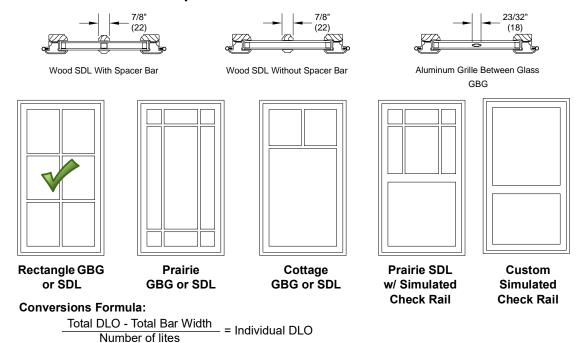
SS2001 02/24 PAGE 2 OF 2

IMPORTANT: Failure to install and finish this product in accordance with applicable building codes and James Hardie written application instructions may affect system performance, violate local building codes, void the product-only warranty and lead to personal injury. DESIGN ADVICE: Any information or assistance provided by James Hardie in relation to specific projects must be approved by the relevant specialists engaged for the project eg. builder, architect or engineer. James Hardie will not be responsible in connection with any such information or assistance.





Section Details: Divided Lite Options



NOTES:

- Direct Glaze Round Top with GBG or SDL will only align with the default lite cut of the unit it is intended to be mulled with.
- Rectangle GBGs for special size units will default to the next smaller standard size lite pattern. Also available will be Prairie patterns, Cottage patterns, and customer specified equal rectangular lite patterns.
- Rectangular SDL for special size units will default to the next smaller standard size lite pattern. Also available will be Prairie patterns, Cottage patterns, and customer specified equal rectangular lite patterns.
- Prairie GBG and SDL available in 9 lite and 6 lite top, bottom, left, and right patterns.
- Cottage GBGs and SDL for special sizes units will default to the next smaller standard size lite pattern. Cottage GBGs and SDL are also available in customer selected lite patterns.
- Round Top lite patterns will not align with Casement/Awning optional GBG or SDL lite patterns.
- Maximum number of lites wide and high for equal lite SDL option is 11 lites.
- Minimum DLO measurement for equal lite SDL option is 4" (102) and will be validated by OMS.
- Minimum DLO measurement for equal lite GBG option is 3" (76) and will be validated by OMS.
- Standard DLO measurement for Prairie GBG and SDL options is 4" (102). Special DLO corners are n/a.
- Standard DLO height measurement for Cottage SDL option is 10" (254). Minimum DLO height is 8" (203) for one high pattern. Minimum DLO height is 4" (102) for two high pattern.
- Standard DLO height measurement for Cottage GBG option is 10" (254). Minimum DLO height is 3" (76) for both one and two high patterns.
- Simulated Rail: Rectangular, Prairie 6-Lite and 9-Lite SDL patterns are available with Simulated Rail.
- Simulated Rail: Custom ratio and specified DLO are available with Simulated Rail and will be validated by OMS.
- GBGs are not available on IZ3



Available Divided Lite Patterns

Default Rectangular Lite Pattern per Sash - GBG, SDL

Standard	Standard CN Width									
CN Height	17	21	25	29	33	37	41	49	57	73
16 ELDG										6W1H
16	2W1H	2W1H	2W1H	3W1H	3W1H	3W1H	4W1H	4W1H	5W1H	7W1H
19	1W2H	2W2H	2W2H	3W2H	3W2H	3W2H	4W2H	4W2H	5W2H	7W2H
23	1 V2H	2W2H	2W2H	3W2H	3W2H	3W2H	4W2H	4W2H	5W2H	7W2H
27	1W2H	2W2H	2W2H	3W2H	3W2H	3W2H	4W2H	4W2H	5W2H	7W2H
31	1W2H	2W2H	2W2H	3W2H	3W2H	3W2H	4W2H	4W2H	5W2H	7W2H
35	1W2H	2W2H	2W2H	3W2H	3W2H	3W2H	4W2H	4W2H	5W2H	7W2H
39	1W3H	2W3H	2W3H	3W3H	3W3H	3W3H	4W3H	4W3H	5W3H	7W3H
43	1W3H	2W3H	2W3H	3W3H	3W3H	3W3H	4W3H	4W3H	5W3H	7W3H
47	1W3H	2W3H	2W3H	3W3H	3W3H	3W3H	4W3H	4W3H	5W3H	7W3H
55	1W4H	2W4H	2W4H	3W4H	3W4H	3W4H	4W4H	4W4H	5W4H	7W4H
59	1W4H	2W4H	2W4H	3W4H	3W4H	3W4H	4W4H	4W4H	5W4H	7W4H
63	1W5H	2W5H	2W5H	3W5H	3W5H	3W5H	4W5H	4W5H	5W5H	
71	1W5H	2W5H	2W5H	3W5H	3W5H	3W5H	4W5H	4W5H	5W5H	

