

**MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION**  
**STAFF REPORT**

<b>Address:</b>	51 Walnut Avenue, Takoma Park	<b>Meeting Date:</b>	9/17/2025
<b>Resource:</b>	Contributing Resource Takoma Park Historic District	<b>Report Date:</b>	9/10/2025
<b>Applicant:</b>	Jeffrey Hopkins & Rebecca Smith	<b>Public Notice:</b>	9/3/2025
<b>Review:</b>	HAWP	<b>Tax Credit:</b>	n/a
<b>Permit Number:</b>	1130761	<b>Staff:</b>	Dan Bruechert
<b>Proposal:</b>	HVAC Unit.		

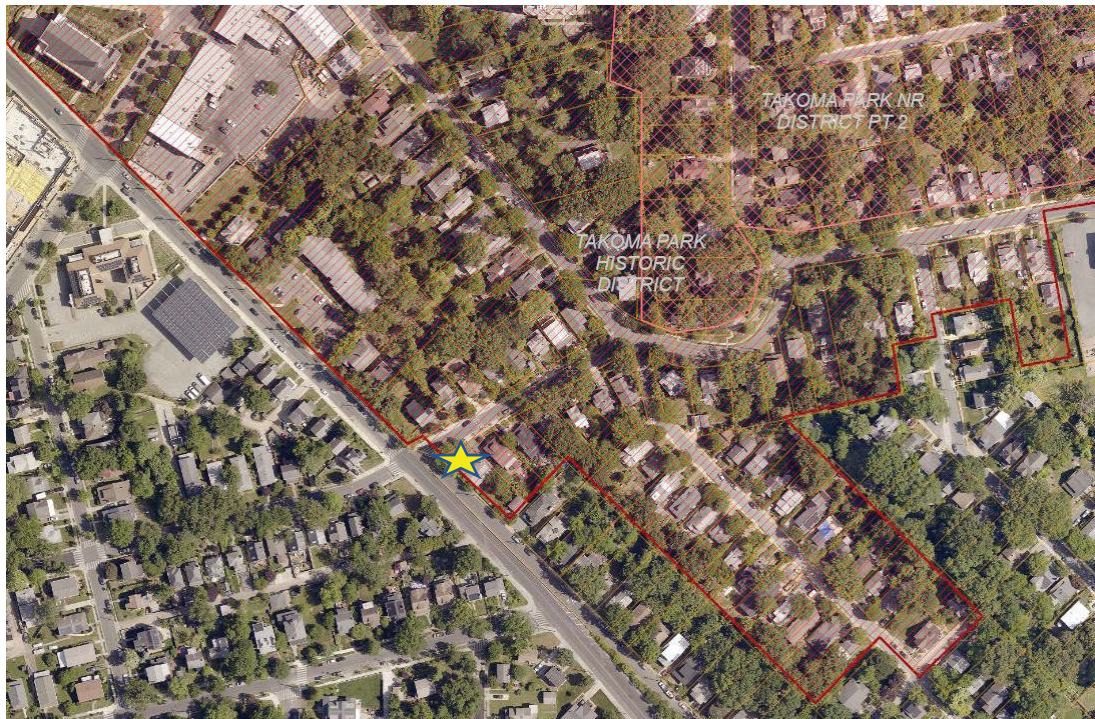
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**STAFF RECOMMENDATION**

Staff recommends that the Historic Preservation Commission (HPC) **approve** the HAWP application.

**ARCHITECTURAL DESCRIPTION**

**SIGNIFICANCE:** Contributing Resource within the Takoma Park Historic District  
**STYLE:** Craftsman  
**DATE:** c.1920



*Figure 1: The subject property is located at the Takoma Park/Washington DC border.*

## **BACKGROUND**

On February 21, 2024, the HPC approved a HAWP with five conditions to construct a rear dormer addition at the subject property.<sup>1</sup> The conditions, which were to supply material specifications to Staff before approval documents were issued, have all be satisfied and the project is nearly complete with its construction.

As part of the mechanical system revision, the applicants propose to add one exterior HVAC unit, the accompanying conduit, and a wall penetration to the new construction.

## **PROPOSAL**

The applicant proposes to add an exterior HVAC unit, exterior conduit, and penetrate the wall and the newly constructed dormer.

## **APPLICABLE GUIDELINES**

When reviewing alterations and additions for new construction to Contributing Resources within the Takoma Park Historic District, decisions are guided by the Takoma Park Historic District Design Guidelines (*Design Guidelines*) and Montgomery County Code Chapter 24A (*Chapter 24A*) and the Secretary of the Interior's Standards for Rehabilitation (*The Standards*). Additionally, as a building located within the Takoma Old Town and Commercial Revitalization Area, Ordinance No. 2592 applies.

### ***Takoma Park Historic District Design Guidelines***

There are two very general, broad planning and design concepts which apply to all categories. These are:

The design review emphasis will be restricted to changes that are at all visible from the public right-of-way, irrespective of landscaping or vegetation (it is expected that the majority of new additions will be reviewed for their impact on the overall district), and,

The importance of assuring that additions and other changes to existing structures act to reinforce and continue existing streetscape, landscape, and building patterns rather than to impair the character of the district.

Contributing Resources should receive a more lenient review than those structures that have been classified as Outstanding. This design review should emphasize the importance of the resource to the overall streetscape and its compatibility with existing patterns rather than focusing on a close scrutiny of architectural detailing. In general, however, changes to Contributing Resources should respect the predominant architectural style of the resource. As stated above, the design review emphasis will be restricted to changes that are *at all visible from the public right-of-way*, irrespective of landscaping or vegetation.

Minor alterations to areas that do not directly front on a public right-of-way such as vents, metal stovepipes, air conditioners, fences, skylights, etc. – should be allowed as a matter of course; alterations to areas that do not directly front on a public way-of-way which involve the replacement of or damaged to original ornamental or architectural features are discouraged, but may be considered and approved on a case-by-case basis

Original size and shape of window and door openings should be maintained, where feasible

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<sup>1</sup> The Staff Report for the approved HAWP is available here: <https://montgomeryplanning.org/wp-content/uploads/2024/02/I.H-51-Walnut-Avenue-Takoma-Park-1057412.pdf>.

Some non-original building materials may be acceptable on a case-by-case basis; artificial siding on areas visible to the public right-of-way is discouraged where such materials would replace or damage original building materials that are in good condition

Alterations to features that are not visible from the public right-of-way should be allowed as a matter of course

All changes and additions should respect existing environmental settings, landscaping, and patterns of open space.

***Montgomery County Code, Chapter 24A Historic Resources Preservation***

(b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:

(1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or

(2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or

(d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

***Secretary of the Interior's Standards for Rehabilitation***

2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportions, and massing to protect the integrity of the property and its environment.
10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

**STAFF DISCUSSION**

The subject property is a one-and-a-half-story side-gabled bungalow covered in Formstone. In 2024, the HPC approved a rear addition on the second story. The addition is currently under construction (see the supplied application photographs.) The applicants propose to add an additional mini-split unit to service the second-floor addition. A conduit will run from the HVAC unit along the rear wall and penetrate the addition's wall through a 2" (two inch) hole. The condenser will be located off of the rear wall, adjacent to the new rear porch, 26' (twenty-six feet) from the property line at Eastern Ave. The proposed unit measures 31" × 21" × 13" (thirty-one inches long by twenty one inches tall by thirteen inches wide)



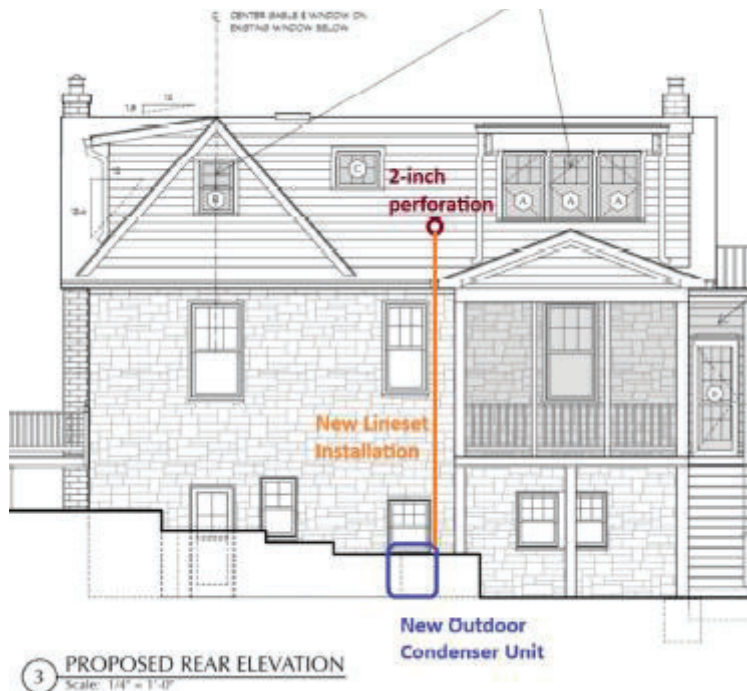


Figure 2: Approximate location for the outdoor condenser and conduit.

But for the subject house's highly visible rear elevation (see Figure 3, below), Staff would find this alteration should be approved under the *Design Guidelines* as a matter of course. Even though the rear elevation is visible from the right-of-way, Staff finds the rear elevation of the subject property is its least architecturally significant, which is where most alterations are preferred. Staff finds the size of the proposed unit will not overwhelm the character of the property nor will it be highly visible from the public right-of-way. Additionally, the line will be attached to the non-historic Formstone and the new fiber cement siding of the addition, so it will not impact any historic materials. Finally, Staff finds the proposed wall penetration is to the new construction and not to the historic bungalow's materials. For these reasons, Staff finds the proposed alteration is consistent with the *Design Guidelines*, 24A-8(b)(2) and (d), and *Standard #10*.



Figure 3: The rear of the subject property is visible from Eastern Ave.

## **STAFF RECOMMENDATION**



Staff recommends that the Commission **approve** the HAWP; under the Criteria for Issuance in Chapter 24A-8(b)(1), (2), and (d), having found that the proposal, as modified by the condition, is consistent with the *Takoma Park Historic District Guidelines* and the purposes of Chapter 24A;

and with the *Secretary of the Interior's Standards for Rehabilitation* #2, 9 and 10.

and with the general condition that the applicant shall present an electronic set of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make any alterations to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or [dan.bruechert@montgomeryplanning.org](mailto:dan.bruechert@montgomeryplanning.org) to schedule a follow-up site visit.



FOR STAFF ONLY:  
HAWP# \_\_\_\_\_  
DATE ASSIGNED \_\_\_\_\_

# APPLICATION FOR HISTORIC AREA WORK PERMIT

HISTORIC PRESERVATION COMMISSION  
301.563.3400

## APPLICANT:

Name: Pro-active HVAC Done Right  
Address: 3113 Freeway Avenue  
Daytime Phone: 443-702-6110

E-mail: hvacdoneright@gmail.com  
City: Baltimore Zip: 21227  
Tax Account No.: \_\_\_\_\_

## AGENT/CONTACT (if applicable):

Name: Victor Galarza  
Address: 3113 Freeway Avenue  
Daytime Phone: 443-702-6110

E-mail: hvacdoneright@gmail.com  
City: Baltimore Zip: 21227  
Contractor Registration No.: \_\_\_\_\_

**LOCATION OF BUILDING/PREMISE:** MIHP # of Historic Property \_\_\_\_\_

Is the Property Located within an Historic District? X Yes/District Name \_\_\_\_\_  
\_\_\_\_\_ No/Individual Site Name \_\_\_\_\_

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: 51 Street: Walnut Avenue  
Town/City: Takoma Park Nearest Cross Street: Eastern Avenue  
Lot: 17 Block: 17 Subdivision: 0025 Parcel: 0000

**TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:**

- |   |  |  |
|---|--|--|
| <input type="checkbox"/> New Construction   | <input type="checkbox"/> Deck/Porch          | <input type="checkbox"/> Shed/Garage/Accessory Structure                           |
| <input type="checkbox"/> Addition           | <input type="checkbox"/> Fence               | <input type="checkbox"/> Solar   |
| <input type="checkbox"/> Demolition         | <input type="checkbox"/> Hardscape/Landscape | <input type="checkbox"/> Tree removal/planting                                     |
| <input type="checkbox"/> Grading/Excavation | <input type="checkbox"/> Roof                | <input type="checkbox"/> Window/Door   |
|   |  | <input checked="" type="checkbox"/> Other: <u>Install New Mini Split HVAC Unit</u> |

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

Victor Galarza

09/21/2025

Signature of owner or authorized agent

Date

**HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING**  
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

**Owner's mailing address**  
51 Walnut Avenue  
Takoma Park, MD 20912

**Owner's Agent's mailing address**  
3113 Freeway Avenue  
Baltimore, MD 21227

**Adjacent and confronting Property Owners mailing addresses**

53 Walnut Avenue, Takoma Park 20912  
54 Walnut Avenue, Takoma Park 20912  
56 Walnut Avenue, Takoma Park 20912

6761 Eastern Avenue, Takoma Park 20912



**Description of Property:** Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

Single-family dwelling — 1½ stories with a basement. The property is currently undergoing an approved addition under Building Permit #1072107.

