

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	12 Hesketh Street, Chevy Chase	Meeting Date:	9/17/2025
Resource:	Contributing Resource Chevy Chase Village Historic District	Report Date:	9/10/2025
Applicant:	Matthew Brest (Ethan Santos, Agent)	Public Notice:	9/3/2025
Review:	HAWP	Tax Credit:	n/a
Case Number:	1129402	Staff:	Laura DiPasquale
Proposal:	Demolition and replacement of an accessory structure		

STAFF RECOMMENDATION

Staff recommends that the HPC **approve** the HAWP, with final approval authority delegated to staff.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Contributing Resource within the Chevy Chase Village Historic District
STYLE: Colonial Revival
DATE: c. 1916-1927



Figure 1: The subject property (outlined in blue) is located within the Chevy Chase Village Historic District.



Figure 2: View from the public right-of-way of 12 Hesketh Street with the accessory structure proposed for demolition and replacement at the far rear corner of the property (Historic Preservation Office, September 2025).

PROPOSAL

The applicants propose to demolish an existing stucco-clad accessory structure, widen the existing concrete pad underneath by one foot, and construct a new 18-foot 6-inch by 13-foot 7-inch accessory structure. The one-story structure would feature a low-sloped front-gable roof, Hardie plank siding, Jeld-wen aluminum-clad windows, door, and sidelight, and an asphalt shingle roof.



Figure 3: Rendering of the proposed accessory structure.

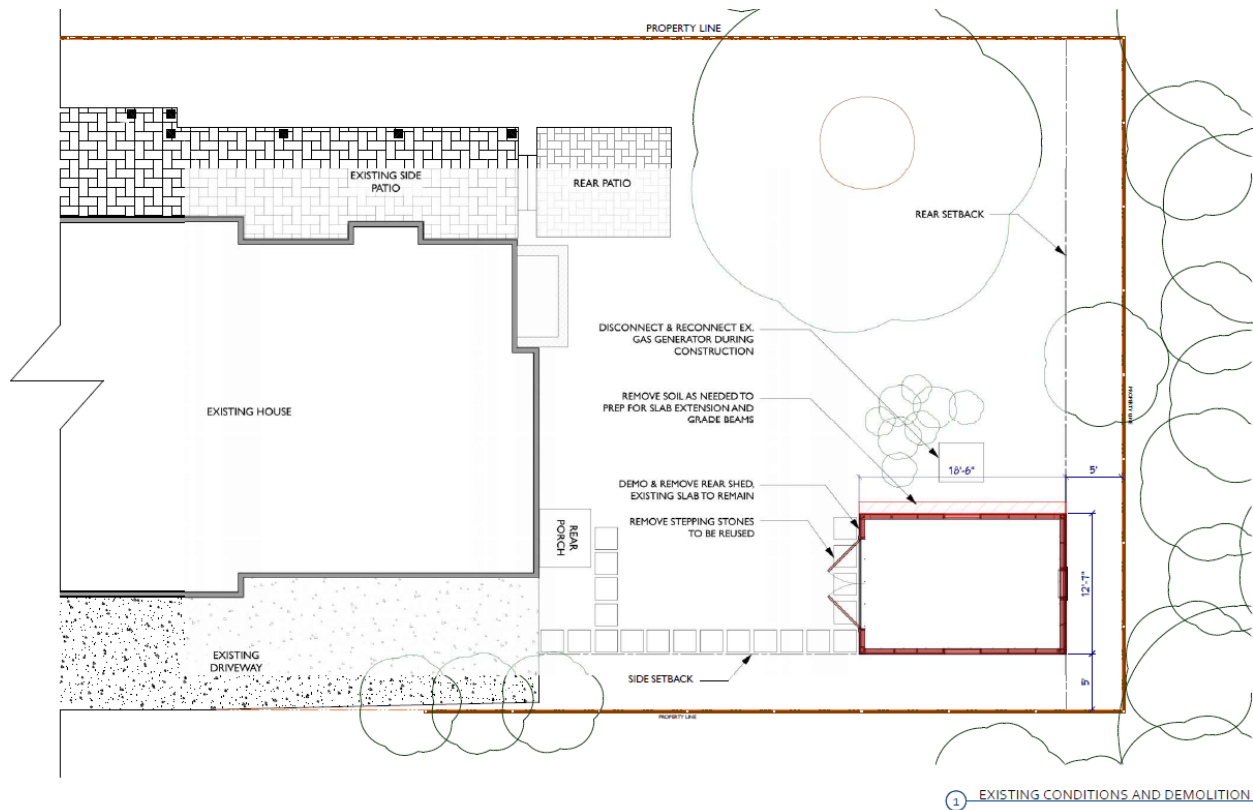


Figure 4: Existing/demolition site plan.

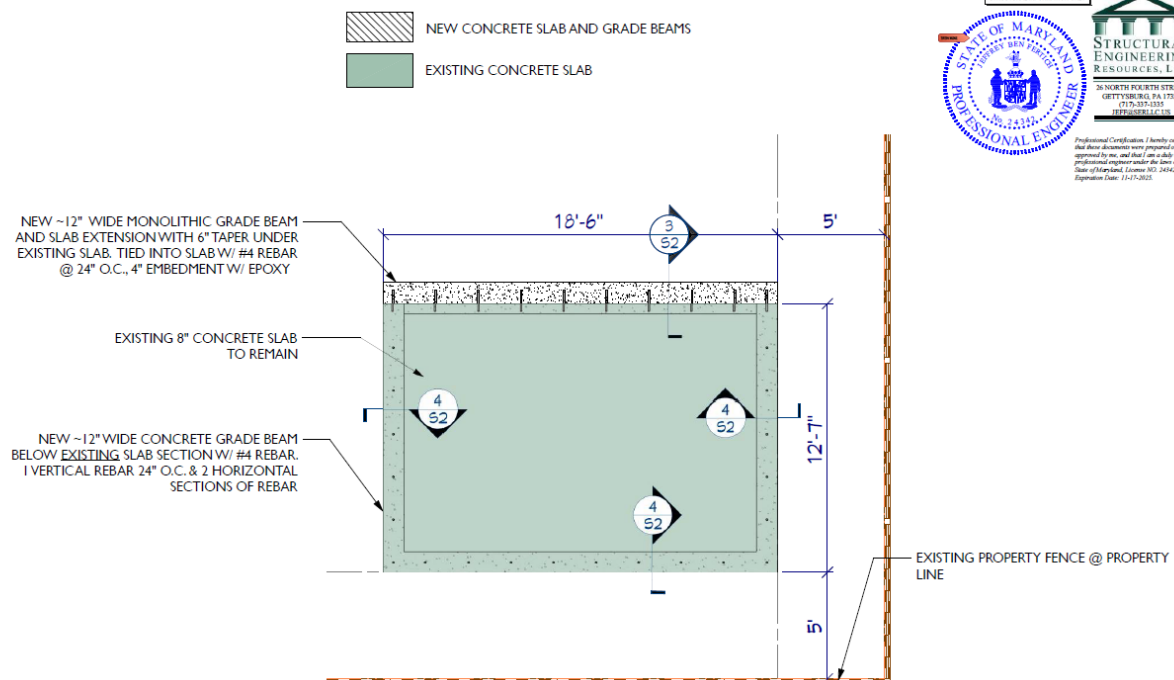


Figure 5: Proposed foundation plan showing the widening of the concrete slab by one foot along the east side.

APPLICABLE GUIDELINES

When reviewing alterations and new construction within the Chevy Chase Village Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and adopted amendment for the Chevy Chase Village Historic District (*Guidelines*), *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Chevy Chase Village Historic District Guidelines

The *Guidelines* state five basic policies that should be adhered to, including:

1. Preserving the integrity of the Chevy Chase Village Historic District. Any alterations should, at a minimum, perpetuate the ability to perceive the sense of time and place portrayed by the district.
2. Preserving the integrity of contributing structures. Alterations should be designed in such a way that the altered structure still contributes to the district.
3. Maintaining the variety of architectural styles and the tradition of architectural excellence.
4. Design review emphasis should be restricted to changes that will be visible from the front or side public right-of-way, or that would be visible in the absence of vegetation or landscaping.
5. Alterations to the portion of a property that are not visible from the public-right-of-way should be subject to a very lenient review. Most changes to the rear of the properties should be approved as a matter of course.

The *Guidelines* break down specific projects into three levels of review - Lenient, Moderate and Strict Scrutiny for Outstanding and Contributing Resources:

“Lenient Scrutiny” means that the emphasis of the review should be on issues of general massing and scale, and compatibility with the surrounding streetscape, and should allow for a very liberal interpretation of preservation rules. Most changes should be permitted unless there are major problems with massing, scale or compatibility.

“Moderate Scrutiny” involves a higher standard of review than “lenient scrutiny.” Besides issues of massing, scale and compatibility, preserving the integrity of the resource is taken into account. Alterations should be designed so that the altered structure still contributes to the district. Use of compatible new materials, rather than the original building materials, should be permitted. Planned changes should be compatible with the structure’s existing design, but should not be required to replicate its architectural style.

“Strict Scrutiny” means that the planned changes should be reviewed to ensure that the integrity of the significant exterior architectural or landscaping features and details is not compromised. However, strict scrutiny should not be “strict in theory but fatal in fact” i.e. it does not mean that there can be no changes but simply that the proposed changes should be reviewed with extra care.

The following principles are not intended to cover all possible types of exterior alterations, changes, and/or additions. HA WP applications for other types of exterior alterations, changes and/or additions should be reviewed in a manner that is consistent with the two paramount principles identified above -- fostering the Village’s shared commitment to evolving eclecticism while maintaining its open park-like character:

- **Garages and accessory buildings** which are detached from the main house should be subject to lenient scrutiny but should be compatible with the main building. If an existing garage or accessory building has any common wall with, or attachment to, the main residence, then any

addition to the garage or accessory building should be subject to review in accordance with the Guidelines applicable to "major additions." Any proposed garage or accessory building which is to have a common wall with or attachment to the main residence should also be reviewed in accordance with the Guidelines applicable to "major additions."

Montgomery County Code, Chapter 24A-8:

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or

Secretary of the Interior's Standards for Rehabilitation:

- 2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
- 9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

STAFF DISCUSSION

Staff supports the proposed project and recommends approval. Staff finds that the existing accessory structure, identified by the applicants as a "shed," was originally constructed as a garage for the property (see Figure 7). The *Amendment* includes a survey of resources in the district and identifies some accessory structures, including this structure, as "contributing". The *Guidelines*, state that detached garages should be subject to lenient scrutiny but should also be compatible with the main building. Staff finds that, although the demolition of the accessory structure could be considered removal of historic fabric and run counter to *Standards 2 and 9*, per Chapter 24A-1.5.b, "where guidance in an applicable master plan, sector plan, or functional master plan is inconsistent with the Secretary of the Interior's Standards and Guidelines for Rehabilitation, the master plan guidance shall take precedence."



Figure 6: Existing conditions photographs of the front (north) and east side elevations.

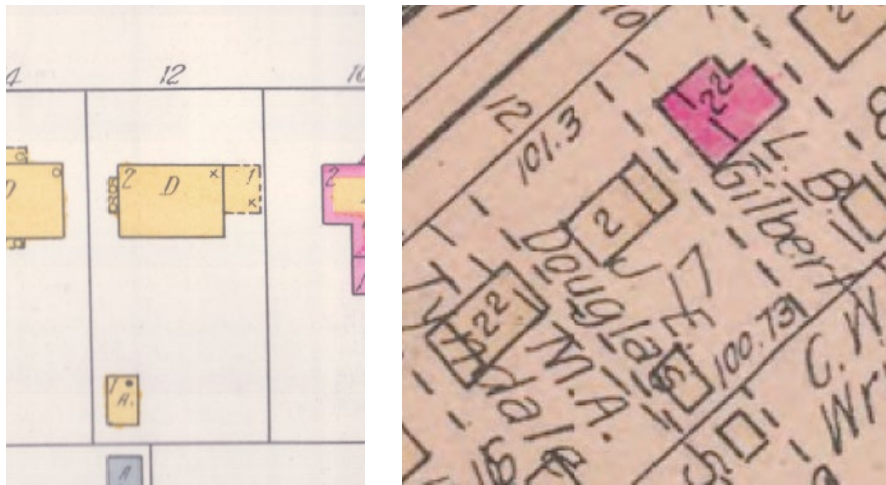


Figure 7: Detail of the 1927-63 Sanborn map and 1931 Klinge atlas showing the original footprint of the house and garage.

Staff finds that the existing structure has limited visibility from the public right-of-way and that the proposed demolition and reconstruction of a structure of a similar appearance and design will not significantly alter the character of resource or district, per Chapter 24A-8(b)(1). Staff finds that the proposal would widen the footprint of the existing accessory structure by one foot, but maintain the existing depth and overall location on the property, minimizing the change to the spatial relationship of the accessory structure to the main house, per *Standard 2*. Staff finds that the proposed one-story scale, simple front-gable massing, and materials (Hardie plank siding, asphalt shingle roof, aluminum-clad windows and doors) are compatible with the historic resource, per *Standard 9*, Chapter 24A-8(b)(2), and the *Guidelines*.

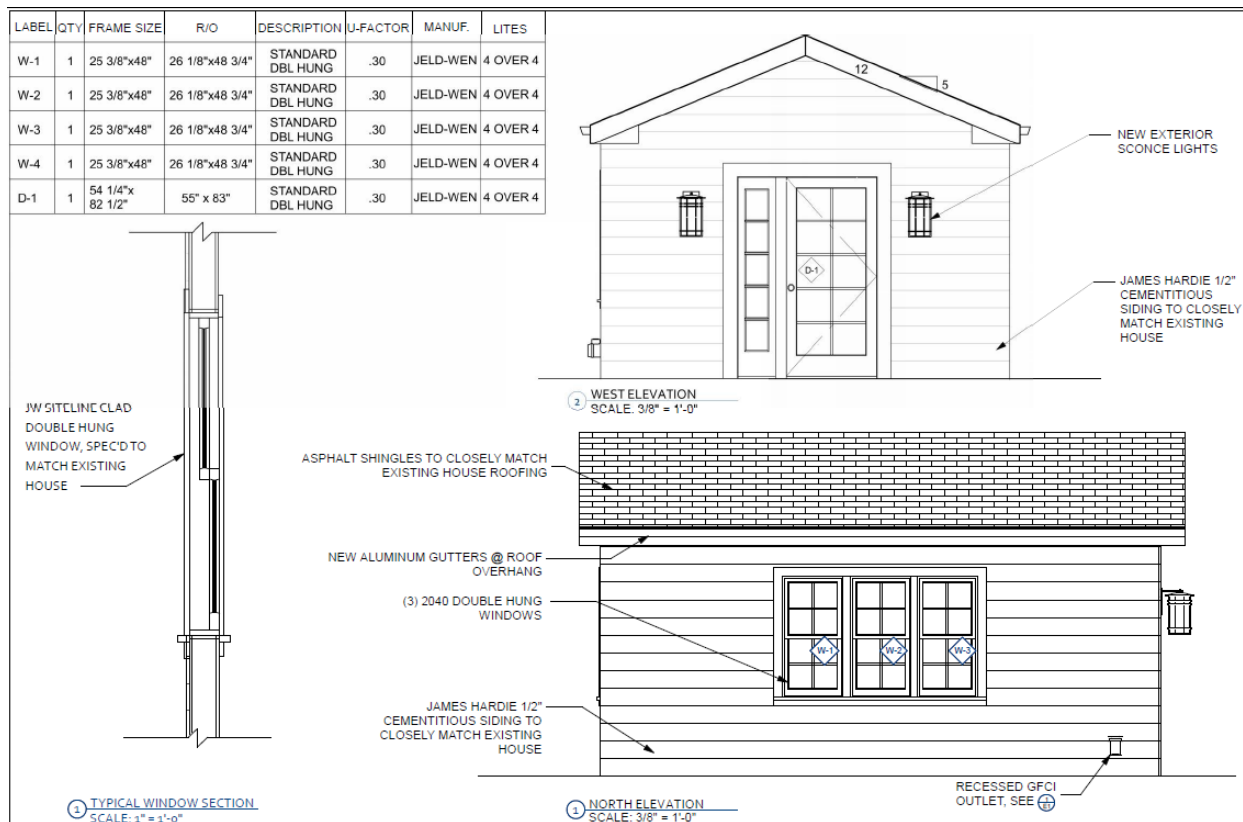


Figure 8: Proposed front (north) and east side elevations. Staff notes that the cardinal directions identified on the application materials are incorrect.

