

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	3924 Washington Street, Kensington	Meeting Date:	9/3/2025
Resource:	Secondary Resource Kensington Historic District	Report Date:	8/27/2025
Applicant:	Stephen "Pooh" Strachan	Public Notice:	8/20/2025
Review:	HAWP	Tax Credit:	No
Permit No.:	1128890	Staff:	Laura DiPasquale
Proposal:	Enclosure of existing screened porch, construction of new screened porch		

STAFF RECOMMENDATION

Staff recommends that the HPC **approve with one (1) condition** the HAWP application, with final approval authority for all details delegated to staff:

1. The new windows must have simulated-divided-lights, not grilles-between-glass.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Secondary Resource within the Kensington Historic District
 STYLE: Modern
 DATE: Post-1930



Figure 1: Aerial view of 3924 Washington Street, Kensington, within the Kensington Historic District (hatched in red).



Figure 2: View of the front and partial right (west) side elevations from Washington Street.

PROPOSAL

The applicant proposes to remove an existing rear deck, screened porch, rear and side windows, and portions of the first-floor rear wall, enclose the existing screened porch structure with new siding and double-hung windows, and to construct a new screened porch with stair to grade. The new screened porch would be 16-feet deep by 25.5-feet wide with a gabled roof intersecting the pitched roof of the existing rear addition and screened porch.

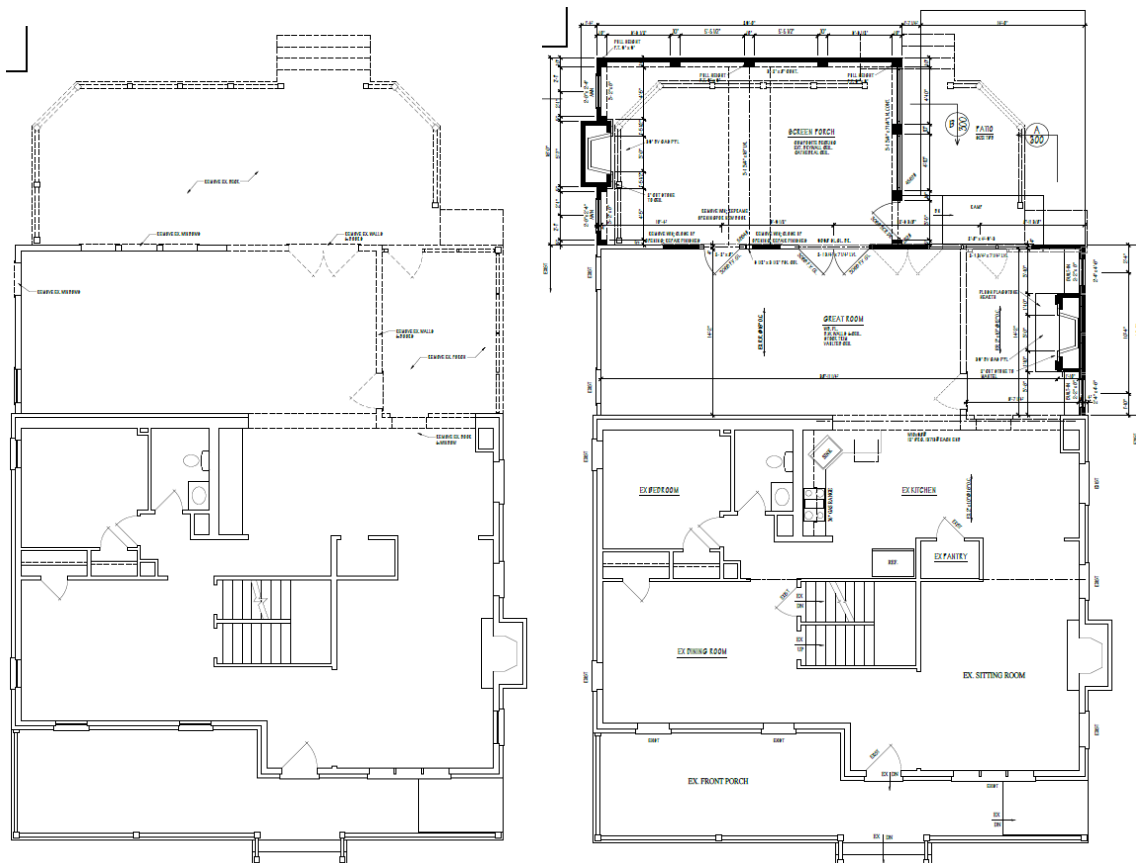


Figure 3: Existing/demo floor plan (left) and proposed floor plan (right).

Architectural elevation drawing of the front of a two-story house. The drawing shows a brick chimney on the left, a porch on the far left, and a large glass-enclosed porch on the right. Various windows and doors are labeled. Dimensions for height (1st FL., 2nd FL., 3rd FL.) and width (10' x 10' BALCONY) are indicated. The drawing is a black and white line drawing with labels and dimension lines.

3

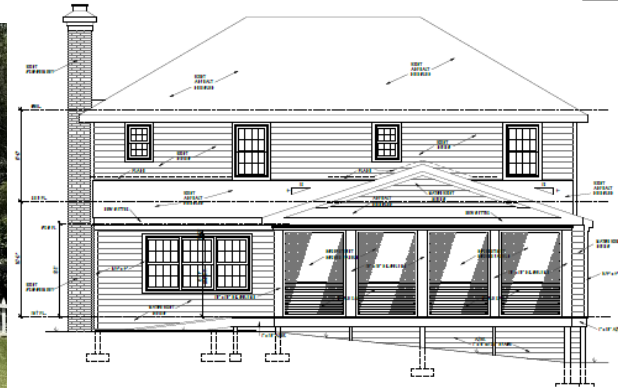


Figure 6: Existing rear (south) elevation photograph (left) and proposed elevation drawing (right).



Figure 7: Existing left (east) elevation photograph, August 2025 (Historic Preservation Office).

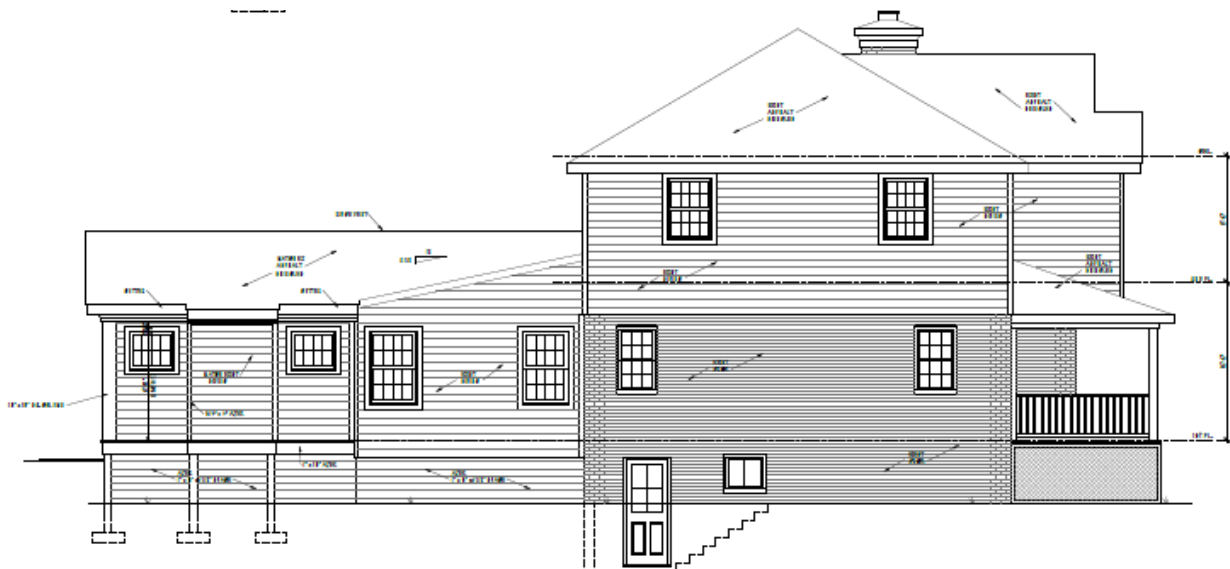


Figure 8: Existing left (west) elevation photograph (left) and proposed elevation drawing (right).

APPLICABLE GUIDELINES

When reviewing alterations and new construction within the Kensington Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the *Approved & Adopted Amendment to the Master Plan for Historic Preservation: Kensington Historic District, Atlas #31/6 (Amendment)*; *Vision of Kensington: A Long-Range Preservation Plan (Vision)*; *Montgomery County Code Chapter 24A (Chapter 24A)*; and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Approved & Adopted Amendment to the Master Plan for Historic Preservation: Kensington Historic District, Atlas #31/6

According to the Guidelines, a Historic District as identified....shall consist of the entire area represented by all of the historic resources with their appurtenances and environmental setting. Non-historic properties within the boundaries of the Historic District are also subject to regulation, as they are considered appurtenances and part of the environmental setting of the historic resources of the District.

In regard to the properties identified as secondary resources--that is visually contributing, but non-historic structures or vacant land within the Kensington District--the Ordinance requires the Preservation Commission to be lenient in its judgment of plans for contemporary structures or for plans involving new construction unless such plans would seriously impair the historic or architectural value of surrounding resources or impair the character of the district.

Vision of Kensington: A Long-Range Preservation Plan

The HPC formally adopted the planning study, *Vision of Kensington: A Long-Range Preservation Plan*, and is directed by the Executive Regulations, which were approved by the County Council, to use this plan when considering changes and alterations to the Kensington Historic District. The goal of this preservation plan as noted on Page 1 "was to establish a sound database of information from, which to produce a document that would serve the HPC, M-NCPPC, their staff and the community in wrestling with the protection of historic districts amidst the pressures of life in the 21st century." The plan provides a specific physical description of the district as it is; an analysis of character-defining features of the district; a discussion of the challenges facing the district; and a discussion of proposed strategies for maintaining the character of the district while allowing for appropriate growth and change.

Montgomery County Code Chapter 24A-8

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to ensure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

Secretary of the Interior's Standards for Rehabilitation

The Secretary of the Interior defines rehabilitation as “the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values.” The Standards read are as follows:

2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Historic Preservation Commission Policy No. 24-01: Policy for the Appropriateness of Substitute Materials for Porch and Deck Flooring

Now, THEREFORE:

WHEREAS, Section 24A-8(b) of the Montgomery County Code identifies seven criteria to evaluate approvable HAWPs for properties designated on the Master Plan for Historic Preservation or properties that are in a historic district designated on the Master Plan for Historic Preservation;

WHEREAS, nothing in this policy may supersede Council-adopted Design Guidelines for Historic Districts or Sites that already specify the use of certain materials and finishes;

WHEREAS, porches and decks are identified as character-defining features of historic buildings;

WHEREAS, if the HPC determines the porch flooring/decking has deteriorated beyond repair, it shall be the policy of the Historic Preservation Commission that:

1. Sites listed on the Master Plan for Historic Preservation are properties that have been designated to the Master Plan for Historic Preservation based on their individual historic significance, including architectural significance. Because of the significance of these sites, preserving its historic character is of paramount concern. Wood is the appropriate material to maintain the historic appearance, materials, and construction methods at Master Plan sites. The HPC does not evaluate wood and species. The finish applied needs to be compatible with the species selected.
2. Historic districts are comprised of groups of cohesive historic resources that collectively contribute to the county's historic, architectural, archaeological, or cultural values. Resources in many districts are categorized as 'Outstanding,' 'Contributing,' or 'Non-Contributing' and the treatment of these resources varies based on their categorization.
3. Outstanding Resources/Primary – These resources have the highest level of architectural or historical significance in the historic district and the objective for Outstanding/Primary resources is to preserve the historic and architectural character to the greatest extent possible. Wood should be used on all porches and decks for Outstanding/Primary resources. The wood should be painted and installed in a historically appropriate method. Porches on building additions and new construction to Outstanding/Primary resources will be evaluated on a case-by-case basis. As with Master Plan Sites, the HPC does not evaluate wood species and the applied finish needs to be appropriate for the material selected.