**Description of Work Proposed:** Please give an overview of the work to be undertaken:

Install one new 9,000 BTU mini-split heat pump unit. A 2-inch hole will be cored at the top of the house to accommodate the lineset installation. The lineset will be routed along the exterior façade of the residence and extended to the outdoor condenser unit.

Work Item 1: <u>One mini split-installation</u>	
Description of Current Condition: The rear side of the residence is currently under construction, as per approved Building Permit #1072107. Two existing mini-split units are presently servicing the main house.	Proposed Work: One additional mini-split unit will be installed to serve the new addition of the residence. A 2-inch hole will be cored at the top the house to allow the lineset piping to pass through and connect to the indoor unit.
Work Item 2: _____	
Description of Current Condition:	Proposed Work:
Work Item 3: _____	
Description of Current Condition:	Proposed Work:

# HISTORIC AREA WORK PERMIT CHECKLIST OF APPLICATION REQUIREMENTS

	Required Attachments						
Proposed Work	I. Written Description	2. Site Plan	3. Plans/ Elevations	4. Material Specifications	5. Photographs	6. Tree Survey	7. Property Owner Addresses
New Construction	*	*	*	*	*	*	*
Additions/ Alterations	*	*	*	*	*	*	*
Demolition	*	*	*		*		*
Deck/Porch	*	*	*	*	*	*	*
Fence/Wall	*	*	*	*	*	*	*
Driveway/ Parking Area	*	*		*	*	*	*
Grading/Excavation/ Landscaping	*	*		*	*	*	*
Tree Removal	*	*		*	*	*	*
Siding/ Roof Changes	*	*	*	*	*		*
Window/ Door Changes	*	*	*	*	*		*
Masonry Repair/ Repoint	*	*	*	*	*		*
Signs	*	*	*	*	*		*





APPROVED  
Department of Permitting Services  
Permit # **BUILDING-1072107**  
Date **4/15/2025**  
Stamped By: Ivette Archbold

## PROJECT DESCRIPTION

THE PROJECT INVOLVES REMODELING AND EXPANDING A 1-1/2 STORY WOOD FRAME BUNGALOW (W/ WALK-OUT BASEMENT). THE HOUSE IS LOCATED IN THE TAKOMA PARK HISTORIC DISTRICT AND IS CONSIDERED A CONTRIBUTING RESOURCE. THE PROPOSED ADDITION INCLUDES AN EXPANSION OF THE SECOND FLOOR WITH A NEW SHED DORMER ACROSS THE BACK. THE REMODELING SCOPE, PRIMARILY CONFINED TO THE MAIN LEVEL, CONSISTS OF RECONFIGURING THE SECOND BATHROOM AND PROVIDING A LAUNDRY CLOSET, AND ENCLOSING THE REAR STOOP WITH INSECT SCREENING.

# HOPKINS-SMITH ADDITION

51 Walnut Ave, Takoma Park, MD 20912 - Project # 2361

## SPECIFICATIONS (CONTINUED ON D100)

- 1.1.1 General Conditions: The general conditions of the Agreement Between the Owner and Contractor if not addressed here, shall be AIA Document A201 (most current edition).
- 1.1.2 Lien Waivers: At the time of final payment by the Owner, the Contractor shall provide lien waivers from his company as well as all major subcontractors (plumbing, electrical, mechanical, mason, roofer, etc.) and suppliers exceeding \$10,000 in value.
- 1.2.1 Contractor's Liability Insurance: The Contractor shall purchase and maintain such insurance as will protect the Contractor from claims which may arise out of or result from the Contractor's or Subcontractors' operations under the Contract. The Architect shall be named as an additional insured on the General Contractor's policy.
- 1.2.2 Owner's Liability Insurance: The Owner shall be responsible for purchasing and maintaining the Owner's usual liability insurance.
- 1.2.3 Property Insurance: The Owner shall purchase and maintain property insurance in the amount of the initial Contract Sum (as well as subsequent modifications) on a replacement cost basis. The policy shall be on an all-risk policy form and shall insure against the perils of fire and extended coverage and loss or damage including theft, vandalism, malicious mischief, collapse and fawework. The Contractor shall be responsible for paying the deductible for losses attributable to an unsecured job-site.
- 1.3 Licensure: The Contractor and all Subcontractors shall be licensed and/or registered to perform their respective trades in the jurisdiction of the project property.
- 1.4 Permits: Owner/Architect shall obtain general building permit. General Contractor shall be responsible for all other permits including, but not limited to trade permits, right-of-way / public space permits, parking and dumpster permits, etc.
- 1.5 Warranty: All workmanship and materials shall be guaranteed for a minimum period of one year from the date of Substantial Completion.
- 1.6 Owners Manuals and Instructions: The General Contractor shall collect, consolidate and convey to the Owner all Owners Manuals, Instructions, Warranty registrations and all other pertinent information for new equipment and fixtures. The General Contractor or designated subcontractor(s) shall review with the Owner the proper operation and maintenance schedule as appropriate for all equipment and controls.
- 1.7 Interpretation: The Architect shall be the interpreter of the requirements of the Contract Documents. If the builder or subcontractor has any question about the meaning of the drawings or specifications for the Work, or should he find any discrepancy or omission therein, the Builder/subcontractor shall immediately so notify the Architect.
- 1.8 Dimensions: Verify all dimensions. All dimensions are to framing, except to existing construction or where otherwise noted. Dimensions on interior elevations are to finishes, not framing. Window opening dimensions are to rough openings; add 2 1/2" to swinging interior door sizes for rough openings. Do NOT scale drawings.
- 1.9 Building Protection: All precautions shall be taken by subcontractors to protect existing hardwood floors, tile and other finishes to remain for the period of construction. Any damage shall be rectified by the responsible subcontractor(s) or general contractor prior to completion of work. See also section 2.2.
- 1.10 Debris: All subcontractors shall, at regular intervals, remove all their respective construction debris from site and shall not allow such debris to drift, be blown or otherwise transported onto adjacent property. Subcontractors shall place barricades or take such other precautions as necessary to prevent injury to the public.
- 1.11 Codes: All construction to be in accordance with International Residential Code 2018 edition, and in accordance with all applicable Montgomery Co., State and Federal rules and regulations (including local amendments to model code).
- 1.12 Quality: All work will be performed in a workmanlike fashion in conformance with rules of accepted good practice. All materials contemplated in these drawings shall be new and of good quality and shall be protected from weather when stored on the building site.
- 1.13 Changes in Work: The Owner without invalidating the Contract, may order extra work or make changes by altering, adding or deducting from the work, the contract sum being adjusted accordingly by a change order. All such work shall be executed under the conditions of the original contract except for claims for extension of time caused hereby which shall be adjusted at time of change order execution.
- 1.14 Claims for Extra Work: If a subcontractor claims that any instructions by drawings or other requests for changes in the work involve extra cost under the contract he shall give the Owner written notice thereof within a reasonable time after receipt of such instructions and in any event before proceeding to execute the work.
- 1.15 Allowances: NA
- 1.16 Punchlist: At the time of making the final contract payment, the owner may hold back 200% of the value of all Punch List work. The Architect and Contractor will place a fair and reasonable value on each Punch List item. This 200% hold back for Punch List work is intended to assure the Owner that all Punch List work will be completed in a timely manner.
- 1.17 MISS UTILITY: Prior to any excavation at the site the Contractor shall contact Miss Utility, 1-800-257-7777 to ascertain the location of all underground utilities. Avoid unnecessary disturbance, conflict or interruption of services with underground utilities to the fullest extent possible.
- 1.18 Definitions: The Contractor shall understand that the word "provide", as used in these documents, includes the purchase of the item specified, including taxes and any associated shipping and handling charges. Also included shall be the procurement and provision of all materials, equipment and labor associated with the complete installation of the item(s) specified in good working order.
- 1.19 Construction by Owner or By Separate Contractors: The Owner reserves the right to perform construction or operations related to the Project with the Owner's own forces. The Contractor shall provide the Owner and separate contractors reasonable opportunity for placement and storage of materials and equipment in the performance and completion of other activities. The Contractor shall cooperate and coordinate activities as provided within the agreement between the Owner and the Contractor.
- 1.20 Temporary Utilities (owner occupied): Electricity and water shall be provided to the General Contractor from the existing house.
- 1.21 Coordination between Drawings and Specifications: Should a conflict exist between the drawings and specifications, the more restrictive or costly shall apply for pricing. The Owner and Architect shall be consulted to determine proper design alternative. If the less restrictive or costly item is selected the Contractor shall apply appropriate credit to the Owner under the contract.
- 1.22 Shop Drawings: Shop Drawings are required for, but not limited to, the following items:
  - Windows
- 1.23 Samples: Provide samples for the following items:
  - Roof shingles
  - Hardwood floor stain and finish options
  - Paint colors, per Division 9
  - Gutter and downspout colors
  - Exterior flashing colors
- 1.24 Owner Supplied Items: See individual specification divisions for further information. Install the following Owner provided:
  - Bath accessories – see Division 10
  - Items salvaged for reuse as noted in Division 2 or on demolition drawings

### DIVISION 2: SITEWORK AND DEMOLITION

- 2.1 Utilities: Water, sewer, gas, electric, telephone and CATV utilities on site are to remain and be extended as required. Verify size and condition and remove, replace, upgrade as necessary. Locate all underground utilities. See note above regarding contact with Miss Utility.

- 2.2 Protection of Existing Landscaping: Protect from physical damage all paved / landscaped surfaces, existing trees, and vegetation that are to remain. Consult with Owner prior to removing any trees, vegetation or obstructions as indicated or which would interfere with new construction. Feeder root zones below all tree canopies shall be respected such that no heavy equipment storage/parking or regrading shall occur without the permission of the Owner. See also section 1.9. Damaged elements shall be replaced or restored as appropriate.

- Contractor shall coordinate with Owner, Architect and Takoma Park Arborist (Urban Forest Manager) to develop a Tree Protection Plan (TPP) and will comply with this plan during construction. Any fines for failure to comply with the TPP shall be paid by the Contractor. The Takoma Park Arborist can be reached at (301) 891-7612.

- 2.3 Landscape: NA

- 2.4 Erosion Control: NA

- 2.5 Demolition: Protect all adjacent finishes to remain. Protect sensitive equipment and surfaces from dust and debris. Provide and secure plastic sheeting to isolate the area of work from occupied portions of the residence. Provide adequate shoring and bracing as necessary before removing any load bearing components. Cap/block HVAC registers in affected areas to avoid the conveyance of dust into any central systems.

- 2.6 Lead Abatement: Lead based paint is potentially present on any painted elements incorporated before 1978. Any disturbance or removal of materials containing lead-based paint shall be in compliance with all federal and state regulations prior to, during, and after such disturbance, and the Contractor shall clean all areas after such disturbance and dispose of all lead-based paint materials in compliance with federal and state regulations.