STAFF RECOMMENDATION

Staff recommends that the Commission **approve** the HAWP under the Criteria for Issuance in Chapter 24A-8(b)(1) and (2), and (d), and the *Chevy Chase Village Historic District Guidelines*, having found that the proposal will not substantially alter the exterior features of the historic resource and is compatible in character with the district and the purposes of Chapter 24A;

and with the *Secretary of the Interior's Standards for Rehabilitation* #2 and #9;

and with the general condition that the applicant shall present an electronic set of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-495-2167 or laura.dipasquale@montgomeryplanning.org to schedule a follow-up site visit.

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address

Owner's Agent's mailing address

Adjacent and confronting Property Owners mailing addresses

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

Description of Work Proposed: Please give an overview of the work to be undertaken:

Work Item 1: _____

Description of Current Condition:

Proposed Work:

Work Item 2: _____

Description of Current Condition:

Proposed Work:

Work Item 3: _____

Description of Current Condition:

Proposed Work:



FRONT YARD



REAR YARD



ORIGINAL WINDOWS IN THE MAIN
HOUSE



Matthew Brest
12 Hesketh Street
Chevy Chase, MD 20815

September 13, 2025

Montgomery County Historic Preservation Committee
2425 Reedie Drive 13th Floor
Wheaton, MD 20902

Dear Committee Members:

I want to thank the Committee for taking the time to review our proposed project. My wife, my two young daughters, and I recently moved into our lovely home in Chevy Chase and could not be happier with our decision to settle down here. One of the primary reasons we moved to this neighborhood is the aesthetic beauty of the homes, and we appreciate the Committee's work in ensuring the county retains its historic elements.

My wife and I both regularly work from home, and we believe the site of the current shed would work very well as the location for a standalone home office. The current structure is in disrepair and not suitable for use as an office. Our goal in replacing the structure is to mimic the design of the main residence and improve the overall beauty (and value) of the property. I believe the design work proposed by Spectrum Design will accomplish just that, resulting in a new standalone office that casual observers would think was built along with the main house.

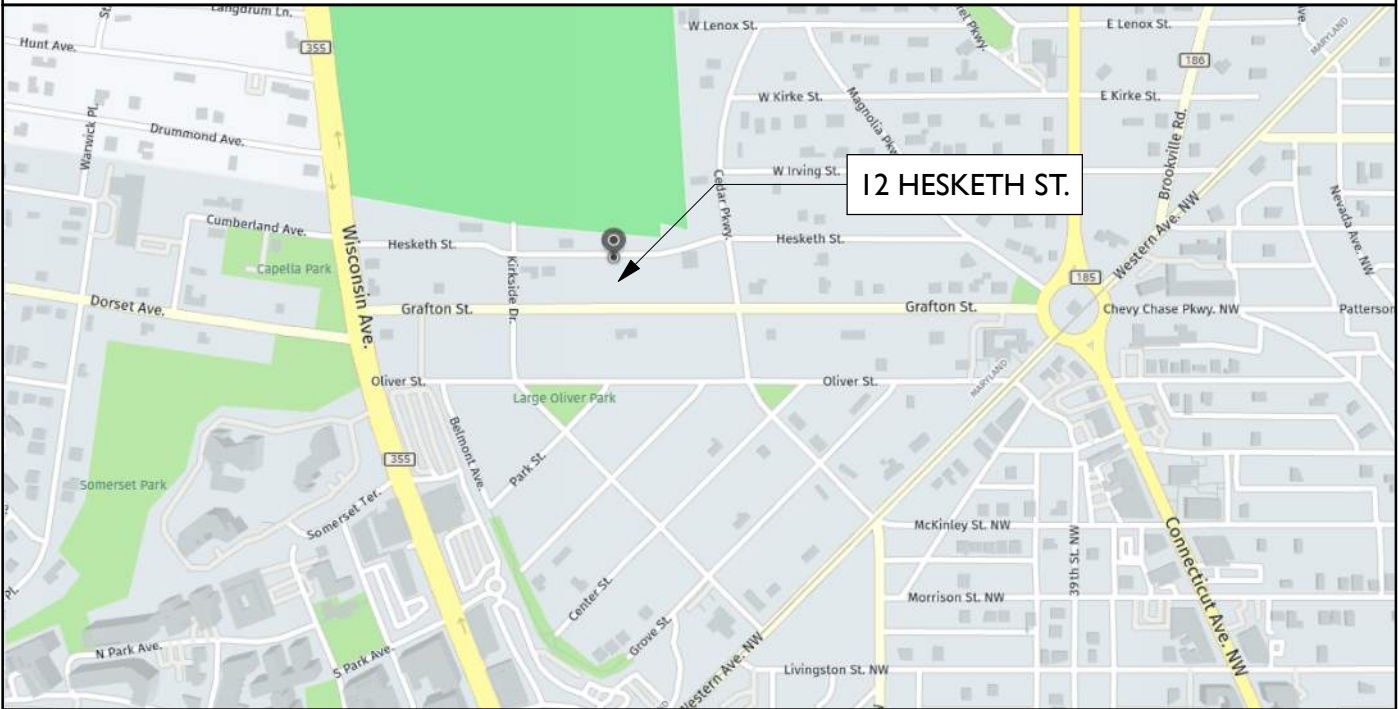
Again, we appreciate all of the work done by the Committee and are happy to address any questions or concerns.

Sincerely,

Matthew Brest

BREST & RAPP RESIDENCE PROPOSED
DETACHED REAR OFFICE
12 HESKETH ST., CHEVY CHASE MD 20815

LOCATION MAP:



Label	Title	Number	Comments
CV1	COVER SHEET & PROJECT INFORMATION	1	
G01	GENERAL NOTES	2	
Z01	SITE SURVEY	3	
Z02	SITE SURVEY	4	
EC	EXISTING SITE PLAN	5	
EC/D	DEMOLITION PLAN	6	
A1	PROPOSED FLOOR PLAN	7	
A2	ROOF LAYOUT PLAN	8	
A3	ELEVATIONS	9	
A4	ELEVATIONS	10	
E1	PROPOSED ELECTRICAL PLAN	11	
E2	ELECTRICAL DIAGRAMS	12	
S1	PROPOSED FOUNDATION	13	
S2	PROPOSED CROSS SECTION 1/S2	14	
S3	PROPSOED ROOF FRAMING PLAN	15	
S4	LATERAL BRACING	16	



SCOPE OF WORK:

TO RECONSTRUCT A 254 SQFT INSULATED DETACHED OFFICE (IN PLACE OF EXISTING SHED)
WITH NEW MILLWORK AND FINISHES

MECHANICAL:

NEW MINI SPLIT TO BE ADDED PER CODE AND PLAN FOR HEATING & COOLING

ELECTRICAL:

NEW LIGHTING, ELECTRICAL, & OUTLET INCLUDING NEW SUB PANEL

PLUMBING:

NO NEW PLUMBING IN THIS PERMIT

ZONING DATA: (NO CHANGES)

LOT # P8 - BLOCK # 25

LOT SIZE: 7357sqft

ALLOWABLE LOT COVERAGE: 35%

CURRENT LOT COVERAGE W/ HOSUE AND SHED

SQFT: 1864sqft

PERCENTAGE: 25.3%

NEW LOT COVERAGE W/ HOUSE AND OFFICE

SQFT: 1883sqft

PERCENTAGE: 25.59%

LOCATION OF WORK: REAR DETACHED OFFICE

ZONING DISTRICT / USE: **R60 SINGLE FAMILY HOME (EXISTING - NO CHANGE)**

LOAD CHANGE: NONE HISTORICAL: YES

SPECTRUM DESIGN BUILD EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE ARE NOT TO BE REPRODUCED CHANGED OR COPIED IN ANY FORM OR MANNER WHATSOEVER, OR ARE THEY TO BE COPIED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING EXPRESS WRITTEN PERMISSION AND CONSENT OF SPECTRUM DESIGN BUILD. ALL DIMENSIONS ARE APPROXIMATE AND ROUNDED TO THE NEAREST 1". VERIFY IN FIELD BEFORE USE AS CRITICAL DIMENSIONS OR CONSTRUCTION.

**SPECTRUM
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2700 GARFIELD AVE, SUITE C
SILVER SPRING, MD 20910

BREST & RAPP
DETACHED REAR OFFICE
12 HESKETH ST.
CHEVY CHASE, MD 20815

PROJECT#25.003

PROJECT#25.003

COVER SHEET & PROJECT INFORMATION

8/13/2025

CV1

GENERAL NOTES

BUILDING CODES:

A. ALL CONSTRUCTION SHALL CONFORM WITH THE 2021 INTERNATIONAL RESIDENTIAL CODE (IRC) AND MONTGOMERY COUNTY EXECUTIVE REGULATION #MCEER13-24

B. ALL CONSTRUCTION SHALL CONFORM WITH ALL APPLICABLE LOCAL CODES AS AMENDED BY MONTGOMERY COUNTY MARYLAND.

DESIGN LOADS: (PER SECTION R301 OF IRC 2021)

A. THE DESIGN DEAD LOADS FOR ALL FRAMING IS BASED ON THE CONSTRUCTION MATERIALS SHOW ON THE DRAWINGS AND INDICATED IN THE GENERAL NOTES.

B. THE MINIMUM DESIGN UNIFORMLY DISTRIBUTED LIVE LOADS FOR ALL NEW FRAMING SHALL BE AS FOLLOWS:

FLOOR LOAD (U.O.N.)	LL=40 PSF / DL=10 PSF
SLEEPING RMS / ATTIC WITH FIXED STAIR	LL=30 PSF / DL=10 PSF
GARAGE FLOOR	LL=50 PSF / 2000# POINT
ROOF LIVE LOAD	MIN. 30 PSF
ATTIC AND TRUSS BOTTOM CHORD	LL=20 PSF (LIMITED STORAGE)
	LL=10 PSF (NO STORAGE)

C. ROOF SNOW LOAD DESIGN CRITERIA:

GROUND SNOW LOAD (Pg)=	30 PSF
FLAT ROOF SNOW LOAD (Pf)=	21 PSF
EXPOSED FACTOR (Ce)=	1
IMPORTANCE FACTOR (I)=	1

D. WIND LOAD DESIGN CRITERIA:

BASIC WIND SPEED=	115 MPH
WIND EXPOSURE=	8
IMPORTANCE FACTOR (I)=	1

E. EARTHQUAKE LOAD DESIGN CRITERIA:

SEISMIC DESIGN CATEGORY=	8
SPECTRAL RESPONSE COEFFICIENT (SDS)=	0.199
(SD1)=	0.101
SITE CLASS=	D

F. SUBJECT TO DAMAGE FROM:

WEATHERING	SEVERE
FROST LINE DEPTH	30"
TERMITE	MODERATE TO HEAVY
DECAY	SLIGHT TO MODERATE

G. TEMPERATURE AND FLOORING:

WINTER DESIGN TEMPERATURE	13 F
ICE SHIELD UNDERLAYMENT REQUIRED	YES < 4:12
FLOOD HAZARDS	1979
AIR FREEZING INDEX	1000
MEAN ANNUAL TEMPERATURE	50 F

H. THE STABILITY OF THE STRUCTURE IS DEPENDENT UPON THE DIAPHRAGM ACTION OF THE FLOORS AND ROOF. THE CONTRACTOR IS

RESPONSIBLE FOR THE METHOD OF CONSTRUCTION AND SHALL PROVIDE ALL TEMPORARY BRACING AND SHORING REQUIRED TO

MAINTAIN THE STABILITY OF THE STRUCTURE AND TO SUPPORT CONSTRUCTION LOADS DURING CONSTRUCTION. INCLUDING SOILS ON

WALLS FROM BACK FILLING PRIOR TO PLACING SLABS ON GRADE. DESIGN OF THE BRACING IS THE CONTRACTORS RESPONSIBILITY.

SPREAD FOOTING FOUNDATIONS:

A. THE BOTTOM OF ALL EXTERIOR FOOTINGS SHALL BE A MINIMUM OF 30" BELOW FINISH GRADE FOR FROST PROTECTION.

B. ALL FOOTINGS HAVE BEEN DESIGNED FOR AN ASSUMED NET ALLOWABLE SOIL BEARING PRESSURE OF 2000 PSI.

C. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ALL FOUNDATION AND SOIL CONDITIONS WHICH DIFFER FROM THOSE ANTICIPATED OR INDICATED IN THE CONTRACT DOCUMENTS.

WOOD FRAMING:

A. ALL WOOD FRAMING SHALL BE FABRICATED AND ERECTED IN ACCORDANCE WITH THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION PUBLISHED BY THE NATIONAL FOREST PRODUCTS ASSOCIATION.

B. ALL NEW LUMBER SHALL BE SPRUCE-PINE-FIR NO 2 OR BETTER. ALL NEW PRESSURE TREATED LUMBER SHALL BE SOUTHERN PINE NO 2 OR BETTER.

C. NAILING OF ALL WOOD FRAMING SHALL MEET THE MINIMUM RECOMMENDED REQUIREMENTS PROVIDED IN THE NAILING SCHEDULE OF THE IRC BUILDING CODE.

D. PROVIDE DOUBLE JOISTS OR HEADERS ALONG EACH SIDE OF THE FLOOR OR ROOF OPENING. UNDER THE CENTERLINE OF PARTITION WALLS PARALLEL TO JOISTS SPANS, AND ABOVE ALL WALL OPENINGS UNLESS OTHERWISE INDICATED.

E. THE CONTRACTOR SHALL CUT OR NOTCH THE WOOD FRAMING ONLY AS REQUIRED AND IN ACCORDANCE WITH THE IRC BUILDING CODE, THE "NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION". OR AS SHOWN ON CONTRACT DRAWINGS.

