## $\frac{\text{MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION}}{\text{STAFF REPORT}}$

Address: 20 W. Kirke St., Chevy Chase Meeting Date: 6/11/2025

**Resource:** Contributing Resource **Report Date:** 6/4/2025

**Chevy Chase Village Historic District** 

**Public Notice:** 5/28/2025

**Applicant:** Elizabeth Williams

(Avantika Dalal, Agent) Tax Credit: No

**Review:** HAWP

Staff: Laura DiPasquale

**Permit No.:** 1116733

**Proposal:** Hardscape alterations and fence installation

#### STAFF RECOMMENDATION

Staff recommends that the HPC <u>approve with one (1) condition</u> the HAWP application, with final approval authority delegated to staff:

1. The applicant must consult with and implement the recommendation(s) of an arborist regarding the tree protection plan prior to issuance of the HAWP.

#### **ARCHITECTURAL DESCRIPTION**

SIGNIFICANCE: Contributing Resource to the Chevy Chase Village Historic District

STYLE: Craftsman w/traditional additions

DATE: c.1916-27



Figure 1: 20 W. Kirke St. is at the corner of W. Kirke and Magnolia Pkwy.

#### **PROPOSAL**

The applicants propose to replace portions of the asphalt driveway with new decorative stone paving, and to install a new wood trash enclosure and six-foot tall wood screen wall. The proposal also slightly reduces the footprint of the previously-approved patio and shape of the southern seat-wall. A portion of the proposed work falls within the Chevy Chase Village-designated right-of-way.

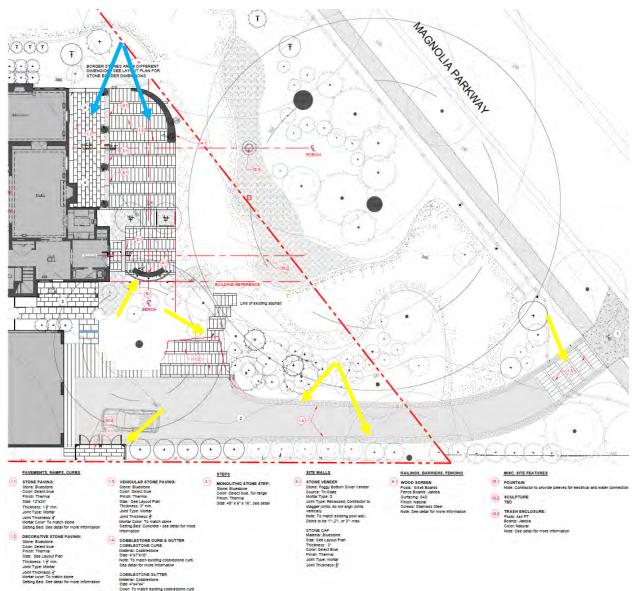


Figure 2: Proposed site plan and key. Yellow arrows point to the areas of new work. Blue arrows point to the hardscaping approved under HAWP 1109308 at the April 9, 2025 HPC meeting.



Figure 3: View of the subject property from Magnolia Parkway.

#### APPLICABLE GUIDELINES

When reviewing alterations and new construction within the Chevy Chase Village Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and adopted amendment for the Chevy Chase Village Historic District (*Guidelines*), *Montgomery County Code Chapter 24A* (*Chapter 24A*), and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these four documents is outlined below.

#### Chevy Chase Village Historic District Guidelines

The *Guidelines* state five basic policies that should be adhered to, including:

- 1. Preserving the integrity of the Chevy Chase Village Historic District. Any alterations should, at a minimum, perpetuate the ability to perceive the sense of time and place portrayed by the district.
- 2. Preserving the integrity of contributing structures. Alterations should be designed in such a way that the altered structure still contributes to the district.
- 3. Maintaining the variety of architectural styles and the tradition of architectural excellence.
- 4. Design review emphasis should be restricted to changes that will be visible from the front or side public right-of-way, or that would be visible in the absence of vegetation or landscaping.
- 5. Alterations to the portion of a property that are not visible from the public-right-of-way should be subject to a very lenient review. Most changes to the rear of the properties should be approved as a matter of course.

