

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	10210 Capitol View Ave., Silver Spring	Meeting Date:	9/17/2025
Resource:	1917-1935 Capitol View Park Historic District	Report Date:	9/10/2025
Applicant:	Martine Bouzi Maria Schulze, Agent	Public Notice:	9/03/2025
Review:	1119303	Staff:	Devon Murtha
Proposal:	Fenestration alterations		

STAFF RECOMMENDATION

Staff recommends that the Commission **approve with two (2) conditions** the HAWP application with final approval of all details delegated to staff:

1. The applicant must submit window specifications to Staff to confirm that the proposed windows will be 6/1 and 3/3 double hung wood windows with 7/8" SDLs with a spacer bar.
2. The applicant will submit documentation confirming that the trim surrounding the new windows will be wood to match existing.

PROPERTY DESCRIPTION

SIGNIFICANCE: 1917-1935 construction in the Capitol View Park Historic District
STYLE: Bungalow with 1980s addition
DATE: c. 1920



Figure 1: Location of 10210 Capitol View Avenue in the Capitol View Park Historic District.

ARCHITECTURAL DESCRIPTION

The subject property is located at 10210 Capitol View Avenue and is listed as an historic resource within the Capitol View Park Historic District. Per the *Approved & Adopted Sector Plan for Capitol View & Vicinity (Sector Plan)*, the subject property is included in a designation category of resources constructed between 1917 and 1935. This designation category is most like the status of “Contributing” Resources in other historic districts and is subject to a moderate level of review. Resources in this category are integral to the historic character of the district but are of “lesser architectural value” than resources constructed prior to 1917.

The resource is a one-and-a-half story house with an irregular plan, which includes a historic bungalow (constructed c. 1920), a small one-story side addition (constructed between 1952-1980), and a large one-and-a-half story addition (constructed 1987-1988) and a small hyphen (*Figures 2 and 3*). There are numerous connected porched and decks surrounding the building, which accommodate the sloped topography of the site.



Figure 2: View of subject property at 10210 Capitol View Avenue.

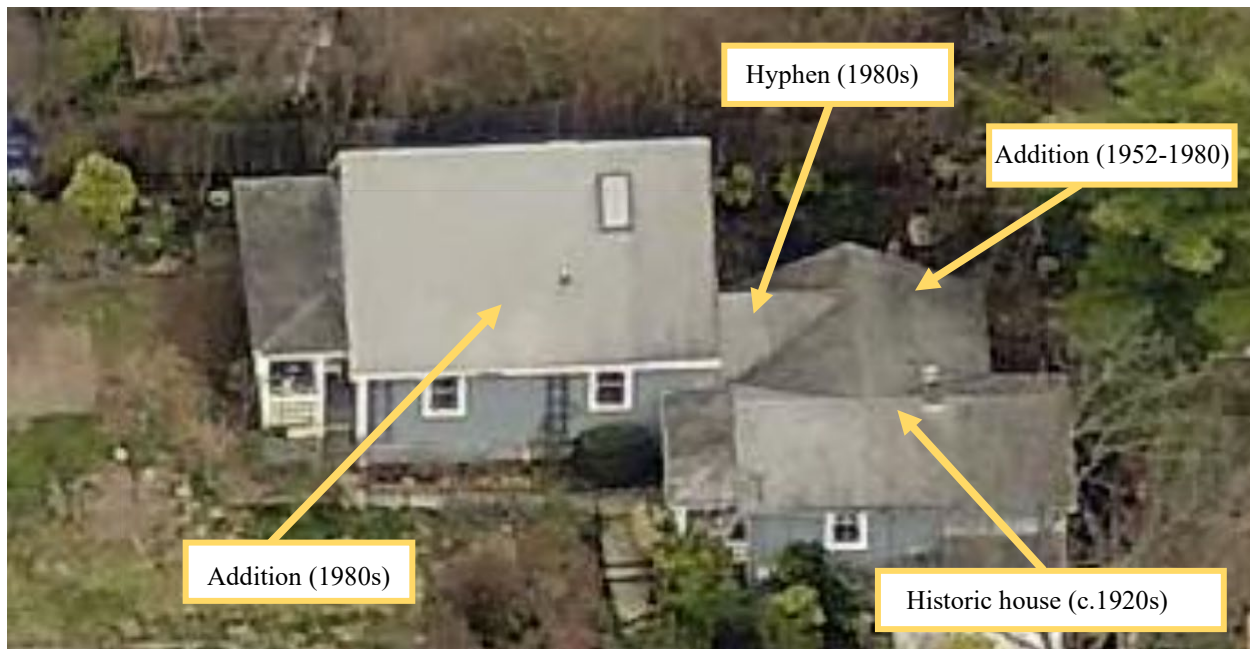


Figure 3: Aerial view of the subject property (2023)

The historic portion is a one-story bungalow with a partially above-grade basement that features a cross-gabled roof clad in asphalt shingles, a one-story front porch, and 6/1 and 2/2 wood double hung sash windows (*Figure 4*). The original portion of the house was constructed in the 1920s, and a small one-story addition was added to the east/left of the historic house in the mid-twentieth century.¹



Figure 4: Facade of the house in the 1980s (left) and in 2025 (right).

The one-and-a-half story addition (1987-1988), approved by the HPC with HAWP#14-87, features a front-gabled roof clad in asphalt shingles, a one-story porch, vinyl siding, and a combination of double hung wood sash windows and fixed windows (*Figure 5*).² The addition is connected to the historic house by a

¹ Staff believes the small one-story addition was added between 1952 and 1980 based on historic maps and photos.

² See HAWP No. 14-87 here:

https://mcatlas.org/tiles/06_HistoricPreservation_PhotoArchives/Padlock/HAR60640005/Box035/31-7_Capitol%20View%20Historic%20District_10210%20Capitol%20View%20Avenue_06-05-1987.pdf.

small hyphen with a gabled roof.



Figure 5: Façade/north elevation of 1980s addition (left) and right/west elevation (right).

PROPOSAL

The applicant is proposing to relocate two window openings on the right/west elevation of the non-historic 1980s addition that currently hold 6/1 double-hung wood windows. The proposed window openings will hold double hung wood windows (*Figure 6*). Both new windows will be relocated immediately to the right of the existing windows (*Figure 7*). The proposed windows are Pella Lifestyle series with simulated divided lites.