F. PROVIDE DOUBLE OR TRIPLE STUDS AT ALL CORNERS SIDES OF OPENINGS AND BENEATH ALL WOOD BEAMS AND LINTELS, UNLESS OTHERWISE INDICATED.

G. WOOD TRUSSES SHALL BE DESIGNED, FABRICATED AND ERECTED IN ACCORDANCE WITH THE TRUSS PLATE INSTITUTES "NATIONAL DESIGN SPECIFICATIONS FOR METAL PLATE CONNECTED WOOD TRUSS CONSTRUCTION" FOR THE DESIGN LOADS INDICATED ON THE CONTRACT DOCUMENTS.

H. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS AND DESIGN CALCULATIONS FOR ALL WOOD TRUSSES INCLUDING MEMBER LAYOUT, WOOD SPECIES AND GRADE, MEMBER SIZES. TRUSSES BEARING CONNECTION DETAILS. CAPACITY OF CONNECTION PLATES AND THE SIZE AND LOCATION OF ALL REQUIRED BRIDGING. THE CALCULATION AND SHOP DRAWINGS SHALL BE SIGNED AND SEALED BY A PROFESSIONAL ENGINEER REQUESTED IN THE STATE OF WHERE WORK IS BEING DONE.

I. THE CONTRACTOR SHALL PROVIDE TRUSS TIES EQUIVALENT TO OR BETTER THAN THE UPLIFT LOADS INDICATED ON THE TRUSS SHOP DRAWINGS.

MECHANICAL, ELECTRICAL & PLUMBING:

A. H.V.A.C. DESIGN AND INSTALLATION TO BE PERFORMED BY LICENSED MECHANICAL CONTRACTOR IN COMPLIANCE WITH ALL APPLICABLE CODES

B. ELECTRICAL DESIGN AND INSTALLATION TO BE PERFORMED BY LICENSED MECHANICAL CONTRACTOR IN COMPLIANCE WITH ALL APPLICABLE CODES

C. PLUMBING DESIGN AND INSTALLATION TO BE PERFORMED BY LICENSED MECHANICAL CONTRACTOR IN COMPLIANCE WITH ALL APPLICABLE CODES

D. H.V.A.C. DESIGN AND INSTALLATION TO BE PERFORMED BY LICENSED MECHANICAL CONTRACTOR IN COMPLIANCE WITH ALL APPLICABLE CODES

PROJECT GENERAL NOTES:

A. WALL DIMENSIONS ARE FROM OUTSIDE FACE OF FRAMING AND ARE AS FOLLOWS (U.N.O.)

INTERIOR PARTITIONS = 3-1/2" (2x4) WOOD STUDS @ 16" O.C.) U.N.O.

EXTERIOR WALLS = 6" (2x6 STUDS @ 16" O.C. PLUS 1/2 SHEATHING) U.N.O.

B. THE CONTRACTOR AND HIS ASSOCIATED SUBCONTRACTORS ARE REASONABLE TO THOROUGHLY REVIEW ALL DRAWINGS. ANY INCONSISTENCIES OR ERRORS ARE TO BE REPORTED TO THE DESIGNER FOR CLARIFICATION OR CORRECTION PRIOR TO THE START CONSTRUCTION OR MANUFACTURING OF PRE-FABRICATED COMPONENTS.

C. SIZING/SPACING OF ALL PRE-ENGINEERED WOOD FRAMING PRODUCTS (MICROLAMS, PARALLAMS & FLOOR/ROOF TRUSSES) TO BE ENGINEERED/VERIFIED BY MANUFACTURER

D. IF FLOOR FRAMING TO BE ACCOMPLISHED WITH PRE-ENGINEERED WOOD "I" JOISTS, MANUFACTURES AGENT TO DESIGN JOIST LAYOUT AND PROVIDE ENGINEERED SHOP DRAWINGS; FLOOR SYSTEM TO BE DESIGNED WITH L/480 LIVE LOAD DEFLECTION MIN. (L/600 IN AREAS TO BE FINISHED WITH TILE)

E. IF ROOF FRAMING TO BE ACCOMPLISHED WITH PRE-ENGINEERED WOOD TRUSSES; MANUFACTURES AGENT TO DESIGN TRUSS LAYOUT AND PROVIDE ENGINEERED SHOP DRAWINGS.

F. THESE DOCUMENTS ARE NOT TO BE SCALED. DIMENSIONS SHALL GOVERN ON ALL DRAWINGS ANY OMISSIONS ON AREAS OF DISCREPANCY SHALL BE REFEREED TO THE PROPERTY OWNER PRIOR TO CONSTRUCTION.

ENGINEER'S SEAL FOR
STRUCTURAL INFORMATION ONLY

STATE OF MARYLAND

JEFFREY BEN FERTIG

PROFESSIONAL ENGINEER

No. 24342

STRUCTURAL
ENGINEERING
RESOURCES, LLC

26 NORTH FOURTH STREET
GETTYSBURG, PA 17325
(717)-337-1335
JEFF@SERLLC.US

Professional Certification. I hereby certify
that these documents were prepared or
approved by me, and that I am a duly licensed
professional engineer under the laws of the
State of Maryland, License NO. 24342,
Expiration Date: 11-17-2025.

SPECTRUM
DESIGN + BUILD
2700 GARFIELD AVE, SUITE C
SILVER SPRING, MD 20910

BREST & RAPP
DETACHED REAR OFFICE
12 HESKETH ST.
CHEVY CHASE, MD 20815

PROJECT#25.003

GENERAL NOTES

8/8/2025

GN1

THIS DOCUMENT IS CERTIFIED TO:

Modern
Settlements

CASE #: 25-MD-1863



Qualia

LEGEND:

- FENCE
- BASEMENT ENTRANCE
- BAY WINDOW
- BRICK
- BLDG. RESTRICTION LINE
- BSMT
- BASEMENT
- C/S - CONCRETE STOOP OR SLAB
- CONC
- DRIVEWAY
- UTILITY POLE
- UP
- FRAME
- FR
- MACADAM
- MAC
- WINDOW WELL
- WW
- O/H
- OVERHANG
- PUE
- PUBLIC UTILITY ESMT.
- PIE
- PUBLIC IMPROVEMENT ESMT.

COLOR KEY:

- (RED) - RECORD INFORMATION
- (BLUE) - IMPROVEMENTS
- (GREEN) - ESMTS & RESTRICTION LINES

LOCATION DRAWING OF:
#12 HESKETH STREET
PART OF LOT 8, BLOCK 25 &
PART OF LOT 17, BLOCK 24
CHEVY CHASE

PLAT No. 106

MONTGOMERY COUNTY, MARYLAND

SCALE: 1"=20' DATE: 04-10-2025

DRAWN BY: AP FILE #: 252983-757



SURVEYOR'S CERTIFICATE

I HEREBY STATE THAT I WAS IN RESPONSIBLE CHARGE OVER THE PREPARATION OF THIS DRAWING AND THE SURVEY WORK REFLECTED HEREIN AND IT IS IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN REGULATION 12 CHAPTER 08.13.06 OF THE CODE OF MARYLAND ANNOTATED REGULATIONS. THIS SURVEY IS NOT TO BE USED OR RELIED UPON FOR THE ESTABLISHMENT OF FENCES, BUILDING, OR OTHER IMPROVEMENTS. THIS PLAT DOES NOT PROVIDE FOR THE ACCURATE IDENTIFICATION OF PROPERTY BOUNDARY LINES, BUT SUCH IDENTIFICATION MAY NOT BE REQUIRED FOR THE TRANSFER OF TITLE OR SECURING FINANCING OR REFINANCING. THIS PLAT IS OF BENEFIT TO A CONSUMER ONLY INsofar AS IT IS REQUIRED BY A LENDER OR A TITLE INSURANCE COMPANY OR ITS AGENTS IN CONNECTION WITH THE CONTEMPLATED TRANSFER, FINANCING OR REFINANCING. THE LEVEL OF ACCURACY FOR THIS DRAWING IS 1". NO TITLE REPORT WAS FURNISHED TO NOR DONE BY THIS COMPANY. SAID PROPERTY SUBJECT TO ALL NOTES, RESTRICTIONS AND EASEMENTS OF RECORD. BUILDING RESTRICTION LINES AND EASEMENTS MAY NOT BE SHOWN ON THIS SURVEY. IMPROVEMENTS WHICH IN THE SURVEYOR'S OPINION APPEAR TO BE IN A STATE OF DISREPAIR OR MAY BE CONSIDERED "TEMPORARY" MAY NOT BE SHOWN. IF IT APPEARS ENCROACHMENTS MAY EXIST, A BOUNDARY SURVEY IS RECOMMENDED.

A Land Surveying Company

DULEY

and

Associates, Inc.

Serving D.C. and MD.

14604 Elm Street, Upper Marlboro, MD 20772

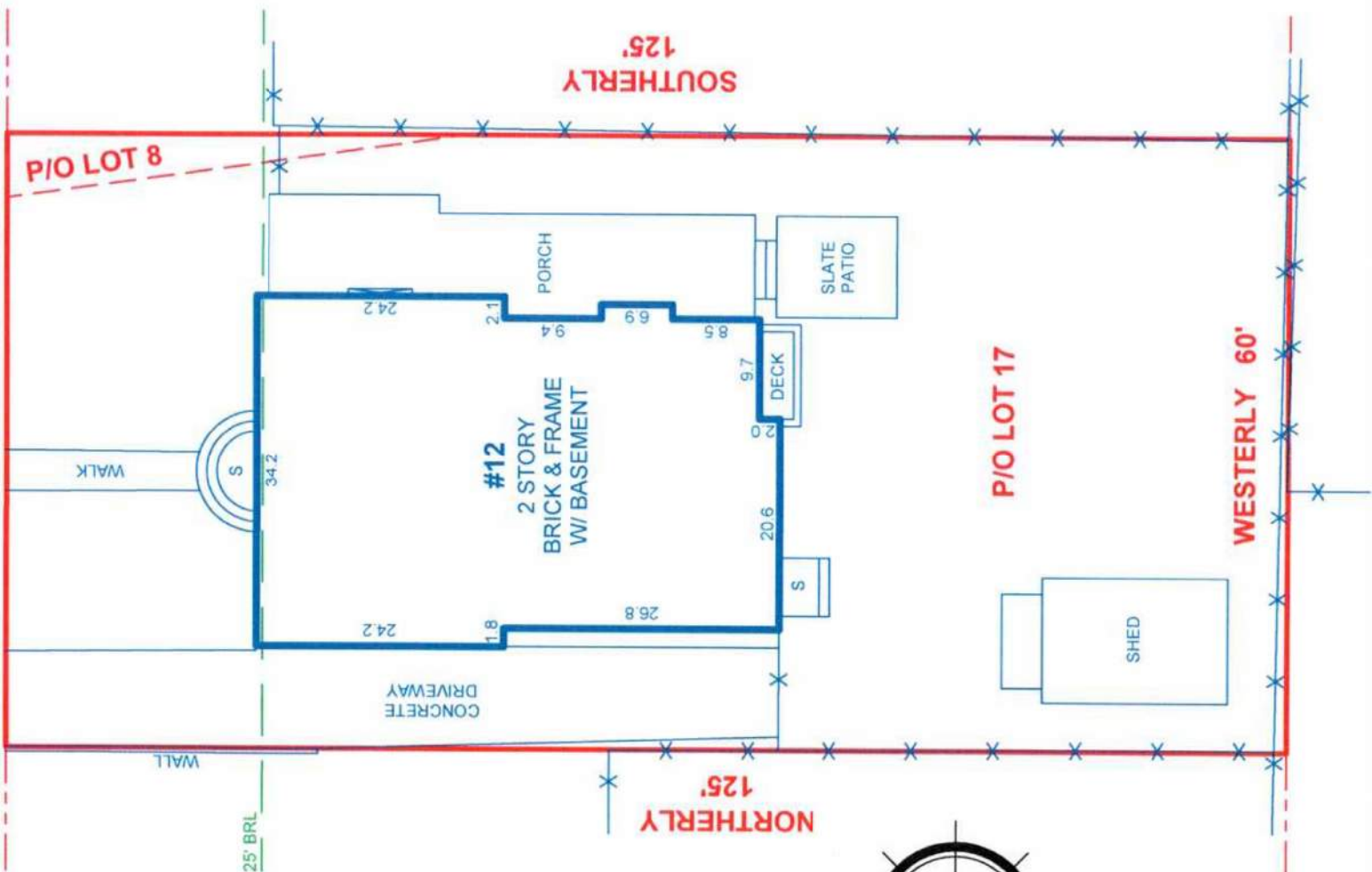
Phone: 301-888-1111 Fax: 301-888-1114

Email: orders@duley.biz On the web: www.duley.biz

THE LEVEL OF ACCURACY OF
DISTANCES TO APPARENT
PROPERTY LINES IS: **2'±**

HESKETH STREET

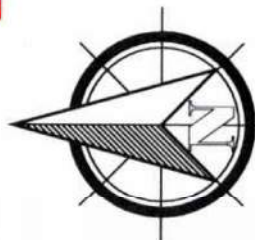
EASTERLY 60'



P/O LOT 17

NORTHERLY 125'

SOUTHERLY 125'



