

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	6812 Westmoreland Ave., Takoma Park	Meeting Date:	9/17/2025
Resource:	Contributing Resource Takoma Park Historic District	Report Date:	9/10/2025
Applicant:	David Snyder Miche Booz, Architect	Public Notice:	9/3/2025
Review:	HAWP	Tax Credit:	no
Permit No.:	1025413 REVISION	Staff:	Dan Bruechert
Proposal:	Revisions to door and sidelight in the addition		

STAFF RECOMMENDATION

Staff recommends the HPC **approve** the HAWP revision.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Contributing Resource to the Takoma Park Historic District
STYLE: Craftsman
DATE: 1923

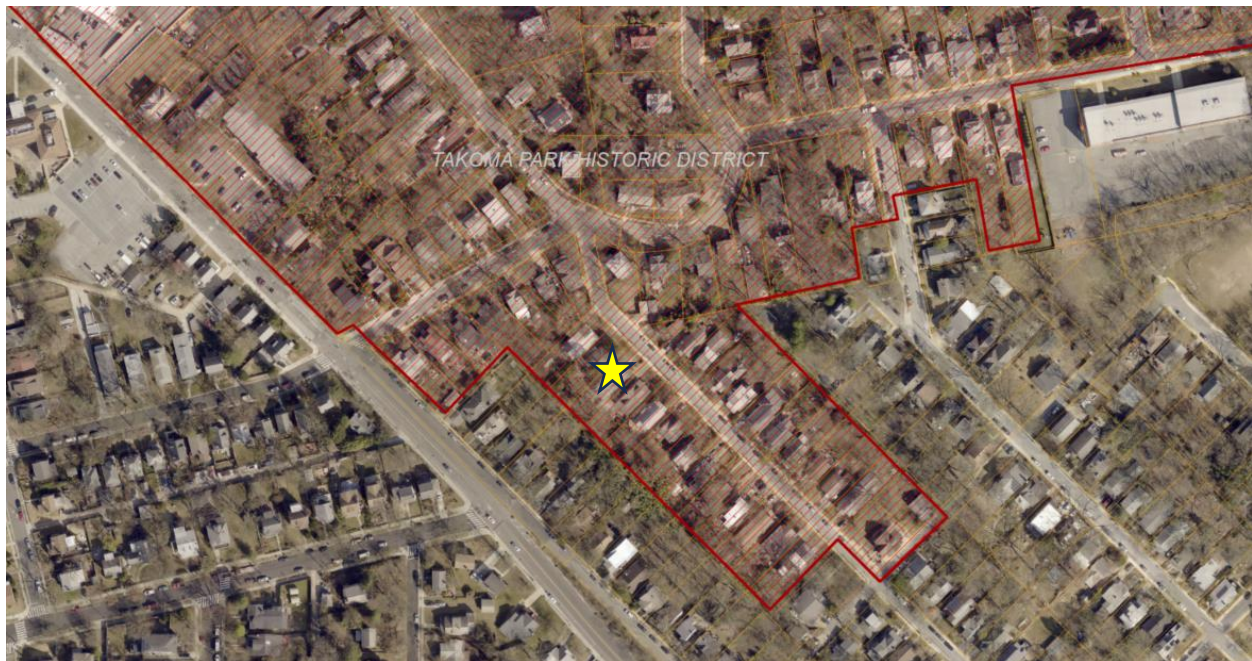


Figure 1: The subject property is located at the edge of the historic district.

BACKGROUND

On August 13, 2023, the HPC approved a HAWP with three conditions by consent to construct a rear

addition at the subject property.¹ The included conditions were:

1. A specification for the metal roof on the addition, consistent with the guidance provided in the Staff Report, needs to be submitted to Staff for final review and approval before approval documents can be issued.
2. Material specifications for the proposed stone retaining wall and stair and patio pavers need to be submitted to staff for final review and approval before approval documents can be issued.
3. Mounting details for the proposed solar array need to be submitted to Staff for final review and approval to ensure the panels are installed as close to the roof plane as practicable. Approval documents for the solar installation cannot be issued until Staff has received and approved this information.

The conditions were all satisfied before final approval documents were issued.

Due to material delays, the applicant proposes to revise the selected door and sidelight in the addition. As this modification was at the option of the applicant, there is no provision to approve modifications to the doors and windows without HPC approval.