Staff notes that the drawings submitted by the applicant show a proposed 3/3 and 6/6 double-hung window. However, during a phone call with Staff on August 28, 2025, the applicant indicated that they were amendable to installation of a 6/1 window (as opposed to a 6/6 window) to match the profile of the existing and historic windows. The drawings have not been updated to reflect the amended proposal.

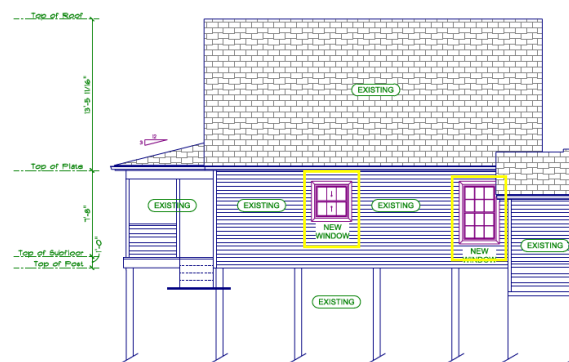


Figure 6: Existing elevation (left) and proposed right/west elevation with location of proposed new windows (right). Note that the applicant is proposing a 6/1 window, not a 6/6 window.

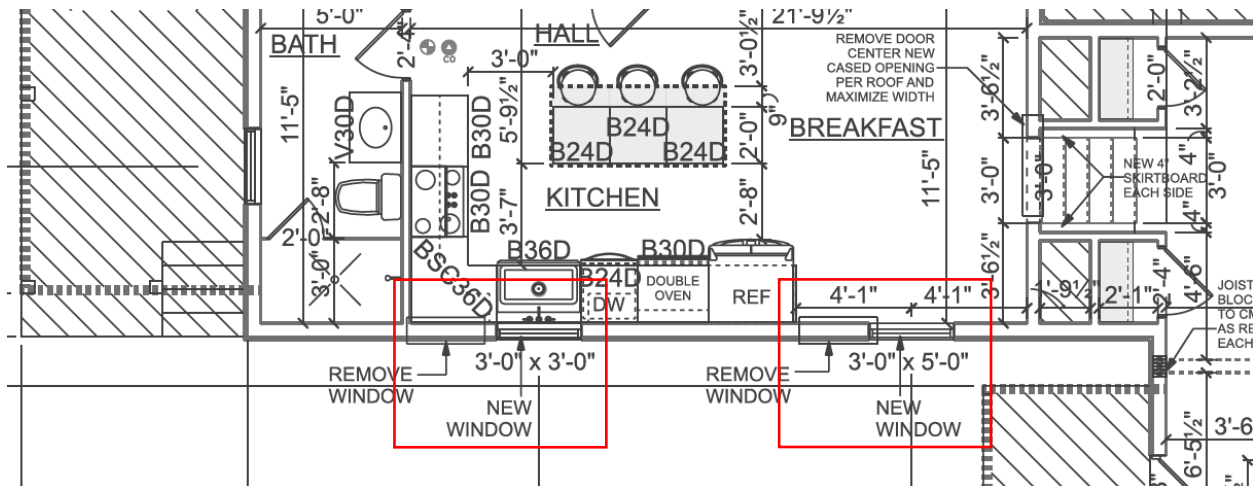


Figure 7: Plan view of alterations.

APPLICABLE GUIDELINES

When reviewing alterations and new construction within the Capitol View Park Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the *Approved & Adopted Sector Plan for Capitol View & Vicinity (Sector Plan)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Approved & Adopted Sector Plan for Capitol View & Vicinity (Sector Plan)

2. 1917-1935: Characterized by small lots, regularity of setbacks, and predominantly of the bungalow style, these twenty-three houses are of a lesser architectural significance, but taken as a whole do contribute to the historic character of the district.

Montgomery County Code, Chapter 24A Historic Resources Preservation

(b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to ensure conformity with the purposes and requirements of this chapter, if it finds that:

- (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
- (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or

(c) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style.

(d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59)

The Secretary of the Interior's Standards for Rehabilitation

2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, space and spatial relationships that characterize a property will be avoided.
9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportions, and massing to protect the integrity of the property and its environment.

STAFF DISCUSSION

Staff finds that the proposal is generally appropriate and recommends approval with conditions.

The applicants presented a preliminary proposal for alterations to the property at the July 9, 2025 HPC meeting. The proposal included the removal of the façade of the historic portion of the house, as well as numerous alterations to both the historic house and the non-historic addition. At the meeting, the HPC advised the applicant to return with a revised proposal that did not include the removal of any historic fabric, and to rework the proposed alterations to be compatible with the resource and the district. This new proposal has been substantially pared down, and Staff believe that it is consistent with the feedback provided by the HPC.

The proposed alterations are located on a non-historic 1980s addition and will not remove or alter any historic fabric, per *Standard 2*. Staff finds that the proposal will alter the location and size of the window openings, but that these alterations will not have an impact on the overall character of the resource. The alterations are on a side elevation of a non-historic addition. This elevation is somewhat visible from the right-of-way along Capitol View Avenue (without vegetation), but is not particularly impactful due to the substantial setback of the house and the placement on side elevations (*Figure 8*).