Optional Standard Cottage Lite Pattern per Sash - GBG, SDL

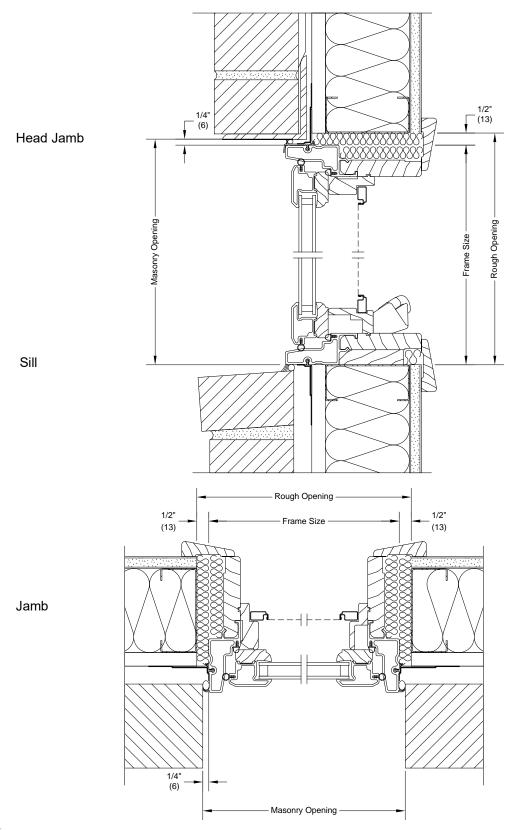
Standard	Standard CN Width									
CN Height	17	21	25	29	33	37	41	49	57	73
All Heights	2-Lite	3-Lite	3-Lite	4-Lite	4-Lite	4-Lite	5-Lite	5-Lite	6-Lite	8-Lite

NOTE: Prairie lite pattern is not available in the CN19 height transoms.



Section Details: Installation Suggestion - Brick Veneer With Steel Frame Construction

Scale: 1 1/2" - 1' 0"

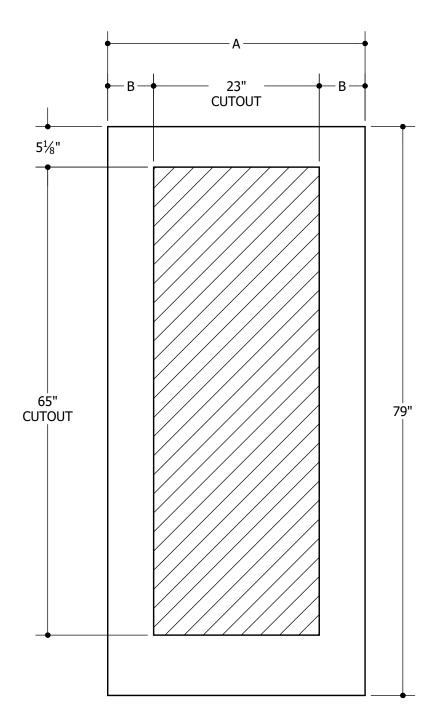


NOTES:

- Picture unit installation similar.
- The above wall sections represent typical wall conditions, these details are not intended as installation instructions. Please refer to the installation instructions provided with the purchased units.