PROPOSAL

The applicant proposes to revise the selected door and sidelight pattern in the previously approved addition.

APPLICABLE GUIDELINES

When reviewing alterations and new construction within the Takoma Park Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and adopted amendment for the *Takoma Park Historic District (Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Takoma Park Historic District Guidelines

There are two very general, broad planning and design concepts which apply to all categories. These are:

The design review emphasis will be restricted to changes that are at all visible from the public right-of-way, irrespective of landscaping or vegetation (it is expected that *P* new additions will be reviewed for their impact on the overall district), and,

The importance of assuring that additions and other changes to existing structures act to reinforce and continue existing streetscape, landscape, and building patterns rather than to impair the character of the district.

Contributing Resources should receive a more lenient review than those structures that have been classified as Outstanding. This design review should emphasize the importance of the resource to the overall streetscape and its compatibility with existing patterns rather than focusing on a close scrutiny of architectural detailing. In general, however, changes to Contributing Resources should respect the predominant architectural style of the resource. As stated above, the design review emphasis will be restricted to changes that are *at all visible from the public right-of-way*, irrespective of landscaping or vegetation.

¹ The Staff Report and application for the 2023 HAWP approval are available here:

<https://montgomeryplanning.org/wp-content/uploads/2023/08/I.K-6812-Westmoreland-Avenue-Takoma-Park-1025413.pdf>.

Some of the factors to be considered in reviewing HAWPs on Contributing Resources include:

All exterior alterations, including those to architectural features and details, should be generally consistent with the predominant architectural style and period of the resource and should preserve the predominant architectural features of the resource; exact replication of existing details and features is, however, not required

Major additions should, where feasible, be placed to the rear of existing structures so that they are less visible from the public right-of-way; additions and alterations to the first floor at the front of a structure are discouraged, but not automatically prohibited

While additions should be compatible, they are not required to be replicative of earlier architectural styles

Some non-original building materials may be acceptable on a case-by-case basis; artificial siding on areas visible to the public right-of-way is discouraged where such materials would replace or damage original building materials that are in good condition

All changes and additions should respect existing environmental settings, landscaping, and patterns of open space.

Alterations to features that are not visible at all from the public right-of-way should be allowed as a matter of course.

Montgomery County Code; Chapter 24A-8

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to ensure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

Secretary of the Interior's Standards for Rehabilitation:

- 2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
- 5. Distinctive materials, features, finishes and construction techniques or examples of craftsmanship that characterize a property will be preserved.
- 6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
- 9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportions, and massing to protect the integrity of the property and its environment.

10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

The subject property is a small bungalow (720 ft²), covered in asbestos siding, with a concrete foundation and front gable front porch. The applicant received approval to construct a rear addition at the subject property at the August 13, 2023 HPC meeting. Due to delays in available materials, the applicant proposes to revise the door and sidelights on the right (north) elevation of the approved addition. No changes to the size or mass of the addition are proposed.



Figure 2: Approved design (left) and proposed revision (right).

The approved door was a wood four-light door with a single panel below. The sidelight, located to the right of the door was in a four-light configuration. The proposed door is a wood single-light, half-light door with two lower panels. The revised side-light is a single light. The size of the door and sidelight have not changed.

Staff finds the change in design is slightly more than de minimis, but also finds the revision cannot be approved under current Staff-level regulations. Staff finds the design of the proposed door and sidelight are generally compatible with the character of the house, but also recognizes that the previously approved multi-light configuration was more compatible with the historic house and its 6/6 sash windows. However, due to the addition's inset, Staff finds that the proposed door and window will not be visible from the public right-of-way and, per the *Design Guidelines*, should be approved as a matter of course.