4. Contributing Resources – These are significant for their contribution to the district as a whole and prioritize retaining the architectural style, overall volume, and size. Porch floors on ‘Contributing’ resources may be a compatible substitute material (discussed below), provided the material matches the building’s historic character and construction methods. Historic rear porches for ‘Contributing’ resources may be constructed using a compatible substitute material. Non-historic porches and decks on ‘Contributing’ resources that are not visible from the public right-of-way may be constructed using substitute materials.
5. Non-Contributing Resources/Secondary/Spatial – These were constructed after the district’s period of significance or have been so heavily modified that they no longer contribute to the historic district’s character. These resources do not need to use traditional materials. New porch flooring/decking materials for these resources do not need to satisfy the criteria for compatible substitute material.
6. Compatible substitute materials for replacement porch flooring/decking – On buildings where a substitute material is acceptable under this policy, the material must satisfy the following criteria:
 - It must match the dimensions and installation method (i.e.) of the existing material or a historically appropriate porch flooring, (e.g., boards must run perpendicular to the house for porches);
 - It must be millable;
 - It can be painted without voiding the product warranty; or,
 - Has a uniform appearance consistent with painted wood;
 - It has a minimal (or no) stamped or embossed texture on the surface; and,
 - It has a finished edge that appears as a cut solid board.

STAFF DISCUSSION

Staff supports the proposed alterations and recommends approval. Staff finds that the house, which is listed as a Secondary resource in the Kensington Historic District, was modified to its current appearance in 2003.¹ As a Secondary resource, the *Amendment* states that the HPC should be lenient in its judgment of plans unless such plans would seriously impair the character of the district, per Chapter 24-8(d). Given its placement at the rear of the property, which is located along the southern district boundary, staff finds that the proposed work will have limited visibility from the public right-of-way and will not impact the character-defining features of the historic “garden setting” or the rhythm of the streetscape, per the *Vision*.

Staff further finds that the alterations are to be made to the non-historic addition, and therefore that no historic fabric will be removed, per *Standard 2*, and that the new work is compatible in features, size, scale, and massing to protect the integrity of the property and its environment, per *Standard 9*. Per *Standard 10*, if removed in the future, the proposed work would leave the integrity of the environment unimpaired.

Staff finds that the proposed Hardie Plank lap siding, Marvin Elevate fiberglass windows, and Belleville fiberglass doors, and Trex porch decking are compatible for use on a rear addition to a Secondary resource, per Chapter 24A-8(b)(2) and *Policy 24-01*. Staff notes, however, that the window specification includes both simulated-divided-light and grilles-between-glass options, and that the former is the more appropriate design for use on any resource in a historic district, and would match the upper floor windows on the existing house, which were approved by the HPC in 2003.

¹ The staff report and application for the second-floor addition at 3924 Washington Street, approved by the HPC in 2003: https://mcatlas.org/files/06_HistoricPreservation_PhotoArchives/Padlock/HAR60640010/Box084/31-06-03L_Kensington%20Historic%20District%20PrelimConsult_3924%20Washington%20St_03-20-2002.pdf

STAFF RECOMMENDATION

Staff recommends that the Commission **approve with one (1) condition** the HAWP application, with final approval authority for all details delegated to staff:

- 1) The new windows must have simulated-divided-lights, not grilles-between-glass;

under the Criteria for Issuance in Chapter 24A-8(b)(1) and (2), and (d), having found that the proposal will not substantially alter the exterior features of the historic resource and is compatible in character with the purposes of Chapter 24A;

the *Vision of Kensington: A Long-Range Preservation Plan*;

and with the *Secretary of the Interior's Standards for Rehabilitation* # 2, 9, and 10;

and with the *Historic Preservation Commission Policy No. 24-01: Policy for the Appropriateness of Substitute Materials for Porch and Deck Flooring*;

and with the general condition that the applicant shall present an electronic set of drawings, if applicable, to HPC staff for review and stamping prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the HPC as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the HPC staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-495-2167 or laura.dipasquale@montgomeryplanning.org to schedule a follow-up site visit.



FOR STAFF ONLY:
HAWP# 1128890
DATE ASSIGNED _____

APPLICATION FOR HISTORIC AREA WORK PERMIT

HISTORIC PRESERVATION COMMISSION
301.563.3400

APPLICANT:

Name: _____

E-mail: _____

Address: _____

City: _____ Zip: _____

Daytime Phone: _____

Tax Account No.: _____

AGENT/CONTACT (if applicable):

Name: _____

E-mail: _____

Address: _____

City: _____ Zip: _____

Daytime Phone: _____

Contractor Registration No.: _____

LOCATION OF BUILDING/PREMISE: MIHP # of Historic Property _____

Is the Property Located within an Historic District? Yes/District Name _____

No/Individual Site Name _____

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: _____ Street: _____

Town/City: _____ Nearest Cross Street: _____

Lot: _____ Block: _____ Subdivision: _____ Parcel: _____

TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:

☐ New Construction

☐ Deck/Porch

☐ Shed/Garage/Accessory Structure

☐ Addition

☐ Fence

☐ Solar

☐ Demolition

☐ Hardscape/Landscape

☐ Tree removal/planting

☐ Grading/Excavation

☐ Roof

☐ Window/Door

☐ Other: _____

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.



Signature of owner or authorized agent

Date

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address

Owner's Agent's mailing address

Adjacent and confronting Property Owners mailing addresses

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

Description of Work Proposed: Please give an overview of the work to be undertaken:

Work Item 1: _____	
Description of Current Condition:	Proposed Work:

Work Item 2: _____	
Description of Current Condition:	Proposed Work:

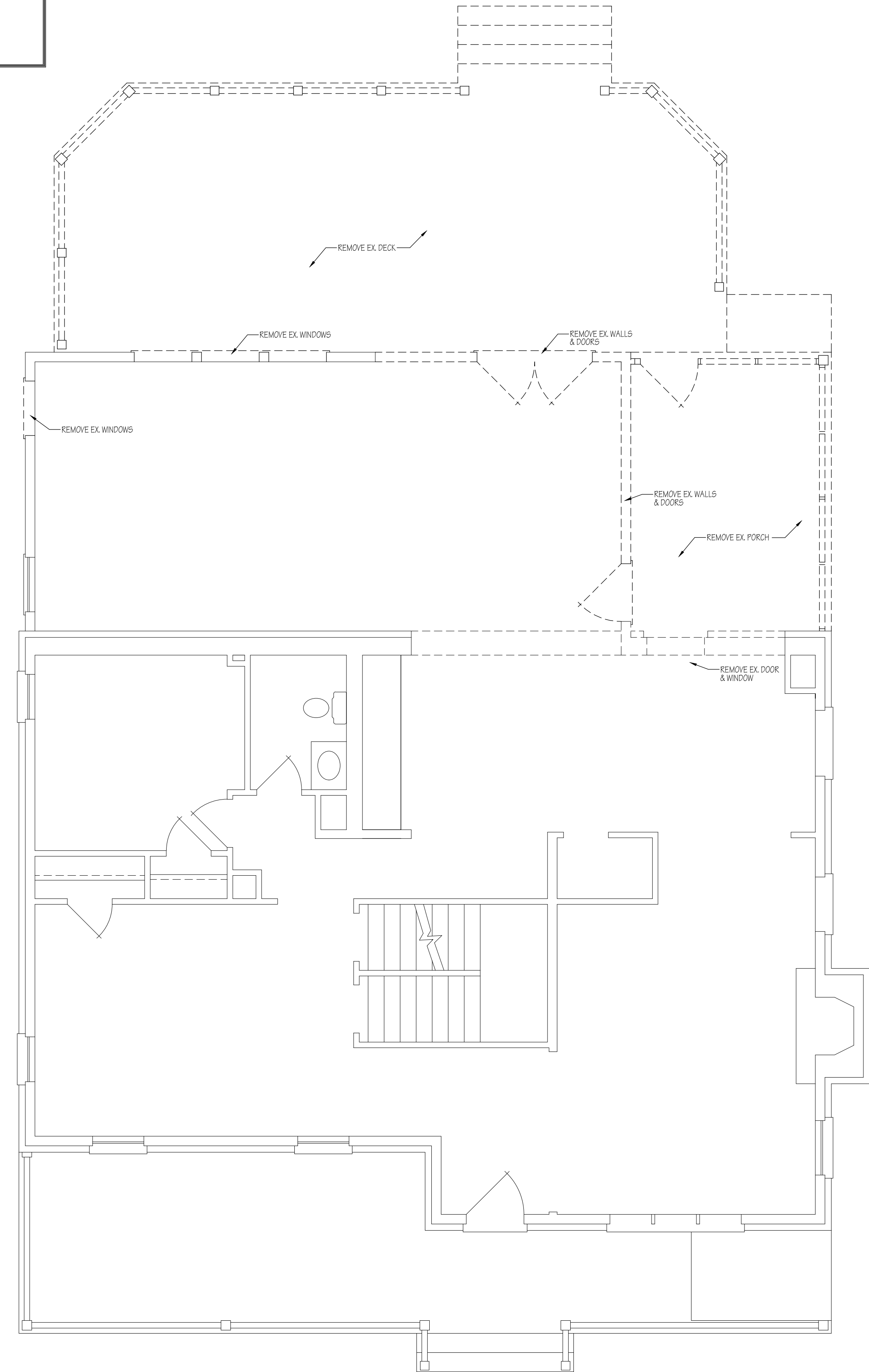
Work Item 3: _____	
Description of Current Condition:	Proposed Work:

HISTORIC AREA WORK PERMIT CHECKLIST OF APPLICATION REQUIREMENTS

	Required Attachments						
Proposed Work	I. Written Description	2. Site Plan	3. Plans/ Elevations	4. Material Specifications	5. Photographs	6. Tree Survey	7. Property Owner Addresses
New Construction	*	*	*	*	*	*	*
Additions/ Alterations	*	*	*	*	*	*	*
Demolition	*	*	*		*		*
Deck/Porch	*	*	*	*	*	*	*
Fence/Wall	*	*	*	*	*	*	*
Driveway/ Parking Area	*	*		*	*	*	*
Grading/Exc avation/Land scaing	*	*		*	*	*	*
Tree Removal	*	*		*	*	*	*
Siding/ Roof Changes	*	*	*	*	*		*
Window/ Door Changes	*	*	*	*	*		*
Masonry Repair/ Repoint	*	*	*	*	*		*
Signs	*	*	*	*	*		*







SYMBOL LEGEND	
	NO FRAMED WALLS OR COLUMNING
	CONC. WALLS
	EXISTING WALLS
	EXISTING WALLS TO BE REMOVED

FIRST FLOOR DEMOLITION PLAN
1/4"=1'-0"

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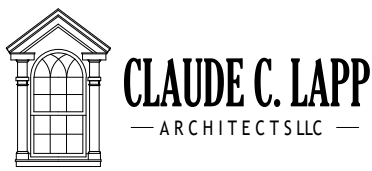
DATE	REMARKS

CONTRACTOR TO CHECK & VERIFY ALL DIMENSIONS & CONDITIONS IN FIELD PRIOR TO START OF CONSTRUCTION.

NOTIFY ARCHITECT OF ANY DISCREPANCIES.

ALL INTERIOR WALL DIMENSIONS TO BE 3 1/2" UNLESS NOTED OTHERWISE.

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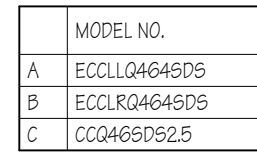


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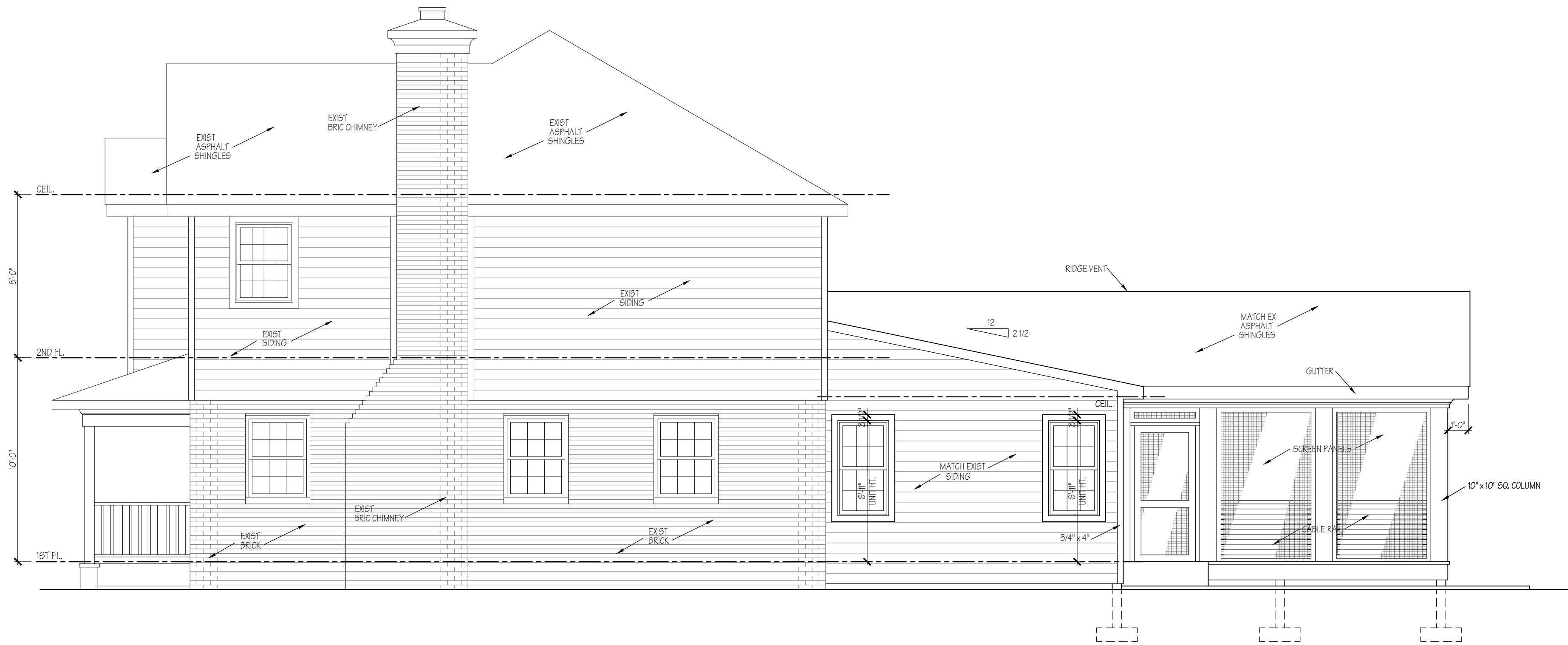
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PAGE 1 OF 14		