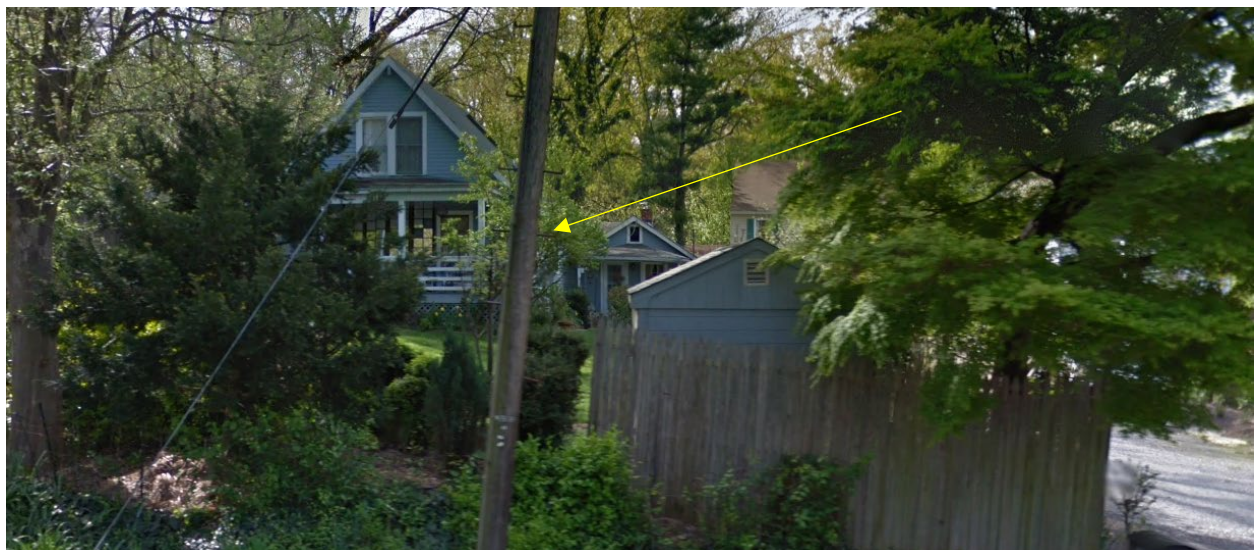


Figure 8: View of the subject property from the right-of-way along Capitol View Avenue. The yellow arrow denotes the location of the fenestration alterations on the side elevation.

Staff finds that the proposed double hung wood windows are generally compatible with the historic character of the 1920s bungalow. However, Staff finds that a 6/1 profile is more appropriate than the

proposed 6/6 profile, as it matches the windows on the façade of the historic house and right/west elevation of the addition. Staff also finds that the 3/3 window is generally in keeping with the character with the resource, given that the house already features multiple historic window configurations that reflect the many twentieth century additions. Staff is also supportive of the 3/3 window, as opposed to a 3/1 window, and finds that the glazing divisions in the smaller opening better complement the profile of the proposed 6/1 window.

The applicants have not submitted accurate drawings to reflect the proposed changes, and Staff recommends that the HPC require that the applicant submit corrected material specifications as a condition of approval. The applicant also notes that all materials will be “in-kind,” but does not specifically call out the material of the proposed window trim in the drawings. Staff recommends that the HPC require the applicant to confirm that the trim will be wood to match the existing as a condition for approval.

STAFF RECOMMENDATIONS

Staff recommends that the Commission **approve with two (2) conditions** the HAWP application with final approval of all details delegated to staff:

1. The applicant must submit window specifications to Staff to confirm that the proposed windows will be 6/1 and 3/3 double hung wood windows with 7/8" SDLs with a spacer bar.
2. The applicant will submit documentation confirming that the trim surrounding the new windows will be wood to match existing.

under the Criteria for Issuance in Chapter 24A-8(b)(1), (2), and (d) and Chapter 24A-8(d), having found that the proposal will not substantially alter the exterior features of the historic resource and is compatible in character with the purposes of Chapter 24A;

and with the *Secretary of the Interior's Standards for Rehabilitation* #2, 9, and 10

and with the general condition that the applicant shall present an electronic set of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-495-1328 or devon.murtha@montgomeryplanning.org to schedule a follow-up site visit.

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address

Owner's Agent's mailing address

Adjacent and confronting Property Owners mailing addresses

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

Description of Work Proposed: Please give an overview of the work to be undertaken:

Work Item 1: _____

Description of Current Condition:

Proposed Work:

Work Item 2: _____

Description of Current Condition:

Proposed Work:

Work Item 3: _____

Description of Current Condition:

Proposed Work:

HISTORIC AREA WORK PERMIT CHECKLIST OF APPLICATION REQUIREMENTS

	Required Attachments						
Proposed Work	I. Written Description	2. Site Plan	3. Plans/ Elevations	4. Material Specifications	5. Photographs	6. Tree Survey	7. Property Owner Addresses
New Construction	*	*	*	*	*	*	*
Additions/ Alterations	*	*	*	*	*	*	*
Demolition	*	*	*		*		*
Deck/Porch	*	*	*	*	*	*	*
Fence/Wall	*	*	*	*	*	*	*
Driveway/ Parking Area	*	*		*	*	*	*
Grading/Excavation/ Landscaping	*	*		*	*	*	*
Tree Removal	*	*		*	*	*	*
Siding/ Roof Changes	*	*	*	*	*		*
Window/ Door Changes	*	*	*	*	*		*
Masonry Repair/ Repoint	*	*	*	*	*		*
Signs	*	*	*	*	*		*



The Bouzi Interior Remodel

10210 Capitol View Ave
Silver Spring, MD 20910

Floor	Existing S.F.
Second Floor	480
First Floor	1,314
Basement	456
Total	2,250



"Professional Certification.
I certify that these documents were prepared or approved by me, and that I am a duly licensed engineer under the laws of the State of Maryland, license number 26325, expiration date 06/30/26."