The *Guidelines* break down specific projects into three levels of review - Lenient, Moderate and Strict Scrutiny for Outstanding and Contributing Resources:

**"Lenient Scrutiny"** means that the emphasis of the review should be on issues of general massing and scale, and compatibility with the surrounding streetscape, and should allow for a very liberal interpretation of preservation rules. Most changes should be permitted unless there are major problems with massing, scale or compatibility.

"Moderate Scrutiny" involves a higher standard of review than "lenient scrutiny." Besides issues of massing, scale and compatibility, preserving the integrity of the resource is taken into account. Alterations should be designed so that the altered structure still contributes to the district. Use of

compatible new materials, rather than the original building materials, should be permitted. Planned changes should be compatible with the structure's existing design, but should not be required to replicate its architectural style.

"**Strict Scrutiny**" means that the planned changes should be reviewed to insure that the integrity of the significant exterior architectural or landscaping features and details is not compromised. However, strict scrutiny should not be "strict in theory but fatal in fact" i.e. it does not mean that there can be no changes but simply that the proposed changes should be reviewed with extra care.

- o <u>Driveways</u> should be subject to strict scrutiny only with regard to their impact on landscaping, particularly mature trees. In all other respects, driveways should be subject to lenient scrutiny. Parking pads and other paving in front yards should be discouraged.
- o <u>Fences</u> should be subject to strict scrutiny if they detract significantly from the existing open streetscape. Otherwise, fences should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not.
- O <u>Gazebos and other garden structures</u> should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not.

#### Montgomery County Code; Chapter 24A-8

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
  - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
  - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district.

#### Secretary of the Interior's Standards for Rehabilitation:

- 2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.
- 9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
- 10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

#### STAFF DISCUSSION

Staff supports the proposed paving alterations, screen wall, and trash enclosure installation, and recommends approval. The subject property started as a clapboard sided, side-gable Craftsman bungalow orientated toward Magnolia Parkway. A later addition to the west, constructed in a Federal Revival vocabulary, reoriented the house with a new entrance along Kirke Street. A 2012 addition to the south of the historic bungalow employs many of the craftsman elements found on the historic house. The corner property has an extensive and heavily landscaped yard, much of which is in the Village-designated right-of-way and which is enclosed by a low picket fence.

#### Hardscape Alterations (Patio) and Screen Wall Installation

The HPC approved restoration of the enclosed porch to its original, open appearance and construction of a bluestone patio and seat walls under HAWP 1109308 at its April 9, 2025 meeting. The current proposal slightly reduces the footprint of the patio by two feet (from 19 feet to 17 feet) on the east side, as well as on the southern end so that the proposed screen wall will align with the plane of the house. Staff finds that the proposed changes are minimal and in keeping with HPC's April 2025 approval, and will not substantially alter the visual character of the site and surrounding district, per Chapter 24A-8(b)(2) and (d) and *Standard* 9.

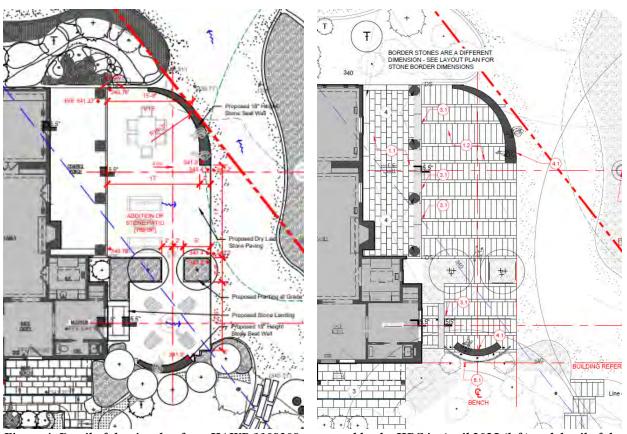


Figure 4: Detail of the site plan from HAWP 1109308, approved by the HPC in April 2025 (left) and detail of the current proposal (right).