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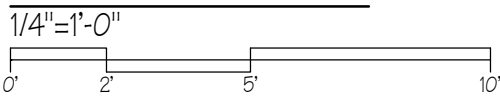


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RIGHT ELEVATION



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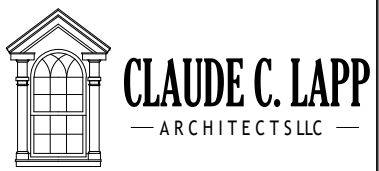
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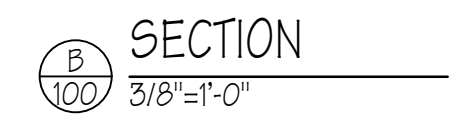
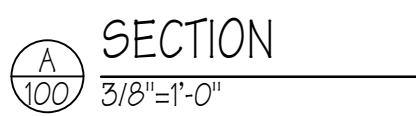
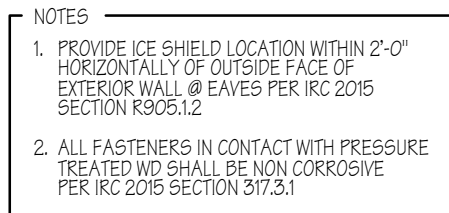
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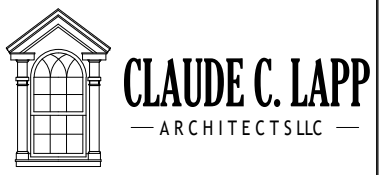
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SUITE 205
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T-(301) 881-6856
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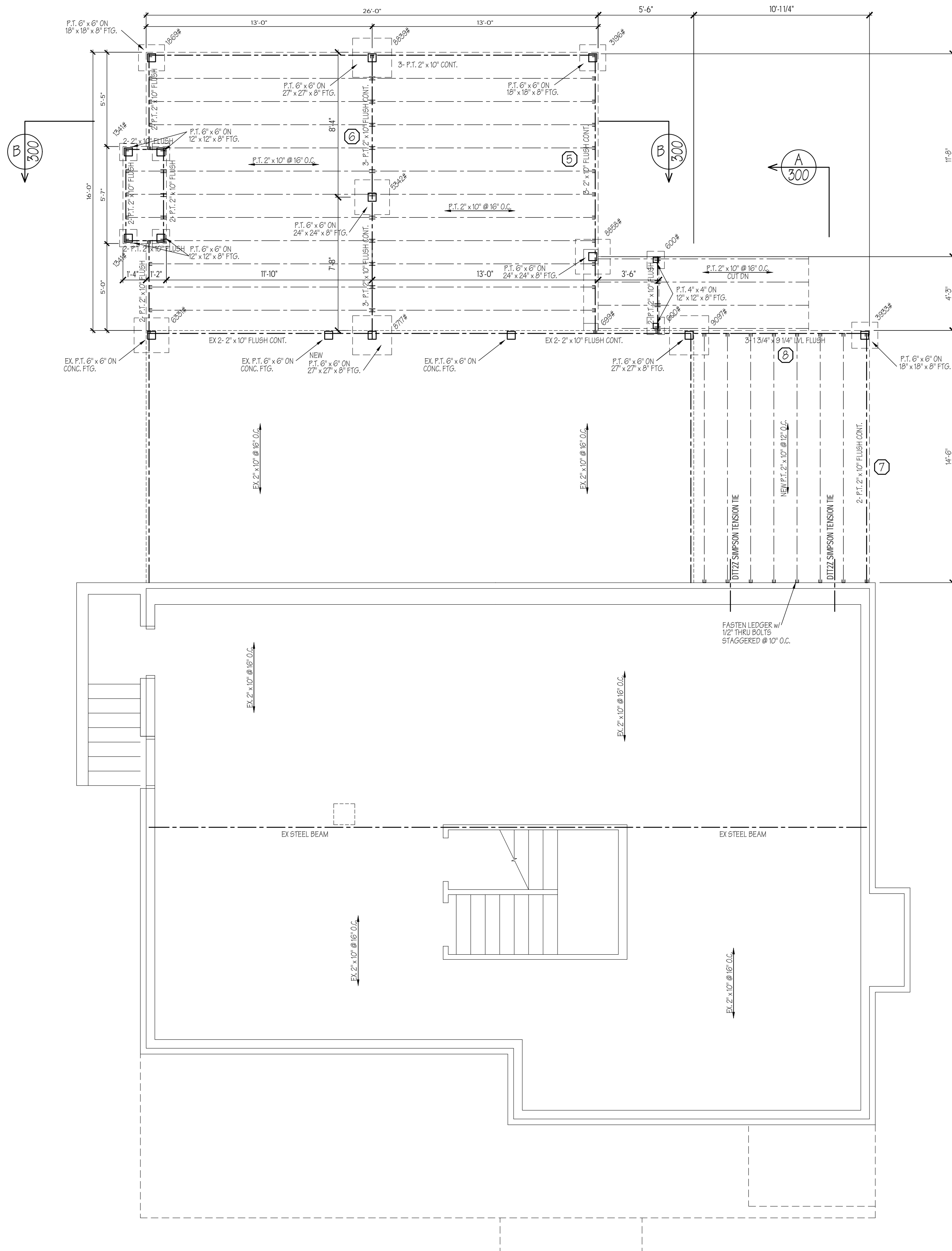
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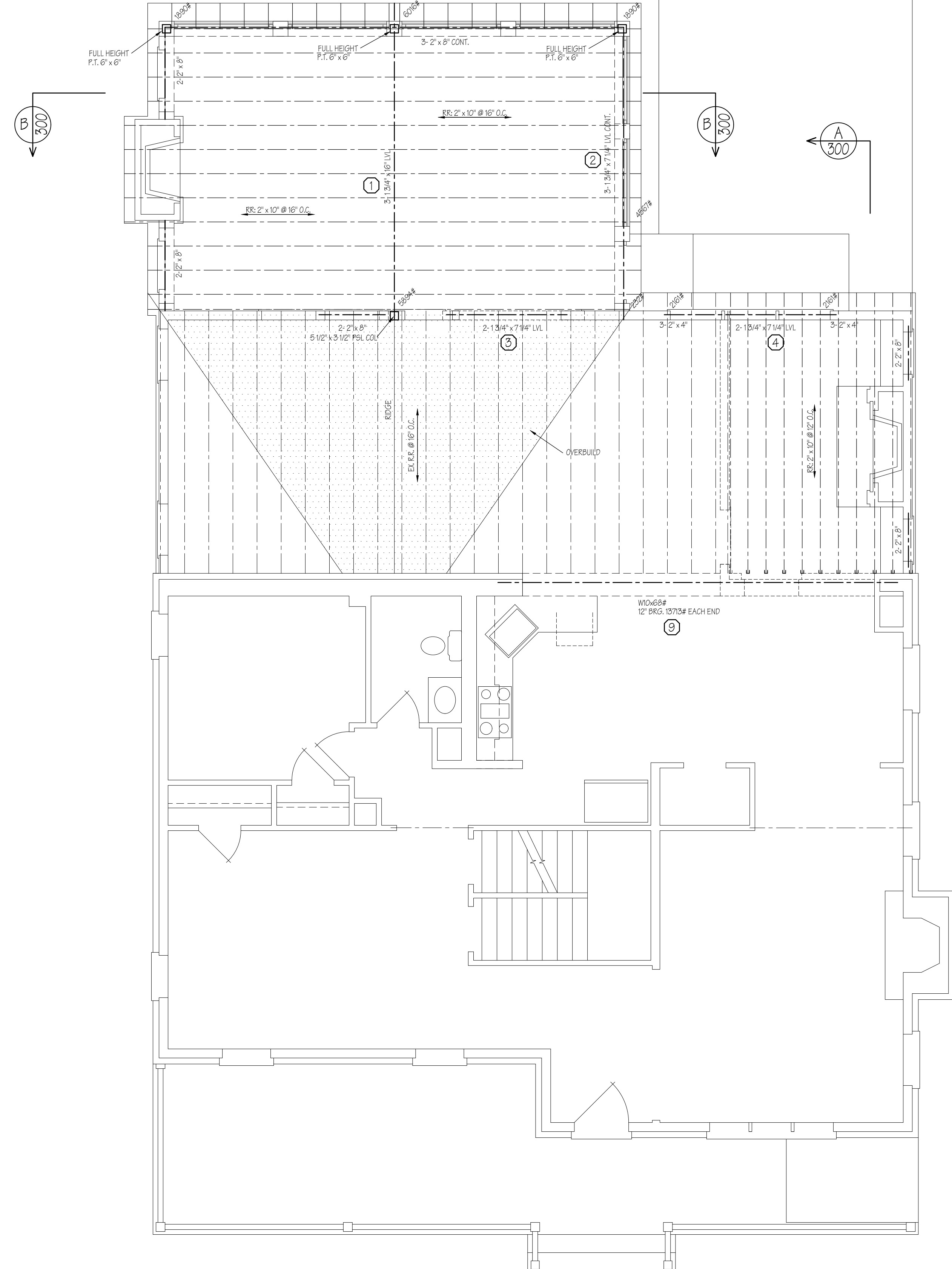
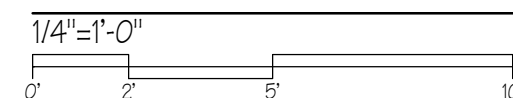
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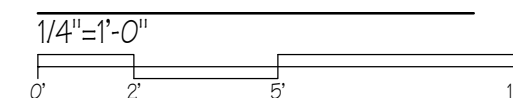
- NOTES
1. SEE BEAM CALCULATIONS FOR BEAM FASTENING
 2. TRUSS MANUFACTURER AND ROOF MANUFACTURER TO CHECK AND VERIFY FRAMING & STRUCTURE



FIRST FLOOR FRAMING PLAN



ROOF FRAMING PLAN



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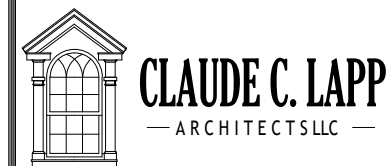
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SUITE 205
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INFO@CCLARCHITECTS.COM
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ADDITION FOR:
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3924 WASHINGTON STREET, KENSINGTON, MD 20895

MODEL	DRAWING TITLE
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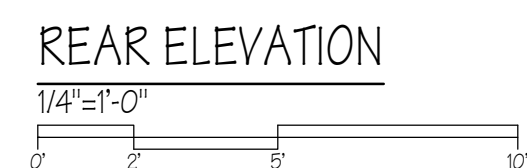
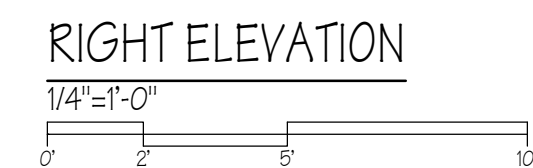
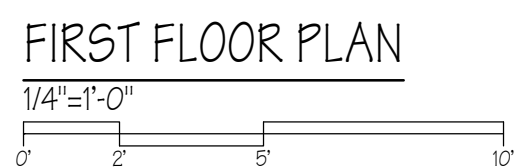
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ROCKVILLE, MD 20855
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WILMINGTON, MD 20895




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
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WALL BRACING LEGENDS

 WSP (X'X')	WOOD STRUCTURAL PANELS: LENGTH OF PANELS
 CS-1NF (X'X')	CONTINUOUSLY SHEATHED WOOD STRUCTURAL PANELS: LENGTH OF PANELS
 CS-2F (X'X')	CONTINUOUSLY SHEATHED POST & BEAM: LENGTH OF PANELS

ALL WOOD STRUCTURAL PANELS TO BE:
MINIMUM PLYWOOD OR OSB ATTACHED TO
WOOD STUDS OR NAILS OR OTHER APPROVED
ANCHORING.