8/23/2025

Table of Contents

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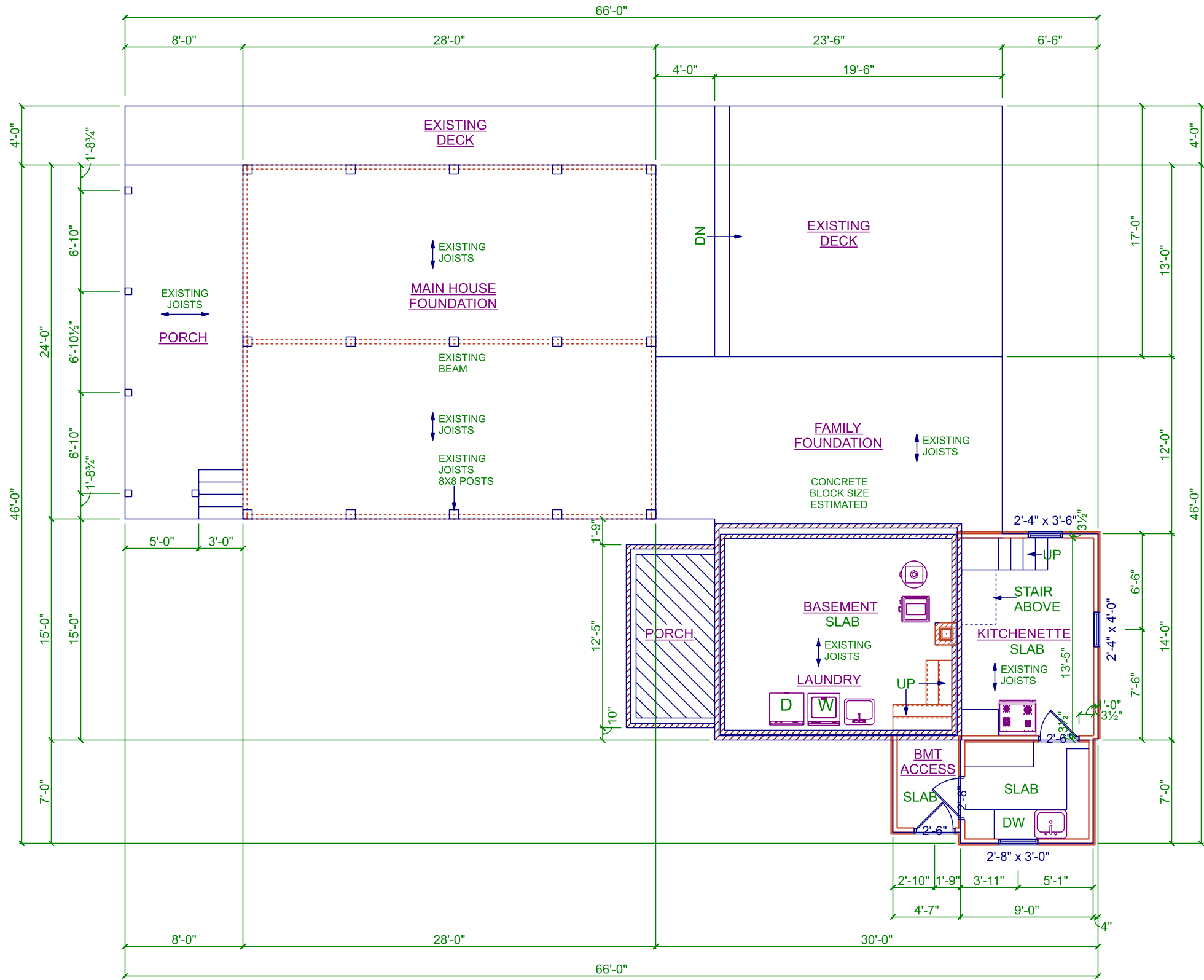
General Notes

- Contractors to verify all dimensions, elevations, and existing conditions prior to ordering of supplies/materials and prior to initiating construction. When a discrepancy or an error or omission is identified, the contractor shall comply with code and immediately notify the Owner and Wye Home Designs, LLC for proper adjustments.
- It is the responsibility of all contractors to coordinate their work with all other trades involved.
- Store all materials in such a manner as not to over stress or damage any structure or material during construction.
- Do not scale drawings to determine dimensions. Contact the designer prior to construction.
- Details are generally typical and are not always limited to those specific areas. Review any detail questions or conflicts with Wye Home Designs, LLC prior to construction.
- All interior walls are to be 2x4 studs at 16" O.C. unless noted otherwise. All exterior walls are as follows:
 - Walls up to 8'-1" - 9'-0" high -- 2x6 @ 16" O.C. (UNO)
 - Walls above 9'-1" - 9'-11" high -- 2x6 @ 16" O.C. (UNO)
 - Walls above 10'-0" -- see structural drawings
- Dimensional lumber used for all framing, except trusses, studs, sole plates, and cap plates shall be S.P.F. No. 2 or better.
- Dimensional lumber used for wall studs, sole plates, and cap plates shall be KD SPF.
- All dimensional lumber shall have a maximum moisture content of 5-14%.
- All interior dimensions are interior stud to interior stud unless otherwise noted. Stud width for 2x4 is 3-1/2". All exterior dimensions are from outside bearing edge of stud exterior unless otherwise noted.
- All bedroom windows must meet emergency egress code requirements.
- Number of treads and risers at exterior stairs to be determined by contractor according to site conditions.
- Air space behind masonry veneer is to be kept clean and free of debris to allow for proper draining to weep holes.
- Sub flooring shall be 3/4" tongue and groove exterior grade.
- All gluing and nailing shall be per code.
- Contractors to provide required flashing and take necessary precautions to ensure that the house will be water tight. All flashing is to be lapped a min. of 6" to form a continuous barrier and sealed with an approved material. When flashing is not continuous, such as over an opening, turn ends of flashing up to form a dam.
- Provide blocking as required in walls and ceilings to anchor all wall and ceiling mounted items.
- All dissimilar floor materials shall meet under the center of the door leaf unless noted otherwise.
- All wood in contact with masonry is to be pressure treated.
- Center footings on the column centerlines.
- Encase all steel columns, bearing plates and anchor bolts below slab grade with a minimum 3" concrete cover.
- All mechanical and plumbing requirements shall be verified prior to beginning construction.
- Contractor to size heating and cooling load per local codes, climate conditions, and building orientation.
- All codes and design loads per IRC 2021 code and local county codes. Any discrepancies should be reported to Wye Home Designs, LLC.
- These plans and notes are the property of Wye Home Designs, LLC. Use of these plans and/or any portion within without written consent of Wye Home Designs, LLC is prohibited.

Design Loads

Topic	Value(s)
IRC	2021 and Local
Walls	KD SPF
Floor Joists	Dimensional
First Floor	40 P.S.F. live load 10 P.S.F. dead load
Sleeping Rooms	30 P.S.F. live load 10 P.S.F. dead load
Second Floor Non-Sleeping	40 P.S.F. live load 10 P.S.F. dead load
Roof	30 P.S.F. live load
Roof Snow Load	30 P.S.F.
Wind Speed	115 M.P.H
Seismic Design Category	A or Local
Weathering	Severe
Frost Depth	30" or Local
Termites	Moderate - Heavy
Decay	Slight - Moderate
Winter Design Temperature	13 Deg. F
Ice Barrier Underlayment	Yes
Assumed Soil	2000 P.S.F.
Concrete Floors - Basement	3500 P.S.I.
Concrete Floors - Garage	3500 P.S.I.