- 2.7 Salvage: See notes on Demolition Plan
  - Interior doors, hardware and wood trim & frame: save for re-use. See Door schedule
  - Radiators (save for potential re-use or donation)
  - Light fixtures (save for re-use)

- 2.8 Foundation Drainage: NA

- 2.9 Roof Leader Drainage: Drain to daylight. Coordinate outfall location with Owner.

- 2.10 Site access: Via street. Contractor shall protect existing driveway during construction and repair or replace if necessary.

### DIVISION 3: CONCRETE (NA)

### DIVISION 4: UNIT MASONRY (NA)

### DIVISION 5: METALS (NA)

### DIVISION 6: WOOD/CARPENTRY (See Structural sheets for additional notes)

- 6.1 Design Live Loads: Loads greater than design live loads shall not be placed on the structure. It is the contractor's responsibility to determine allowable construction loads and to provide proper design and construction of falsework, formwork, bracing, sheeting and shoring, etc.

SPECIFICATIONS CONTINUED ON D100

## ZONING SITE PLAN

SCALE: 1" = 10'-0"

### SITE PLAN SUMMARY- LOT COVERAGE

TOTAL LOT AREA	8,075 SF		100.0%
EXISTING LOT COVERAGE	2,142 SF		26.5%
---FOOTPRINT OF EXISTING HOUSE		1,216 SF	15.1%
---EXISTING FRONT PORCH		149 SF	1.8%
---EXISTING SIDE EXTENSION		106 SF	1.3%
---EXISTING SCREEN & STOOP		114 SF	1.4%
---EXISTING OUTBUILDINGS		497 SF	6.2%

PROPOSED INCREASE	0 SF		0.0%
---REAR DORMER ADDITION		0 SF	0.0%

PROPOSED LOT COVERAGE	2,142 SF		26.5%
MAX. LOT COVERAGE ALLOWABLE	2,826 SF		35.0%

### BUILDING FLOOR AREA - STORIES

LEVEL	EX. AREA	ALTERED AREA	NEW AREA	TOTAL AREA
BASEMENT	1,468 SF	0 SF	0 SF	1,468 SF
FIRST	1,538 SF	33 SF	0 SF	1,538 SF
SECOND	635 SF	149	259 SF	894 SF
TOTALS	3,641 SF	222 SF	259 SF	3,900 SF

### BUILDING HEIGHT

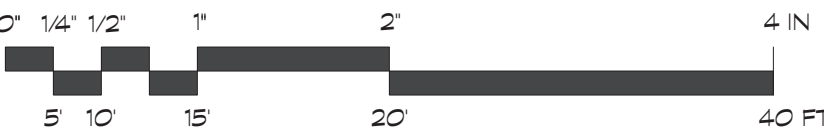
	EXISTING	ADDITION
RIDGE	26'-2"	26'-2"
MEAN	21'-2 1/2"	21'-2 1/2"
EAVE	16'-3"	16'-3"

\*\*\*VARIANCE GRANTED DECEMBER 11, 2024  
CASE NUMBER A-6896. SEE SUPPORTING DOCUMENTS

SITE PLAN BASED ON BOUNDARY SURVEY BY LAND DESIGN PROS, DECEMBER 26, 2023, AND FIELD OBSERVATIONS BY BENNETT FRANK MCCARTHY ARCHITECTS, INC.

LOT 17, BLOCK 17  
PLAT # 145  
PLAT BK: 2  
TAKOMA PARK  
MONTGOMERY COUNTY, MD  
SUBDIVISION: PINECREST  
ZONE: R-40

ZONING SITE PLAN LEGEND	
WOOD FENCE	----
SETBACK LINE	- - - - -
PROPERTY LINE	— · — · —
EXISTING FOOTPRINT	□
FIRST FLOOR ADDITION	▨
SECOND FLOOR ADDITION	▩



## SYMBOLS

1 CENTERLINE

1 DOOR TAG: DOOR REFERENCE (SEE DOOR SCHEDULE)

1 WINDOW TAG: WINDOW REFERENCE (SEE WINDOW SCHEDULE)

1 WALL TAG: WALL TYPE REFERENCE (SEE WALL / PARTITION TYPES)

DRAWING CALL-OUT: DRAWING NUMBER SHEET REFERENCE

ELEVATION CALL-OUT: DRAWING NUMBER SHEET REFERENCE

ELEVATION CALL-OUT: VIEW DIRECTION DRAWING NUMBER SHEET REFERENCE

### ELEVATION MARKER:

XXX-XX X"X" BENCHMARK  
SPOT LOCATION  
ELEVATION REFERENCE

### SECTION CUT CALL-OUT:

DRAWING REFERENCE SECTION CUT LOCATION  
SHEET REFERENCE DIRECTION OF VIEW

## ABBREVIATIONS

AND	COND	CONDITION	ELEC	ELECTRICAL	LBW	LOAD BEARING WALL	OSB	ORIENTED STRAND BOARD	SPRK	SPRINKLER
AT	CONC	CONCRETE	EXP	EXPANSION	LVL	LAMINATED VENEER	PLAM	PLASTIC LAMINATE	STL	STEEL
ABOVE	CONT	CONTINUOUS	EQ	EQUAL	MARB	MARBLE	PLYWD	PLYWOOD	TBD	TO BE DETERMINED
FINISHED FLOOR	D	DRYER	ETR	EXISTING TO REMAIN	MATL	MATERIAL	PT	PRESSURE TREATED	TES	TONGUE AND GROOVE
APARTMENT	DI	DIAPHETER	EX	EXISTING	MAX	MAXIMUM	PTD	PAINTED	TOS	TOP OF SLAB
BUILDING	DN	DIRECTION	FF	FINISH FLOOR	MDO	MEDIUM DENSITY	R	RISER	TYP	TYPICAL
BASEMENT	DR	DOWN	FIN	FLOOR FINISH	OVERLAY		REF	REFRIGERATOR	UNO	UNLESS NOTED OTHERWISE
CONTROL JOINT	GA	GAUGE	FLR	FLOOR	MIN	MINIMUM	RO	ROUGH OPENING	VIF	VERIFY IN FIELD
CABINET	MANU	MANUFACTURER	GBS	GYPSSUM WALL BOARD	MTL	METAL	RQD	REQUIRED	W	WASHER
CENTER LINE	HOSE	HOSE BIB	HC	HOLLOW CORE	MECH	MECHANICAL	RM	ROOM	W/	WITH
CEILING	HT	HEIGHT	DW	DISHWASHER	NC	NOT IN CONTRACT	SC	SOLID CORE	WC	WATER CLOSET
CLEAR	HDWR	HARDWARE	DWG	DRAWING	NTS	NOT TO SCALE	SHT	SHEET	WD	WOOD
CONCRETE	HDWR	HARDWARE	EIFS	EXTERIOR INSULATION FINISHING SYSTEM	OB	ON CENTER	SHWR	SHOWER	W/O	WITHOUT
MASONRY UNIT	EL	ELEVATION	CMU	CONCRETE MASONRY UNIT	OH	OPPOSITE HAND	SH	SIMILAR	W/W	WELDED WIRE MESH

# BENNETT FRANK MCCARTHY

architects, inc.

1400 Spring Street, Suite 320, Silver Spring, Maryland 20910-2755  
(301) 585-2222 www.bfmarch.com fax (301) 585-8917

## OWNER

Jeffrey Hopkins & Rebecca Smith  
51 Walnut Ave.  
Takoma Park, MD 20912 (xxx) xxx-xxxx

## STRUCTURAL ENGINEER

Robert Wixson, APAC Engineering, Inc  
8555 16th St, Suite 200  
Silver Spring, MD 20910 (301) 565-0543

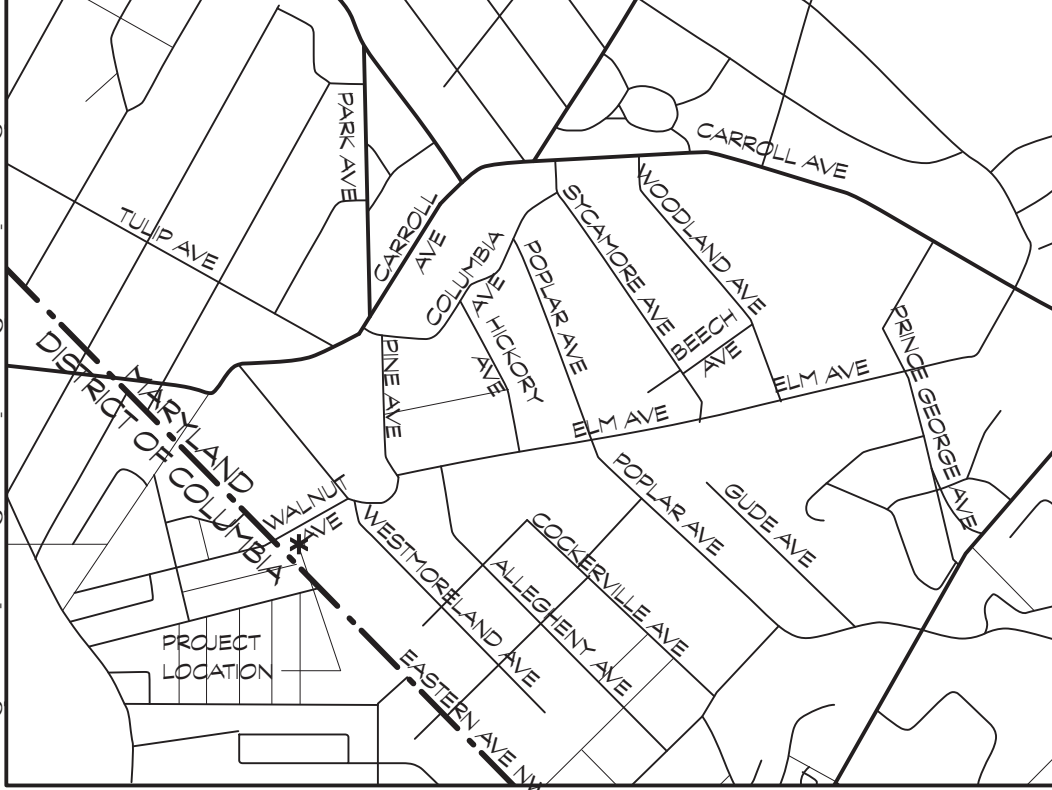
## MECHANICAL CONSULTANT

Gallant Mechanical  
13001 Cleveland Drive  
Rockville, Maryland 20850 (240) 750-4988

## DRAWING LIST

REV.	SHEET	TITLE
0000	COVER SHEET	
D100	DEMOLITION FIRST & SECOND FLOOR PLANS	
A100	EXISTING FIRST FLOOR PLAN & SCHEDULES	
A101	SECOND FLOOR PLAN	
A200	ELEVATIONS	
A201	ELEVATIONS	
A300	BUILDING SECTIONS	
A400	INTERIOR ELEVATIONS	
S100	SECOND FLOOR FRAMING PLAN	
S101	ROOF FRAMING PLAN	
S200	WIND BRACING PLAN	
S201	STRUCTURAL NOTES & DETAILS	
M100	MECHANICAL PLAN	
E100	ELECTRICAL PLAN	

## VICINITY MAP



DATE	ISSUE
3/20/25	PERMIT SET
8/29/25	REVISION

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## CERTIFICATION

I CERTIFY THAT THESE CONTRACT DOCUMENTS WERE PREPARED UNDER MY SUPERVISION OR APPROVED BY ME AND AM A DULY LICENSED REGISTERED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE #: 7632A