 G/IR (X'X')	GYPSUM BOARD SHEATHED INTERIOR WALLS: LENGTH OF PANELS
---	--



INTERIOR BRACED WALL LINES TO BE SHEATHED
W/1/2" GYPSUM BOARD AT FLOOR TO
WOOD STUDS W/4 COOLER NAILS #14@2' OC
W/50#10 W/2" X 4" TO BE SHEATHED BOTH SIDES
UNLESS NOTED OTHERWISE.

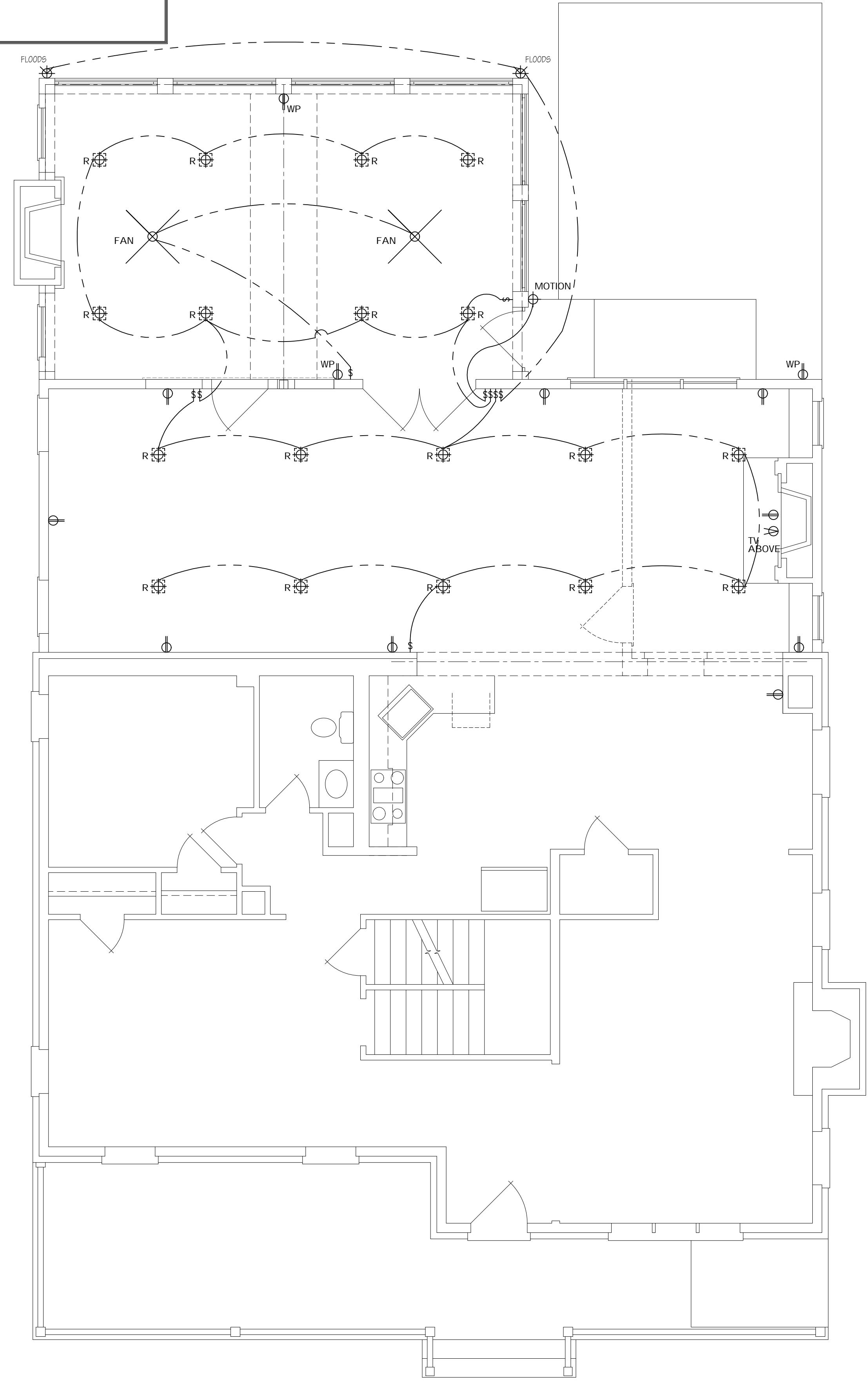
 HOLD DOWN

HOLD DOWN AT UPPER LEVELS TO BE
SIMPSON L51246
FLANG END INTO WALL STUDS W/10#140 (0.54X3-2) X 10"
FLANG INTO WALL STUDS W/10#140 (0.54X3-2) X 10"
NAILS NOT REQ. WITH FLOOR FRAMING SPACE.


HOLD DOWN AT BOT. FLOOR TO BE SIMPSON
L5046-052525 5/8"X2" THREADED ROD INSTALLED
W/50#10 TOP FLOOR W/10#12 @ 2' EMBEDED INTO
CONC. FOUNDATION

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DATE		REMARKS
<p>CONTRACTOR TO CHECK & VERIFY ALL DIMENSIONS & CONDITIONS IN FIELD PRIOR TO START OF CONSTRUCTION.</p> <p>NOTIFY ARCHITECT OF ANY DISCREPANCIES.</p> <p>ALL INTERIOR WALL DIMENSIONS TO BE 3 1/2" UNLESS NOTED OTHERWISE.</p>		
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 <p>CLAUDE C. LAPP — ARCHITECTS LLC —</p>		
<p>7361 CALHOUN PLACE SUITE 205 ROCKVILLE, MD 20855 T-(301) 881-6856 INFO@CCLARCHITECTS.COM WWW.CCLARCHITECTS.COM</p>		
DRAWING FOR: MR. & MRS. POOH STRACHAN 3924 WASHINGTON STREET, KENSINGTON, MD 20895		DRAWING TITLE STRUCTURAL PANEL ANALYSIS
DRAWN BY JLS	DATE 08-08-25	SHEET NO. S200
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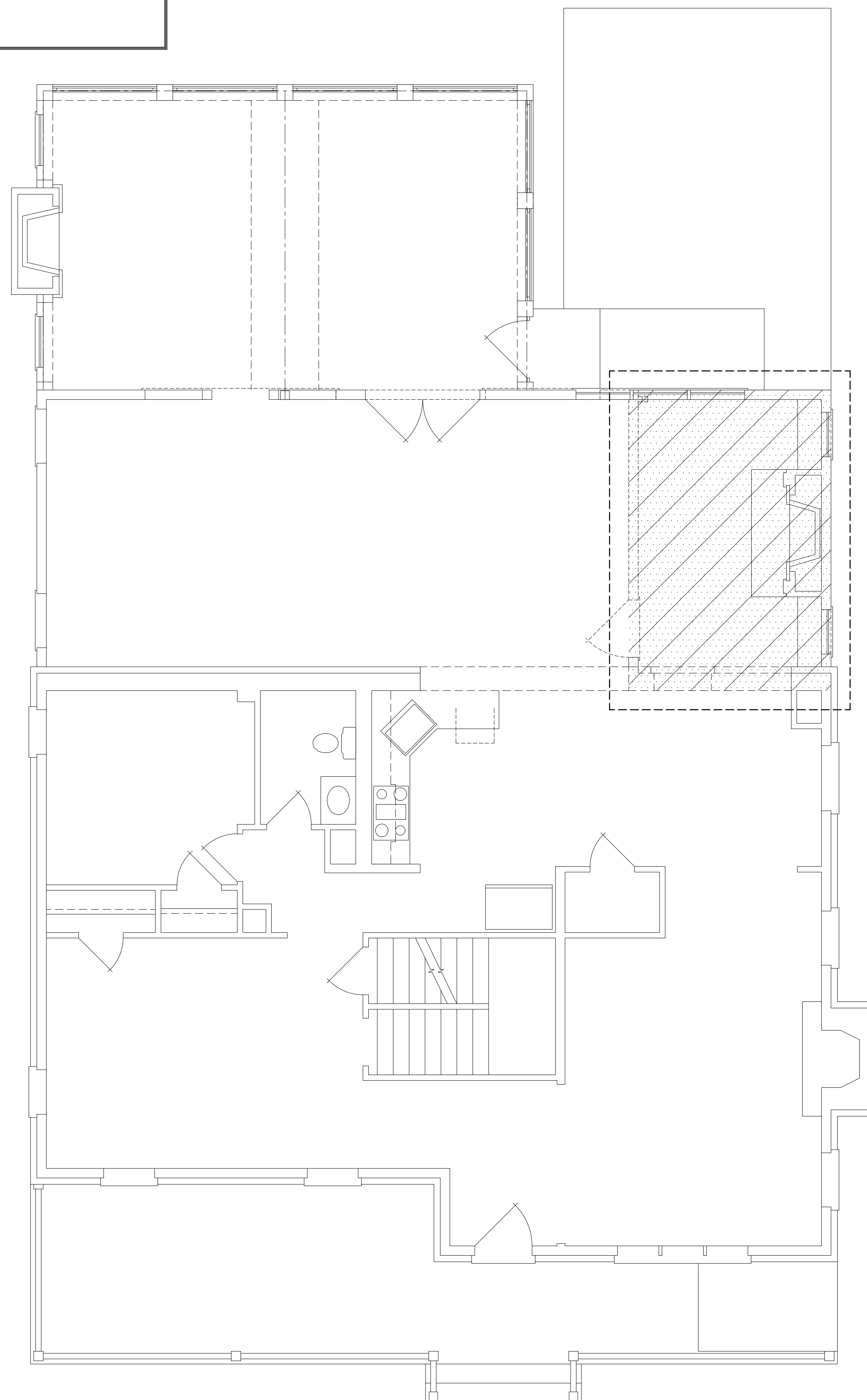
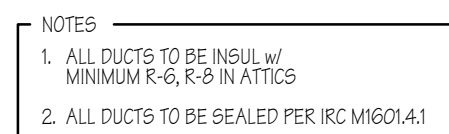


$1/4'' = 1' - 0''$



A horizontal line with vertical tick marks at 0', 2', 5', and 10'.

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PAGE 12 OF 14		



FIRST FLOOR PLAN



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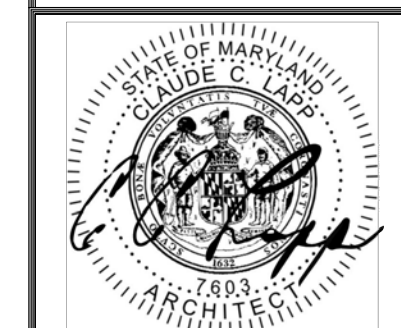
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CONTRACTOR TO CHECK &
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CONDITIONS IN FIELD PRIOR
TO START OF CONSTRUCTION

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DISCREPANCIES.

ALL INTERIOR WALL
DIMENSIONS
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SUITE 205
ROCKVILLE, MD 20855
T-(301) 881-6856
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ADDITION FOR:
MR. & MRS. POOH STRACHAN
33924 WASHINGTON STREET, KENSINGTON, MD 20895

1000

DRAWING TITLE
THERMAL ENVELOPE

DRAWN BY JS	DATE 08-08-25	SHEET NO. EC100
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PAGE 13 OF 14		

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PAGE 4 OF 14		

MONTGOMERY COUNTY, MARYLAND

SQUARE FOOTAGE OF EACH ROOF SECTION
CALCULATED SHOWN ON ROOF PLAN.

DRYWELL #1

EXISTING ROOF:	405 S.F.
NEW ROOF:	354 S.F.

ROOF TOTAL: 759 S.F.