CONTRACTORS TO VERIFY
ALL DIMENSIONS PRIOR TO ORDERING
MATERIALS AND PRIOR TO CONSTRUCTION



LIVING AREA = 456 S.F.



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Wye Home Designs, LLC

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Queenstown, MD 21658

The Bouzi Residence

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Date: 8/23/2025

Scale:

1/8" = 1' 0"

BASEMENT - EXISTING

Sheet Name

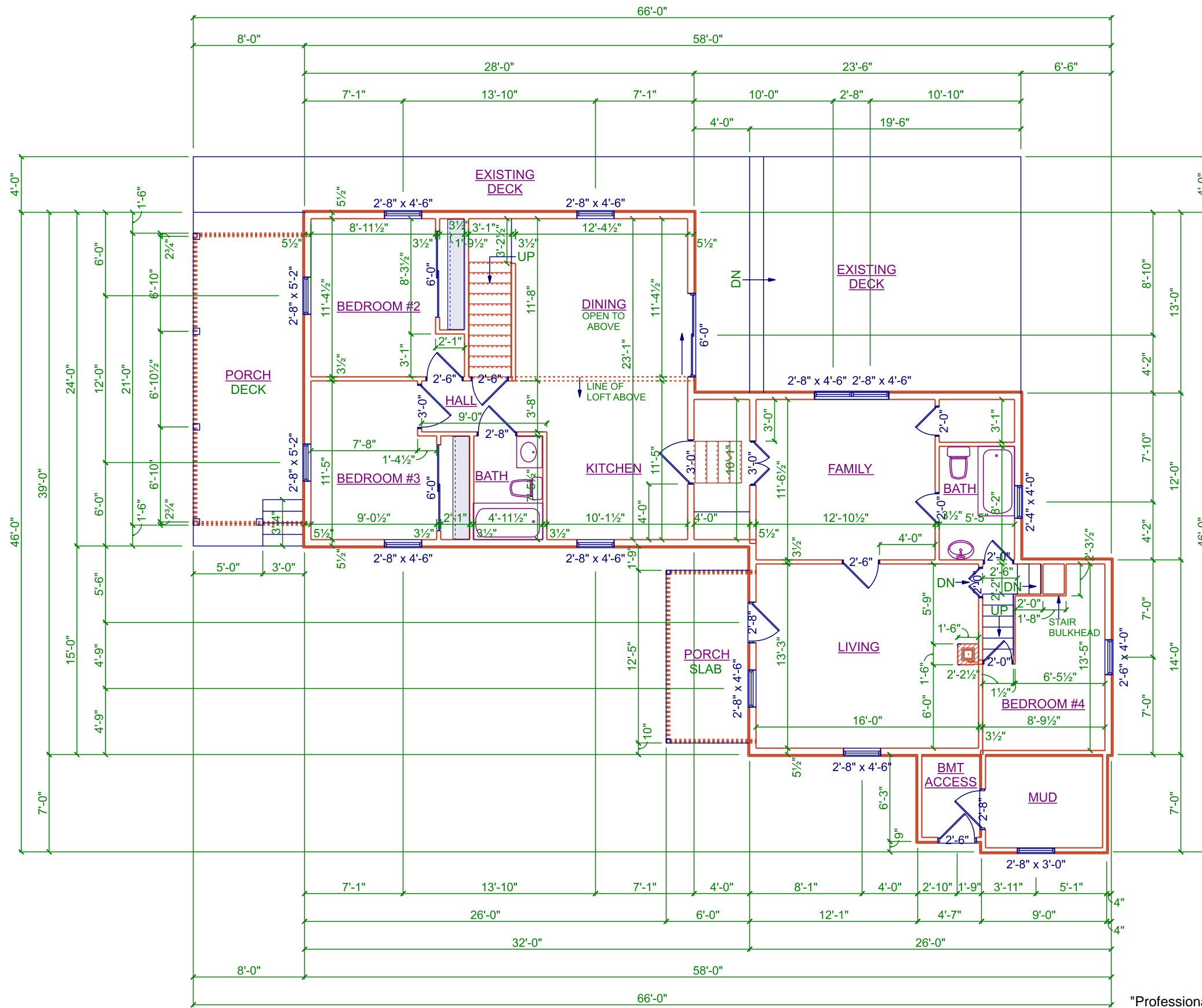
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Sheet Number