122 SERIES (22" X 64" GLASS INSERT SIZE) 1 OF 2 MASONITE $^{\rm TM}$ SPEC*



Α	31-3/4"	
В	4-3/8"	2'8"
		2'5
Α	33-3/4"	
В	5-3/8"	2'10"
		2'1
Α	35-3/4"	
В	6-3/8"] _
		3'0"
		1
		1
		1
	A B	A 33-3/4" B 5-3/8" A 35-3/4"

Options:

BELLEVILLE® FIBERGLASS DOORS WOOD OR METAL-EDGE STEEL DOORS

Note:

1. Overall Length and Width Dimensions are +/- 1/16 inch

*Available as Prem Spec

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Our continuing program of product improvement makes specifications, design and product detail subject to change without notice.

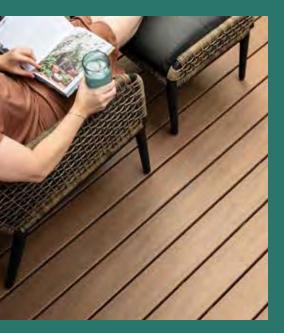
Date: 01-24-2017
Section XX XX.X.X

Filename: TM-GL-122-68 001 Revision: A



Decking

Stylish composite decking outperforms wood for hassle-free outdoor living





Highly Durable

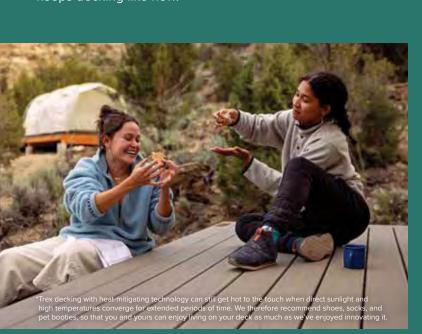
Composite deck boards that stand up to both weather and weekend mishaps alike—they won't rot, warp, splinter, fade or stain.





Easy Care & Cleanup

Our boards need no sanding or staining. No kidding. Easy soap & water cleanup keeps decking like new.





Always Green

Sustainably made in the U.S.A. using up to 95% recycled plastic film and reclaimed sawdust.



Heat Mitigating

Deck colors with this symbol are engineered with heatmitigating technology to be noticeably cooler than similar colored boards in the same sun and heat conditions.*



Railing

Metal and composite collections make it easy to find your style and frame your view

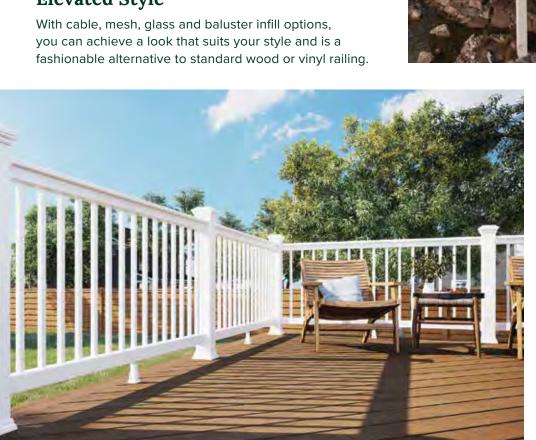


More Material Options

From traditional composites to sleek metal offerings, our wide selection of safe and stylish railing options offers more choices for your build.



Elevated Style







Durability to Match our Decking

Built with the same outstanding durability as Trex decking—your railing is engineered to endure whatever Mother Nature sends its way.



Easy Installation

Deck railing kits, pre-assembled panels and online resources make installation simple.

BASICS

A trade up from wood

\$ (25)