EXPIRATION DATE: 5-21-2025



#2361



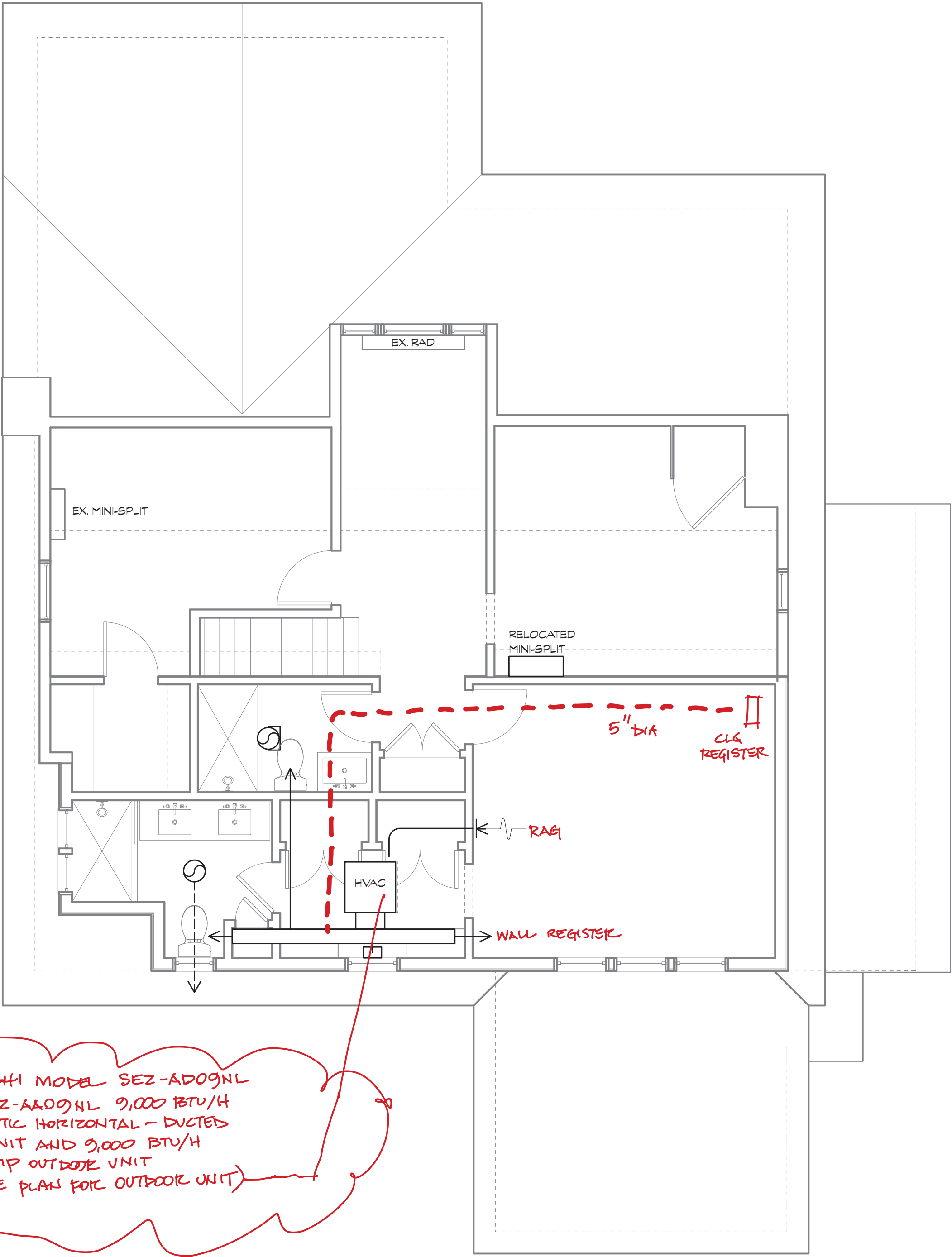
SPECIFICATIONS (CONTINUED FROM A100)

DIVISION 15: PLUMBING / MECHANICAL

- 15.1.1 Plumbing: Contractor shall install complete domestic hot and cold distribution and sanitary waste and vent system to new fixtures in accordance with all applicable codes, standards, and manufacturer's specifications. Owner shall supply materials. Water and waste lines to be tied into existing house system. Existing house waste to be modified as required by new construction. Condition and capacity of existing supply and drainage piping should be reviewed with recommendations for replacement/repair as necessary. All piping in finished areas shall be run in concealed spaces. Neither supply nor waste piping shall be installed anywhere it would limit headroom below 6'-8", without the expressed approval of the Owner.
- 15.1.2 Supply Piping: Hot and cold supply piping shall be cpvc. Supply piping shall be insulated with min. R3, continuous foam pipe jacket insulation. Shut-off valves shall be provided at all fixtures. All exposed piping, couplings, valves and accessories shall be chrome plated unless noted otherwise. Water hammer arrestors shall be provided at all valved appliances such as dishwashers and washing machines.
- 15.1.3 Sanitary lines and vent pipes shall be PVC (UNO). Primary (≥3 inch dia.) horizontal waste lines and stacks above and adjacent to primary common areas (DR/LR/FR) shall be cast iron for sound dampening. See Division 10 for acoustic accessories.
- 15.1.4 Galvanized Piping: all existing galvanized piping and fittings that are exposed in the course of construction, or readily accessible with modest effort, shall be removed and replaced.
- 15.1.5 Pipe penetrations through partitions should not make rigid contact with framing or gypsum board. Provide resilient sealant around the perimeter opening where pipe passes through.
- 15.1.6 Hot Water Heater: Existing to remain
- 15.1.7 Primary and Hall bath fixtures (basins and faucets, toilet, shower head and controls, tub and controls): Owner to supply, Contractor to install.
- 15.2 Mechanical
- 15.2.1 Existing gas-fired boiler and associated whole-house hydronic radiant system to remain and be reconfigured as required to accommodate new layout in kitchen, sunroom and hall bathroom. Extend system as required to provide adequate heat in all remodeled spaces. Size new radiator(s) as necessary to meet heating demands for designated spaces based on insulation values, perimeter exposure and orientation. Provide Runtal or salvaged cast iron radiators.
- 15.2.2 Energy load calculations: HVAC subcontractor shall be responsible to provide any and all energy calculations (Manual J, S and D as applicable) required to properly size/design the system and obtain permits.
- 15.2.3 Performance: Entire installation shall conform to all local applicable codes and manufacturer's specifications including but not limited to:
- Current adopted version and modifications of ICC IRC
  - Latest SMACNA recommendation.
- 15.2.4 Equipment to be installed in strict conformance with manufacturer's instructions.
- 15.2.5 Bedroom #3 Mini-Split: relocate existing wall hung unit.
- 15.2.6 Primary Bedroom Suite: ducted Daikin FDMQ12WVJU9 Indoor 12,000 BTU unit mounted above walk-in closet ceiling with compatibly sized condensing unit.
- 15.2.1 Thermostat: Daikin model BRC1E73, hardwired.
- 15.3 Exhaust Fans: All exhaust fans and intakes shall have weatherized auto gravity dampers. All vents run through unconditioned space shall be insulated to min R5.
- 15.3.1 Bath exhaust: Owner to supply, Contractor to install. Contractor shall be responsible for ducting through exterior wall and wiring as required. Provide Lutron Maestro timer switch per Division 16: Electrical.



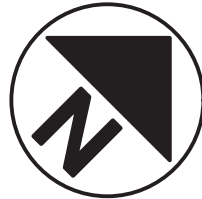
APPROVED  
Department of Permitting Services  
Permit # **BUILDING-1072107**  
Date **4/15/2025**  
Stamped By: Ivette Archibald



1 SECOND FLOOR MECHANICAL PLAN  
Scale: 1/4" = 1'-0"

MECHANICAL PLANS NOT REVIEWED FOR CODE COMPLIANCE

REVISION



**BENNETT FRANK MCCARTHY**  
**architects, inc.**

1400 Spring Street, Suite 320, Silver Spring, Maryland 20910-2755  
(301) 585-2222      www.bfmarch.com      fax (301) 585-8917

DATE	ISSUE - REMARKS

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LICENSE #: 7632A      EXPIRATION DATE: 5-21-2025

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MECHANICAL CONSULTANT

Ron Gallant, Gallant Mechanical  
13001 Cleveland Drive  
Rockville, Maryland 20850      (240) 750-4988

HOPKINS-SMITH ADDITION

51 Walnut Ave, Takoma Park, MD 20912

Project # 2361

29 August 2025 REVISION  
20 MARCH 2025 - PERMIT SET

MECHANICAL /  
PLUMBING

MP100











**Existing Property Condition Photographs** (duplicate as needed)



Detail: 51 WALNUT AVE. FRONT



Detail: 51 WALNUT AVE. NORTH-EAST CORNER



**Existing Property Condition Photographs (duplicate as needed)**



Detail: 51 WALNUT AVE. NORTH-WESTERN CORNER



Detail: 51 WALNUT AVE. WESTERN SIDE



**Existing Property Condition Photographs** (duplicate as needed)



Detail: 51 WALNUT AVE. REAR

---



Detail: 51 WALNUT AVE. SOUTH-EASTERN CORNER

---



**Existing Property Condition Photographs (duplicate as needed)**



Detail: 51 WALNUT AVE. GARAGE SOUTH-WEST CORNER



Detail: 51 WALNUT AVE. GARAGE



DEPARTMENT OF PERMITTING SERVICES

Marc Elrich  
County Executive

Rabbiah Sabbakhan  
Director

BUILDING PERMIT

Issue Date: 08/29/2024

Permit No: 1072107  
AP Type: BUILDING  
Expires: 03/01/2026  
X Ref.:  
Rev. No:  
ID: 1493640

THIS IS TO CERTIFY THAT: Jeffrey Hopkins and Rebecca Smith  
51 Walnut Avenue  
TAKOMA PARK, MD 20912

**EXTENDED**

HAS PERMISSION TO: ADD SINGLE FAMILY DWELLING

PERMIT CONDITIONS: **Revision 1 - REVISION APPROVED 4/14/2025 2nd floor addition-444 sf; additional altered-189sf, 1st & 2nd floors. See HAWP 109889, BOA Variance., Customer Wants To Use ePlans**

**New scope of work is add rear screen porch. Interior renovations**  
**PORCH- 174**  
**STAIRWAY- 41**

MODEL NAME:

PREMISE ADDRESS: 51 WALNUT AVE, TAKOMA PARK, MD 20912

LOT - BLOCK: 17 - 17

ZONE: R-60

ELECTION DISTRICT: 13

BOND NO.:

BOND TYPE:

PS NUMBER:

PERMIT FEE: \$ 719.68

SUBDIVISION: TAKOMA PARK

The permit fee is calculated based on the approved Executive Regulations multiplied by the Enterprise Fund Stabilization Factor for the current fiscal year.

TRANSPORTATION IMPACT TAX DUE:

SCHOOLS IMPACT TAX DUE:

UTILIZATION PREMIUM PAYMENT DUE:

Impact taxes must be paid before a final inspection of your project can be performed. Impact tax rates are subject to change. The rate of the tax or Payment due is the rate in effect when the tax or Payment is paid.

**MUST BE KEPT AT JOB SITE**

**AN APPROVED FINAL INSPECTION IS REQUIRED PRIOR TO USE OR OCCUPANCY**

*Every* new one- or two-family dwelling, *every townhouse* and any *attached accessory structure* must be equipped with a *fire sprinkler system*. A separate sprinkler permit is required for the installation of the fire sprinkler system.

Many subdivisions and neighborhoods within Montgomery County have private deed restrictions and covenants regulating building construction. Obtaining a building permit does not relieve the property owner of responsibility for complying with applicable covenants.



NOTICE

THIS APPROVAL DOES NOT  
INCLUDE PLUMBING, GAS PIPING  
OR ELECTRICAL OR  
CONSTRUCTION IN ANY  
DEDICATED RIGHT-OF-WAY.

NOTE

THIS PERMIT DOES NOT INCLUDE  
APPROVAL FOR ANY ELECTRICAL  
WORK. YOU MUST HAVE A SEPARATE  
ELECTRICAL PERMIT TO DO ANY  
ELECTRICAL WORK.