DRYWELL #1 TOP ELEVATION: 304'
DRYWELL #1 BTM ELEVATION: 300'
DRYWELL #1 HIGH SIDE FINISHED GRADE: 306.5'
DRYWELL #1 LOW SIDE FINISHED GRADE: 305.5'
DRYWELL #1 BOTTOM OF INVERT PIPE: 303'

DRYWELL #2

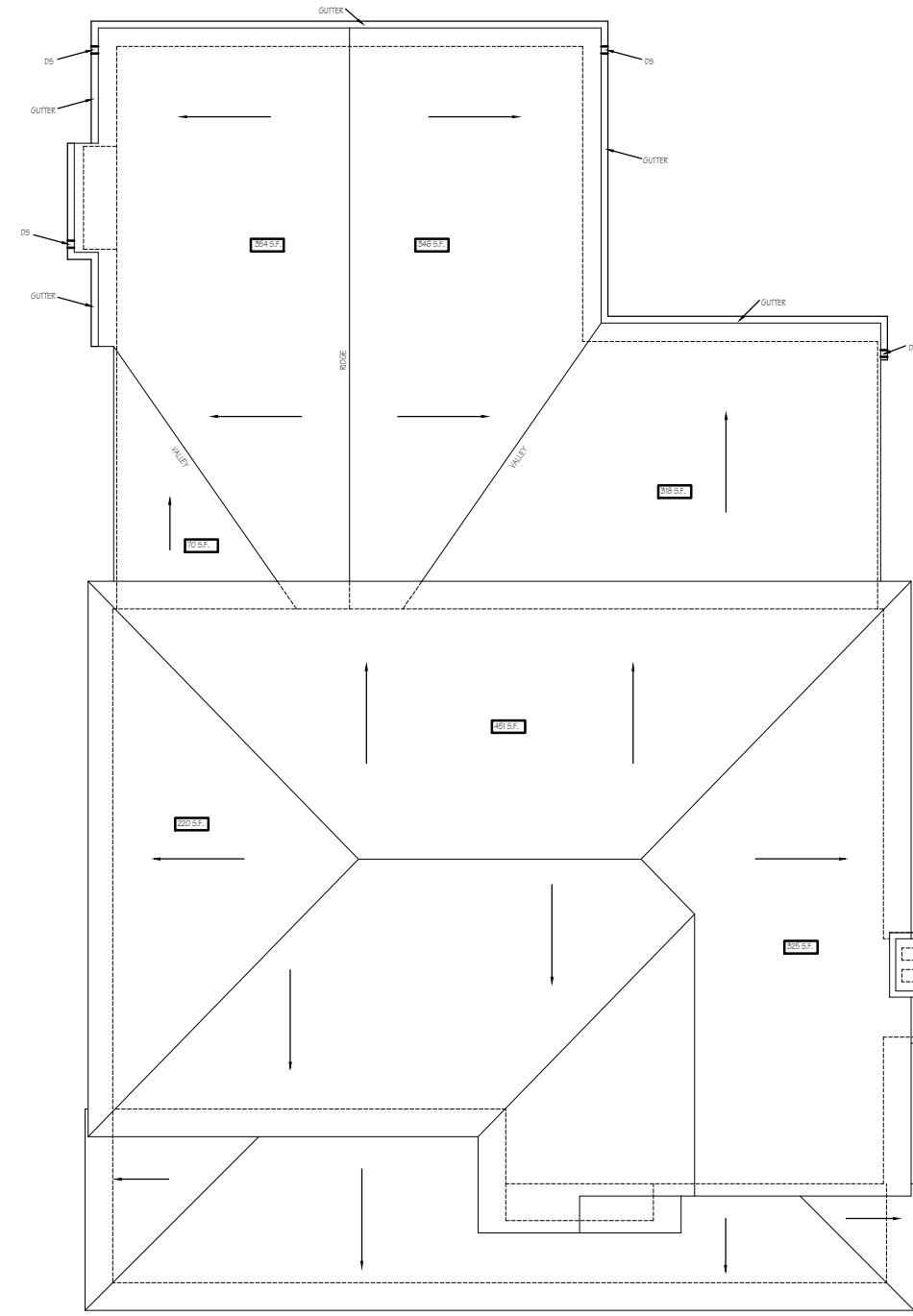
EXISTING ROOF:	493 S.F.
NEW ROOF:	160 S.F.

ROOF TOTAL: 653 S.F.

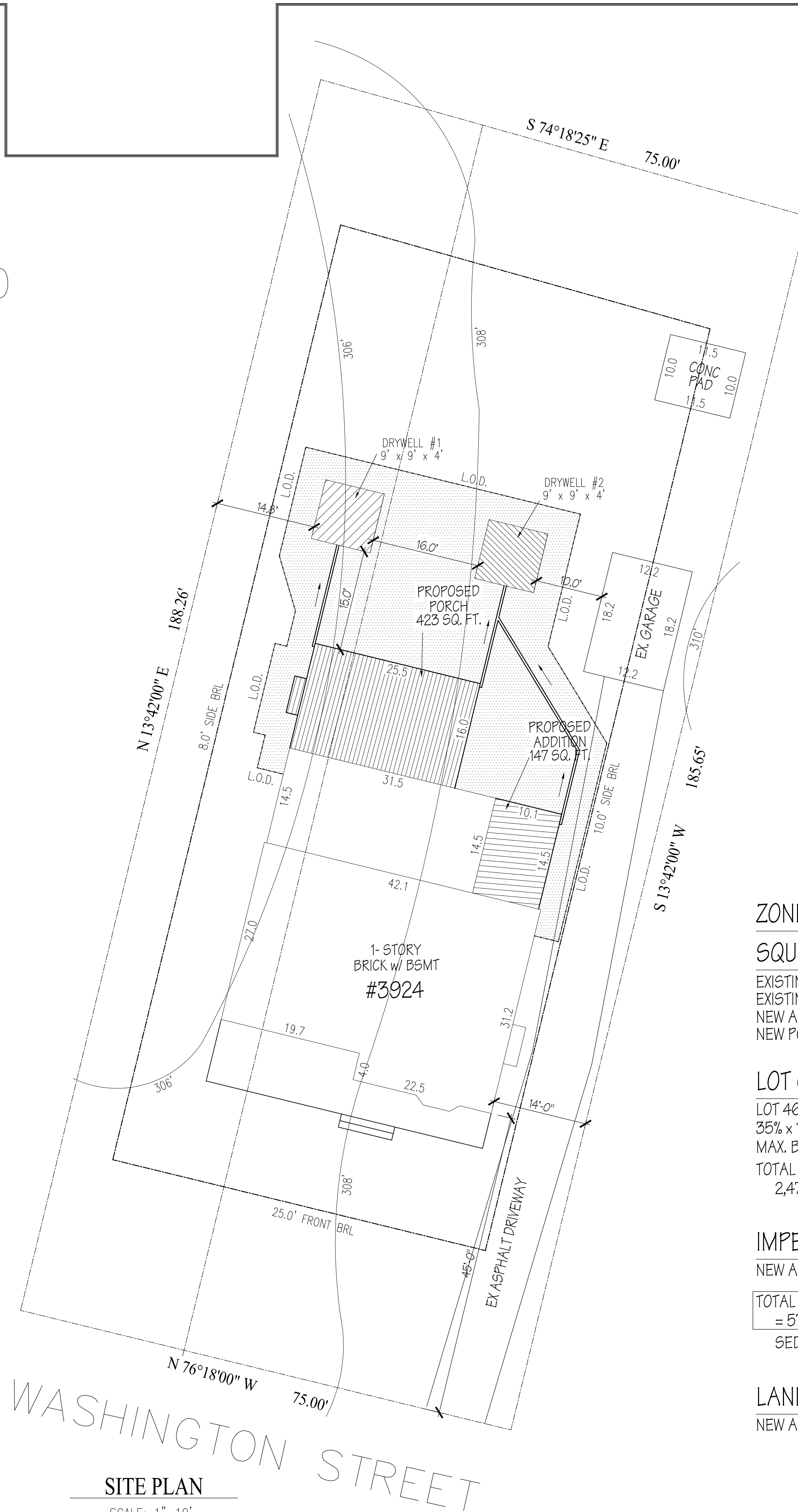
DRYWELL #2 TOP ELEVATION: 306'
 DRYWELL #2 BTM ELEVATION: 302'
 DRYWELL #2 HIGH SIDE FINISHED GRADE: 308.8'
 DRYWELL #2 LOW SIDE FINISHED GRADE: 308'
 DRYWELL #2 BOTTOM OF INVERT PIPE: 305'

ALL PIPING TO BE 4" SCHEDULE 40 PVC PIPE

CONSTRUCTION ACCESS TO BE FROM DRIVEWAY



ROOF PLAN



ZONING: R-60

SQUARE FOOTAGES

EXISTING = 1688 SQ. FT.
EXISTING TO BE REMOVED = 557 SQ. FT.
NEW ADDITION = 147 SQ. FT.
NEW PORCH = 423 SQ. FT.

LOT COVERAGE

LOT 46/47 = 14,033 SQ. FT.
35% x 14,033 SQ. FT. = 4,912 SQ. FT.
MAX. BUILDING LOT COVERAGE = 4,912 SQ. FT.
TOTAL AREA COVERED BY BUILDING
2,471 (EX. BUILDING + ADDITION)

IMPERVIOUS AREA

NEW ADDITION = 570 SQ. FT.

TOTAL NEW ADDITIONAL IMPERVIOUS AREA
= 570 SQ. FT. < 5000 SQ. FT.
SEDIMENT CONTROL PERMIT IS NOT REQUIRED.

LAND DISTURBANCE

NEW ADDITION & PORCH = 2218 SQ. FT.

PLAT
DATUM

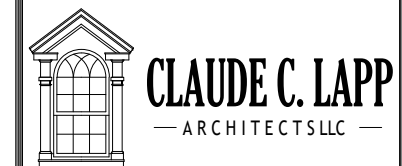
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ADDITION FOR
MR. & MRS. POOH STRACHAN
33924 WASHINGTON STREET, KENSINGTON, MD 20895

MODEL

DRAWING TITLE
SITE PLAN

DRAWN BY JS	DATE 08-08-25	SHEET NO. Z101 _
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PAGE 5 OF 14		

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GAF Timberline**HDZ**[®]
High Definition[®] Lifetime[®] Shingles



America's #1-selling shingle just got better — again

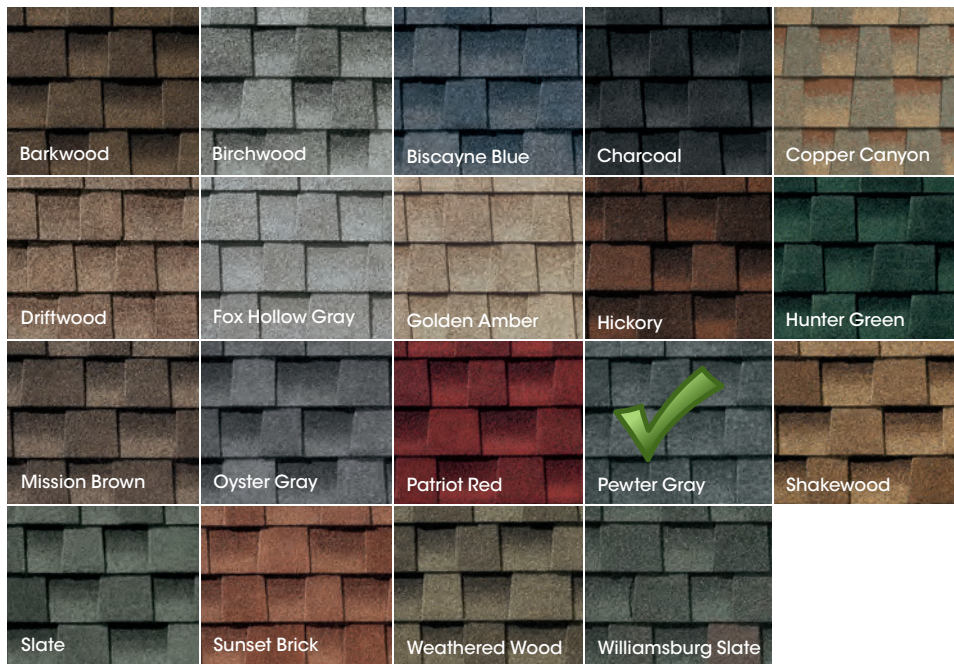
With GAF time-release algae-fighting technology and LayerLock[®] technology, TimberlineHDZ[®] offers everything you can expect from an architectural shingle roof, and more.