2 of 9



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FIRST FLOOR - EXISTING

Sheet Name
A-103

Sheet Number
4 of 9

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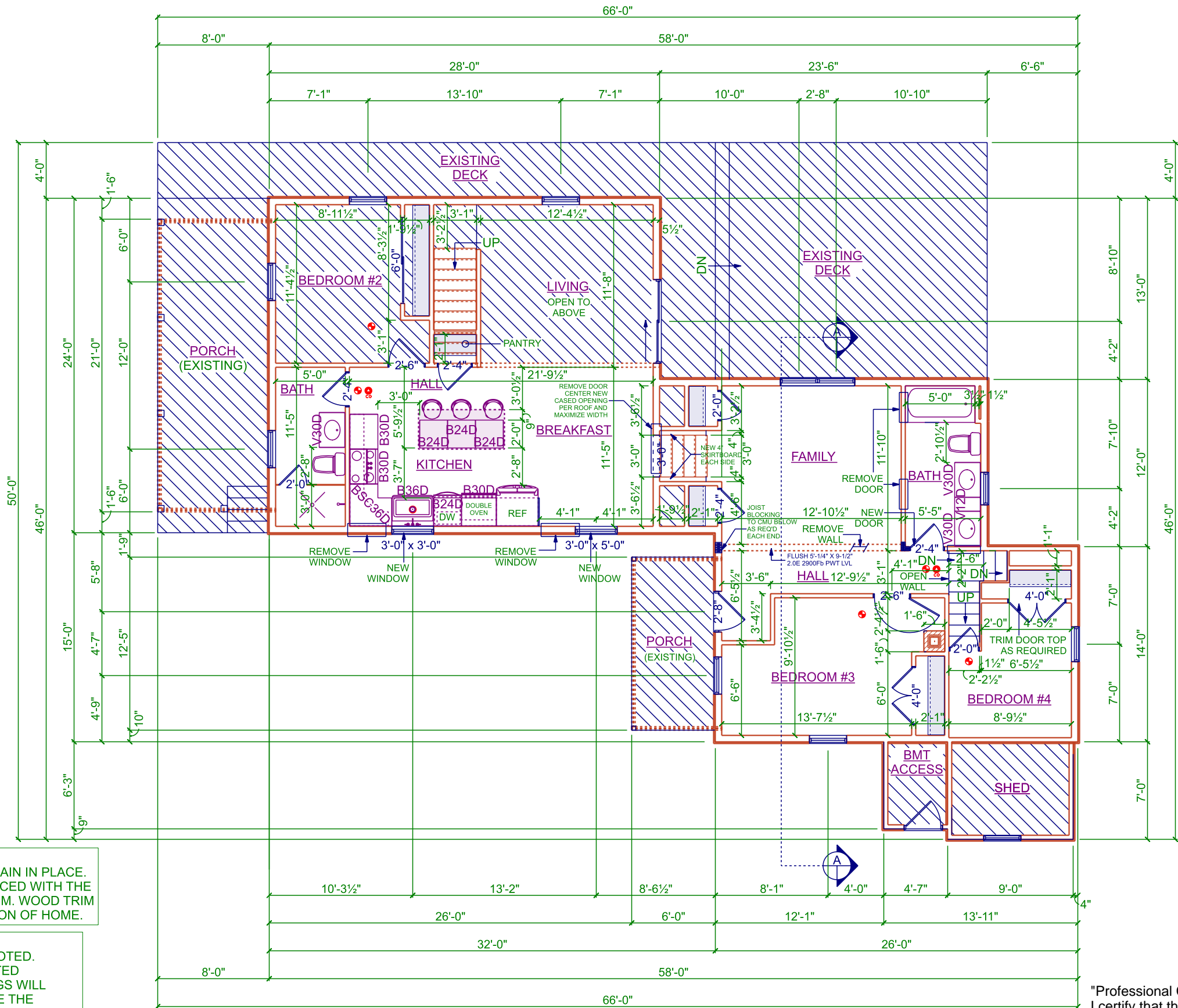
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NOTE: TYPICAL HEADERS
(3) 2X10 SYP #2
WITH 1/2" PLYWOOD SPACERS
UNLESS OTHERWISE NOTED

NOTE: EXISTING OPENINGS
ALL EXISTING OPENINGS WILL REMAIN IN PLACE.
ANY ROTTING TRIM WILL BE REPLACED WITH THE
SAME SIZE, STYLE, AND COLOR TRIM. WOOD TRIM
WILL BE USED ON HISTORIC PORTION OF HOME.

NOTE: NEW OPENINGS
ALL NEW OPENINGS HAVE SIZES NOTED.
WINDOW THAT HAVE NO SIZES NOTED
WILL STAY IN PLACE. NEW OPENINGS WILL
MATCH THE EXISTING AND INCLUDE THE
SAME TRIM SIZE, STYLE, MATERIAL AND COLOR

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Date:

8/23/2025

FIRST FLOOR - REMODEL

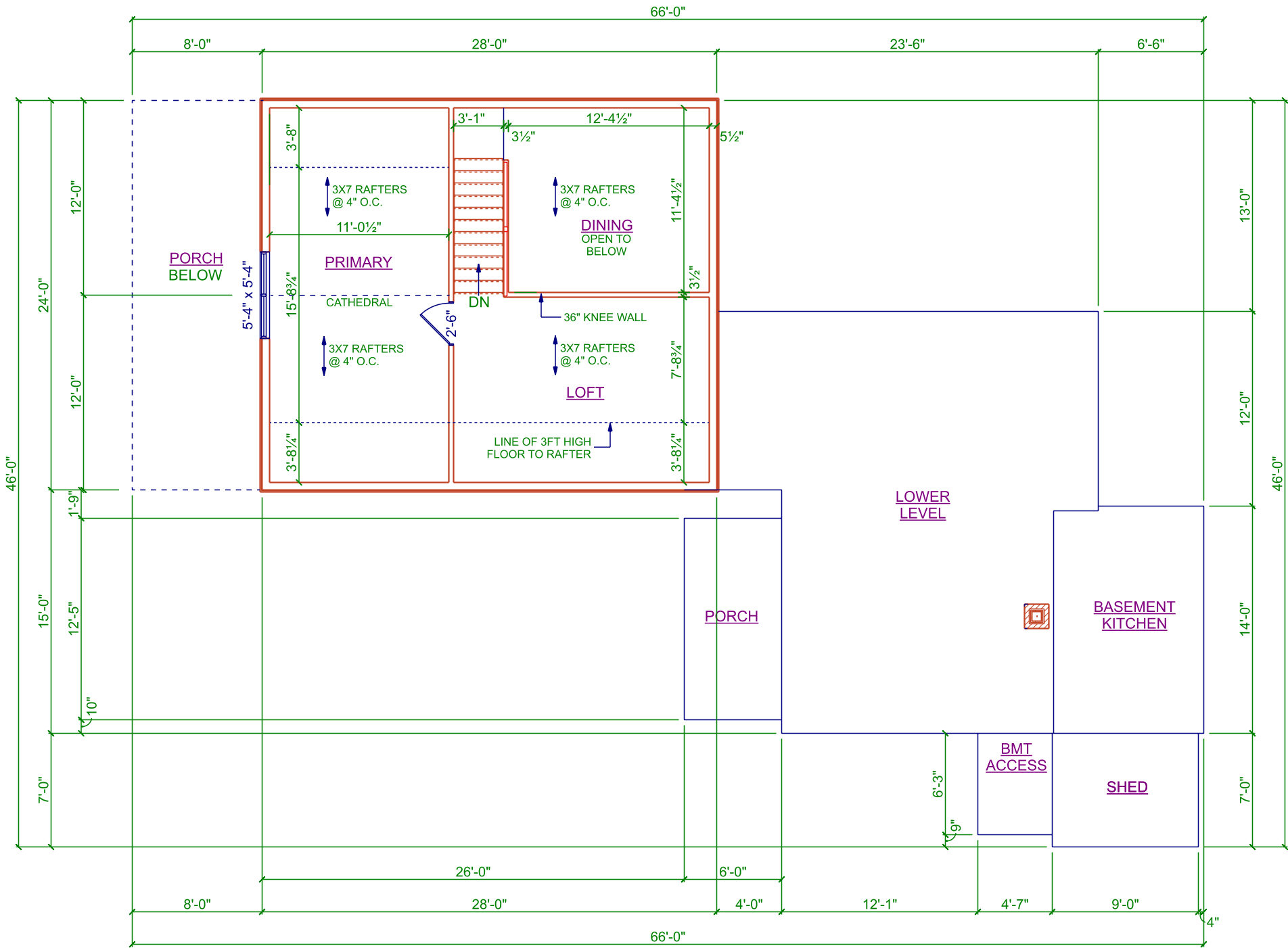
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A-104