<sup>&</sup>lt;sup>1</sup> HAWP 1109308 staff report and application documents: <a href="https://montgomeryplanning.org/wp-content/uploads/2025/04/I.D.-20-W-Kirke-Street-Chevy-Chase-1109308.pdf">https://montgomeryplanning.org/wp-content/uploads/2025/04/I.D.-20-W-Kirke-Street-Chevy-Chase-1109308.pdf</a> HAWP 1109308 approval documents:

https://mcatlas.org/tiles6/06\_HistoricPreservation\_PhotoArchives/HAWP/HPC%202025-04-09/20%20W%20Kirke%20St,%20Chevy%20Chase%20-%201109308%20approval.pdf



Figure 3: View of the previously-approved patio location. A yellow arrow points to the location of the proposed 6-foot tall screen wall that would extend around a stone-clad seat wall. The holly tree will be removed.

The proposed 13-foot 3 1/4-inch long by 6-foot tall, curved wood screen would be constructed of vertical 5/4-inch x 6-inch wood boards connected with steel fasteners and mounted onto 12-inch sonotube footings. Staff finds that the proposed screen could qualify as a "garden structure," identified in the Design Guidelines as being subject to moderate scrutiny if visible from the public right-of-way. Staff finds that, although the feature may be visible from the public right-of-way, it will be set back substantially to the street, will not destroy or obscure any historic materials, will be compatible with but differentiated from the old, and could be easily removed in the future, leaving the essential form and integrity of the property unimpaired, in keeping with *Standards 9* and *10*. Likewise, staff finds that the proposal will not substantially alter the exterior features of the resource, per Chapter 24A-8(b)(1).

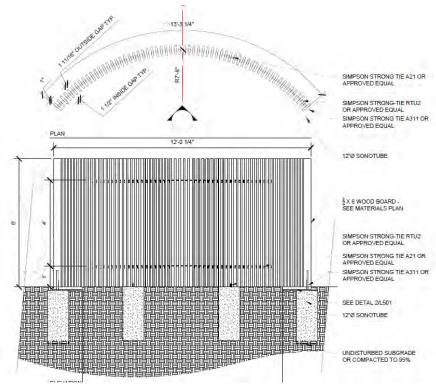


Figure 4: Plan and elevation of the proposed wood screen.

#### Hardscape Alterations (Driveway)

Staff finds that, per the *Design Guidelines*, driveways should be subject to strict scrutiny only with regard to their impact on landscaping, particularly mature trees, but in all other respects should be subject to lenient scrutiny. Staff notes that some pavement replacement is proposed within the dripline of two mature trees adjacent to the driveway and that the application includes a demolition and tree protection plan that includes root pruning and tree protection measures. Staff recommends that the applicants consult with an arborist regarding the proposed scope and implement the arborist's recommendations for tree protection. Other portions of the proposed driveway replacement fall within the Chevy Chase Village-designated right-of-way. Provided mature trees are adequately protected and the scope is approved by or does not require review by Chevy Chase Village, staff supports the replacement of portions of the asphalt driveway with cobblestone and bluestone paving as proposed, as well as the replacement of existing stone pavers with new pavers in a modified footprint and configuration. Staff finds that the proposed alterations do not remove or damage historic materials and that the proposed materials are compatible with the historic resource, per *Standards 2* and *9*, and Chapter 24A-8(b)(2), as well as the *Design Guidelines*.

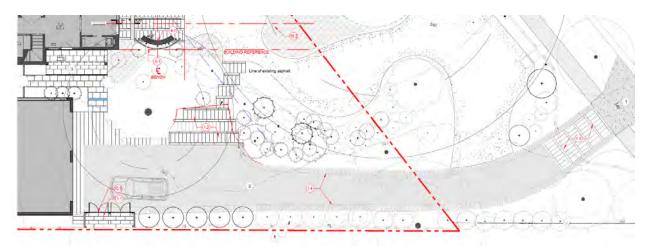


Figure 5: Detail of the driveway paving modifications. The dashed red line indicates the property line. The area outside of the line is within the right-of-way.



Figure 6: View of the existing driveway. The perimeter of the driveway asphalt would be replaced with granite cobblestone pavers. A portion of the center asphalt would be replaced with bluestone pavers to match the previously-approved patio.

#### Trash Enclosure

Along the southern property line, adjacent to the garage, the applicants propose to install an approximately 13-foot long by 4-foot deep by 4-feet 8 1/2-inch tall wooden trash enclosure clad in 1-inch by 5-inch vertical wood boards. Staff finds that the proposed location is inconspicuous from the public right-of-way, does not destroy or obscure any historic materials that characterize the property, could be removed in the future without damaging the historic resource, and is compatible in design and materials with the historic property, in keeping with *Standards* 2, 9, and 10 and Chapter 24A-8(b)(1) and (2).