Clam Shell

Tide Pool

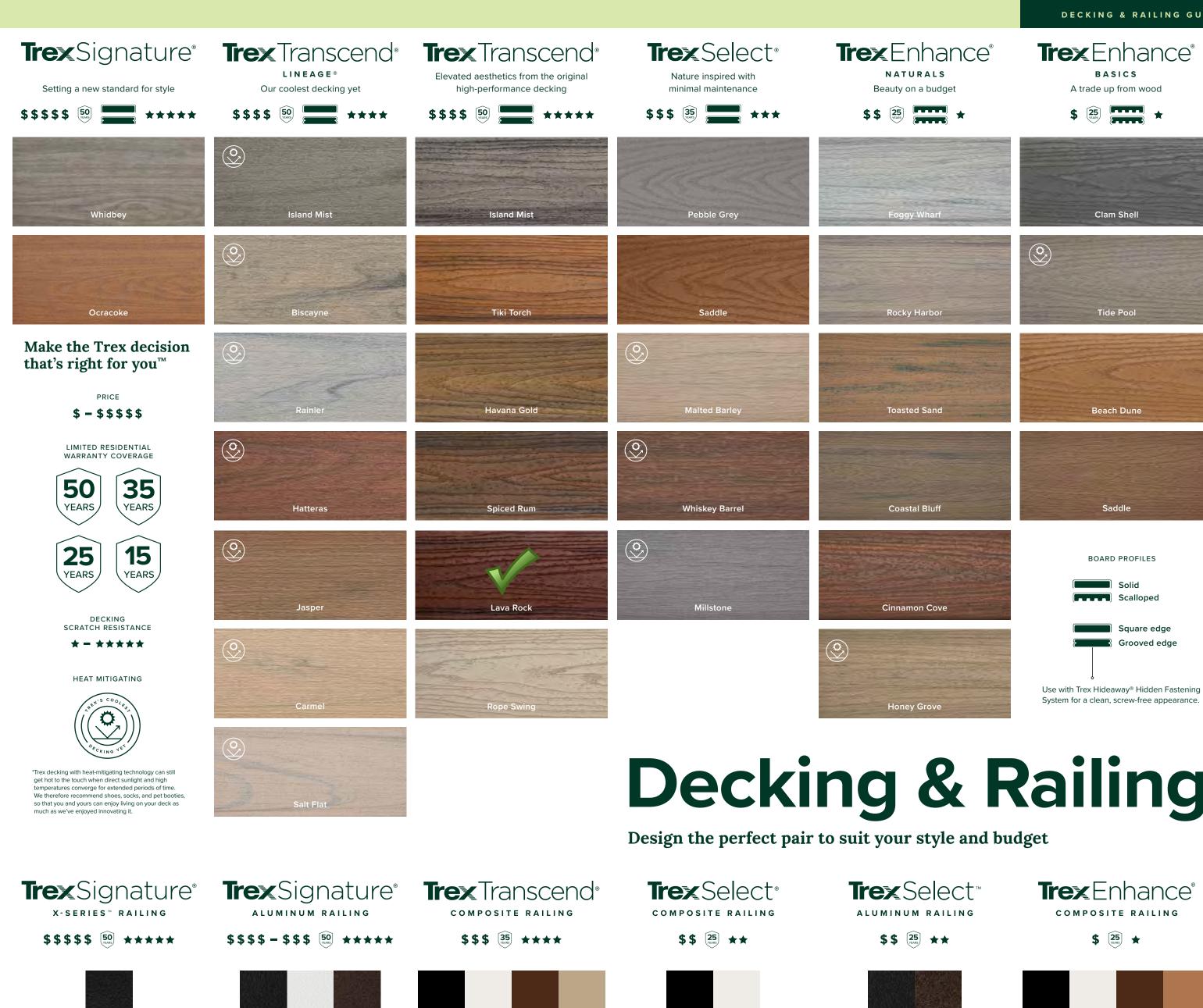
Beach Dune

Saddle

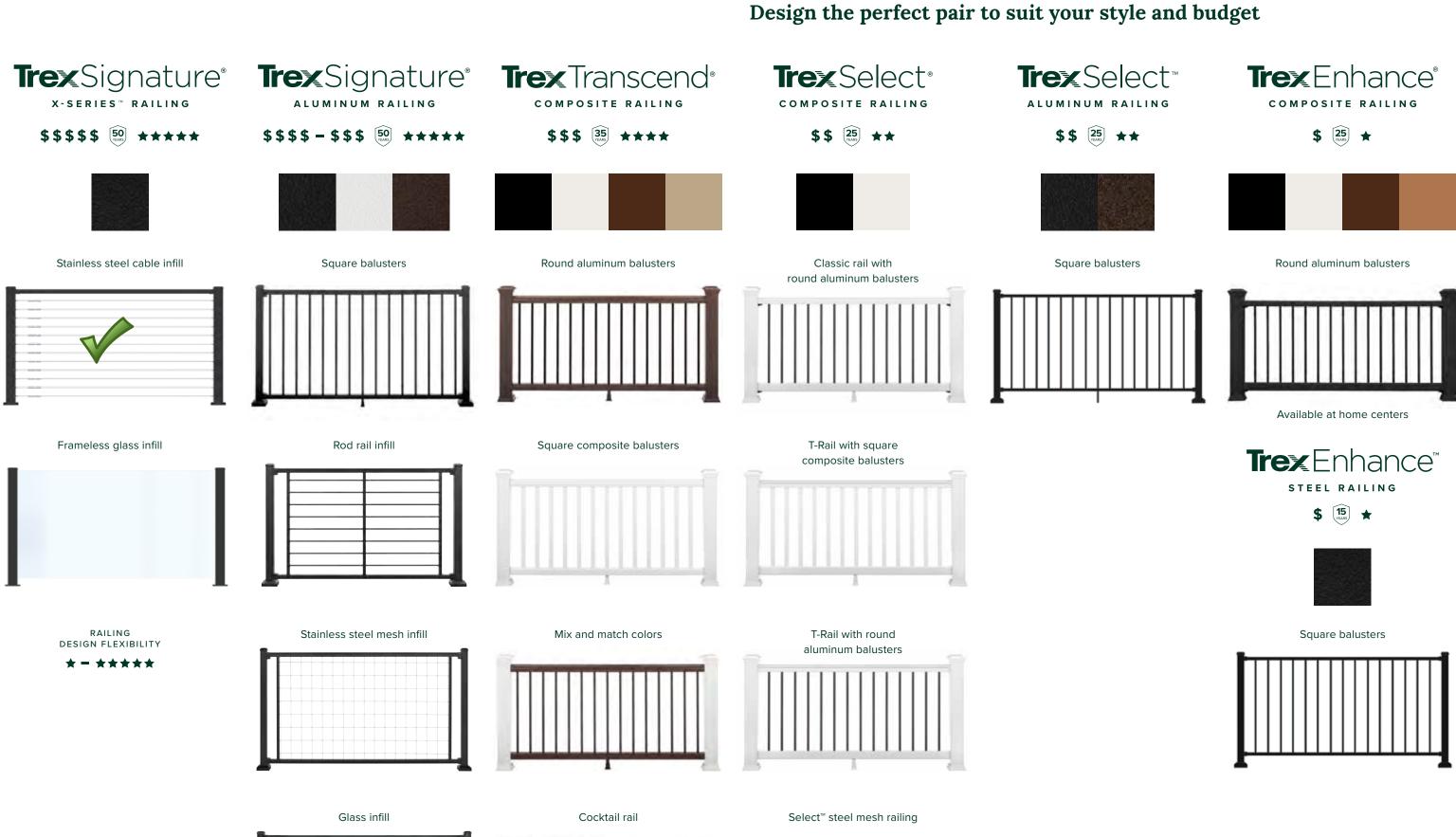
BOARD PROFILES

Solid Scalloped

Square edge Grooved edge