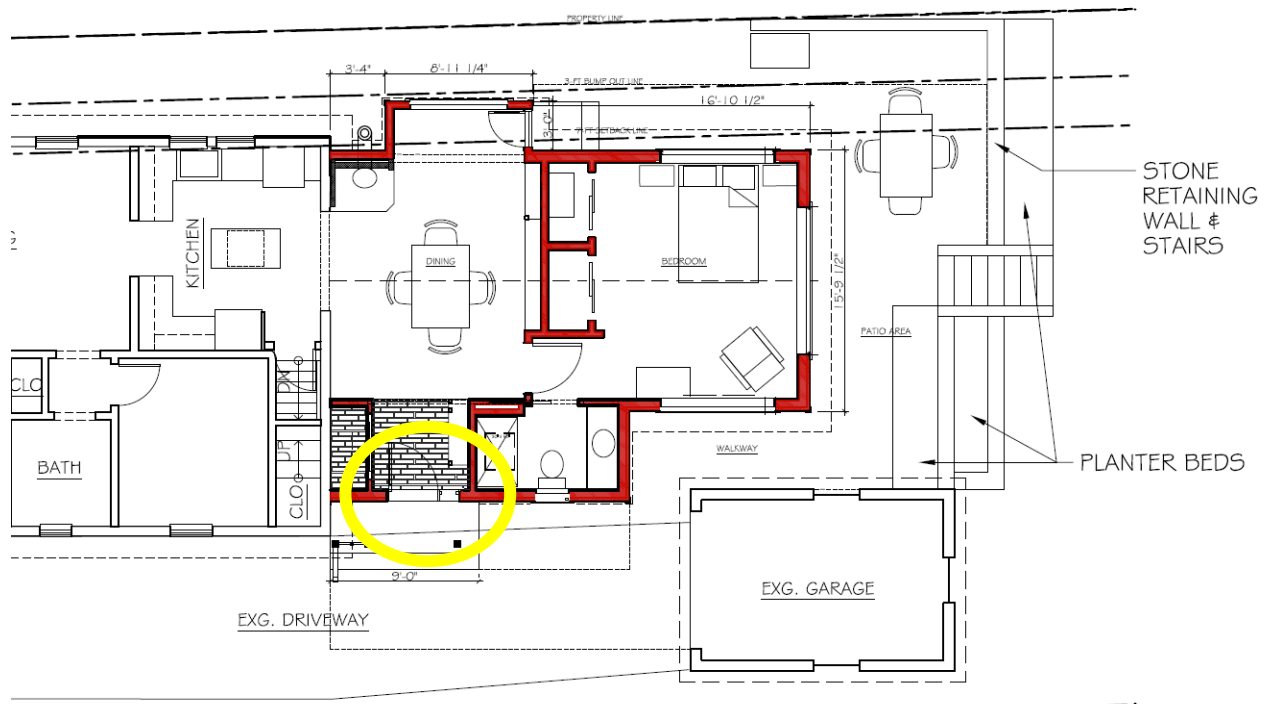


Figure 3: The door and sidelight location are inset from the existing wall plane and will not be visible from the right-of-way.

Staff finds the proposed addition is consistent with the district's *Design Guidelines*, 24A-8(b)(1), (2), and (d), and *Standard #2*; and the *Design Guidelines*.

STAFF RECOMMENDATION

Staff recommends that the Commission **approve** the HAWP application; under the Criteria for Issuance in Chapter 24A-8(b)(1), (2), and (d), having found that the proposal will not substantially alter the exterior features of the historic resource and is compatible in character with the district and the purposes of Chapter 24A;

and with the *Secretary of the Interior's Standards for Rehabilitation #2*;

and with the general condition that the applicant shall present an electronic set of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or dan.bruechert@montgomeryplanning.org to schedule a follow-up site visit.



**APPLICATION FOR
HISTORIC AREA WORK PERMIT**
HISTORIC PRESERVATION COMMISSION
301.563.3400

FOR STAFF ONLY:

HAWP# _____

DATE ASSIGNED _____

APPLICANT:

Name: _____

E-mail: _____

Address: _____

City: _____ Zip: _____

Daytime Phone: _____

Tax Account No.: _____

AGENT/CONTACT (if applicable):

Name: _____

E-mail: _____

Address: _____

City: _____ Zip: _____

Daytime Phone: _____

Contractor Registration No.: _____

LOCATION OF BUILDING/PREMISE: MIHP # of Historic Property _____

Is the Property Located within an Historic District? ☐ Yes/District Name _____

☐ No/Individual Site Name _____

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: _____ Street: _____

Town/City: _____ Nearest Cross Street: _____

Lot: _____ Block: _____ Subdivision: _____ Parcel: _____

TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:

☐ New Construction

☐ Deck/Porch

☐ Shed/Garage/Accessory Structure

☐ Addition

☐ Fence

☐ Solar

☐ Demolition

☐ Hardscape/Landscape

☐ Tree removal/planting

☐ Grading/Excavation

☐ Roof

☐ Window/Door

☐ Other: _____

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent

Date

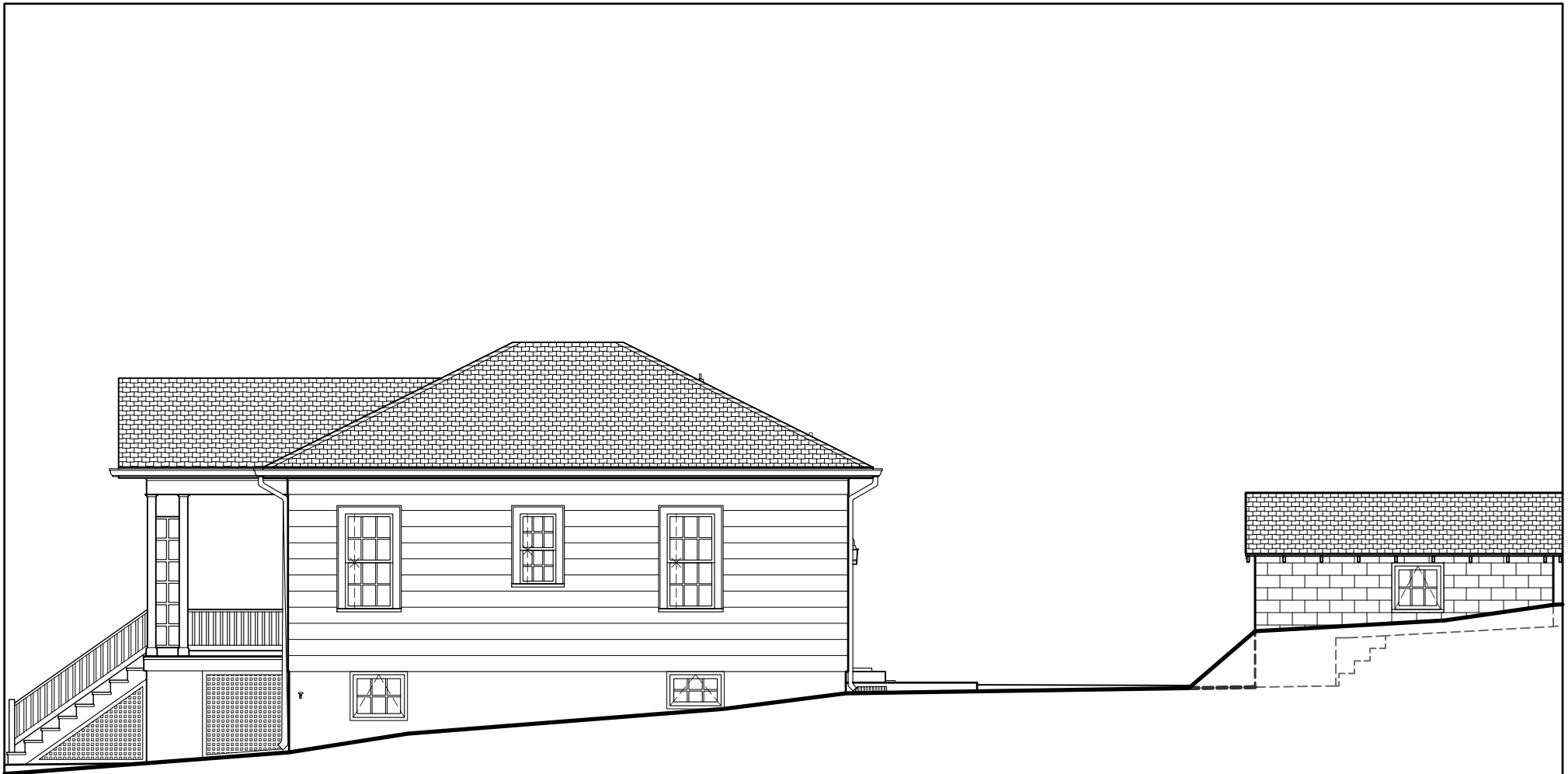
HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address