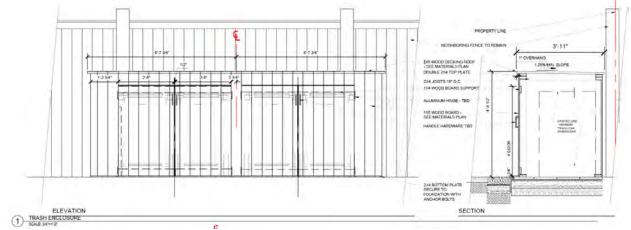


Figure 7: Trash enclosure elevation and section drawings.

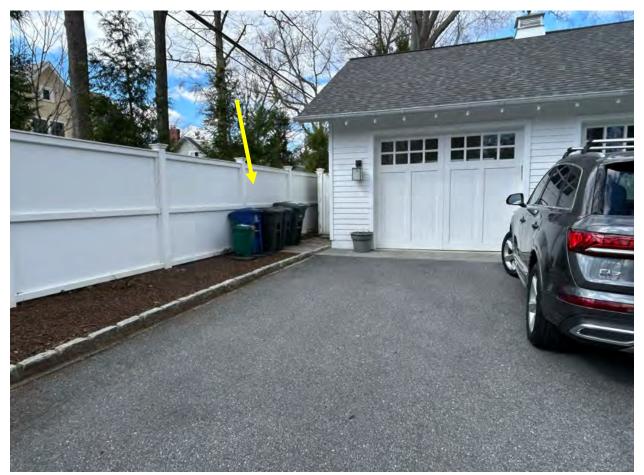


Figure 8: Photograph of the proposed trash enclosure location.

#### STAFF RECOMMENDATION

Staff recommends that the Commission **approve with one** (1) **condition** the HAWP application:

1. The applicant must consult with and implement the recommendation(s) of an arborist regarding the tree protection plan prior to issuance of the HAWP.

under the Criteria for Issuance in Chapter 24A-8(b)(1), (2), and (d), and the *Chevy Chase Village Historic District Guidelines*, having found that the proposal, as modified by the condition, will not substantially alter the exterior features of the historic resource and is compatible in character with the district and the purposes of Chapter 24A;

and with the Secretary of the Interior's Standards for Rehabilitation # 2, 9, and 10;

and with the general condition that the applicant shall present an electronic set of drawings, if applicable, to HPC staff for review and stamping prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the HPC as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-495-2167 or laura.dipasquale@montgomeryplanning.org to schedule a follow-up site visit.



# **APPLICATION FOR** HISTORIC AREA WORK PERMIT HISTORIC PRESERVATION COMMISSION 301.563.3400

DATE ASSIGNED\_\_\_\_

FOR STAFF ONLY:

HAWP#\_\_

#### **APPLICANT:**

Name:		E	-mail:		
Address:				Zip:	
Daytime Phone:		т	ax Account No.:		
AGENT/CONTACT (	if applicable	e):			
Name:		E	:-mail:		
Address:			ity:	Zip:	
Daytime Phone:			Contractor Registration No.:		
LOCATION OF BUIL	.DING/PREM	IISE: MIHP # of Historic I	Property		
map of the easeme Are other Planning a (Conditional Use, Va supplemental inforr	nt, and docur and/or Hearir iriance, Recoi mation.	Land Trust/Environment nentation from the Ease ng Examiner Approvals / rd Plat, etc.?) If YES, inclu	tal Easement on th ment Holder suppo Reviews Required a ude information on	as part of this Application?  I these reviews as	
Building Number:		Street:			
Town/City:		Nearest Cross	Street:		
Lot:	Block:	Subdivision:	Parcel:	_	
for proposed work be accepted for re  New Construct Addition Demolition Grading/Exce I hereby certify that and accurate and t	k are submited are submitted are submited ar	Deck/Porch Fence Hardscape/Landsca Roof  uthority to make the fore ruction will comply with	on. Incomplete A Shed Solar Tree Ape Wind Other Egoing application, plans reviewed and	pplications will not /Garage/Accessory Structure removal/planting ow/Door	