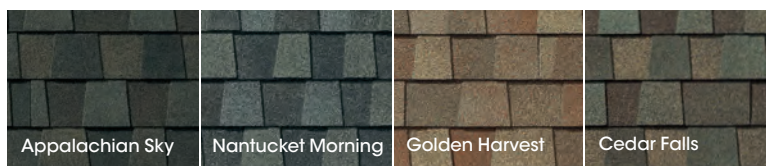
Benefits:

- **LayerLock® technology** — mechanically fuses the common bond between overlapping shingle layers
- **Up to 99.9% nailing accuracy** — the StrikeZone® nailing area is so easy to hit that a roofer placed 999 out of 1,000 nails correctly in our test¹
- **WindProven™ Limited Wind Warranty** — when installed with the required combination of GAF accessories, Timberline HDZ® shingles are eligible for a wind warranty with no maximum wind speed limitation²
- **Dura Grip™ sealant** pairs with the microgranule surface of the StrikeZone® nailing area, and an asphalt-to-asphalt monolithic bond cures for durability, strength, and exceptional wind-uplift performance
- **25-year StainGuard Plus™ Algae Protection Limited Warranty** against blue-green algae discoloration.³ Proprietary GAF time-release algae-fighting technology helps protect your shingles from unsightly stains.
- **For the best look** — use TimberTex® premium ridge cap shingles or TimberCrest® premium SBS-modified ridge cap shingles

Colors:



Harvest Blend Colors⁵



Product details:

Product/System Specifics

- Fiberglass asphalt construction
- **Dimensions (approx.):** 13 1/4" x 39 3/8" (337 mm x 1,000 mm)
- **Exposure:** 5 5/8" (143 mm)
- **Bundles/Square:** 3
- **Pieces/Square:** 64
- **StainGuard Plus™ Algae Protection Limited Warranty³**
- **Hip/Ridge:** TimberTex®; TimberCrest®; Seal-A-Ridge®; Z®Ridge; Ridglass®⁴
- **Starter:** Pro-Start®; QuickStart®; WeatherBlocker™

Applicable Standards & Protocols:

- Passes UL 2218 Impact-Resistance Test with Class 3 rating
- UL Listed to ANSI/UL 790 Class A
- State of Florida Approved
- Classified by UL in accordance with ICC-ES AC438
- Meets ASTM D7158, Class H
- Meets ASTM D3161, Class F
- Meets ASTM D3018 Type 1
- Meets ASTM D3462⁵
- Miami-Dade County Product Control Approved
- ICC-ES Evaluation Reports ESR-1475 and ESR-3267
- Meets Texas Department of Insurance Requirements
- Rated by the CRRC: Can be used to comply with Title 24 Cool Roof Requirements (some colors)

¹ Lifetime refers to the length of warranty coverage provided and means as long as the original individual owner(s) of a single-family detached residence [or eligible second owner(s)] owns the property where the qualifying GAF products are installed. For other owners/structures, Lifetime coverage is not applicable. Lifetime coverage on shingles requires the use of GAF Lifetime shingles only. See the *GAF Shingle & Accessory Limited Warranty* for complete coverage and restrictions. Visit gaf.com/LRS for qualifying GAF products. Lifetime coverage on shingles and accessories requires the use of any GAF Lifetime shingle and at least 3 qualifying GAF accessories. See the *GAF Roofing System Limited Warranty* for complete coverage and restrictions. For installations not eligible for the *GAF Roofing System Limited Warranty*, see the *GAF Shingle & Accessory Limited Warranty*. Visit gaf.com/LRS for qualifying GAF products.

² Results based on study conducted by Home Innovation Research Labs, an independent research lab, comparing installation of Timberline HDZ® Shingles to Timberline HDZ® Shingles on a 16-square roof deck using standard 4-nail nailing pattern under controlled laboratory conditions. Actual results may vary.

³ 25-year WindProven® Limited Wind Warranty on GAF shingles with LayerLock® technology requires the use of GAF starter strips, roof deck protection, ridge cap shingles, and leak barrier or attic ventilation. See *GAF Roofing System Limited Warranty* for complete coverage and restrictions. Visit gaf.com/LRS for qualifying GAF products. For installations not eligible for the *GAF WindProven™ Limited Warranty*, see the *GAF Shingle & Accessory Limited Warranty*.

⁴ 25-year StainGuard Plus™ Algae Protection Limited Warranty against blue-green algae discoloration is available only on products sold in packages bearing the StainGuard Plus™ logo. See *GAF Shingle & Accessory Limited Warranty* for complete coverage and restrictions and qualifying products.

⁵ Harvest Blend colors are only available on TimberTex® Ridge Cap Shingles, Seal-A-Ridge® Ridge Cap Shingles, and TimberCrest® Premium SBS-Modified Ridge Cap Shingles.

⁶ Periodically tested by independent and internal labs to ensure compliance with ASTM D3462 at time of manufacture.



Note: It is difficult to reproduce the color clarity and actual color blends of these products. Before selecting your color, please ask to see several full-size shingles.

We protect what matters most™



Hardie® Plank Lap Siding

Submittal Form

01
Submitted to:

☐ **HZ5® Product Zone** ☐ **HZ10® Product Zone**
Project Name:

Product Width: ☐ **5-1/4in** ☐ **6-1/4in** ☐ **7-1/4in** ☐ **8in** ☐ **8-1/4in** ☐ **9-1/4in** ☐ **12in**
Submitted by:

Product Finish: ☐ **Primed** ☐ **ColorPlus® Technology**
Date:

Product Texture: ☐ **Smooth** ☐ **Select Cedarmill®** ☐ **Colonial Roughsawn®**
☐ **Colonial Smooth®** ☐ **Rustic Cedar**

Hardie® Plank Lap Siding

Specification Sheet

01
DIVISION: 07 00 00 THERMAL AND MOISTURE PROTECTION
SECTION: 07 46 46 FIBER CEMENT SIDING

HARDIE® PLANK LAP SIDING

Manufacturer

James Hardie Building Products, Inc.

The products are manufactured at the following locations, with quality control inspections by ICC-ES:

- Cleburne, Texas
- Plant City, Florida
- Reno, Nevada
- Waxahachie, Texas
- Prattville, Alabama
- Peru, Illinois
- Pulaski, Virginia
- Tacoma, Washington
- Fontana, California
- Summerville, South Carolina

Compliance with the following codes

- 2006 thru 2021 International Building Code (IBC)
- 2006 thru 2021 International Residential Code (IRC)

For more information about other compliances and applicable uses, refer to ICC-ES ESR-2290

Features

- Noncombustible
- Dimensionally Stable
- Resists damage from pests
- Weather Resistant-Engineered for Climate®
- Impact resistant
- Sustainable

Use

Hardie® fiber-cement lap siding is used as exterior wall covering. The product complies with IBC Section 1403.9 and IRC Section R703.10. The product may be used on exterior walls of buildings of Type I, II, III and IV construction (IBC)

Description

Hardie® Plank lap siding is a single-faced, cellulose fiber-reinforced cement (fiber-cement) product. Hardie® Plank lap siding complies with ASTM C1186, as Grade II, Type A; has a flame-spread index of 0 and a smoke-developed index of 5 when tested in accordance with ASTM E84; and is classified as noncombustible when tested in accordance with ASTM E136.

Available Sizes

Product	Width (in)	Length	Thickness (in)
Hardie® Plank lap siding*	5-1/4, 6-1/4, 7-1/4, 8, 8-1/4, 9-1/4, 12	12 feet	5/16

* HZ5: 9-1/4, 12 only available primed HZ10: 5-1/4, 9-1/4, 12 only available primed.

Weight 2.31 lbs. per square foot

Texture & Finish

Hardie® Plank lap siding comes in a variety of textures and finishes. The product is available in smooth or wood grain texture. Additional textures are available on a regional basis. Finish options are primed for field paint, or factory finished with ColorPlus® Technology. Color availability varies by region.

Engineered for Climate®

Hardie® Plank lap siding is engineered for performance to specific weather conditions by climate zones as identified by the following map.



Performance Properties

	General Property	Test Method	Unit or Characteristic	Requirement	Result
PHYSICAL ATTRIBUTES	Dimensional Tolerances	ASTM C1185	Length	± 0.5% or ± 1/4 in	Pass
			Width	± 0.5% or ± 1/4 in	
			Thickness	± 0.04 in	
			Squareness	Δ in diagonals ≤ 1/32 in/ft of sheet length. Opposite sheet sides shall not vary in length by more than 1/32 in/ft	
			Edge Straightness	≤ 1/32 in/ft of length	
	Density, lb/ft³	ASTM C1185		As reported	83
	Water Absorption, % by mass	ASTM C1185		As reported	36
THERMAL	Water Tightness	ASTM C1185	Physical Observations	No drop formation	Pass
	Flexural Strength	ASTM C1185	Wet conditioned, psi	>1015 psi	Pass
			Equilibrium conditioned, psi	>1450 psi	
THERMAL	Thermal Conductivity	ASTM C177	(BTU/(hr·ft²·F))/inch	As reported	2.07
	Actual Thermal Conductivity		(K _{eff})		6.62
	Thermal Resistance		R=1/ K _{eff}		0.48
	Actual Thermal Resistance		(R)		0.15
DURABILITY	Warm Water Resistance	ASTM C1185	Physical Observations	No visible cracks or structural alteration	Pass
	Heat/Rain Resistance	ASTM C1185	Physical Observations	No visible cracks or structural alteration	Pass
	Freeze/Thaw Resistance	ASTM C1185	Physical Observations	No visible cracks or structural alteration	Pass
			Mass Loss, %	≤ 3.0%	
FIRE CHARACTERISTICS	Surface Burning Characteristics	ASTM E84	Freeze/Thaw, % strength retention	≥ 80%	
			UV Accelerated Weathering Test	ASTM G23	Pass
			Physical Observations	No cracking, checking, or crazing	Pass
			Flame Spread Index (FSI)		0
			Smoke Developed Index (SDI)		≤ 5
	Noncombustibility	ASTM E136	Fuel Contributed		0
			NFPA Class		A
			Uniform Building Code Class	As reported	1
FIRE CHARACTERISTICS	International Building Code® class				A
	Noncombustibility	ASTM E136	Noncombustible	Pass/fail	Pass
FIRE CHARACTERISTICS	Fire Resistance Rated Construction	ASTM E119	Fire Resistance Rating	1-hour	Note 1

Note 1: listed on Warnock Hersey and ESR 2290

Installation

Install Hardie® Plank lap siding in accordance with:

- Hardie® Plank lap siding installation instructions
- ICC-ES ESR 2290
- Requirements of authorities having jurisdiction

Warranty

Hardie® Plank lap siding: 30-year, Non-Prorated, Limited Warranty
ColorPlus® Technology: 15-year Limited Finish Warranty

Sustainable Design Contribution

- Regionally sourced content- varies by project location
- Avoidance of certain chemicals or Red List Compliance

Detailed product information for LEED projects, or other state or regional sustainability programs is available through James Hardie Technical Services.

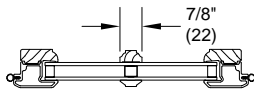
Storage and Handling

Store flat and keep dry and covered prior to installation.

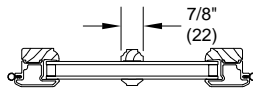
Technical Services

Contact James Hardie Technical Services online at JamesHardie.com, or by phone at (800)426-4051

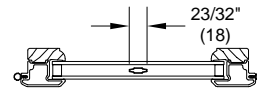
IMPORTANT: Failure to install and finish this product in accordance with applicable building codes and James Hardie written application instructions may affect system performance, violate local building codes, void the product-only warranty and lead to personal injury. **DESIGN ADVICE:** Any information or assistance provided by James Hardie in relation to specific projects must be approved by the relevant specialists engaged for the project eg. builder, architect or engineer. James Hardie will not be responsible in connection with any such information or assistance.