PLAT No. 106

House Location Survey - 12 Hesketh

8/13/2025

Z01

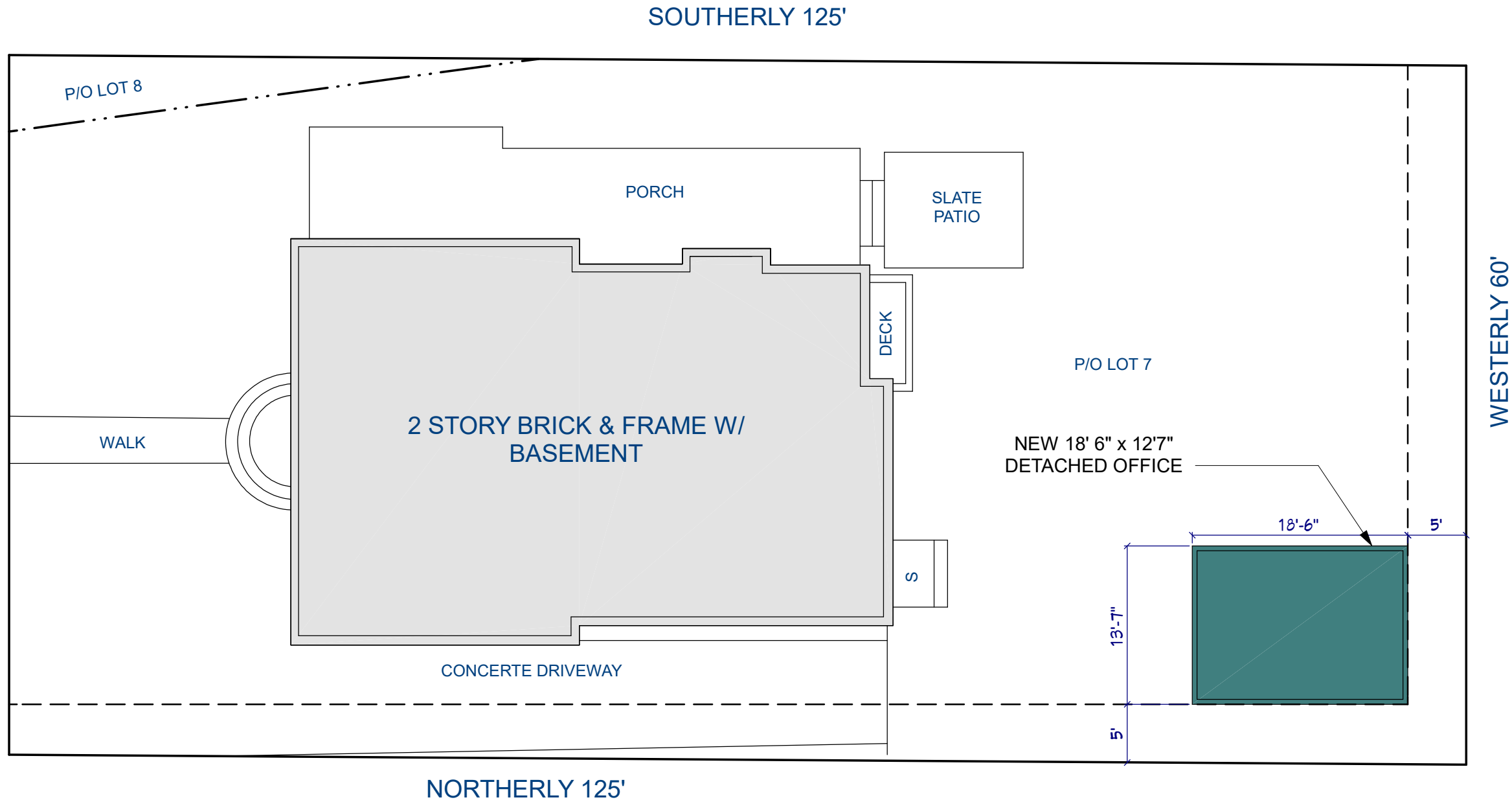
SITE SURVEY

BREST & RAPP
DETACHED REAR OFFICE
12 HESKETH ST.
CHEVY CHASE, MD 20815

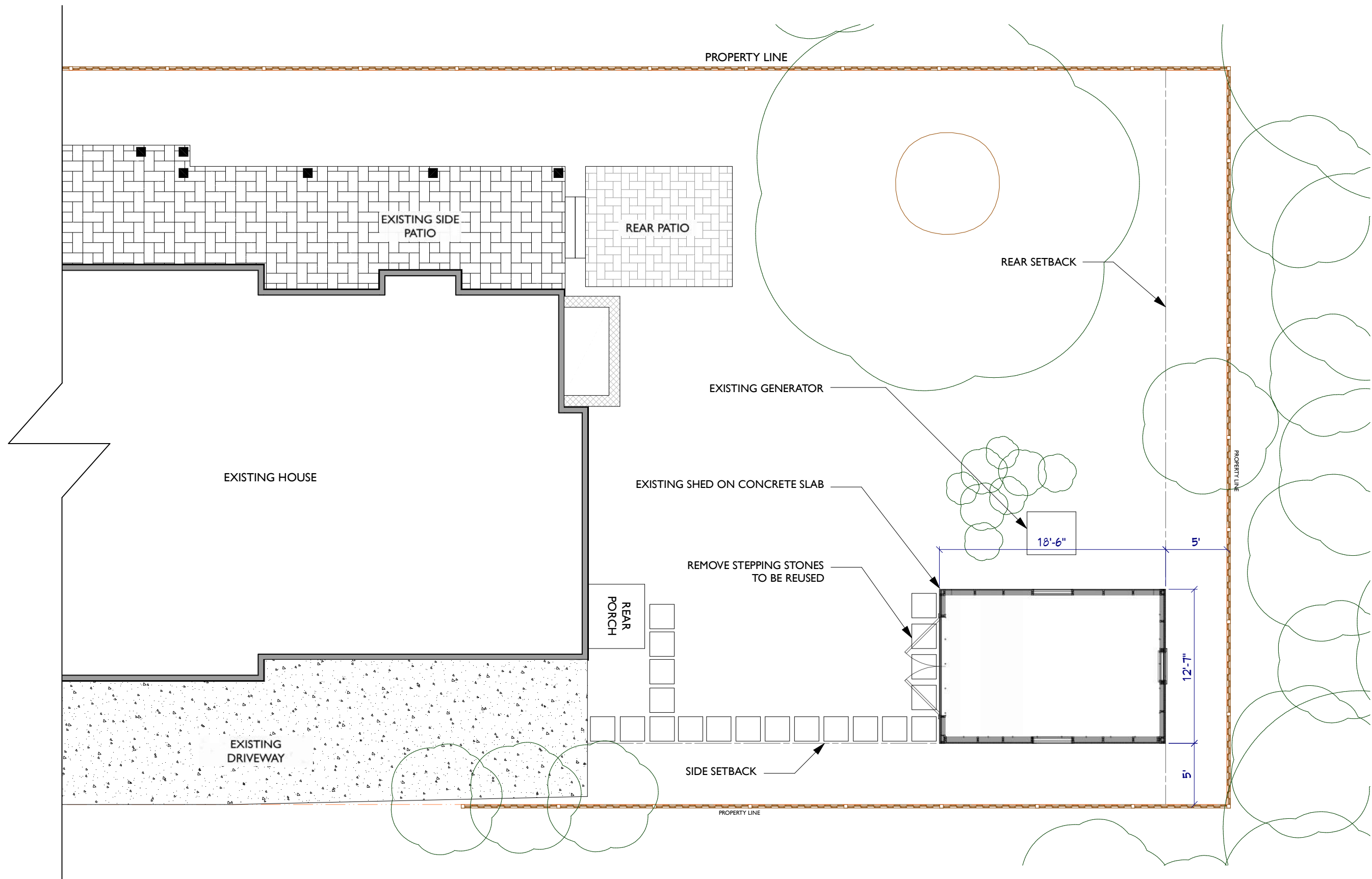
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HESKETH STREET

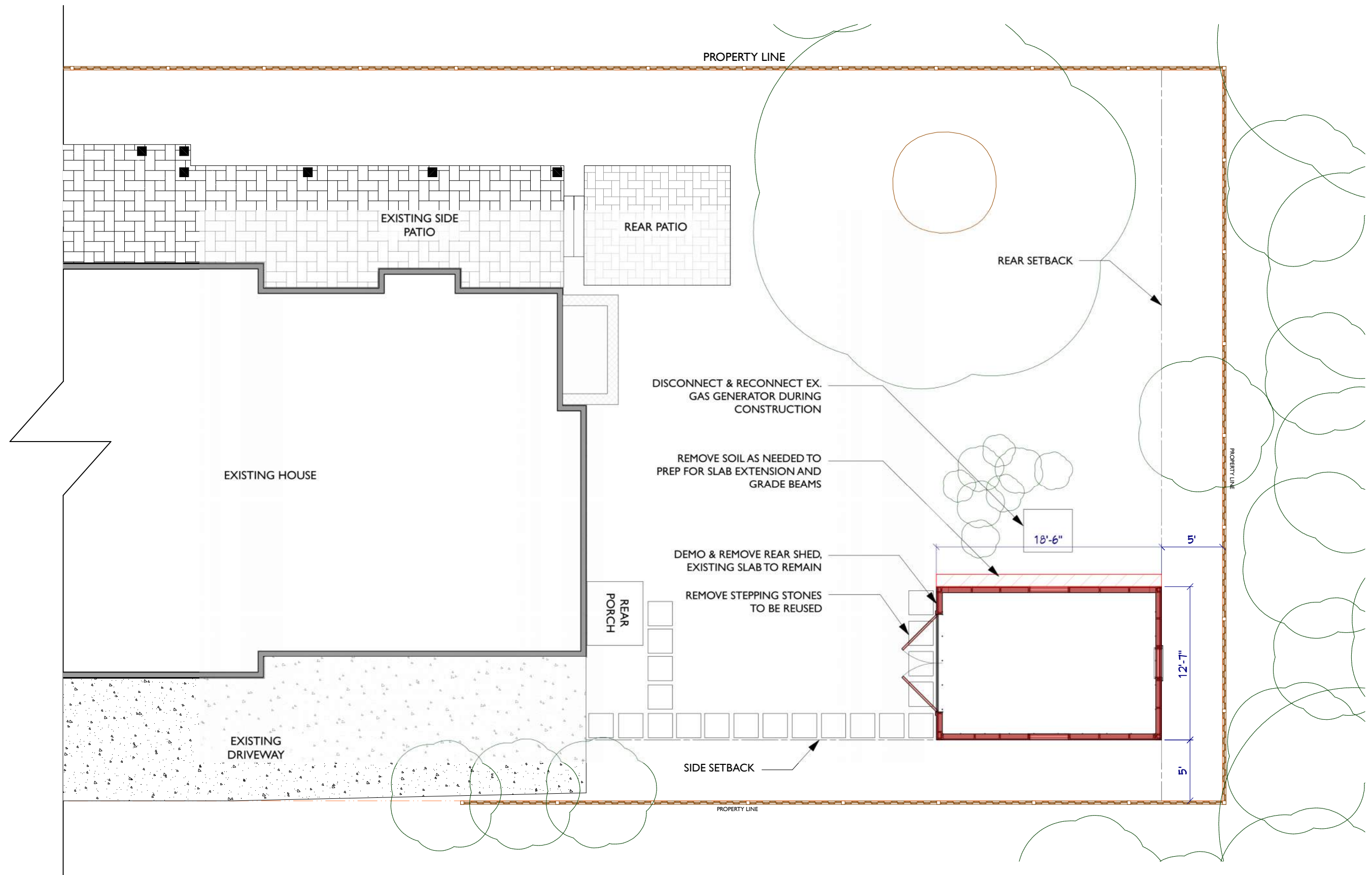
EASTERLY 60'



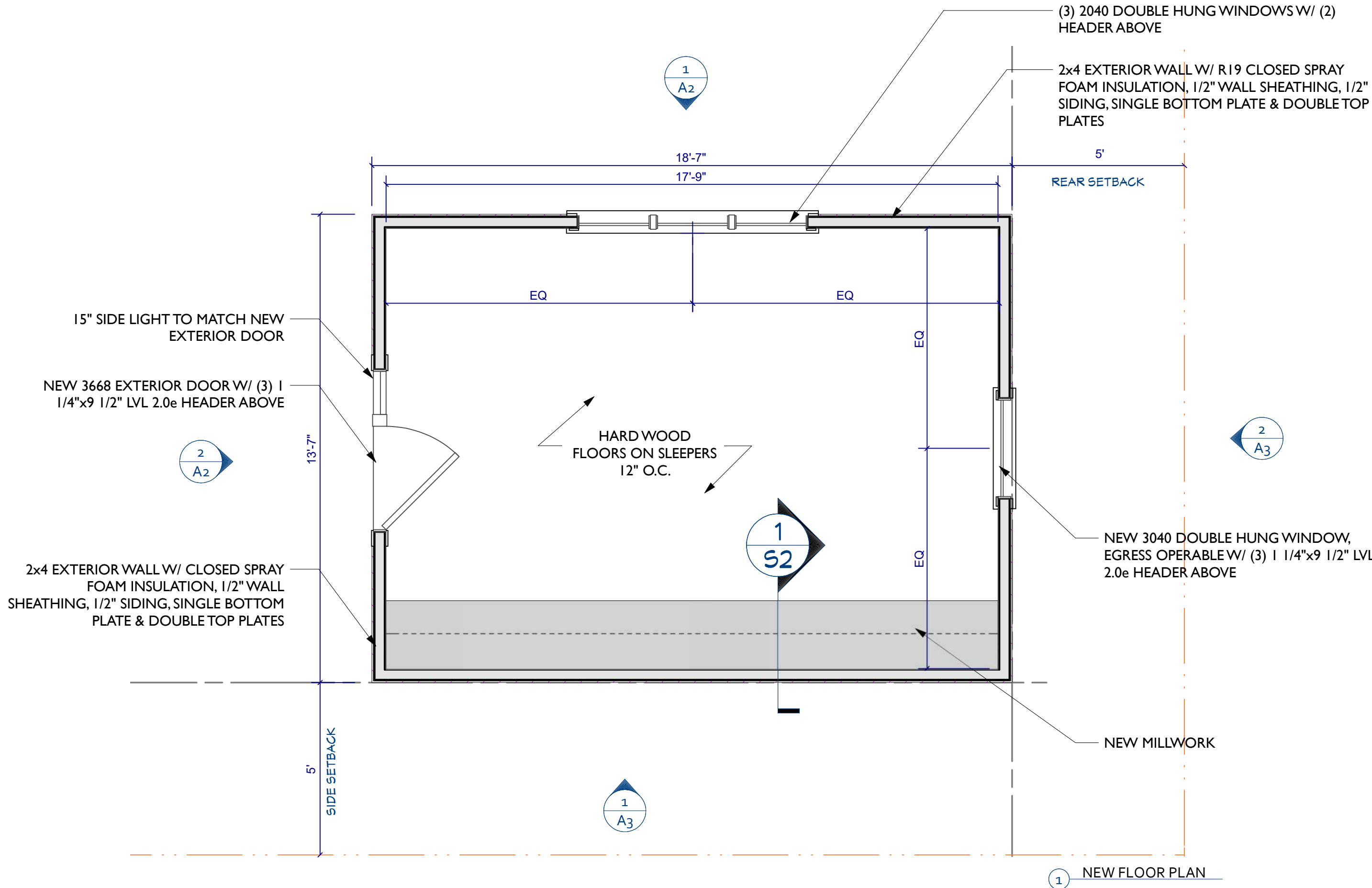
1 PROPOSED SITE PLAN
3/32" = 1'