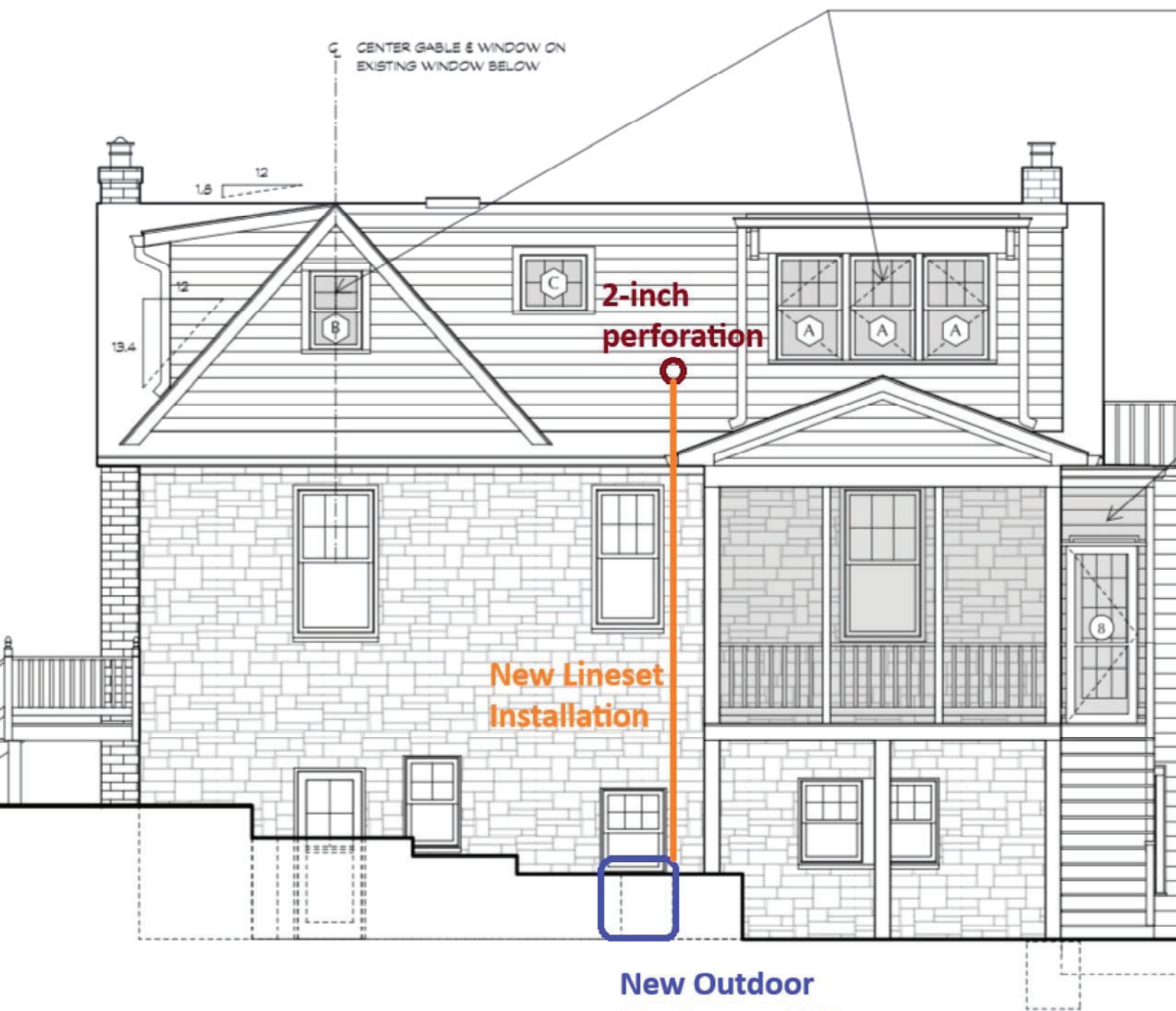


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Director, Department of Permitting Services

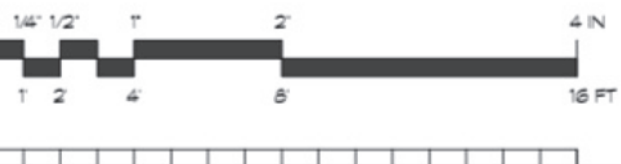
**Install one new 9,000 BTU mini-split heat pump unit. A 2-inch hole will be cored at the top right corner of the house to accommodate the Lineset installation. The Lineset will be routed along the exterior façade of the residence and extended to the outdoor condenser unit.**





### 3 PROPOSED REAR ELEVATION

Scale: 1/4" = 1'-0"



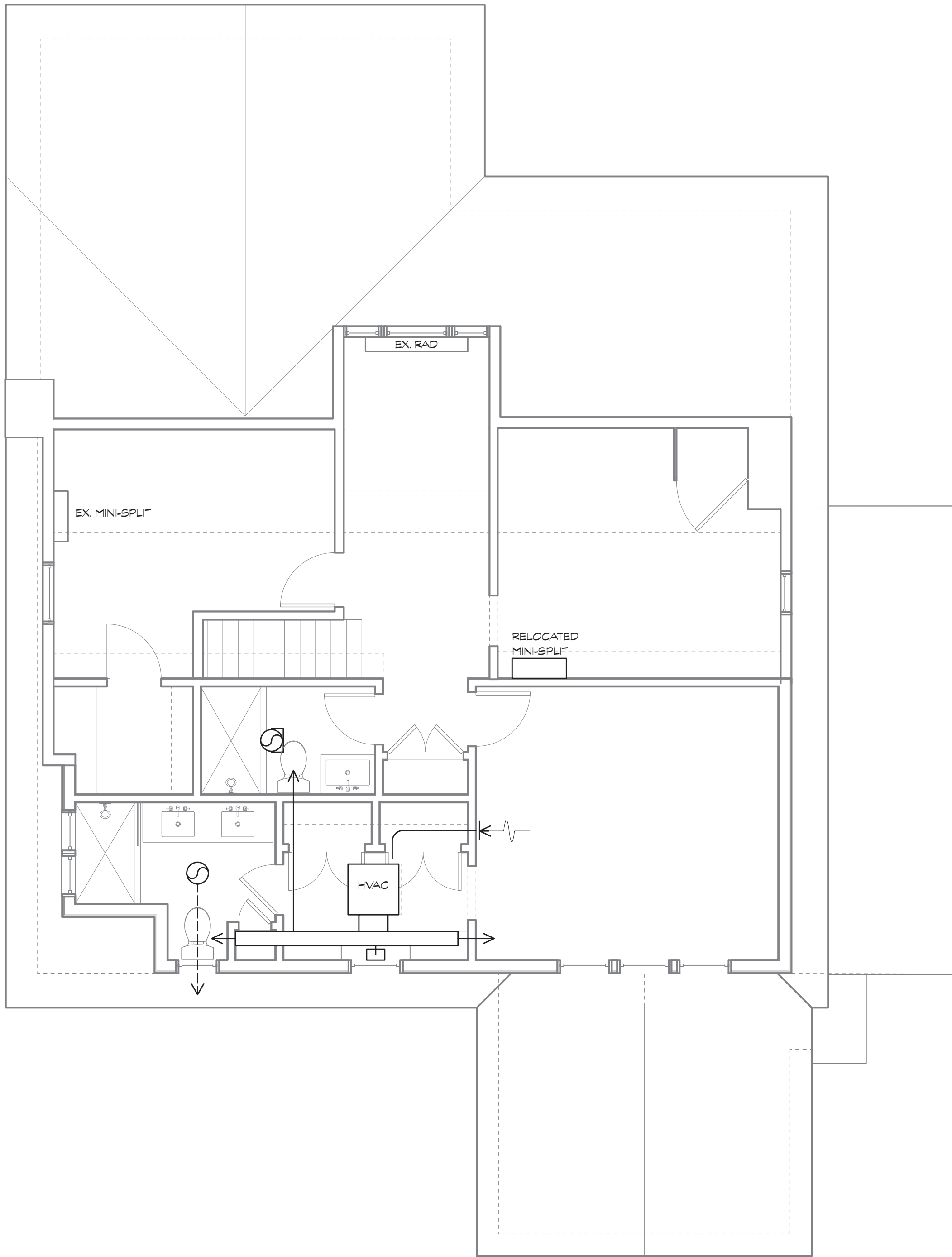
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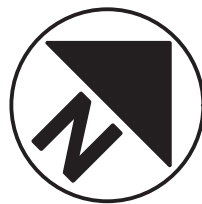
APPROVED  
Department of Permitting Services  
Permit # **BUILDING-1072107**  
Date **4/15/2025**  
Stamped By: Ivette Archibald



1 SECOND FLOOR MECHANICAL PLAN  
Scale: 1/4" = 1'-0"

APPROVED  
Montgomery County  
Historic Preservation Commission  
*Karen Benoit*

REVIEWED  
By Dan Bruechert at 1:53 pm, Mar 26, 2025



**BENNETT FRANK MCCARTHY**  
**architects, inc.**  
1400 Spring Street, Suite 320, Silver Spring, Maryland 20910-2755  
(301) 585-2222      www.bfmarch.com      fax (301) 585-8917

DATE	ISSUE - REMARKS

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UNDER THE LAWS OF THE  
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LICENSE #: 15218      EXPIRATION DATE: 10-31-2025

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MECHANICAL CONSULTANT  
Ron Gallant, Gallant Mechanical  
13001 Cleveland Drive  
Rockville, Maryland 20850      (240) 750-4988

HOPKINS-SMITH ADDITION  
51 Walnut Ave, Takoma Park, MD 20912  
Project # 2361

MECHANICAL /  
PLUMBING  
**MP100**

20 MARCH 2025 - PERMIT SET



## DESCRIPTION

IS REMODELING AND EXPANDING A 1 1/2 STORY WOOD FRAME BUNGALOW (W/ WALK-OUT BASEMENT). THE HOUSE IS PHA PARK HISTORIC DISTRICT AND IS CONSIDERED A CONTRIBUTING RESOURCE. THE PROPOSED ADDITION INCLUDES AN SECOND FLOOR WITH A NEW SHED DOORWAY ACROSS THE BACK. THE REMODELING SCOPE, PRIMARILY CONFINED TO THE MAIN RECONFIGURING THE SECOND BATHROOM AND PROVIDING A LAUNDRY CLOSET, AND ENCLOSING THE REAR STOOP WITH

## BENNETT FRANK MCCARTHY

architects, inc.

1400 Spring Street, Suite 320, Silver Spring, Maryland 20910-2755  
(301) 585-2222 www.bfmarch.com fax (301) 585-8917

### OWNER

Jeffrey Hopkins & Rebecca Smith  
51 Walnut Ave.  
Takoma Park, MD 20912 (xxx) xxx-xxxx

### STRUCTURAL ENGINEER

Robert Wixson, APAC Engineering, Inc  
8555 16th St. Suite 200  
Silver Spring, MD 20910 (301) 565-0543

### MECHANICAL CONSULTANT

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	0100	DEMOLITION FIRST & SECOND FLOOR PLANS
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### VICINITY MAP