Section Details: Divided Lite Options


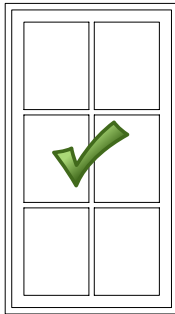
Wood SDL With Spacer Bar



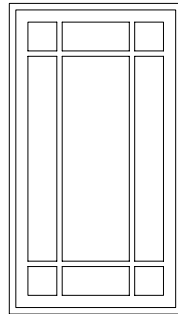
Wood SDL Without Spacer Bar



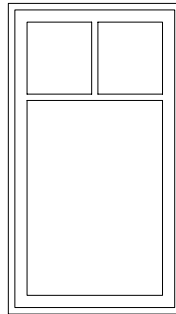
Aluminum Grille Between Glass
GBG



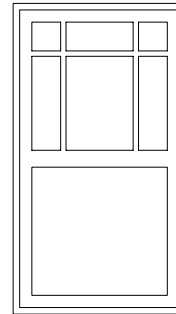
**Rectangle GBG
or SDL**



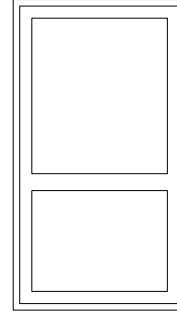
**Prairie
GBG or SDL**



**Cottage
GBG or SDL**



**Prairie SDL
w/ Simulated
Check Rail**



**Custom
Simulated
Check Rail**

Conversions Formula:

$$\frac{\text{Total DLO} - \text{Total Bar Width}}{\text{Number of lites}} = \text{Individual DLO}$$

NOTES:

- Direct Glaze Round Top with GBG or SDL will only align with the default lite cut of the unit it is intended to be mullied with.
- Rectangle GBGs for special size units will default to the next smaller standard size lite pattern. Also available will be Prairie patterns, Cottage patterns, and customer specified equal rectangular lite patterns.
- Rectangular SDL for special size units will default to the next smaller standard size lite pattern. Also available will be Prairie patterns, Cottage patterns, and customer specified equal rectangular lite patterns.
- Prairie GBG and SDL available in 9 lite and 6 lite top, bottom, left, and right patterns.
- Cottage GBGs and SDL for special sizes units will default to the next smaller standard size lite pattern. Cottage GBGs and SDL are also available in customer selected lite patterns.
- Round Top lite patterns will not align with Casement/Awning optional GBG or SDL lite patterns.
- Maximum number of lites wide and high for equal lite SDL option is 11 lites.
- Minimum DLO measurement for equal lite SDL option is 4" (102) and will be validated by OMS.
- Minimum DLO measurement for equal lite GBG option is 3" (76) and will be validated by OMS.
- Standard DLO measurement for Prairie GBG and SDL options is 4" (102). Special DLO corners are n/a.
- Standard DLO height measurement for Cottage SDL option is 10" (254). Minimum DLO height is 8" (203) for one high pattern. Minimum DLO height is 4" (102) for two high pattern.
- Standard DLO height measurement for Cottage GBG option is 10" (254). Minimum DLO height is 3" (76) for both one and two high patterns.
- Simulated Rail: Rectangular, Prairie 6-Lite and 9-Lite SDL patterns are available with Simulated Rail.
- Simulated Rail: Custom ratio and specified DLO are available with Simulated Rail and will be validated by OMS.
- GBGs are not available on IZ3

Available Divided Lite Patterns

Default Rectangular Lite Pattern per Sash - GBG, SDL

Standard CN Height	Standard CN Width									
	17	21	25	29	33	37	41	49	57	73
16 ELDG	--	--	--	--	--	--	--	--	--	6W1H
16	2W1H	2W1H	2W1H	3W1H	3W1H	3W1H	4W1H	4W1H	5W1H	7W1H
19	1W2H	2W2H	2W2H	3W2H	3W2H	3W2H	4W2H	4W2H	5W2H	7W2H
23	1W2H	2W2H	2W2H	3W2H	3W2H	3W2H	4W2H	4W2H	5W2H	7W2H
27	1W2H	2W2H	2W2H	3W2H	3W2H	3W2H	4W2H	4W2H	5W2H	7W2H
31	1W2H	2W2H	2W2H	3W2H	3W2H	3W2H	4W2H	4W2H	5W2H	7W2H
35	1W2H	2W2H	2W2H	3W2H	3W2H	3W2H	4W2H	4W2H	5W2H	7W2H
39	1W3H	2W3H	2W3H	3W3H	3W3H	3W3H	4W3H	4W3H	5W3H	7W3H
43	1W3H	2W3H	2W3H	3W3H	3W3H	3W3H	4W3H	4W3H	5W3H	7W3H
47	1W3H	2W3H	2W3H	3W3H	3W3H	3W3H	4W3H	4W3H	5W3H	7W3H
55	1W4H	2W4H	2W4H	3W4H	3W4H	3W4H	4W4H	4W4H	5W4H	7W4H
59	1W4H	2W4H	2W4H	3W4H	3W4H	3W4H	4W4H	4W4H	5W4H	7W4H
63	1W5H	2W5H	2W5H	3W5H	3W5H	3W5H	4W5H	4W5H	5W5H	--
71	1W5H	2W5H	2W5H	3W5H	3W5H	3W5H	4W5H	4W5H	5W5H	--

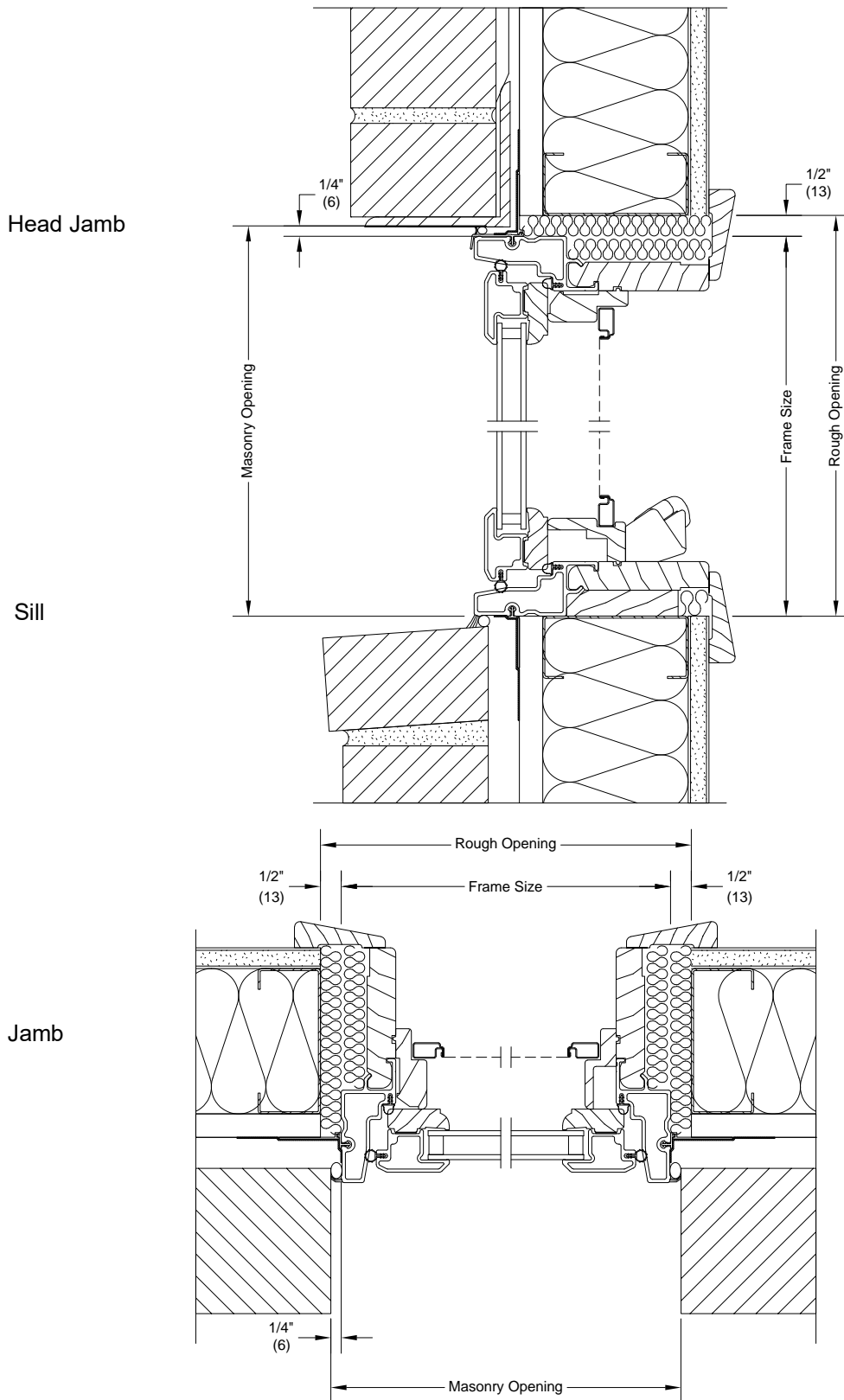
Optional Standard Cottage Lite Pattern per Sash - GBG, SDL

Standard CN Height	Standard CN Width									
	17	21	25	29	33	37	41	49	57	73
All Heights	2-Lite	3-Lite	3-Lite	4-Lite	4-Lite	4-Lite	5-Lite	5-Lite	6-Lite	8-Lite

NOTE: Prairie lite pattern is not available in the CN19 height transoms.

Section Details: Installation Suggestion - Brick Veneer With Steel Frame Construction

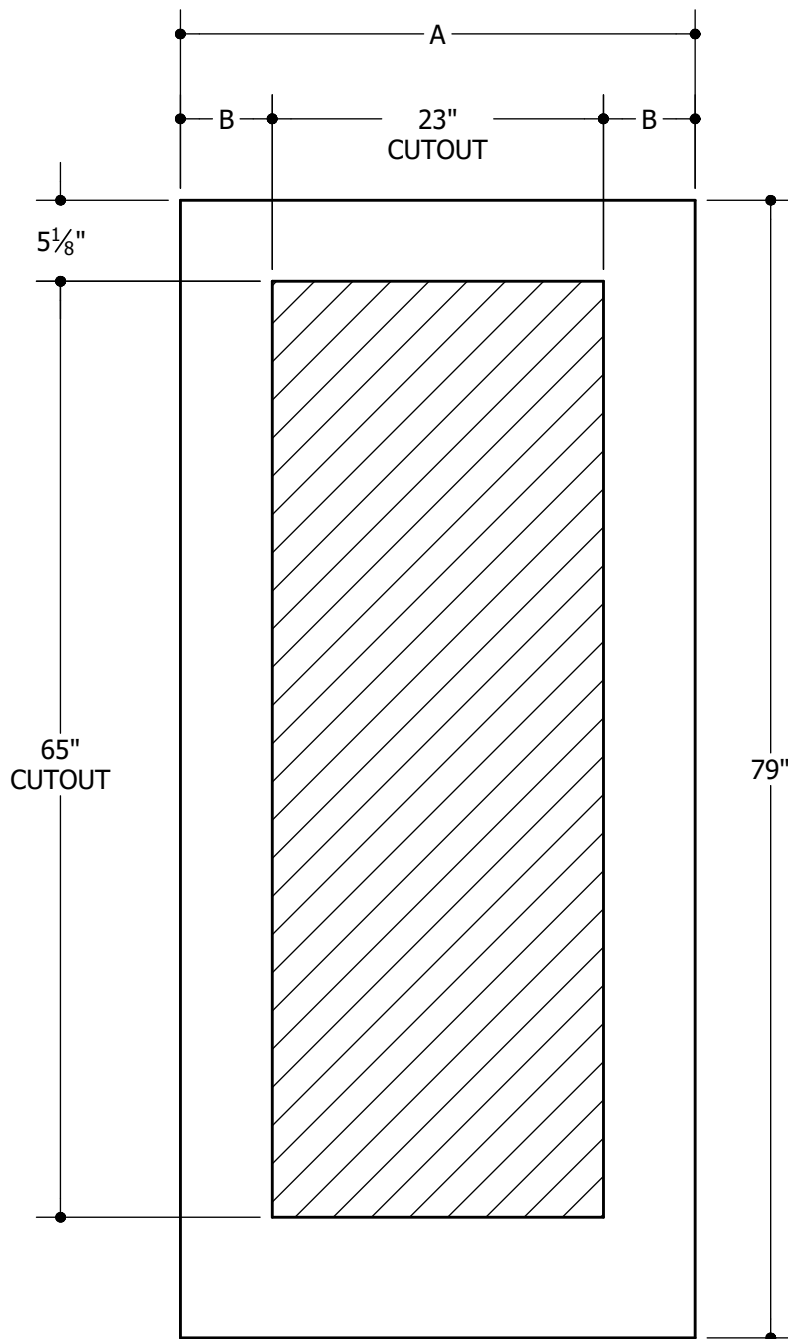
Scale: 1 1/2" - 1' 0"



NOTES:

- Picture unit installation similar.
- The above wall sections represent typical wall conditions, these details are not intended as installation instructions. Please refer to the installation instructions provided with the purchased units.

122 SERIES (22" X 64" GLASS INSERT SIZE) 1 OF 2
MASONITE™ SPEC*



6'8"	A	31-3/4"	2'8"
	B	4-3/8"	
6'8"	A	33-3/4"	2'10"
	B	5-3/8"	
6'8"	A	35-3/4"	3'0"
	B	6-3/8"	



Options:

BELLEVILLE® FIBERGLASS DOORS
WOOD OR METAL-EDGE STEEL DOORS

Note:

1. Overall Length and Width Dimensions are +/- 1/16 inch

*Available as Prem Spec

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Our continuing program of product improvement makes specifications, design and product detail subject to change without notice.

Filename: TM-GL-122-68 001

Revision: A

Date: 01-24-2017

Section XX XX.X.X

Trex®

Where
life
plays

out.

Decking

Stylish composite decking outperforms wood for hassle-free outdoor living



Highly Durable

Composite deck boards that stand up to both weather and weekend mishaps alike—they won't rot, warp, splinter, fade or stain.