1 EXISTING SITE PLAN
1/8" = 1'



1 EXISTING CONDITIONS AND DEMOLITION



**SPECTRUM
DESIGN + BUILD**
2700 GARFIELD AVE, SUITE C
SILVER SPRING, MD 20910

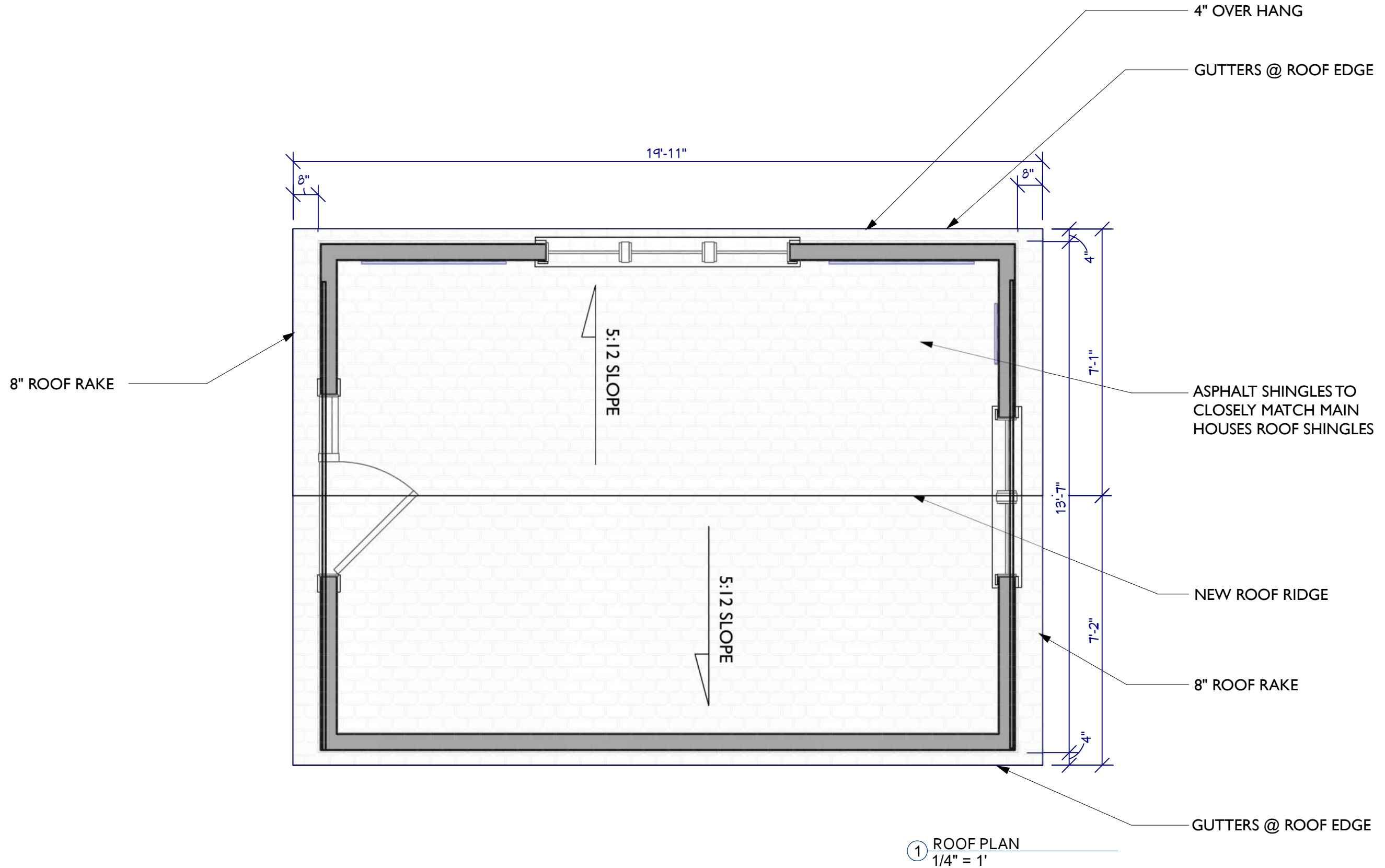
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DETACHED REAR OFFICE**
12 HESKETH ST.
CHEVY CHASE, MD 20815
PROJECT#25.003

PROPOSED FLOOR PLAN

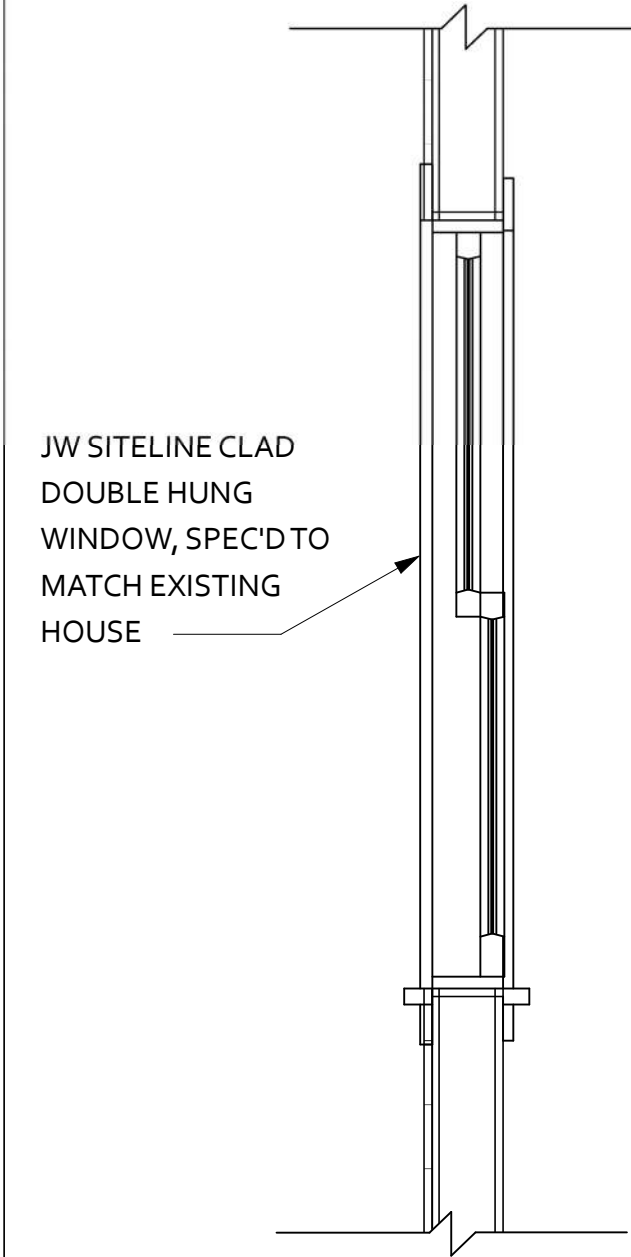
8/13/2025

A1

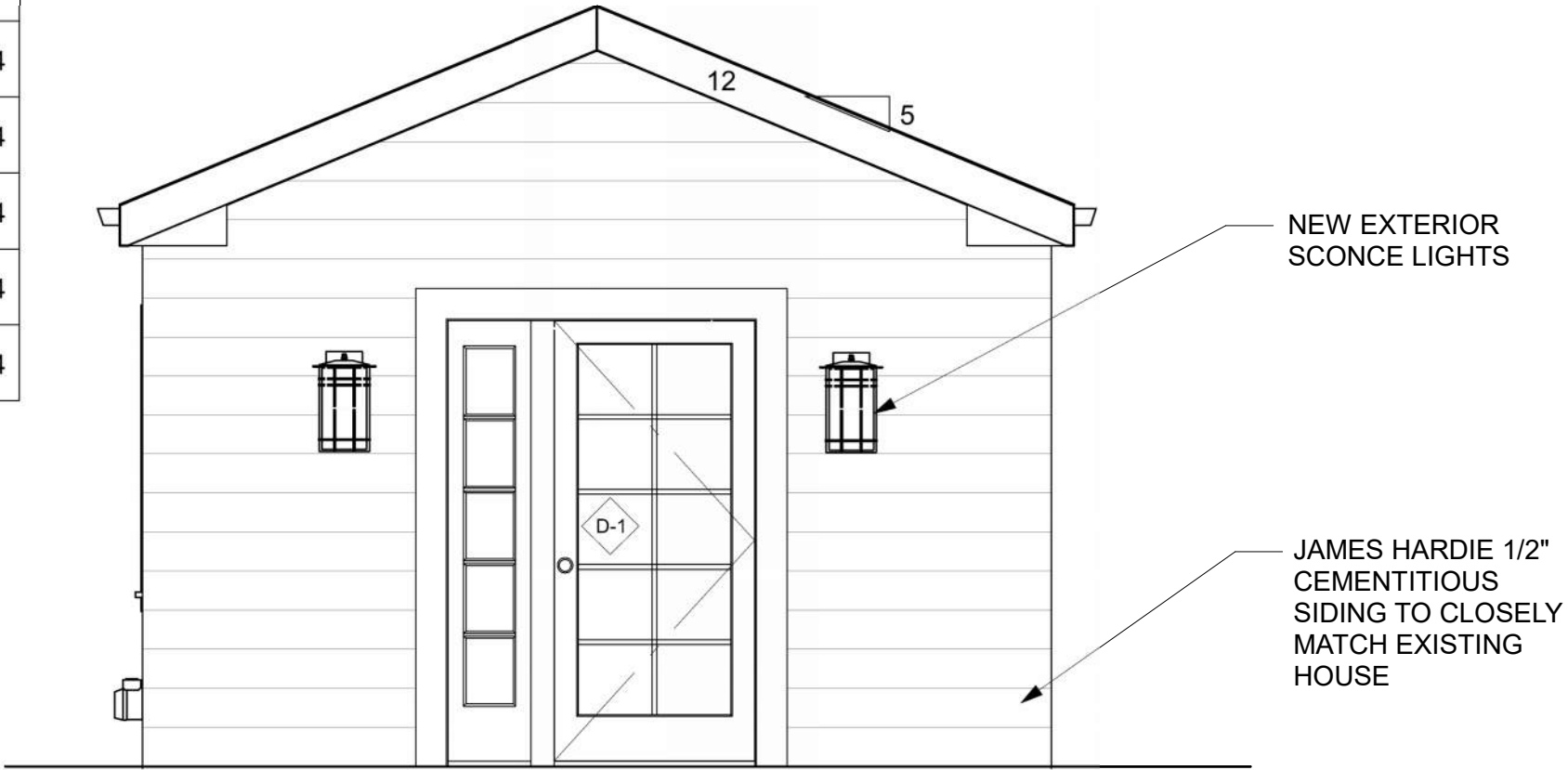
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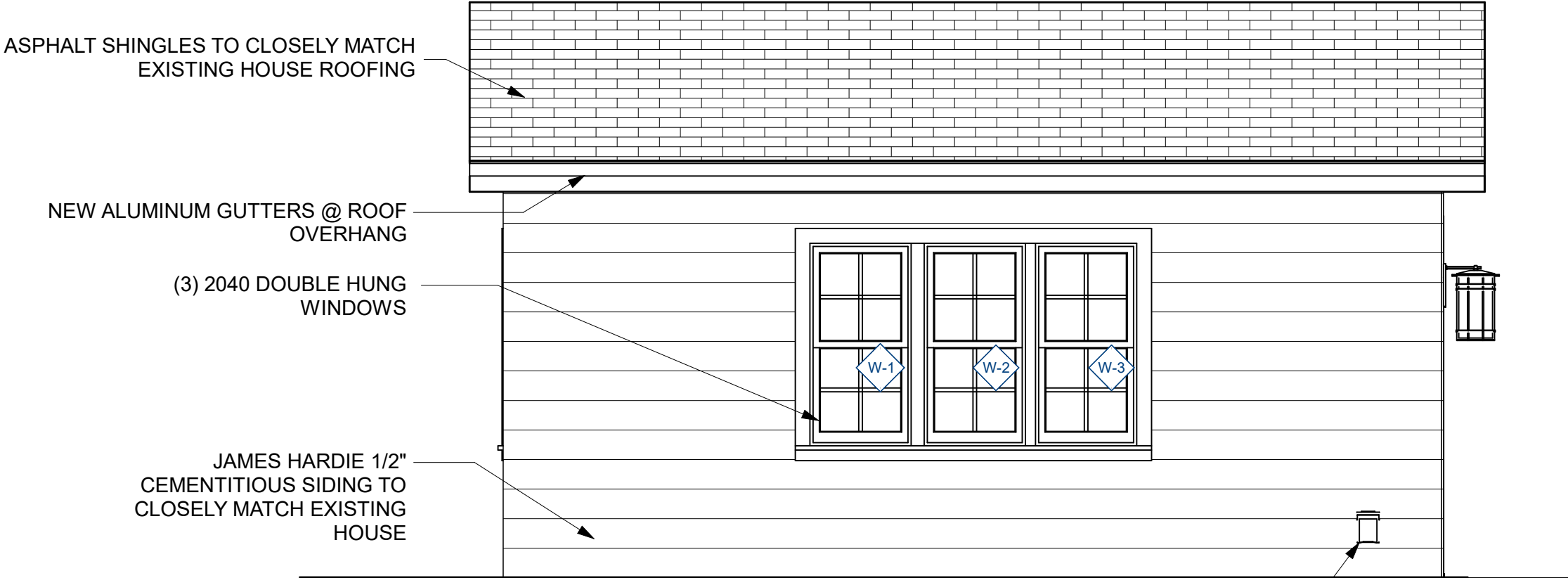
LABEL	QTY	FRAME SIZE	R/O	DESCRIPTION	U-FACTOR	MANUF.	LITES
W-1	1	25 3/8"x48"	26 1/8"x48 3/4"	STANDARD DBL HUNG	.30	JELD-WEN	4 OVER 4
W-2	1	25 3/8"x48"	26 1/8"x48 3/4"	STANDARD DBL HUNG	.30	JELD-WEN	4 OVER 4
W-3	1	25 3/8"x48"	26 1/8"x48 3/4"	STANDARD DBL HUNG	.30	JELD-WEN	4 OVER 4
W-4	1	25 3/8"x48"	26 1/8"x48 3/4"	STANDARD DBL HUNG	.30	JELD-WEN	4 OVER 4
D-1	1	54 1/4"x 82 1/2"	55" x 83"	STANDARD DBL HUNG	.30	JELD-WEN	4 OVER 4



1 TYPICAL WINDOW SECTION
SCALE: 1" = 1'-0"



2 WEST ELEVATION
SCALE: 3/8" = 1'-0"



1 NORTH ELEVATION
SCALE: 3/8" = 1'-0"

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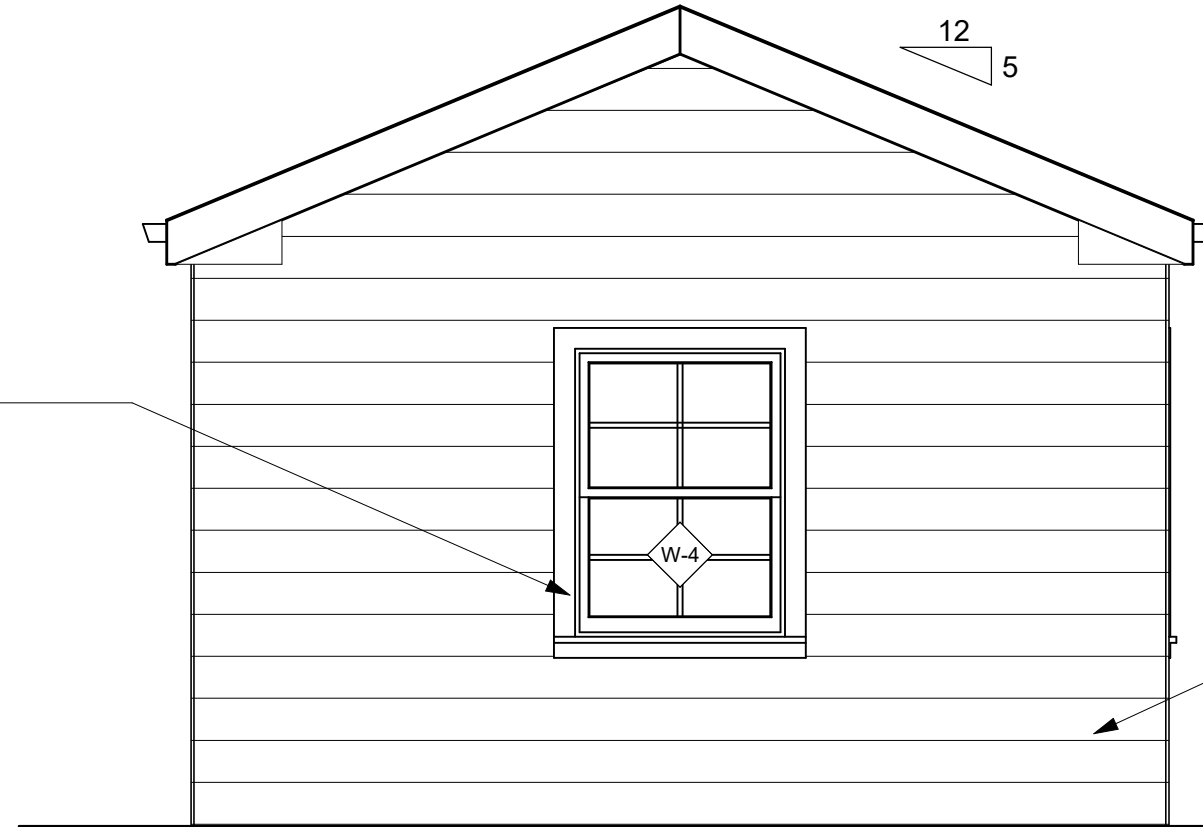
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PROJECT#25.003