Get inspired by photos of some of our favorite decking and railing pairings.

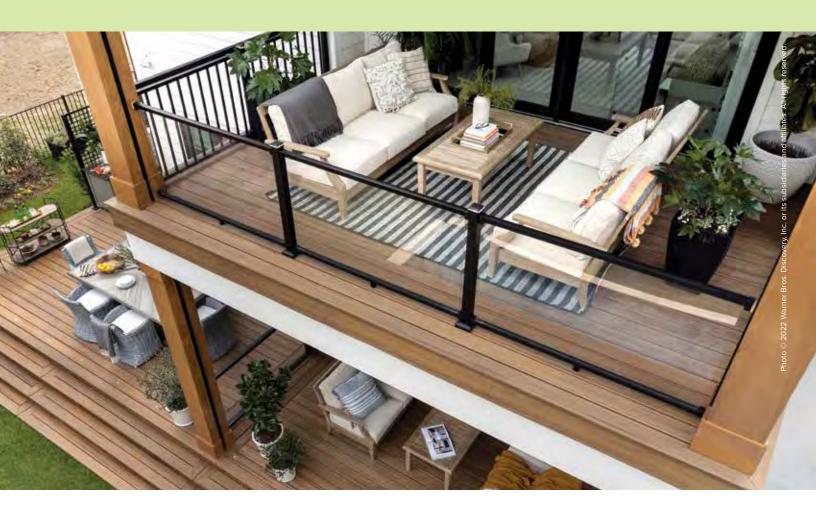


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