Easy Care & Cleanup

Our boards need no sanding or staining. No kidding. Easy soap & water cleanup keeps decking like new.



Always Green

Sustainably made in the U.S.A. using up to 95% recycled plastic film and reclaimed sawdust.



Heat Mitigating

Deck colors with this symbol are engineered with heat-mitigating technology to be noticeably cooler than similar colored boards in the same sun and heat conditions.*

*Trex decking with heat-mitigating technology can still get hot to the touch when direct sunlight and high temperatures converge for extended periods of time. We therefore recommend shoes, socks, and pet booties, so that you and yours can enjoy living on your deck as much as we've enjoyed innovating it.



Railing

Metal and composite collections make it easy to find your style and frame your view



More Material Options

From traditional composites to sleek metal offerings, our wide selection of safe and stylish railing options offers more choices for your build.



Elevated Style

With cable, mesh, glass and baluster infill options, you can achieve a look that suits your style and is a fashionable alternative to standard wood or vinyl railing.



Durability to Match our Decking

Built with the same outstanding durability as Trex decking—your railing is engineered to endure whatever Mother Nature sends its way.



Easy Installation

Deck railing kits, pre-assembled panels and online resources make installation simple.

TrexSignature®

Setting a new standard for style

\$\$\$\$\$ 50 YEARS ★★★★★



Whidbey



Ocracoke

Make the Trex decision that's right for you™

PRICE
\$ - \$\$\$\$\$

LIMITED RESIDENTIAL WARRANTY COVERAGE
50 YEARS 35 YEARS

25 YEARS 15 YEARS

DECKING SCRATCH RESISTANCE
★ - ★★★★★

HEAT MITIGATING



*Trex decking with heat-mitigating technology can still get hot to the touch when direct sunlight and high temperatures converge for extended periods of time. We therefore recommend shoes, socks, and pet booties, so that you and yours can enjoy living on your deck as much as we've enjoyed innovating it.

TrexTranscend®

LINEAGE®

Our coolest decking yet

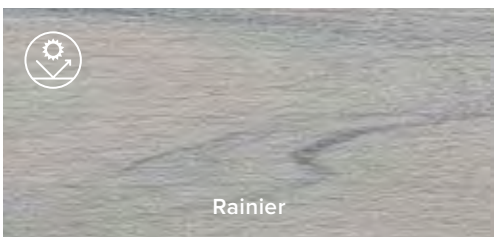
\$\$\$\$\$ 50 YEARS ★★★★★



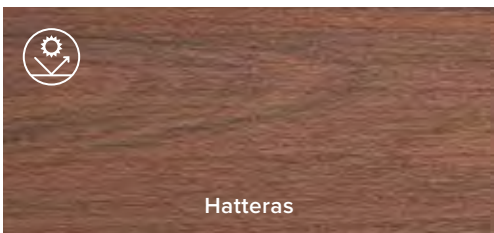
Island Mist



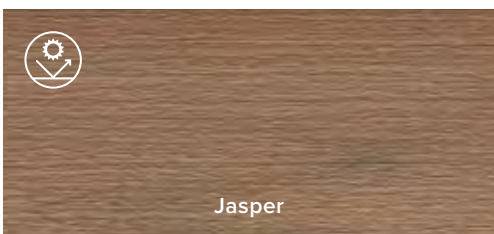
Biscayne



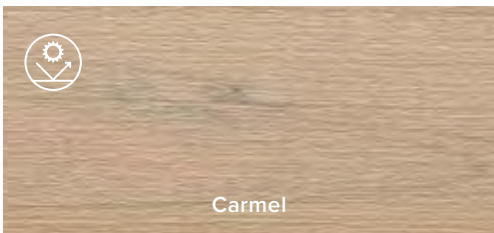
Rainier



Hatteras



Jasper



Carmel



Salt Flat

TrexTranscend®

Elevated aesthetics from the original high-performance decking

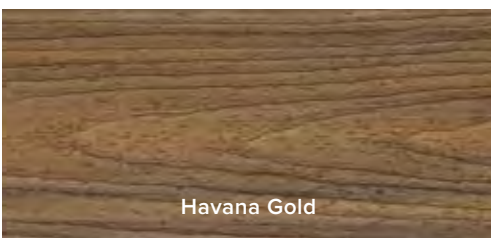
\$\$\$\$\$ 50 YEARS ★★★★★



Island Mist



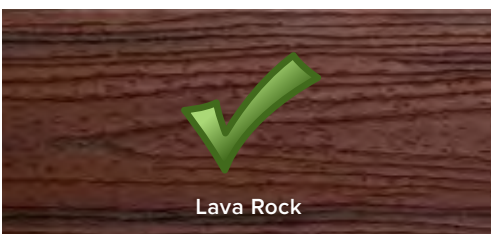
Tiki Torch



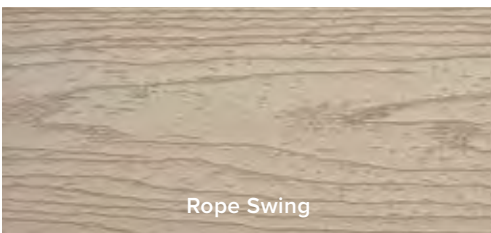
Havana Gold



Spiced Rum



Lava Rock



Rope Swing

TrexSelect®

Nature inspired with minimal maintenance

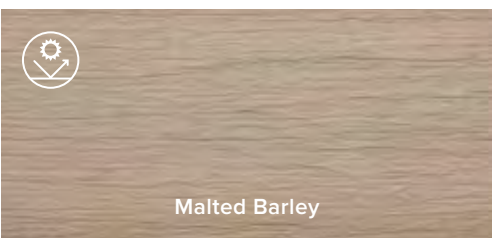
\$\$\$ 35 YEARS ★★★



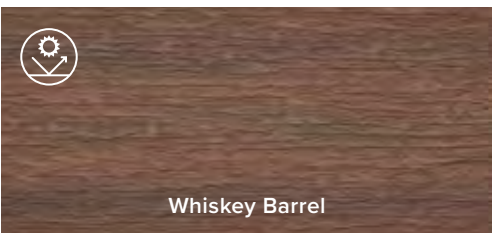
Pebble Grey



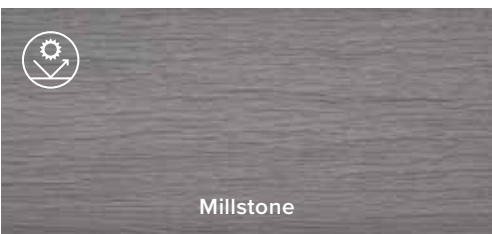
Saddle



Malted Barley



Whiskey Barrel



Millstone

TrexEnhance®

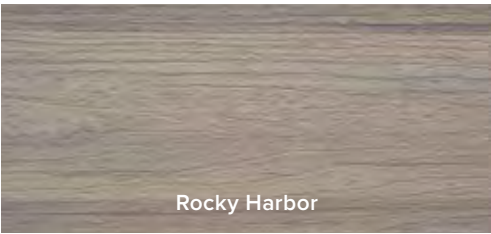
NATURALS

Beauty on a budget

\$\$ 25 YEARS ★



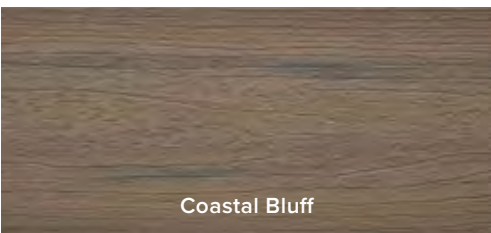
Foggy Wharf



Rocky Harbor



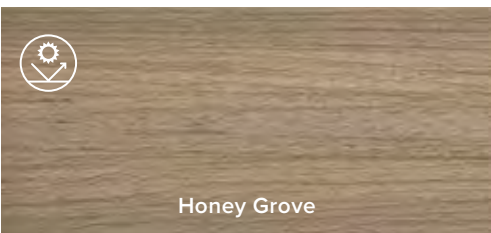
Toasted Sand



Coastal Bluff



Cinnamon Cove



Honey Grove

TrexEnhance®

BASICS

A trade up from wood

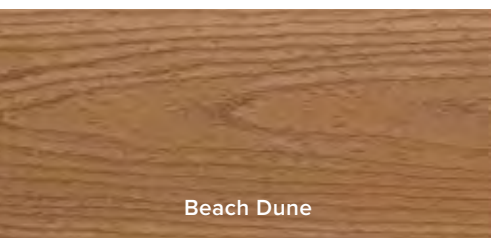
\$ 25 YEARS ★



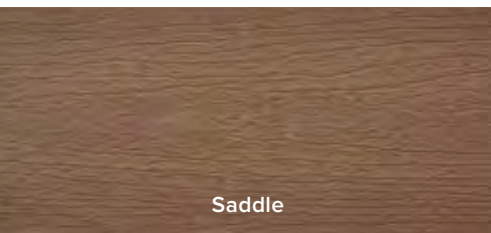
Clam Shell



Tide Pool



Beach Dune



Saddle

BOARD PROFILES

Solid Scalloped

Square edge Grooved edge

Use with Trex Hideaway® Hidden Fastening System for a clean, screw-free appearance.

Decking & Railing

Design the perfect pair to suit your style and budget

TrexSignature®

X-SERIES™ RAILING

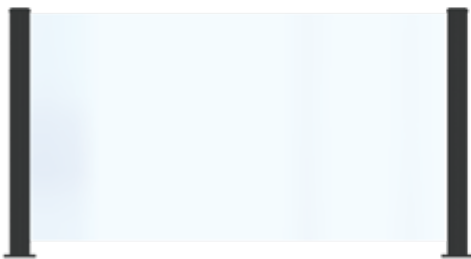
\$\$\$\$\$ 50 YEARS ★★★★★



Stainless steel cable infill



Frameless glass infill



Rod rail infill

TrexTranscend®

COMPOSITE RAILING

\$\$\$ 35 YEARS ★★★★★



Round aluminum balusters



Square composite balusters



Mix and match colors



Cocktail rail

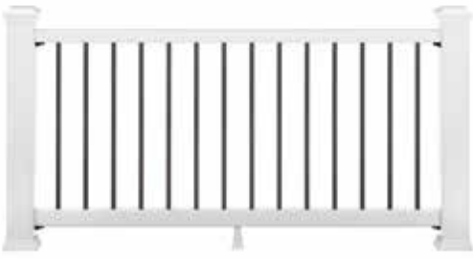
TrexSelect®

COMPOSITE RAILING

\$\$ 25 YEARS ★★



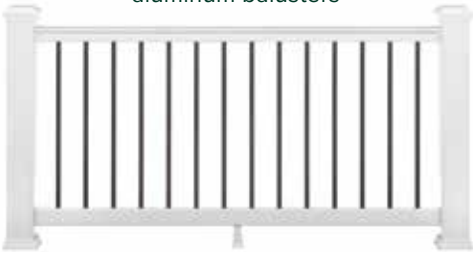
Classic rail with round aluminum balusters



T-Rail with square composite balusters



T-Rail with round aluminum balusters



Select™ steel mesh railing

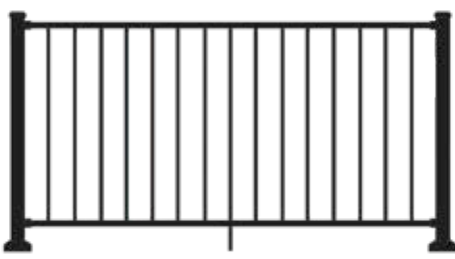
TrexSelect™

ALUMINUM RAILING

\$\$ 25 YEARS ★★



Square balusters



Round aluminum balusters

TrexEnhance®

COMPOSITE RAILING

\$ 25 YEARS ★



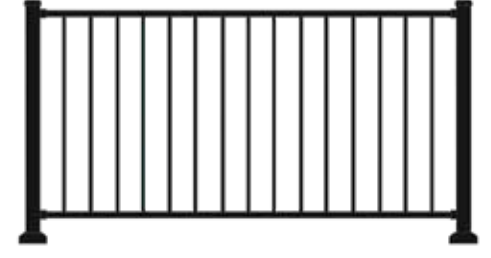
TrexEnhance™

STEEL RAILING

\$ 15 YEARS ★



Square balusters



Get inspired by photos of some of our favorite decking and railing pairings.



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Shop all of our products to complete your dream outdoor space



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Deck Railing
Cladding
Fascia
Outdoor Lighting
Fasteners & Accessories

Deck Drainage
Outdoor Furniture
Outdoor Kitchens
Pergola
Fencing

Lattice
Spiral Stairs
Privacy Screens
Shade Panels
Cornhole



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Decking Comparison



Deck Designer



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