ELEVATIONS

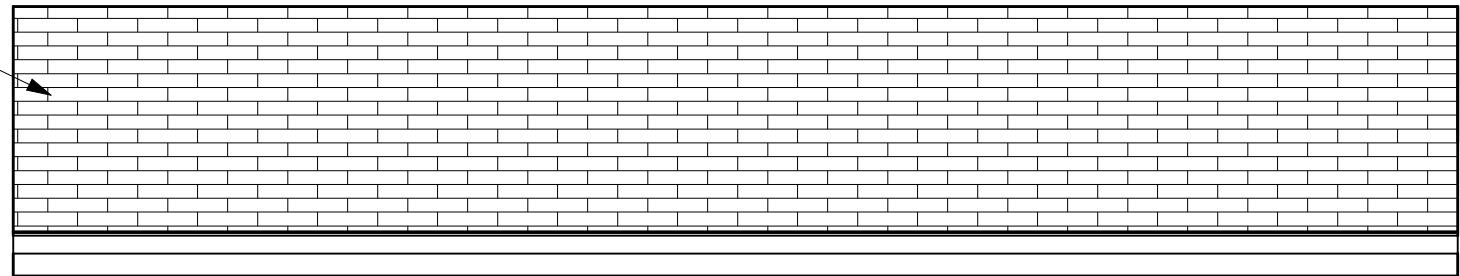
8/13/2025

A3

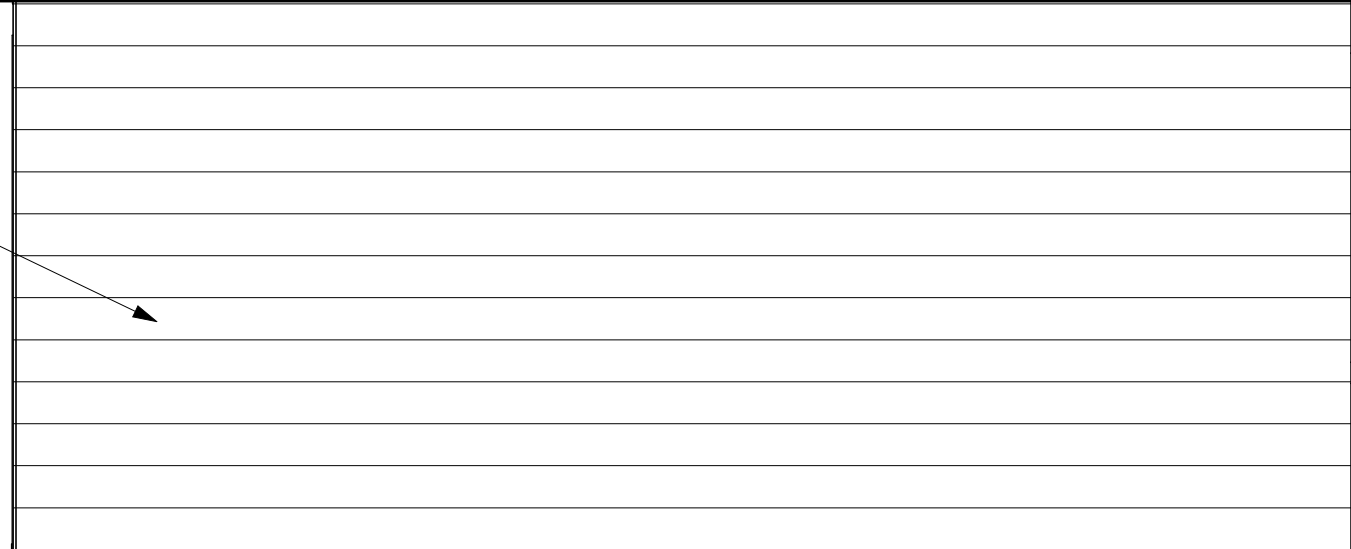


2 EAST ELEVATION











ASPHALT SHINGLES TO CLOSELY MATCH
EXISTING HOUSE ROOFING

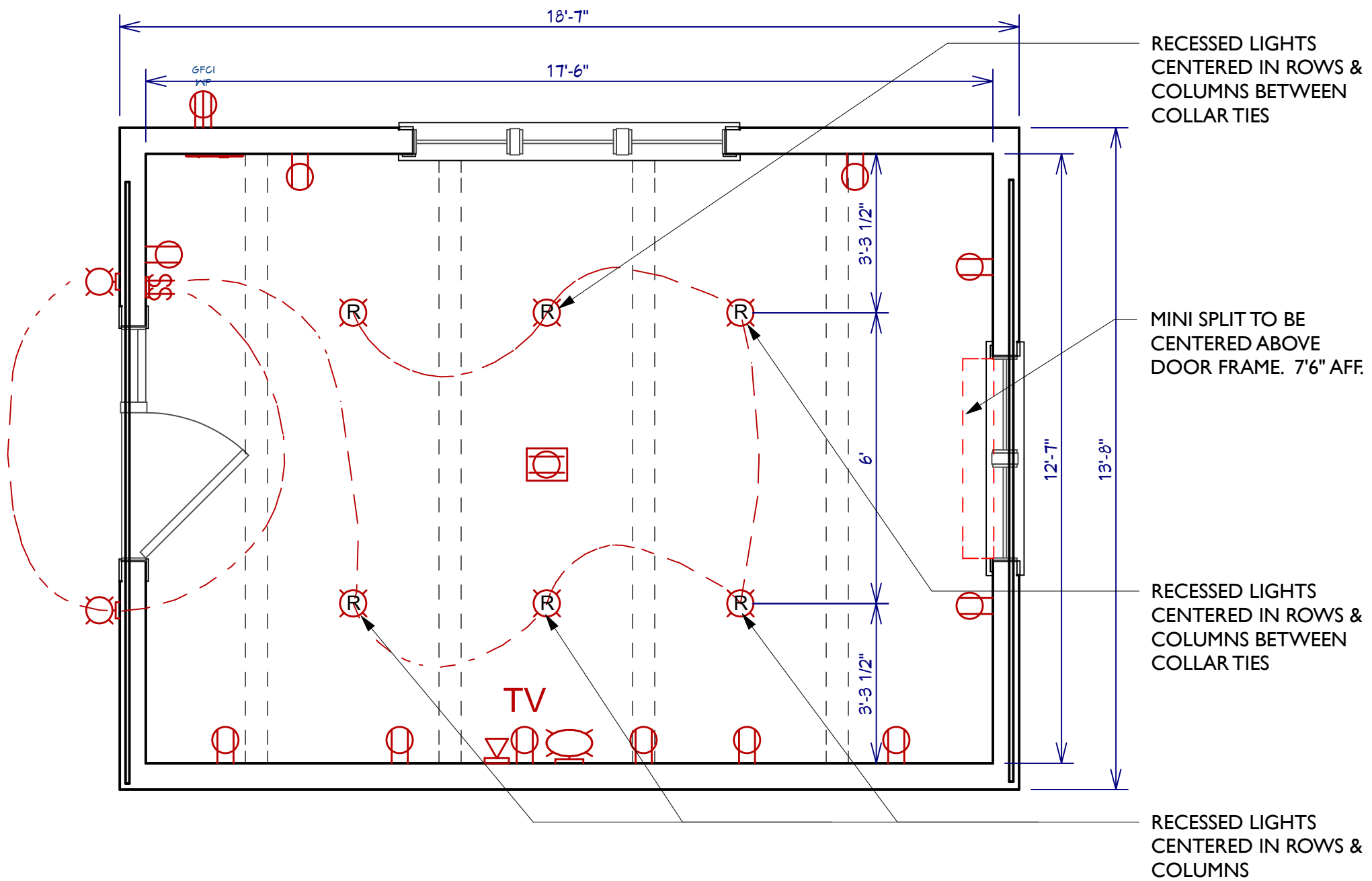


JAMES HARDIE 1/2"
CEMENTITIOUS SIDING TO
CLOSELY MATCH
EXISTING HOUSE



1 SOUTH ELEVATION

ELECTRICAL SCHEDULE	
SYM	DESCRIPTION
	220V GFCI WEATHERPROOF RECEPTACLE
	ART LIGHT 3
	DUPLEX
	DUPLEX RECEPTACLE
	DUPLEX, FLOOR MOUNTED
	ELECTRICAL PANEL - RECESSED
	EXTERIOR LANTERN 2
	RECESSED DOWN LIGHT 6
	SINGLE POLE
	TELEPHONE JACK / CAT / COAX



1 ELECTRICAL PLAN
1/4" = 1'

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PROJECT#25.003

PROPOSED ELECTRICAL PLAN

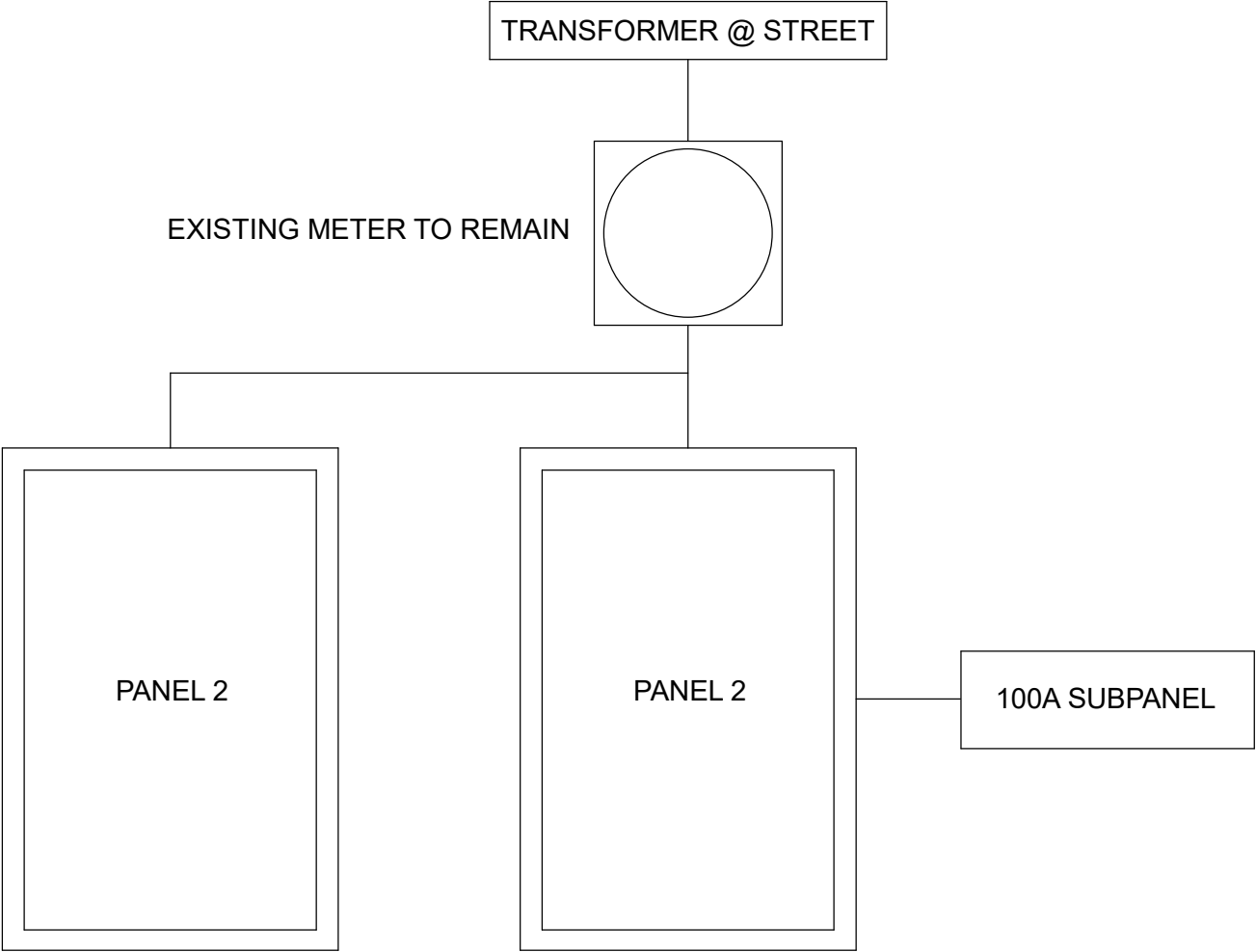
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E1

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ELECTRICAL NOTES:


- 1) INSTALL ARC FAULT BREAKERS FOR RECEPTACLES IN EXISTING ELECTRICAL PANELS AS REQUIRED PER NEC SECTION 210
- 2) ALL ELECTRICAL WORK AT MAIN PANEL TO REUSE EXISTING CIRCUITS WITH SAME USE OR CREATE NEW CIRCUIT ON EXISTING OPEN CIRCUIT




SUB PANEL SCHEDULE NOTES:

- 1) CIRCUIT BREAKERS SERVING CIRCUITS THAT CONTAIN OUTLETS SHALL BE LISTED AS A COMBINATION-TYP ARC FAULT CIRCUIT INTERRUPTER (AFCI) PER NFPA 70 ARTICLE 210.12 (A)(I)

ELEC SUB-PANEL SCHEDULE					
KVA	VOLT	POLE	TRIP	ITEM	CIRC. #
9.6	240	2	40	MINI SPLIT	1
9.6	240	2	40	MINI SPLIT	2
1.5	120	1	20	EXT. LIGHTS	3
1.5	120	1	20	EXT. GFCI OUTLETS	4
1.5	120	1	20	INT. LIGHTS	5
1.5	120	1	20	INT. OUTLETS	6
1.5	120	1	20	MINI FRIDGE	7
1.5	120	1	20	UNUSED	8
1.5	120	1	20	UNUSED	9
1.5	120	1	20	UNUSED	10