Sheet Number

5 of 9

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SECOND FLOOR - EXISTING

Sheet Name
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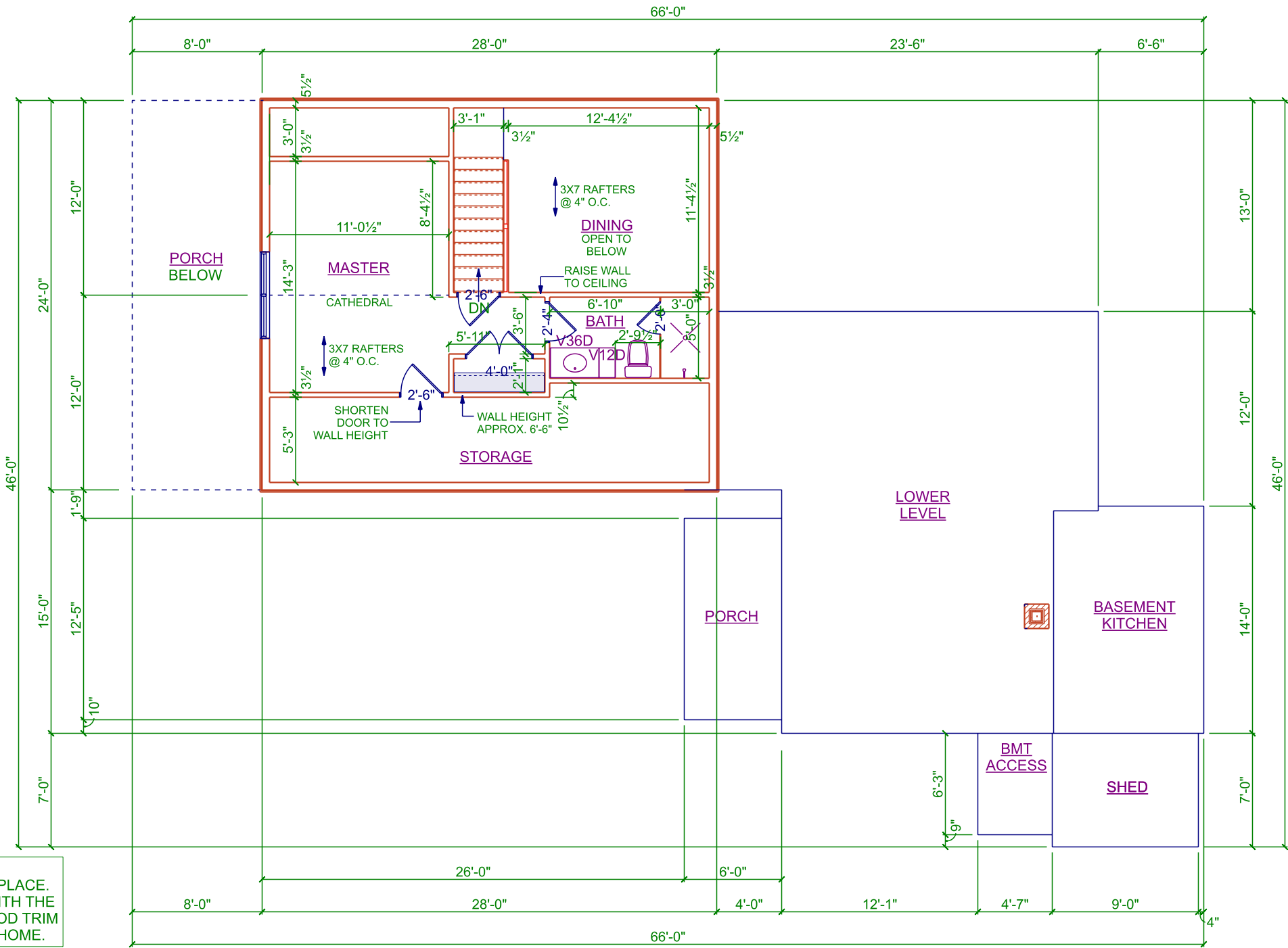
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6 of 9