· (Owner's Agent)

# HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFING [Owner, Owner's Agent, Adjacent and Confronting Property Owners] Owner's mailing address Owner's Agent's mailing address Adjacent and confronting Property Owners mailing addresses

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:
Description of Work Proposed: Please give an overview of the work to be undertaken:

Work Item 1:	
Description of Current Condition:	Proposed Work:
Work Item 2:	
Description of Current Condition:	Proposed Work:
Work Item 3:	
Description of Current Condition:	Proposed Work:

# HISTORIC AREA WORK PERMIT CHECKLIST OF APPLICATION REQUIREMENTS

	Required Attachments						
Proposed Work	I. Written Description	2. Site Plan	3. Plans/ Elevations	4. Material Specifications	5. Photographs	6. Tree Survey	7. Property Owner Addresses
New Construction	*	*	*	*	*	*	*
Additions/ Alterations	*	*	*	*	*	*	*
Demolition	*	*	ης		*		*
Deck/Porch	*	*	*	*	*	*	*
Fence/Wall	*	*	*	*	*	*	*
Driveway/ Parking Area	*	*		*	*	*	*
Grading/Exc avation/Land scaing	*	*		*	*	*	*
Tree Removal	*	*		*	*	*	*
Siding/ Roof Changes	*	*	*	*	*		*
Window/ Door Changes	*	*	*	*	*		*
Masonry Repair/ Repoint	*	*	*	*	*		*
Signs	*	*	*	*	*		*

# WILLIAMS MOORE RESIDENCE - PHASE 2

#### **ABBREVIATIONS** ALUM. **ACRES INLET ADDITIONAL INVERT** APPROX. **APPROXIMATE** JUNCTION BOX LATITUDE AVERAGE LINEAR, LINEAL AVG. BALLED AND BURLAPPED LINEAR FOOT BSMT. BASEMENT LIVE LOAD **BOTTOM OF CURB** LOW POINT BITUMINOUS MAINT MAINTENANCE BLDG. BUILDING MANHOLE BENCHMARK MANUFACTURER BOT. or B. BOTTOM **MASONRY BOTTOM OF SLOPE** MATL. MATERIAL B.W. MAX MAXIMUM CALIPER MECH **MECHANICAL** CATCHBASIN METAL CAST IRON MINIMUM CIRCULAR MISCELLANEOUS CAPACITY MONUMENT CTR. CENTER NORTH NOMINAL DIMENSION CENTERLINE NOM. COL. COLUMN N.T.S. NOT TO SCALE C.L.F. CHAIN LINK FENCE NUMBER NO. or # C.O. CLEANOUT N.I.C. NOT IN CONTRACT CONC. CONCRETE N.T.S. NOT TO SCALE CMU CONCRETE MASONRY UNIT O.C. ON CENTER CONST. CONSTRUCTION ORGINIAL CONT. CONTINUOUS O.A. OUTSIDE DIAMETER OVHD OVERHEAD **CUBIC FEET** PTD. PAINTED CUBIC YARD PASSENGER **CROSS SLOPE** DEGREE P.V.C. POLYVINYL CHLORIDE DEPARTURE POUND PER SQUARE FOOT DEPARTMENT POUND PER SQUARE INCH PROPERTY LINE DRAIN INLET PVMT. PAVEMENT RADIUS DIMENSION REFERENCE REINFORCED, REINFORCING REINF. DOWN DRINKING FOUNTAIN REQ'D. REQUIRED DWGS. DRAWINGS REVISED, REVISION(S) DOWNSPOUT RIGHT OF WAY ROOF DRAIN EACH ROUND DIAMETER **EQUAL** R.O. ROUGH OPENING ELEC. **ELECTRICAL** SANITARY ELEV. **ELEVATION** SECTION EQUIV. **EQUIVALENT** SHEET EQUIP. **EQUIPMENT** SHEET METAL EXIST. **EXISTING** SIDEWALK EXP. JT. **EXPANSION JOINT** SIMILAR EXT. EXTERIOR SOUTH E.W. **END WALL** SPEC. SPECIFICATIONS **FACE BRICK** STD. STANDARD F.O.C. **FACE OF CONCRETE** STA. STATION STORM INLET **FINISHED** STORM SEWER ---ST---FIRE ALARM SANITARY SEWER **FLOOR** SPECIFICATIONS OR SPECIFIED FLOOR DRAIN STL. STFFI FINISHED GRADE SQUARE FIRE HYDRANT **SQUARE FOOT** FINISHED FLOOR SQUARE YARD FLOW LINE STAINLESS STEEL FUT. **FUTURE TELEPHONE** GAS TOP OF CURB GAUGE TAPERED END GAL. GALLON T&G **TOUNGE AND GROOVE** GALVANIZED TOP OF SLOPE **GUARD RAIL** TOP OF WALL GRADE TYPICAL GAS VALVE U.D. UNDERDRAIN HVAC. US GEOLOGICAL SURVEY UNDERWRITIERS LABORATORY VARIES, VARIABLE HIGH POINT V.I.F VERIFY IN FIELD HOSE BIB **VERTICAL** HOR. HORIZONTAL WATER HOUR WEST **HEIGHT HEAD WALL** WATER METER **HIGHWAY** WITHOUT INCH U.W.M. WELDED WIRE MESH INCHES WATER VALVE INCLUDED, INCLUDING YARD DRAIN INSIDE DIAMETER **SITE SUMMARY**