DATE	ISSUE
3/20/25	PERMIT SET

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### CERTIFICATION

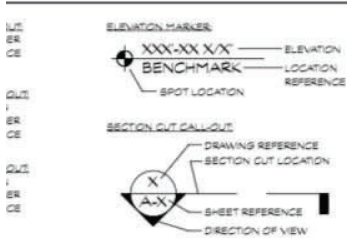
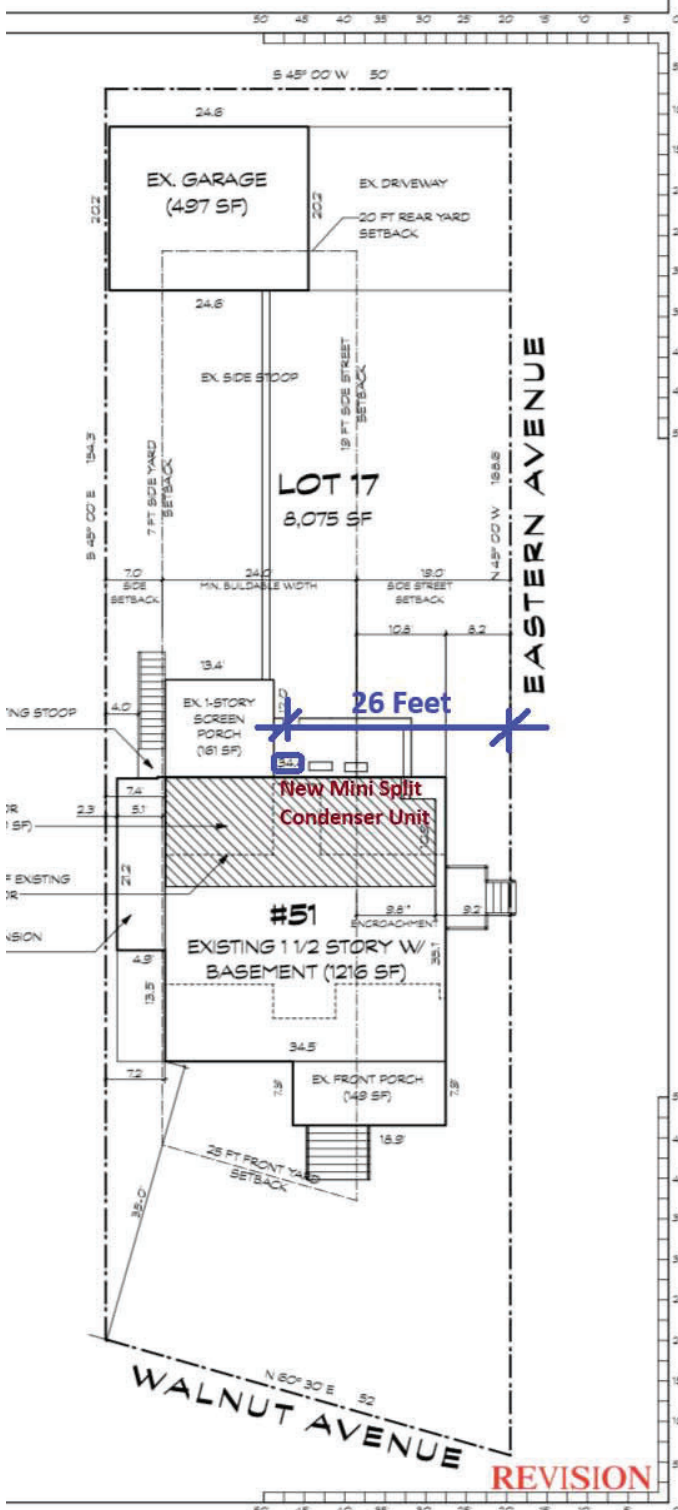
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LICENSE #: 7632A

EXPIRATION DATE: 5-21-2025



HOPKINS-SMITH  
#2361



### PROJECT DATA

JURISDICTION: MONTGOMERY COUNTY, MD  
BUILDING CODE: 2016 IRC & MONTGOMERY COUNTY AMENDMENTS  
BUILDING USE GROUP: SINGLE-FAMILY DETACHED  
CONSTRUCTION TYPE: SB - COMBUSTIBLE, UNPROTECTED  
FIRE SUPPRESSION SYSTEM: NA

SEZ-AD09NL & SUZ-AA09NL  
9,000 BTU/H LOW STATIC HORIZONTAL-DUCTED INDOOR UNIT  
9,000 BTU/H HEAT PUMP OUTDOOR UNIT



Job Name:

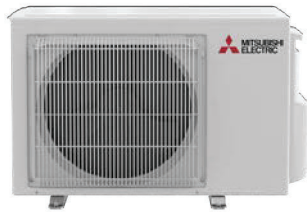
System Reference:

Date:



Indoor Unit.....SEZ-AD09NL

Outdoor Unit.....SUZ-AA09NL



#### INDOOR UNIT FEATURES

- Built-in condensate lift mechanism
- Concealed horizontal-ducted unit: Concealed horizontal-ducted unit for applications with short duct runs
- Multi-zone: A multi-zone unit provides the temperature management of multiple zones within a building.
- Multiple control options, including the comfort app for remote access, third-party interfaces, and both wired and wireless controllers
- Quiet operation: Quiet operation units are as quiet as a typical conversation, and most indoor units are whisper quiet.
- Ultra-thin body: 7-7/8" high

#### OUTDOOR UNIT FEATURES

- Blue Fin Coating: An anti-corrosion treatment applied to the aluminum fins of the heat exchanger of the outdoor unit to protect against corrosion caused by salt, sulfur, and other airborne contaminants, especially in coastal and industrial areas.
- High-performance grooved piping : High-performance grooved piping for increased heat exchange efficiency
- Hot-Start Technology: Hot-Start Technology ensures the fan only activates once the heat exchanger is warm, preventing cold air blasts during start-up.
- INVERTER-driven compressor: An inverter-driven compressor generates the precise capacity needed to maintain a temperature set point.
- Joint Lap DC Motor: Innovative Joint Lap DC Motor leads to high efficiency and reliability
- Outdoor unit directed power: The outdoor unit powers the indoor unit, and should a power outage occur, the system is automatically restarted when power returns
- Pulse Amplitude Modulation technology: Pulse Amplitude Modulation technology enhances energy efficiency by adjusting the power supply to optimize compressor performance, ensuring precise capacity control and reduced energy consumption.
- Quiet operation: Quiet operation units are as quiet as a typical conversation, and most indoor units are whisper quiet.
- Single-zone: One outdoor unit connects to one indoor unit to control the comfort in a single space.

# SPECIFICATIONS: SEZ-AD09NL & SUZ-AA09NL

Cooling at 95F <sup>1</sup>	Maximum Capacity	Btu/h	9,000
	Rated Capacity	Btu/h	9,000
	Minimum Capacity	Btu/h	2,400
	Maximum Power Input	W	760
	Rated Power Input	W	760
	Moisture Removal	Pints/h	1.7
	Sensible Heat Factor	-	0.8
	Power Factor [208V / 230V]	%	93 / 93
Heating at 47F <sup>2</sup>	Maximum Capacity	Btu/h	12,800
	Rated Capacity	Btu/h	12,000
	Minimum Capacity	Btu/h	4,600
	Maximum Power Input	W	1,270
	Rated Power Input	W	1,100
	Power Factor [208V / 230V]	%	96 / 96
Heating at 17F <sup>3</sup>	Maximum Capacity	Btu/h	7,900
	Rated Capacity	Btu/h	7,900
	Maximum Power Input	W	820
	Rated Power Input	W	820
Heating at 5F <sup>4</sup>	Maximum Capacity	Btu/h	6,400
	Maximum Power Input	W	750
Heating at -4F <sup>5</sup>	Maximum Capacity	Btu/h	5,300
Efficiency	SEER2		17.6
	EER2 <sup>1</sup>		11.8
	HSPF2 [IV]		10.6
	COP at 47°F <sup>2</sup>		3.1
	COP at 17°F at Maximum Capacity <sup>3</sup>		2.8
	COP at 5°F at Maximum Capacity <sup>4</sup>		2.5
	COP at -4°F at Maximum Capacity <sup>5</sup>		2.2
	ENERGY STAR® Certified		Yes
Electrical	Voltage, Phase, Frequency	V AC / V AC, ø, Hz	208 / 230, 1, 60
	Guaranteed Voltage Range	V AC	198 - 253
	Voltage: Indoor - Outdoor, S1-S2	V AC	208/230
	Voltage: Indoor - Outdoor, S2-S3	V DC	12-24
	Short-circuit Current Rating [SCCR]	kA	5
	Recommended Fuse/Breaker Size (Outdoor)	A	15
	Recommended Wire Size [Indoor - Outdoor]	AWG	14
	MCA	A	0.95
Indoor Unit	Fan Motor Output	W	96
	Airflow Rate at Cooling, Dry	CFM	194, 247, 317
	Airflow Rate at Heating, Dry	CFM	194, 247, 317
	Sound Pressure Level [Cooling]	dB (A)	23, 26, 30
	Sound Pressure Level [Heating]	dB (A)	23, 26, 30
	External Static Pressure	in.WG	0.02, 0.06, 0.14, 0.20
	Drain Pipe Size O.D.	inch [mm]	1-1/4 [32]
	Dual Barrier Coating on Heat Exchanger		No
	Unit Dimensions (W x D x H)	inch x inch x inch [mm x mm x mm]	31-1/8 x 27-9/16 x 7-7/8 [790 x 700 x 200]
	Package Dimensions (W x D x H)	inch x inch x inch [mm x mm x mm]	39-3/8 x 35-7/16 x 14-3/16 [1,000 x 900 x 360]
	Unit Weight	lbs [kg]	42 [19]
	Package Weight	lbs [kg]	62 [28]
	Fan Motor Type		DC Motor
IDU Operating Temp. Range	Cooling Intake Air Temp [Maximum / Minimum]	°FDB, °FWB / °FDB, °FWB	90, 73 / 66, 59
	Heating Intake Air Temp [Maximum / Minimum]	°FDB	83 / 50

## NOTES

<sup>1</sup>Cooling at 95°F (Indoor: 80°F DB, 67°F WB // Outdoor: 95°F DB, 75°F WB)

<sup>2</sup>Heating at 47°F (Indoor: 70°F DB, 60°F WB // Outdoor: 47°F DB, 43°F WB)

<sup>3</sup>Heating at 17°F (Indoor: 70°F DB, 60°F WB // Outdoor: 17°F DB, 15°F WB)

<sup>4</sup>Heating at 5°F (Indoor: 70°F DB, 60°F WB // Outdoor: 5°F DB, 4°F WB)

<sup>5</sup>Heating at -4°F (Indoor: 70°F DB, 60°F WB // Outdoor: -4°F DB, -5°F WB)

<sup>\*</sup> Indoor/Outdoor Unit Operating Temperature Range (Cooling Air Temp [Maximum / Minimum]):

• Applications should be restricted to comfort cooling only; equipment cooling applications are not recommended for low ambient temperature conditions.

<sup>\*\*</sup> Outdoor Unit Operating Temperature Range (Cooling Thermal Lock-out / Re-start Temperatures; Heating Thermal Lock-out / Re-start Temperatures):

• System cuts out in heating mode and automatically restarts at these temperatures.



# SPECIFICATIONS: SEZ-AD09NL & SUZ-AA09NL

Outdoor Unit	MCA	A	13
	MOCP	A	22
	Fan Motor Output	W	55
	Airflow Rate Cooling	CFM	1,229
	Airflow Rate Heating	CFM	1,172
	Defrost Method		Reverse Cycle
	Coating on Heat Exchanger (Bluefin, Sea Coast)		Yes
	Sound Pressure Level, Cooling <sup>1</sup>	dB (A)	48
	Sound Pressure Level, Heating <sup>2</sup>	dB (A)	50
	Compressor Type		Scroll
	Compressor Model		SRB092FQFMC
	Compressor Oil [Type // Charge]	Type // oz	RM68EH // 11.80
	External Finish Color		Munsell No.3Y 7.8/1.1
	Base Pan Heater		Not applicable
	Unit Dimensions (W x D x H)	inch x inch x inch [mm x mm x mm]	31-1/2 x 11-1/4 x 21-5/8 [800 x 285 x 550]
	Package Dimensions (W x D x H)	inch x inch x inch [mm x mm x mm]	37-1/16 x 15 x 24-13/16 [940 x 380 x 630]
	Unit Weight	lbs [kg]	81 [37]
	Package Weight	lbs [kg]	88.18 [40]
ODU Operating Temp. Range	Cooling Intake Air Temp [Maximum / Minimum*]	°FDB	115 / 14
	Cooling Thermal Lock-out / Re-start Temperatures**	°FDB	-1 / 3
	Heating Intake Air Temp [Maximum / Minimum]	°FDB, °FWB / °FDB, °FWB	75, 65 / -4, -5
	Heating Thermal Lock-out / Re-start Temperatures**	°FDB	-14 / -4
Refrigerant	Type		R454B
	Pre-Charged Refrigerant Amount	lbs	2
	Maximum Pre-Charged Piping Length	ft [m]	65 [20]
	Additional Refrigerant Charge Per Additional Piping Length	oz/ft	0
Piping	Gas Pipe Size O.D. [Flared]	inch [mm]	3/8 [9.52]
	Liquid Pipe Size O.D. [Flared]	inch [mm]	1/4 [6.35]
	Maximum Piping Length	ft [m]	65 [20]
	Maximum Height Difference	ft [m]	40 [12]
<b>NOTES</b> <sup>1</sup> Cooling at 95°F (Indoor: 80°F DB, 67°F WB // Outdoor: 95°F DB, 75°F WB) <sup>2</sup> Heating at 47°F (Indoor: 70°F DB, 60°F WB // Outdoor: 47°F DB, 43°F WB) <sup>3</sup> Heating at 17°F (Indoor: 70°F DB, 60°F WB // Outdoor: 17°F DB, 15°F WB) <sup>4</sup> Heating at 5°F (Indoor: 70°F DB, 60°F WB // Outdoor: 5°F DB, 4°F WB) <sup>5</sup> Heating at -4°F (Indoor: 70°F DB, 60°F WB // Outdoor: -4°F DB, -5°F WB) * Indoor/Outdoor Unit Operating Temperature Range (Cooling Air Temp [Maximum / Minimum]): • Applications should be restricted to comfort cooling only; equipment cooling applications are not recommended for low ambient temperature conditions. ** Outdoor Unit Operating Temperature Range (Cooling Thermal Lock-out / Re-start Temperatures; Heating Thermal Lock-out / Re-start Temperatures): • System cuts out in heating mode and automatically restarts at these temperatures.			