NOTE: TYPICAL HEADERS
(3) 2X10 SYP #2
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UNLESS OTHERWISE NOTED

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SECOND FLOOR - REMODEL

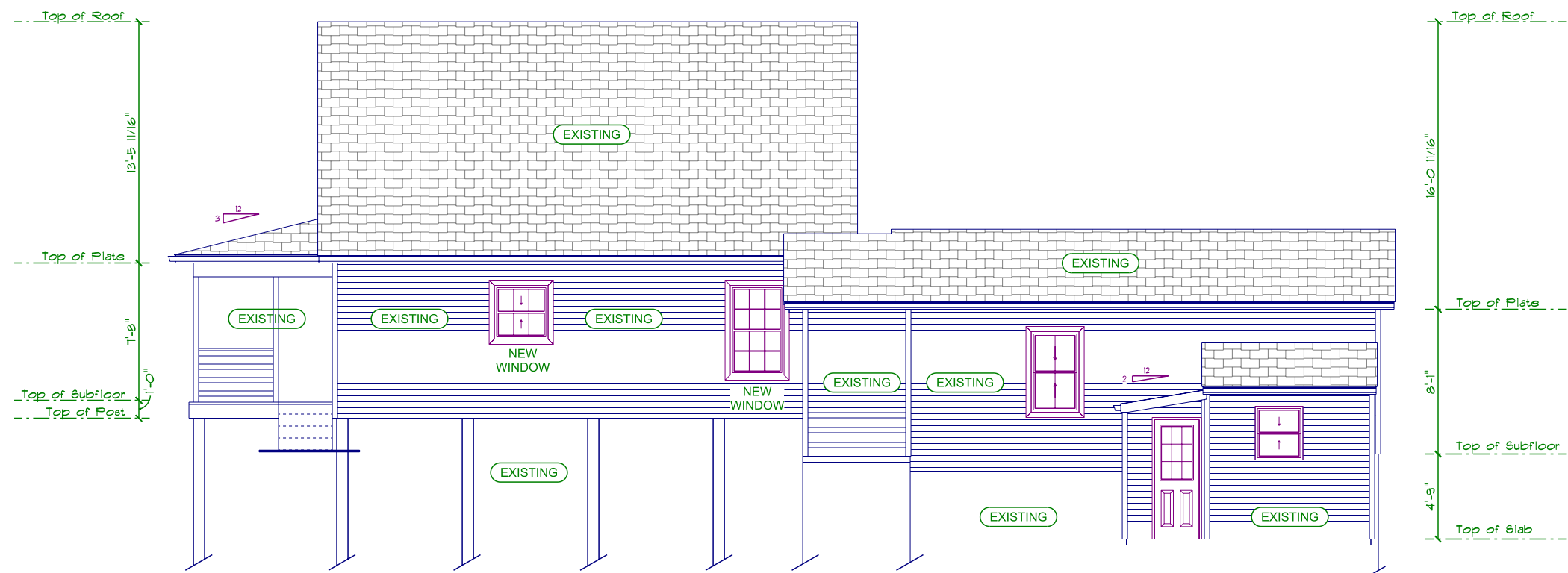
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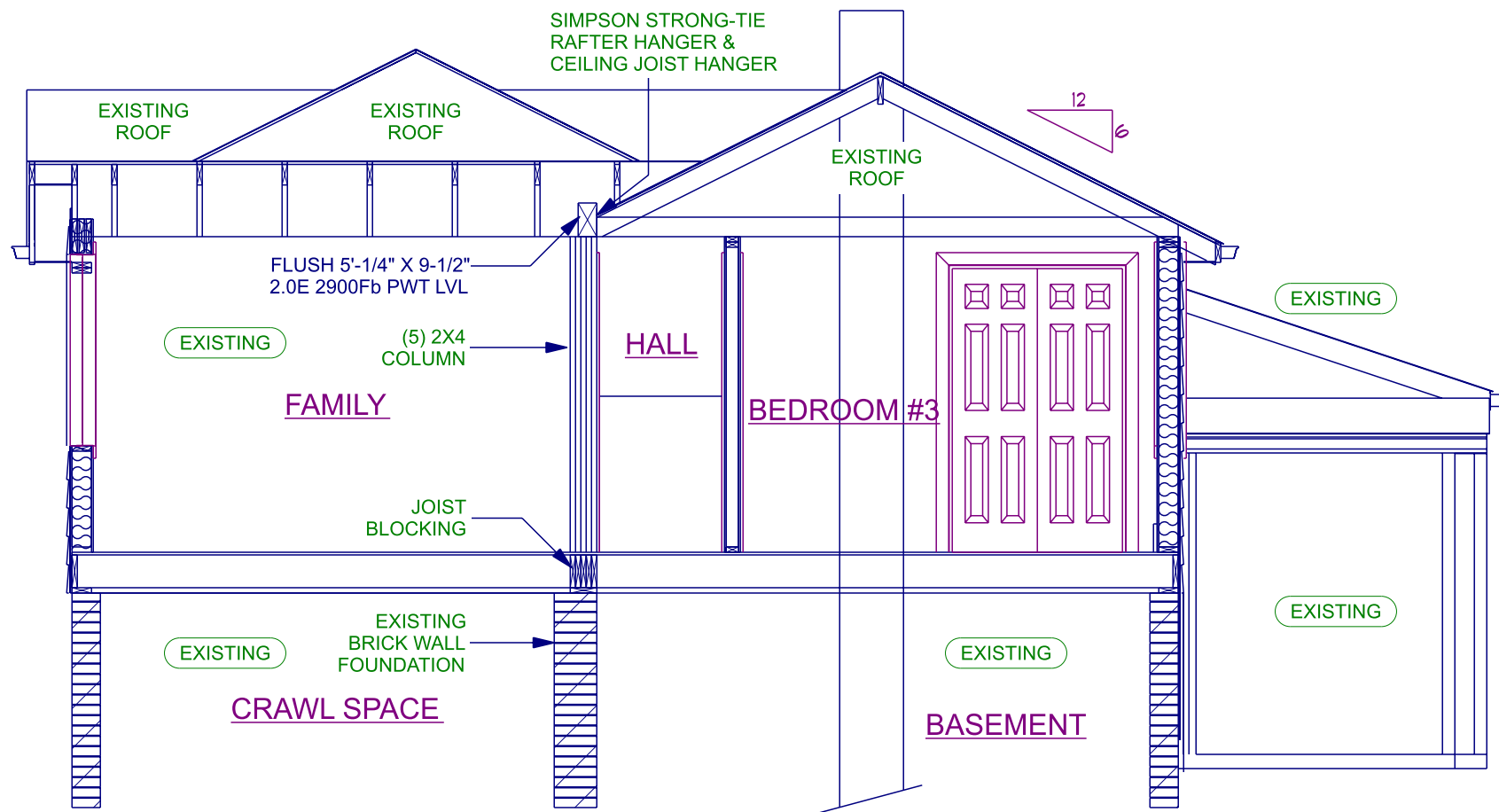
7 of 9

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The Bouzi Residence					
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Date: 8/23/2025		Scale: 1/8" = 1' 0"		RIGHT ELEVATION	
Sheet Name		A-201			
Sheet Number		8 of 9			



7'-5"
 11 1/2"
 Top of Plate
 Top of Subfloor
 Top of Brick Foundation



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Scale: 1/4" = 1' 0"

Date: 8/23/2025

CROSS SECTION A

Sheet Name
A-301

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