NEW CONCRETE SLAB AND GRADE BEAMS



EXISTING CONCRETE SLAB

ENGINEER'S SEAL FOR
STRUCTURAL INFORMATION ONLY



STRUCTURAL
ENGINEERING
RESOURCES, LLC

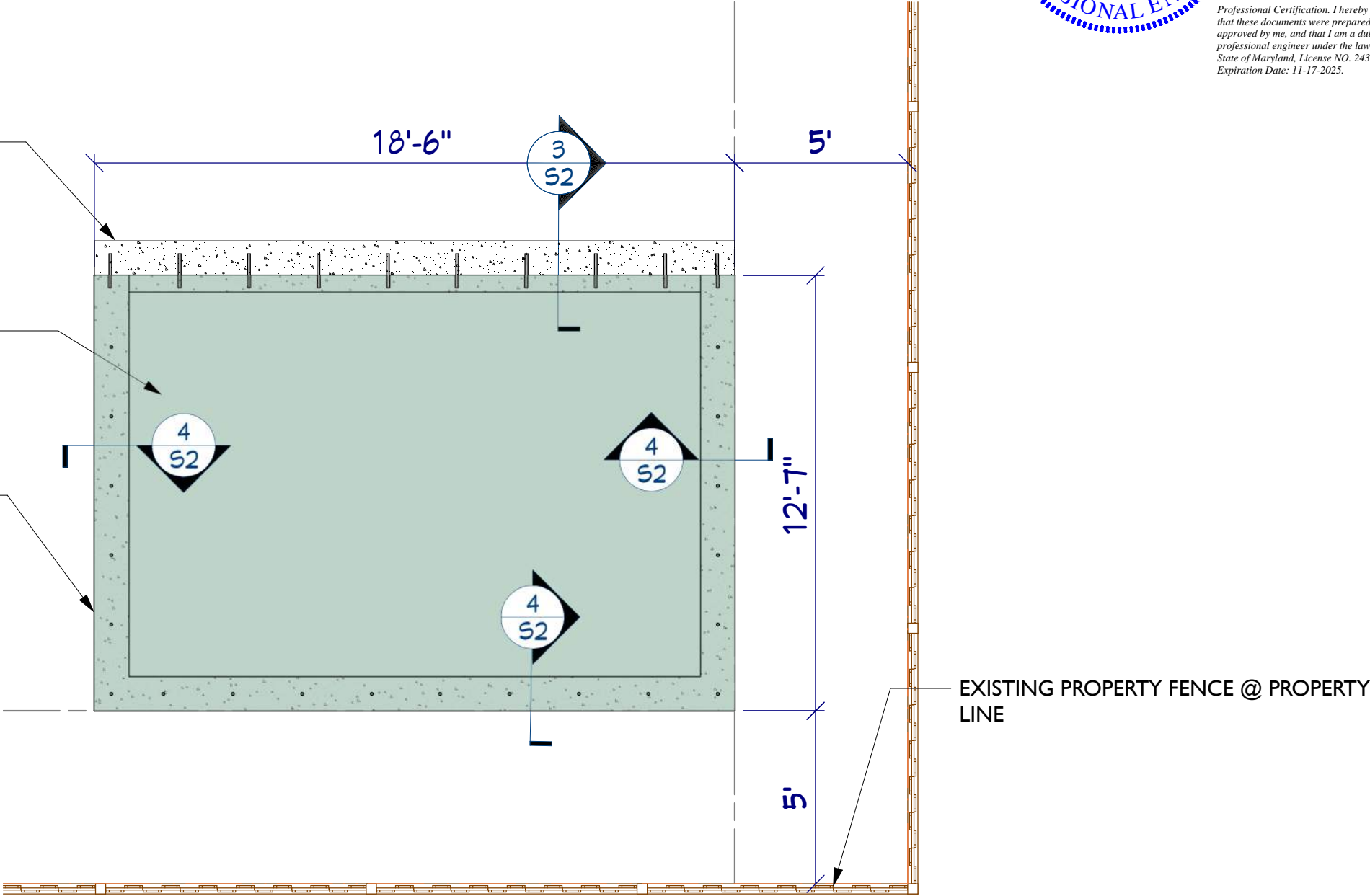
26 NORTH FOURTH STREET
GETTYSBURG, PA 17325
(717)-337-1335
JEFF@SERLLC.US

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that these documents were prepared or
approved by me, and that I am a duly licensed
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State of Maryland, License NO. 24342,
Expiration Date: 11-17-2025.

NEW ~12" WIDE MONOLITHIC GRADE BEAM
AND SLAB EXTENSION WITH 6" TAPER UNDER
EXISTING SLAB. TIED INTO SLAB W/ #4 REBAR
@ 24" O.C., 4" EMBEDMENT W/ EPOXY

EXISTING 8" CONCRETE SLAB
TO REMAIN

NEW ~12" WIDE CONCRETE GRADE BEAM
BELOW EXISTING SLAB SECTION W/ #4 REBAR.
1 VERTICAL REBAR 24" O.C. & 2 HORIZONTAL
SECTIONS OF REBAR



1 FOUNDATION PLAN
1/4" = 1'

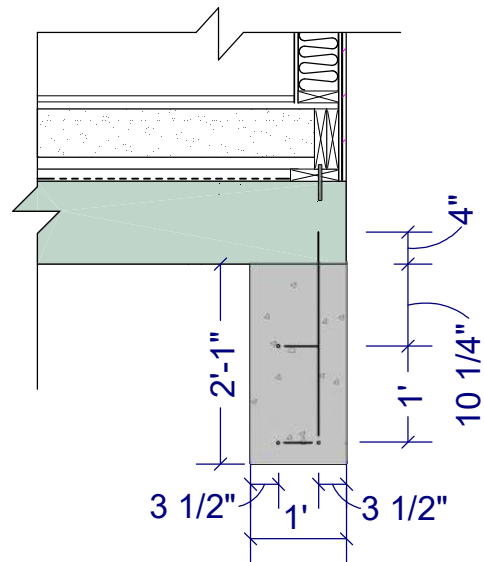
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PROPOSED FOUNDATION

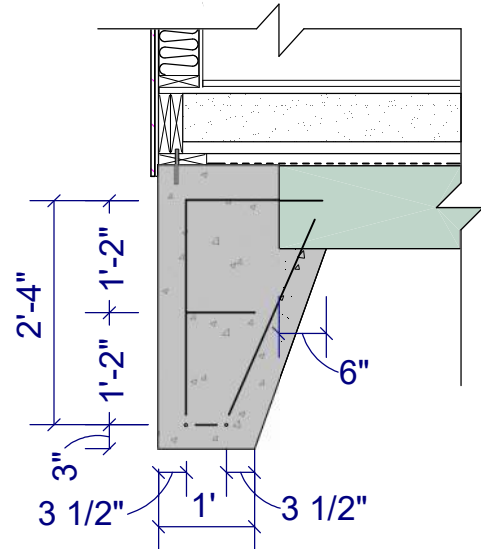
8/8/2025

S1

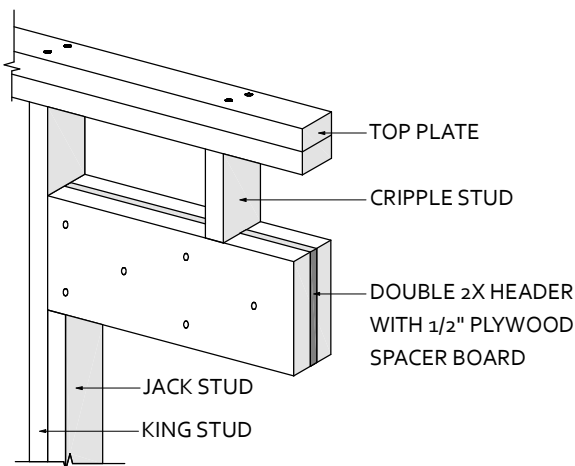
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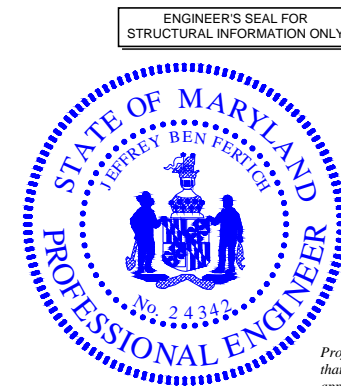
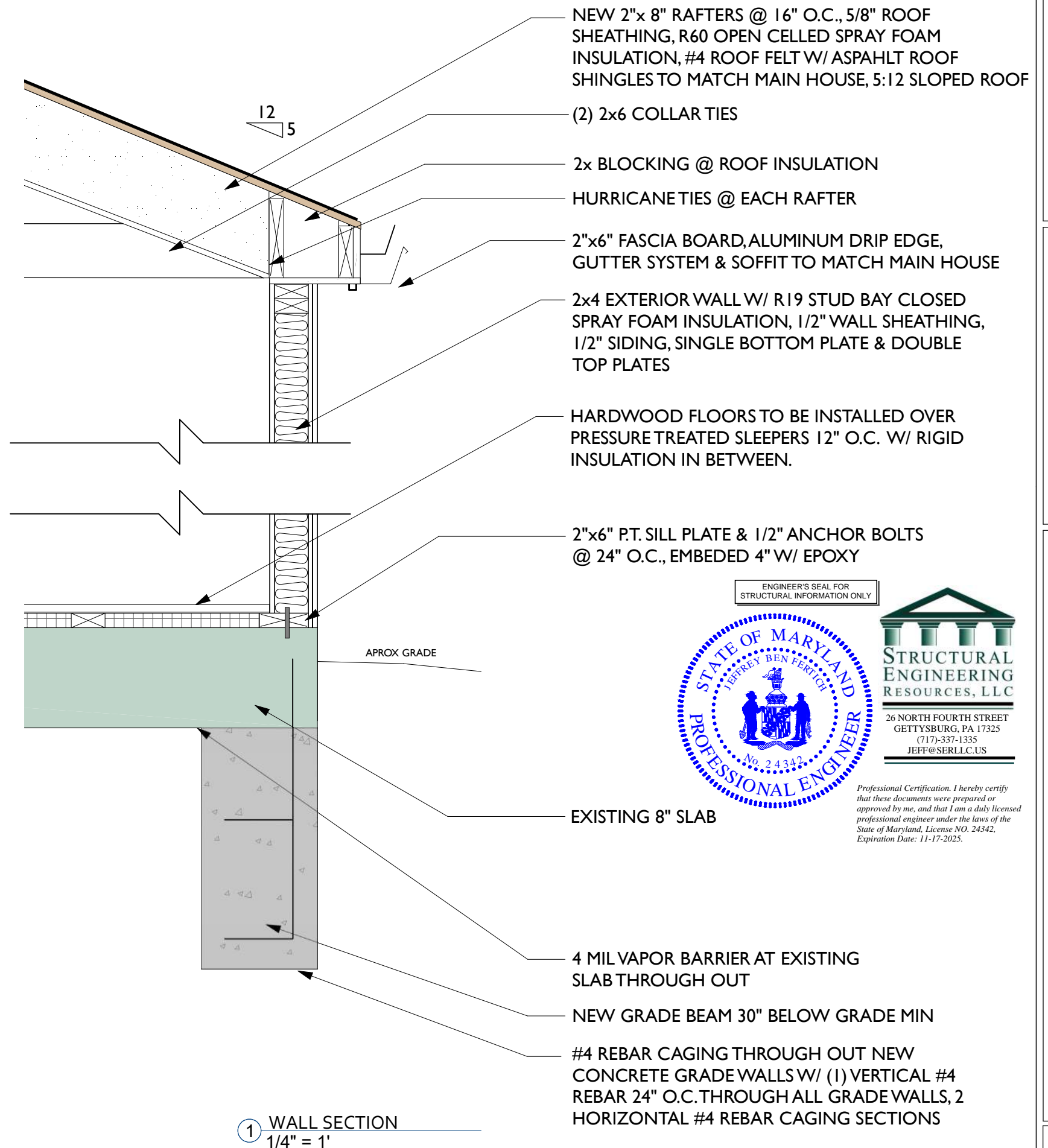
④ GRADE BEAM DETAIL
1/2" = 1'



③ TAPERED GRADE BEAM DETAIL
1/2" = 1'



② HEADER DETAIL
NOT TO SCALE



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(2)-2x10 SPF #2

(2) 2x6 COLLAR TIE

(3)-STUD POST TO
HEADER BELOW

(3)-2x10 SPF #2

NON LOAD BEARING
LADDER SOFFIT
ATTACHED TO ROOF

(2) 2x6 COLLAR TIE

SIMPSON STRONG-TIE
H2.5A HURRICANE
TIES @ EACH RAFTER
BAY

(3)-STUD POST
TO HEADER
BELOW

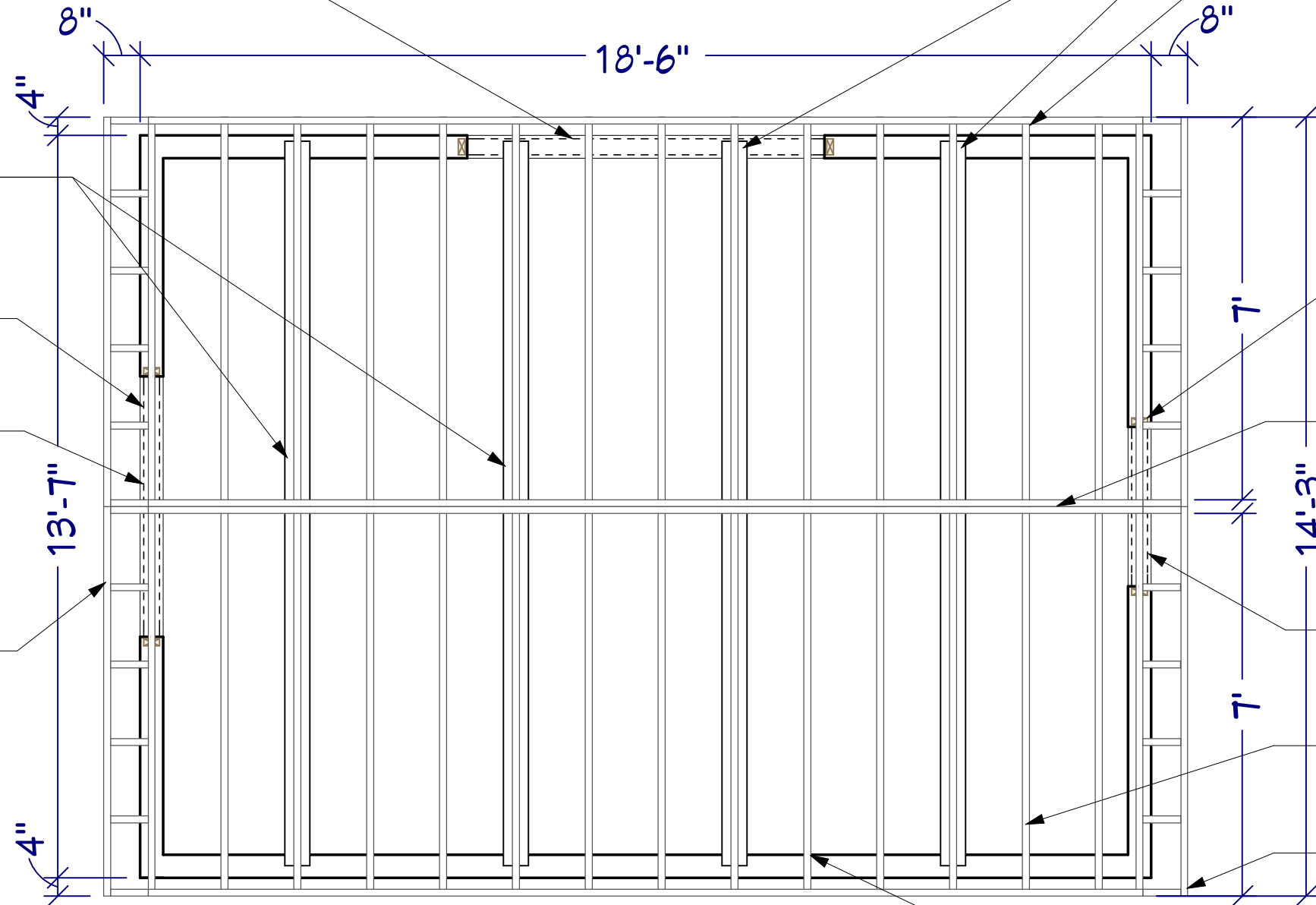
(2)-1 3/4"x14"
LVL 2.0E

(2)-2x10 SPF #2

2"x8" RAFTERS SPF #2
OR BETTER @ 16" O.C.
W/ METAL HANGERS

NON LOAD BEARING
LADDER SOFFIT
ATTACHED TO ROOF

SIMPSON STRONG-TIE
H2.5A HURRICANE
TIES @ EACH RAFTER
BAY



1 WALL SECTION
3/8" = 1'

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PROJECT#25.003

PROPOSED ROOF FRAMING PLAN

8/8/2025

S3

LATERAL BRACING NOTES:

BRACING MEETS THE REQUIREMENTS OF 2018 IRC R602.10 FOR 90MPH BASIC WIND SPEED AND 115MPH ULTIMATE WIND SPEED AND APPROPRIATE ENGINEERING PRINCIPLES AS SIGNED AND SEALED BY THE PROFESSIONAL ENGINEER.