# INDOOR UNIT ACCESSORIES: SEZ-AD09NL

Wired Remote Controller	Deluxe Wired MA Remote Controller	PAR-42MAAUB
	Simple Direct Wired Remote Controller	PAC-SDW01RC-1
	Simple MA Remote Controller <sup>1</sup>	PAC-YT53CRAU-J
	Touch MA Wired Remote Controller <sup>1</sup>	PAR-CT01MAU-SB
Control Interface	Airzone Wired Blueface Controller Black	AZZBSBLUEZEROCN
	Airzone Wired Blueface Controller White	AZZBSBLUEZEROCB
	Airzone Wired Lite Controller Black	AZZBSLITECN
	Airzone Wired Lite Controller White	AZZBSLITECB
	Airzone Wireless Lite Controller Black	AZZBSLITERN
	Airzone Wireless Lite Controller White	AZZBSLITERB
	Airzone Wireless Think Controller Black	AZZBSTHINKRN
	Airzone Wireless Think Controller White	AZZBSTHINKRB
	IT Extender for kumo station	PAC-WHS01IE-E
	kumo station for the Comfort app	PAC-WHS01HC-E
	Operation and Error Status Output Adapter <sup>1</sup>	PAC-SF40RM-E
	Thermostat Interface for 3rd Party Thermostats	PAC-US445CN-1
	Wireless Interface Adapter for the Comfort app	PAC-USWHS002-WF-2
Wireless Remote Controller	Lockdown Bracket for Wireless Handheld Remote Controllers	RCMKP1CB
	RedLINK Wireless Remote Controller	MHK2
	Universal Wireless Receiver for PAR-FL32MA-E	PAR-FA32MA-W
	Wireless Signal Receiver	PAR-SA9CA-E
Control Wire	202PR 1PR shielded 1PR plenum wire for Airzone 100 ft reel	CW2042S2-100
	202PR shielded 1PR plenum wire for Airzone 500 ft reel	CW2042S2-500
Condensate	Blue Diamond Advanced Mini Condensate Pump w Reservoir Sensor 208230V recommended	X87-721
	Blue Diamond MaxiBlue Advanced Mini Condensate Pump w Reservoir Sensor 110V up to 48000 BTUH recommended	X87-711
	Blue Diamond MegaBlue Advanced Condensate Pump w Reservoir Sensor	X87-835
	Blue Diamond MicroBlue Mini Condensate Pump 110208230V up to 18000 BTUH	X86-003
	Blue Diamond MultiTank collection tank for use with multiple pumps	C21-014
	Blue Diamond Sensor Extension Cable 15 Ft	C13-103
	Refco Condensate Pump 100-240 VAC up to 120000 BTUH	COMBI
	Sauermann Condensate Pump	SI30-230
Remote Sensor	Flush Mount Remote Temperature Sensor for SEZ SLZ SVZ and all P-Series models	PAC-USSEN002-FM-1
	Wall Mount Remote Temperature Sensor	PAC-SE41TS-E
	Wireless temperature and humidity sensor for the Comfort app	PAC-USWHS003-TH-1
Power Supplies & Auxiliary Components	3-Pin Wiring Harness	PAC-715AD
	5-Pin Wiring Harness	PAC-725AD
Disconnect Switch	30A600VUL fits 2 X 4 utility box - Black	TAZ-MS303
	30A600VUL fits 2 X 4 utility box - White	TAZ-MS303W
Filter Box	Filter Box with MERV 8 Filter	FBL1-1
Power Supplies and Auxiliary Components	Backup Heat Relay Kit Adapter for CN24 or CN152 Connector	CN24RELAY-KIT-CM3
Lineset	15 x 1/4 x 15 3/8 Lineset Twin-Tube Insulation	MLS143812T-15
	30 x 1/4 x 30 3/8 Lineset Twin-Tube Insulation	MLS143812T-30
	50 x 1/4 x 50 3/8 Lineset Twin-Tube Insulation	MLS143812T-50
	65 x 1/4 x 65 3/8 Lineset Twin-Tube Insulation	MLS143812T-65
NOTES <sup>1</sup> Requires MAC-334IF-E Interface to connect MA controller <sup>1</sup> Unable to use with Wireless Handheld Remote Controller <sup>1</sup> Requires MAC-334IF-E Interface to connect MA controller		

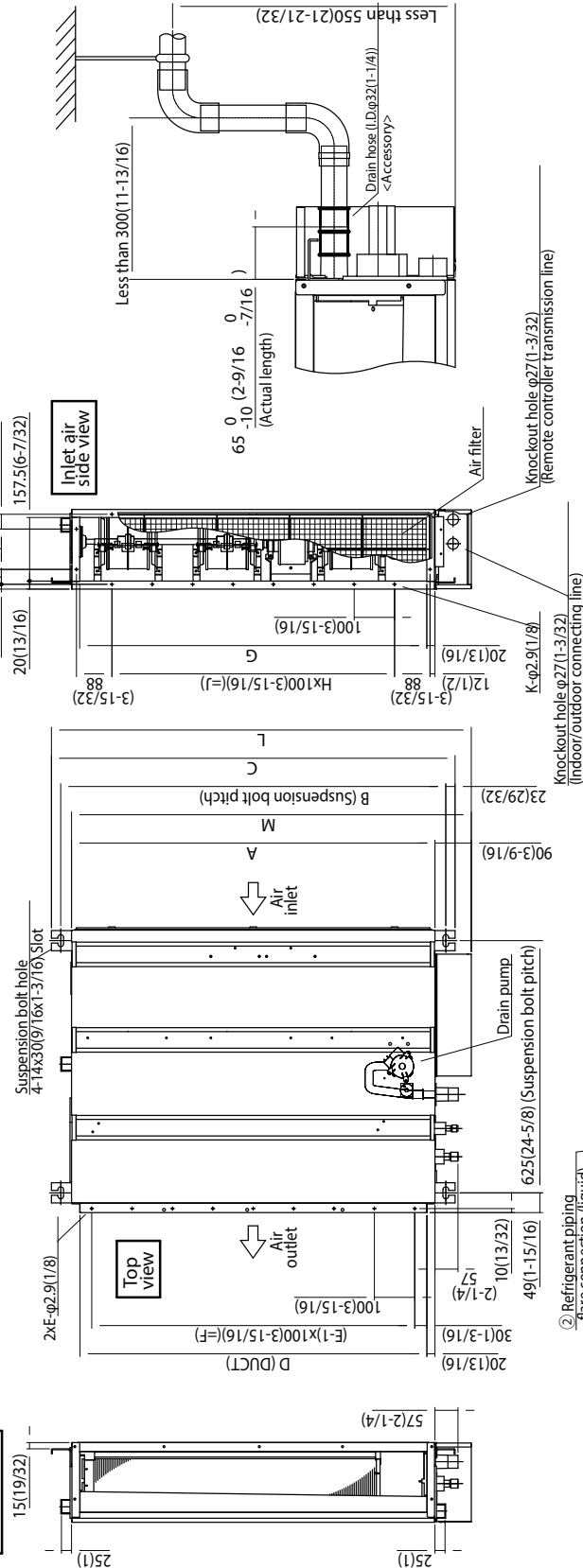
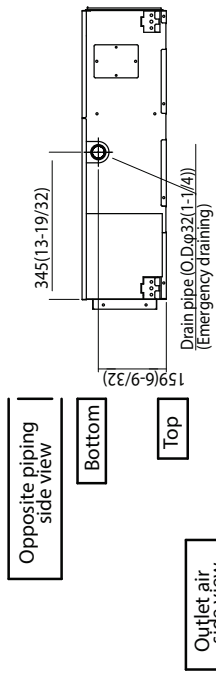
## OUTDOOR UNIT ACCESSORIES: SUZ-AA09NL

Centralized Drain Pan	Centralized Drain Pan	PAC-SG63DP-E
Stand	18 Single Fan Stand	QSMS1801M
	24 Single Fan Stand	QSMS2401M
	Condenser Wall Bracket - Stainless Steel Finish	QSWBSS
	Condenser Wall Bracket	QSWB2000M-1
	Outdoor Unit 3-14 inch Mounting Base Pair - Plastic	DSD-400P
	Outdoor Unit Stand 12 High	QSMS1201M
Muffler	Muffler	MAC-001MF-E
Optional Defrost Heater	Base Heater	MAC-640BH-U
	Base Heater	MAC-650BH-U
Drain Socket	Drain Socket	MAC-871DS
Air Outlet Guide	Air Outlet Guide	MAC-881SG-E
Mini-Split Wire	14 Gauge 4 wire Armored MiniSplit Cable250 ft roll	SW144-250
	14 Gauge 4 wire Armored MiniSplit Cable50 ft roll	SW144-50
	14 Gauge 4 wire MiniSplit Cable250 ft roll	S144-250
	14 Gauge 4 wire MiniSplit Cable50 ft roll	S144-50
Control/Service Tool	M- & P-Series Maintenance Tool Cable Set	M21EC0397
	Maintenance Tool Interface	PAC-USCMS-MN-1
Snow/Rain Diverter	SnowRain Diverter	SRD-1
Mounting Pad	Condensing Unit Mounting Pad 16 x 36 x 3	ULTRILITE1
Hail Guards	Hail Guard	HG-B4
NOTES		

## INDOOR UNIT DIMENSIONS: SEZ-AD09NL


Model	A	B	C	D	E	F	G	H	J	K	L	M	① Gas pipe	② Liquid pipe
SEZ-AD09NL	700 (27-9/16)	752 (29-9/8)	798 (31-7/16)	660 (26)	660 (25-9/8)	7 (3-5/8)	660 (26)	5 (19-11/16)	500 (19-11/16)	16 (33-11/16)	839 (33-11/16)	790 (31-11/8)	ø9.52 (3/8)	
SEZ-AD12NL	900 (35-7/16)	952 (37-1/2)	998 (39-5/16)	860 (33-7/8)	9 (31-1/2)	800 (31-1/2)	860 (33-7/8)	7 (27-9/16)	700 (27-9/16)	20 (40-29/32)	1039 (40-29/32)	990 (39)	ø12.7 (1/2)	ø6.35 (1/4)
SEZ-AD15NL	1100 (43-5/16)	1152 (45-3/8)	1198 (47-3/16)	1060 (41-3/4)	11 (39-3/8)	1000 (41-3/4)	1060 (41-3/4)	9 (35-7/16)	900 (35-7/16)	24 (48-25/32)	1239 (48-25/32)	1190 (46-7/8)	ø12.7 (1/2)	ø6.35 (1/4)

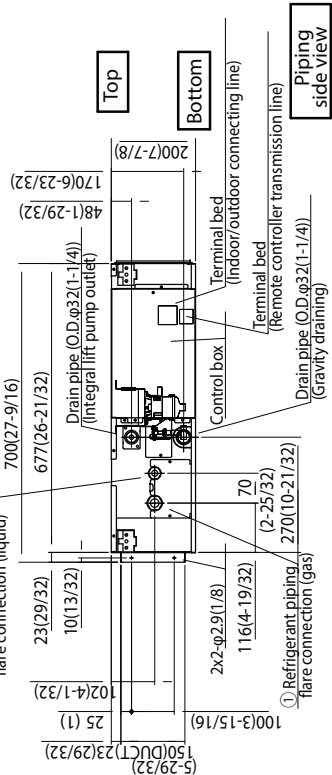
Unit:mm(in.)