Owner's Agent's mailing address

Miche Booz Architect
208 Market St
Brookeville, MD 20833

Adjacent and confronting Property Owners mailing addresses



<p>MICHE BOOZ ARCHITECT</p> <p>15 High St Brookeville Maryland 20833 (301)774 6911</p>	<p>Project:</p> <p>SNYDER-ROOSE</p> <p>6812 Westmoreland Ave Takoma Park, MD 20912</p>	<p>Title:</p> <p>R21 - WEST ELEVATION</p>	<p>Scale: 1/8" = 1'-0"</p> <p>0 5</p> <p>Date:</p>
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Project:
**SNYDER-ROOSE
ADDITION**
6812 Westmoreland Ave
Takoma Park
Maryland 20912

Date:
05-06-2025

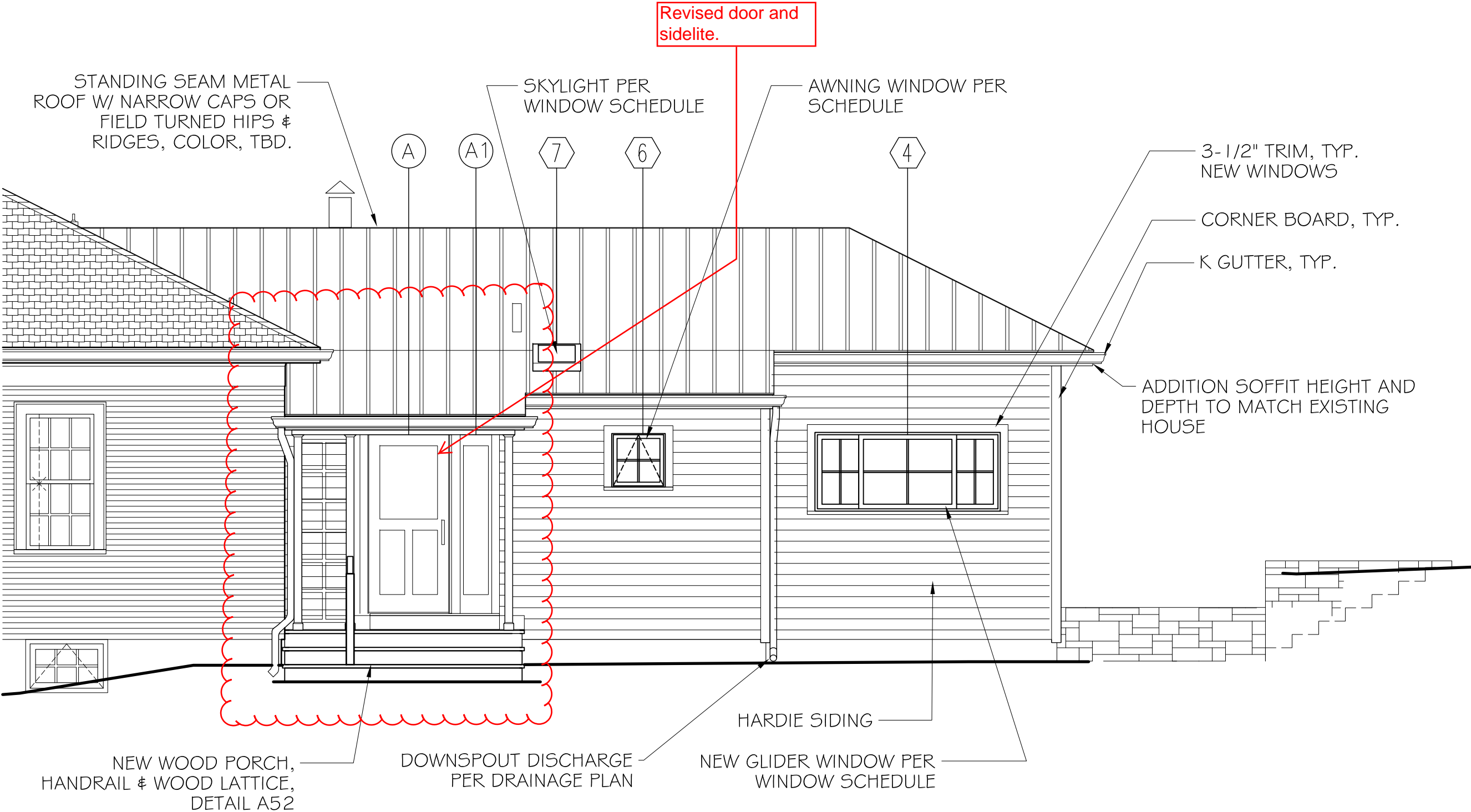
Issue Title:
**CONSTRUCTION
SET**

Revisions:

Scale: **1/4" = 1'-0"**
0 2.5

Drawing Title:
**PROPOSED
WEST
ELEVATION**

Sheet:
A21

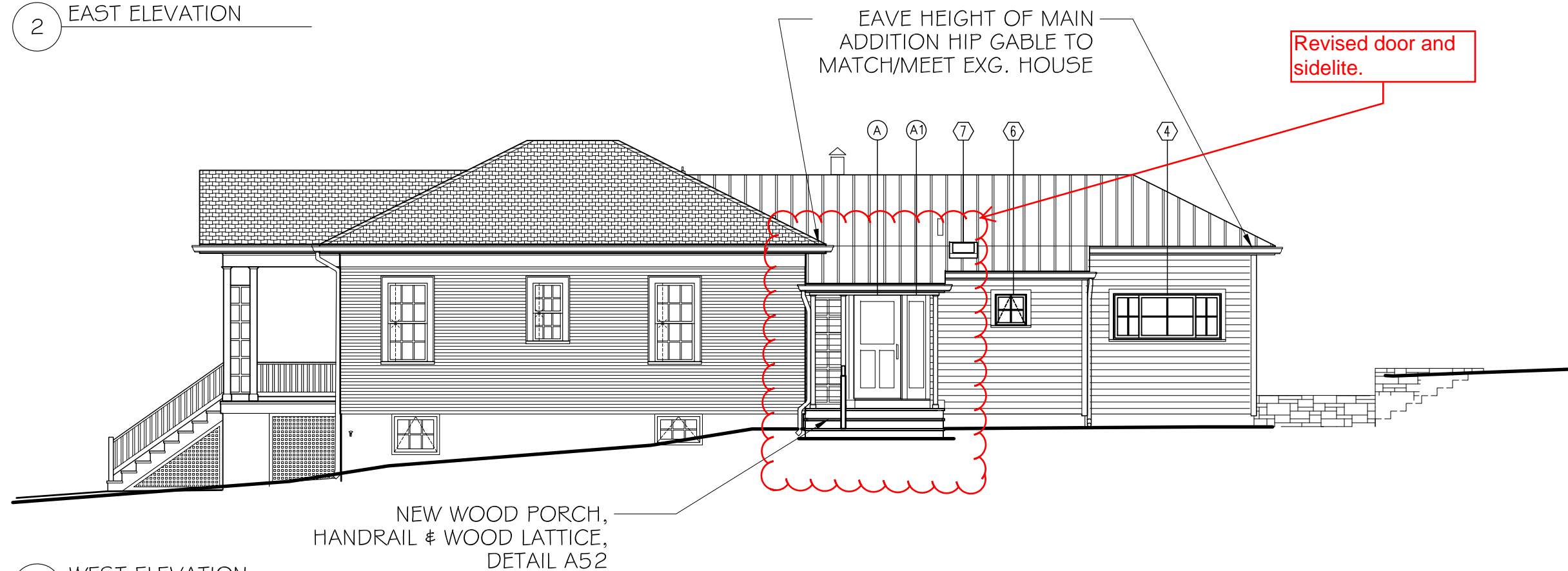


1 WEST ELEVATION

SOLAR PANELS
(FUTURE PERMIT)



2 EAST ELEVATION



1 WEST ELEVATION

MICHE BOOZ
ARCHITECT

Project:

**SNYDER-ROOSE
ADDITION**

6812 Westmoreland Ave
Takoma Park
Maryland 20912

Date:

05-06-2025

Issue Title:

**CONSTRUCTION
SET**

Revisions:

Scale: **1/8" = 1'-0"**
0 5

Drawing Title:

**PROPOSED
ELEVATIONS**

Sheet:

A20



Reeb wooden door. Fir