7/16" OSB OR 1/2" PLYWOOD WOOD STRUCTURAL PANELS (CS-WSP OR WSP) MUST BE APPLIED TO ALL EXTERIOR SHEATHABLE SURFACES INCLUDING GABLE END WALLS & ABOVE& BELOW ALL OPENINGS. THE SHEATHING IS TO BE FASTENED W/ 8d NAILS AT 6" OC @ EDGES & 12" OC AT ALL INTERMEDIATE SUPPORTS.

INTERIOR GYPSUM BOARD (GB) BRACED WALLS WHERE INDICATED TO BE FASTENED AT ALL EDGES W/ SCREWS OR NAILS @ 7" OC.

BRACED PANELS "WSP #" OR "CSP-WSP #" INDICATES THE WIDTH IN INCHES AND LOCATION OF PANELS TO MEET CODE. THE SHEATHING & NAIL PATTERN IS THE SAME HERE AS ACROSS THE ENTIRE STRUCTURE, HOWEVER THE TOP & BOTTOM AT THIS LOCATION MUST BE FASTENED PER THE WSP FASTENING DETAILS.

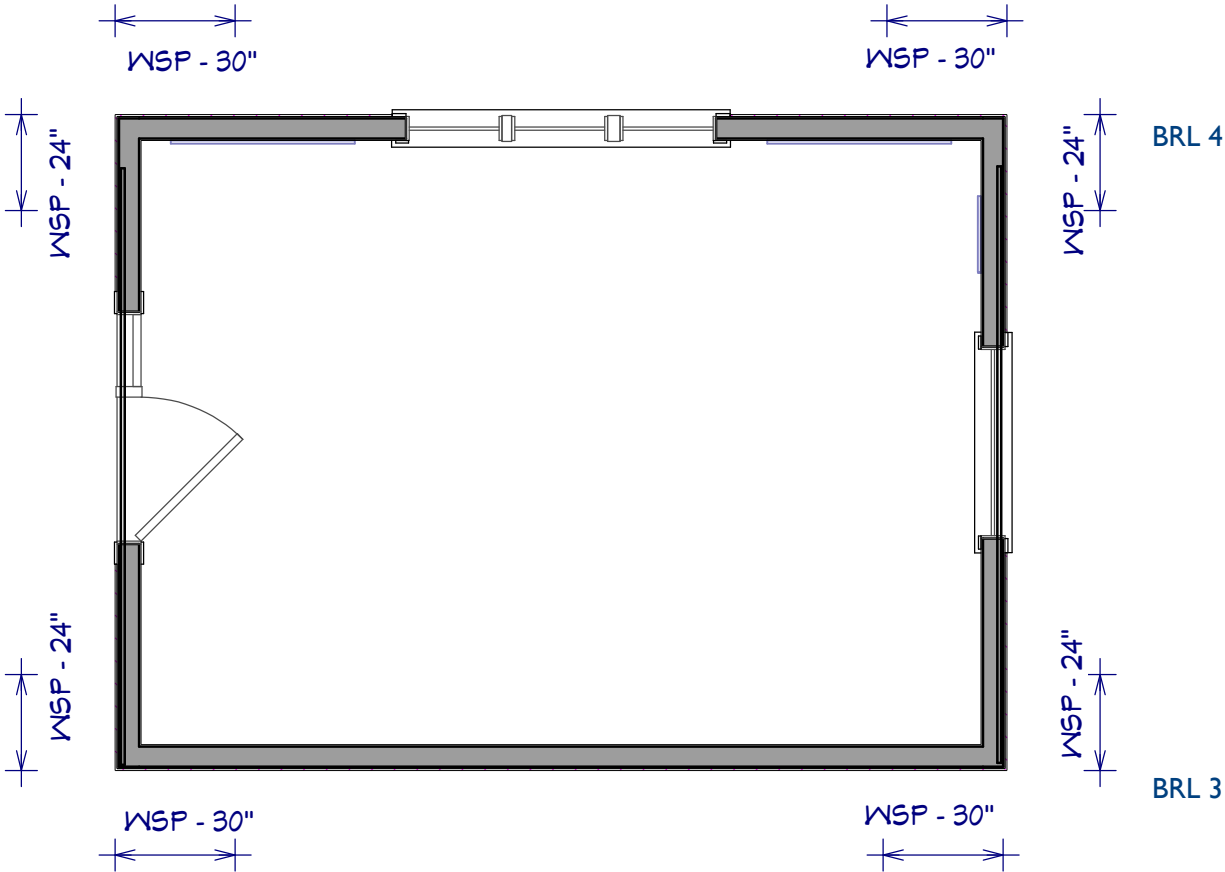
BRACED PANELS "GB #" INDICATES THE WIDTH IN INCHES AND LOCATION OF GYPSUM BOARD PANELS TO MEET CODE, THE BOARD FASTENING, FASTENING AT THE TOP & BOTTOM & ADDITIONAL FLOOR & ROOF BLOCKING AT THIS LOCATION MUST BE PER THE GB FASTENING DETAILS.

BRACED PANEL "PF #" INDICATED A PORTAL FRAME & REQUIRE SPECIAL ATTACHMENT OF THE HEADER. SEE THE CS-PF PORTAL FRAME DETAIL.

EXTERIOR WALL CORNERS, INSIDE & OUTSIDE, MUST BE CONSTRUCTED PER TYPICAL DETAILS.

BWL- INDICATES BRACED WALL LINE

STRAPS, HANGERS, & ANCHORS INDICATED ARE TO BE SIMPSON STRONG TIE OR EQUAL.



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LATERAL BRACING

8/8/2025

S4



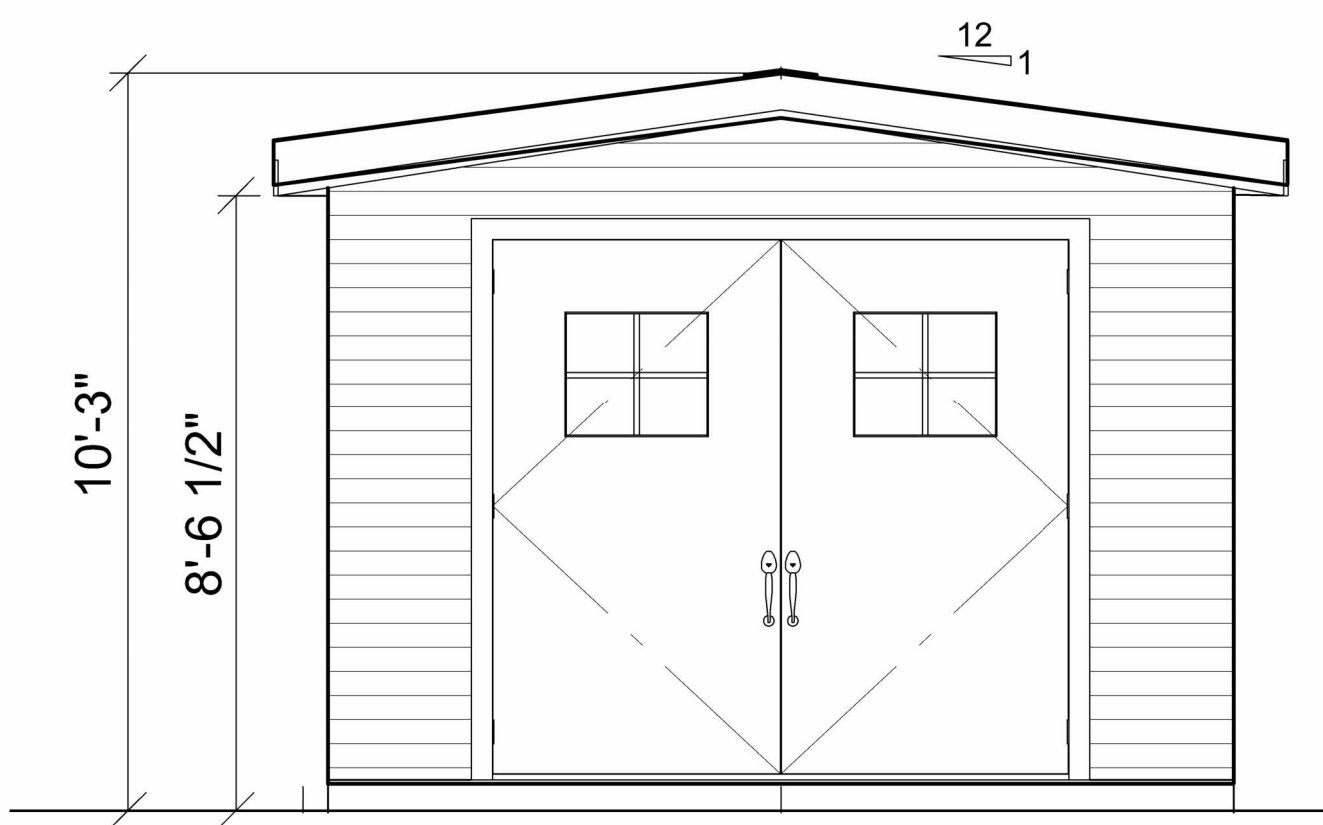
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**MONTGOMERY
COUNTY HPC
SKETCH**

DATE:
9/15/2025

SCALE:

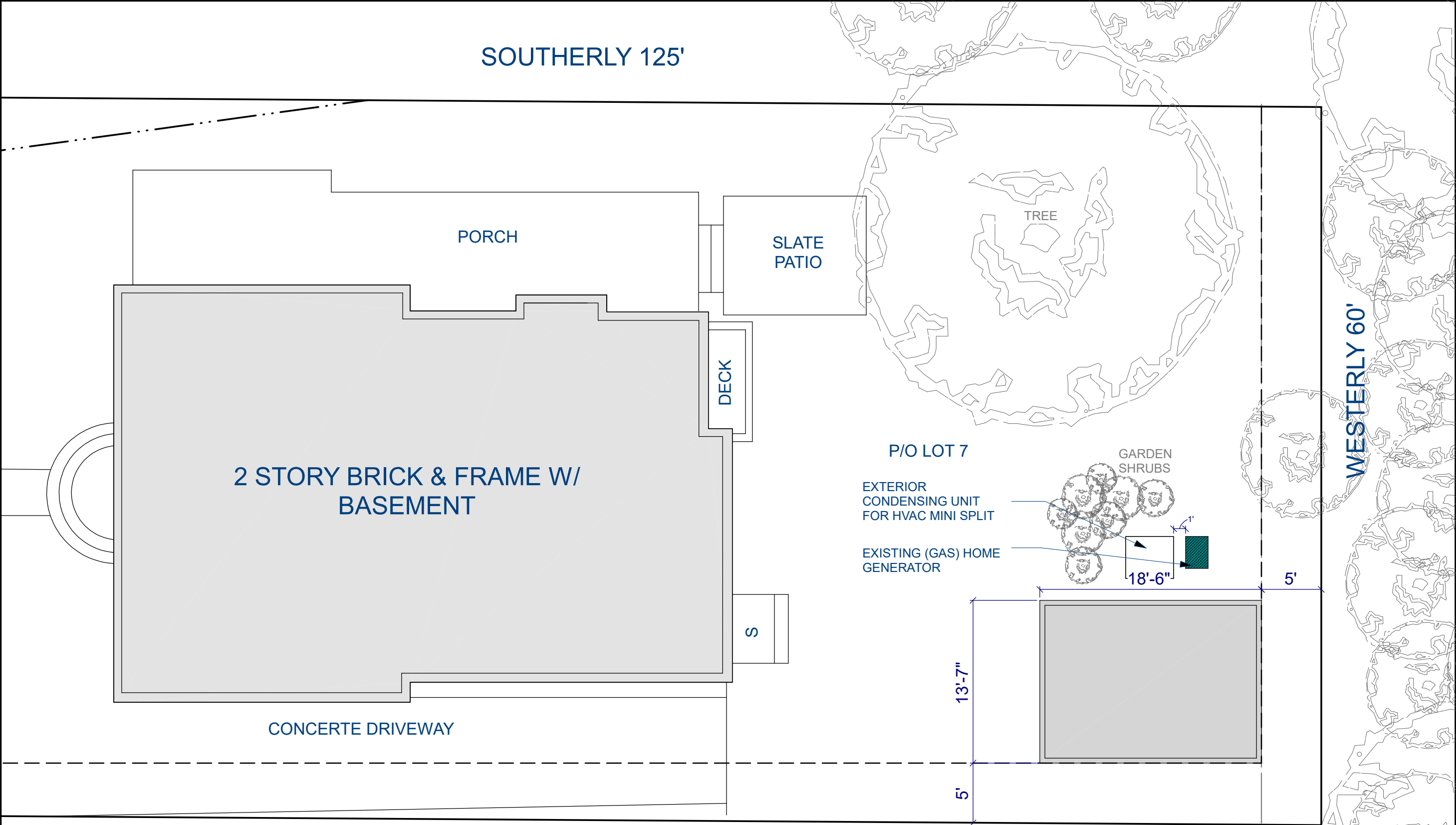
SHEET:
SK-1



② EXISTING SHED FRONT ELEVATION
1/4" = 1'



① PROPOSED OFFICE FRONT ELEVATION
1/4" = 1'



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**MONTGOMERY
COUNTY HPC
SKETCH**

DATE:
9/15/2025

SCALE:

SHEET:
SK-1

① SITE PLAN WITH CONDENSING UNIT
1/4" = 1'