Note 1. Use M10 screw for the suspension bolt (field supply).  
2. Keep the service space for the maintenance at the bottom.  
3. This chart indicates for SEZ-AD15NL model, which have 3 fans.  
SEZ-AD09~12NL models have 2 fans.  
SEZ-AD18NL model have 4 fans.  
4. In case of the inlet duct is used, remove the air filter (supply with the unit), then install the filter (field supply) at suction side.

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	作成日付 ISSUED	改定日付 REVISED	TITLE
DIMENSIONS ARE IN MILLIMETERS		2024-06-13	EXTERNAL DIMENSION SEZAD09*12*15*18NL
DO NOT SCALE 只尺 SCALE		DWG NO W KB94C7QH	REV. PAGE 1/2

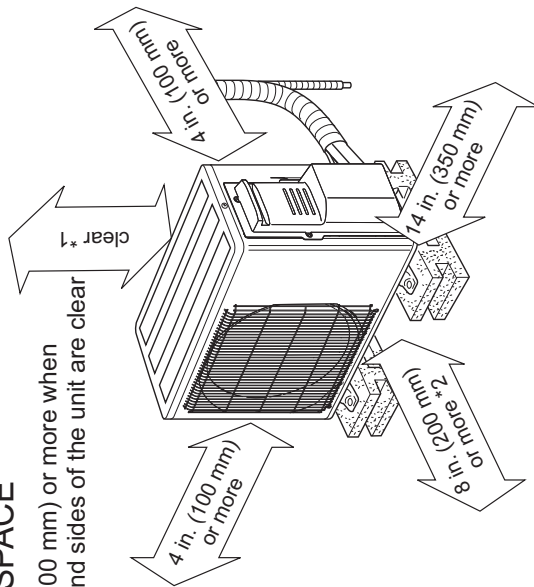




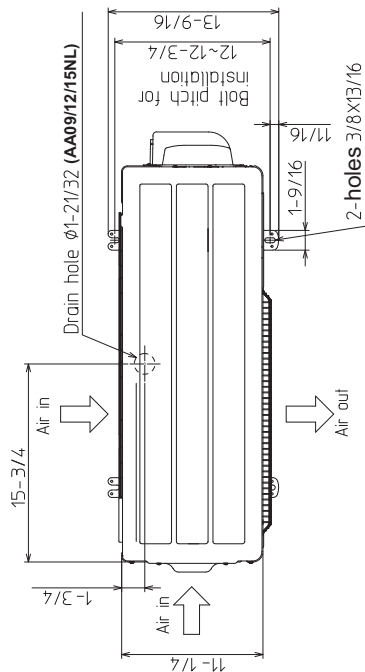
# OUTDOOR UNIT DIMENSIONS: SUZ-AA09NL

## REQUIRED SPACE

\*1 4 in. (100 mm) or more when front and sides of the unit are clear

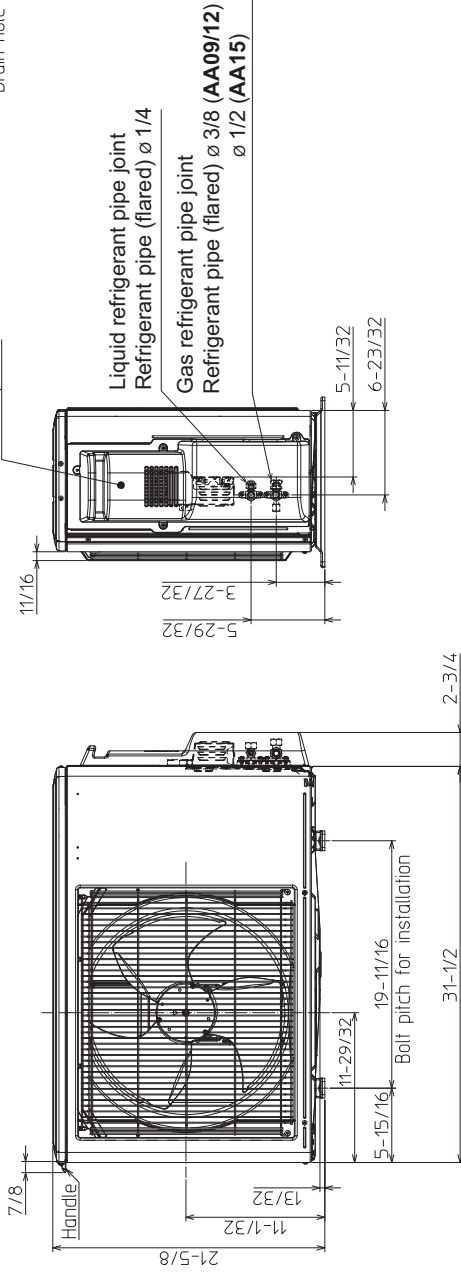


\*2 When any 2 sides of left, right and rear of the unit are clear



Drain hole  $\phi$ 1-5/16 (KA09/12/15NAH)

Service panel



1340 Satellite Boulevard Suwanee, GA 30024  
Toll Free: 800-433-4822 <https://mitsubishicomfort.com>

# SEZ-AD09NL

## 8,100 BTU/H LOW STATIC HORIZONTAL-DUCTED INDOOR UNIT



Job Name:

System Reference:

Date:



### GENERAL FEATURES

- Built-in condensate lift mechanism
- Concealed horizontal-ducted unit: Concealed horizontal-ducted unit for applications with short duct runs
- Multi-zone: A multi-zone unit provides the temperature management of multiple zones within a building.
- Multiple control options, including the comfort app for remote access, third-party interfaces, and both wired and wireless controllers
- Quiet operation: Quiet operation units are as quiet as a typical conversation, and most indoor units are whisper quiet.
- Ultra-thin body: 7-7/8" high

Specifications			System
Unit Type			SEZ-AD09NL
Cooling Capacity (Nominal) <sup>1,3</sup>	Cooling Capacity (Nominal)	Btu/h	8,100
Heating Capacity (Nominal) <sup>2,3</sup>	Heating Capacity (Nominal)	Btu/h	10,900
Electrical	Voltage, Phase, Frequency	V AC / V AC, ø, Hz	208 / 230, 1, 60
	Voltage: Indoor - Outdoor, S1-S2	V AC	208/230
	Voltage: Indoor - Outdoor, S2-S3	V DC	12-24
	MOC	A	15
Indoor Unit	Fan Motor Type		DC Motor
	Fan Motor Output	W	96
	Airflow Rate at Cooling, Dry	CFM	194, 247, 317
	Airflow Rate at Heating, Dry	CFM	194, 247, 317
	Sound Pressure Level [Cooling]	dB (A)	23, 26, 30
	Sound Pressure Level [Heating]	dB (A)	23, 26, 30
	External Static Pressure	in.WG	0.02, 0.06, 0.14, 0.20
	DBC on HEX (Yes or No)		No
	Unit Dimensions (W x D x H)	inch x inch x inch [mm x mm x mm]	31-1/8 x 27-9/16 x 7-7/8 [790 x 700 x 200]
	Package Dimensions (W x D x H)	inch x inch x inch [mm x mm x mm]	39-3/8 x 35-7/16 x 14-3/16 [1,000 x 900 x 360]
Refrigerant	Unit Weight	lbs [kg]	42 [19]
	Package Weight	lbs [kg]	62 [28]
Piping	Liquid Pipe Size O.D.	inch [mm]	1/4 [6.35]
	Gas Pipe Size O.D.	inch [mm]	3/8 [9.52]
Drain Pipe	Drain Pipe Size O.D.	inch [mm]	1-1/4 [32]
NOTES			
<sup>1</sup> Cooling at 95°F (Indoor: 80°F DB, 67°F WB // Outdoor: 95°F DB, 75°F WB)			
<sup>2</sup> Heating at 47°F (Indoor: 70°F DB, 60°F WB // Outdoor: 47°F DB, 43°F WB)			
<sup>3</sup> Nominal capacity only. Actual capacity output varies based on the system-specific configuration.			

## INDOOR UNIT ACCESSORIES: SEZ-AD09NL

Condensate	Blue Diamond Advanced Mini Condensate Pump w Reservoir Sensor 208230V recommended	X87-721
	Blue Diamond MaxiBlue Advanced Mini Condensate Pump w Reservoir Sensor 110V up to 48000 BTUH recommended	X87-711
	Blue Diamond MegaBlue Advanced Condensate Pump w Reservoir Sensor	X87-835
	Blue Diamond MicroBlue Mini Condensate Pump 110208230V up to 18000 BTUH	X86-003
	Blue Diamond MultiTank collection tank for use with multiple pumps	C21-014
	Blue Diamond Sensor Extension Cable 15 Ft	C13-103
	Refco Condensate Pump 100-240 VAC up to 120000 BTUH	COMBI
	Sauermann Condensate Pump	SI30-230
Control Interface	Airzone Wired Blueface Controller Black	AZZBSBLUEZEROCN
	Airzone Wired Blueface Controller White	AZZBSBLUEZEROCB
	Airzone Wired Lite Controller Black	AZZBSLITECN
	Airzone Wired Lite Controller White	AZZBSLITECB
	Airzone Wireless Lite Controller Black	AZZBSLITERN
	Airzone Wireless Lite Controller White	AZZBSLITERB
	Airzone Wireless Think Controller Black	AZZBSTHINKRKN
	Airzone Wireless Think Controller White	AZZBSTHINKRKB
	IT Extender for kumo station	PAC-WHS01IE-E
	kumo station for the Comfort app	PAC-WHS01HC-E
	Operation and Error Status Output Adapter <sup>1</sup>	PAC-SF40RM-E
	Thermostat Interface for 3rd Party Thermostats	PAC-US445CN-1
Lineset	Wireless Interface Adapter for the Comfort app	PAC-USWHS002-WF-2
	15 x 1/4 x 15 3/8 Lineset Twin-Tube Insulation	MLS143812T-15
	30 x 1/4 x 30 3/8 Lineset Twin-Tube Insulation	MLS143812T-30
	50 x 1/4 x 50 3/8 Lineset Twin-Tube Insulation	MLS143812T-50
	65 x 1/4 x 65 3/8 Lineset Twin-Tube Insulation	MLS143812T-65
Wired Remote Controller	Deluxe Wired MA Remote Controller	PAR-42MAAUB
	Simple Direct Wired Remote Controller	PAC-SDW01RC-1
	Simple MA Remote Controller <sup>1</sup>	PAC-YT53CRAU-J
	Touch MA Wired Remote Controller <sup>1</sup>	PAR-CT01MAU-SB
Remote Sensor	Flush Mount Remote Temperature Sensor for SEZ SLZ SVZ and all P-Series models	PAC-USSEN002-FM-1
	Wall Mount Remote Temperature Sensor	PAC-SE41TS-E
	Wireless temperature and humidity sensor for the Comfort app	PAC-USWHS003-TH-1
Wireless Remote Controller	Lockdown Bracket for Wireless Handheld Remote Controllers	RCMKP1CB
	RedLINK Wireless Remote Controller	MHK2
	Universal Wireless Receiver for PAR-FL32MA-E	PAR-FA32MA-W
	Wireless Signal Receiver	PAR-SA9CA-E
Control Wire	202PR 1PR shielded 1PR plenum wire for Airzone 100 ft reel	CW2042S2-100
	202PR shielded 1PR plenum wire for Airzone 500 ft reel	CW2042S2-500
Filter Box	Filter Box with MERV 8 Filter	FBL1-1
Disconnect Switch	30A600VUL fits 2 X 4 utility box - Black	TAZ-MS303
	30A600VUL fits 2 X 4 utility box - White	TAZ-MS303W
Power Supplies & Auxiliary Components	3-Pin Wiring Harness	PAC-715AD
	5-Pin Wiring Harness	PAC-725AD
Power Supplies and Auxiliary Components	Backup Heat Relay Kit Adapter for CN24 or CN152 Connector	CN24RELAY-KIT-CM3
NOTES		