ADDRESS: 20 West Kirke St, Chevy Chase, MD 20815 OWNER: Betsy Williams & Tom Moore LOT: P13 SQUARE: 32 JURISDICTION: Chevy Chase Village ZONE: R-60 OVERLAY DISTRICT: N/A HISTORIC DISTRICT: Chevy Chase Village Historic District

## BUILDING USE GROUP: Residential Detached

PROJECT DESCRIPTION

Add stone patio & stone seating; adding curb and gutter to existing driveway;

# **APPLICABLE CODES**

adding a trash enclosure

2017 District of Columbia Building Code 2017 District of Columbia Residential Code 2017 District of Columbia Electrical Code 2017 District of Columbia Fuel Gas Code

2017 District of Columbia Mechanical Code 2017 District of Columbia Plumbing Code 2017 District of Columbia Property Maintenance Code 2017 District of Columbia Fire Code 2017 District of Columbia Energy Conservation Code

2017 District of Columbia Existing Building Code 2017 District of Columbia Green Construction Code 2017 District of Columbia Construction Codes 2017 District of Columbia Swimming Pool and Spa Code

2015 ICC Existing Building Code 2015 ICC Fuel Gas Code 2015 ICC Residential Code for One- and Two-Family Dwellings 2015 ICC Swimming Pool and Spa Code

2015 ICC Building Code 2015 ICC Mechanical Code 2015 ICC Plumbing Code

2012 ICC Property Maintenance Code 2015 ICC Fire Code

2015 ICC Energy Conservation Code

2015 ICC Green Construction Code

2014 National Electrical Code

**GENERAL NOTES** 

1. The proposed plans are are derived from a survey generated by Saltbox dated 11.01.2018.

2. All work shall conform to requirements of the local soil conservation district and all applicable federal, state, county and/or local statutes, ordinances, regulations, laws and codes. The Contractor shall take all necessary steps to ensure such compliance at no additional cost to the

3. The Contractor is responsible for licensing, bonding, and insurance as required by applicable regulatory agencies.

4. Prior to commencing any work, the contractor shall schedule a pre-construction meeting with the Landscape Architect.

5. Prior to commencing any work, contractor shall test existing lighting and/or irrigation systems to determine functionality and notify the client & architect of any poorly or non-functioning systems that are intended to remain. Systems will be assumed to be fully operational unless determined otherwise by the contractor.

6. The Contractor shall obtain Owner's approval for times of day during which construction operations may occur. All construction operations shall occur within times specified by local ordinances.

7. The Contractor shall fully acquaint himself with the conditions of the site. The Contractor shall thoroughly examine and be familiar with the drawings and specifications. Should the Contractor find, after visiting the site or during construction, any discrepancies, omissions, ambiguities, or conflicts in or among the Contract Documents or be in doubt as to their meaning, they shall bring these items to the attention of the Landscape Architect for direction prior to commencing work.

8. The Contractor shall identify all staging and stockpile areas for approval by the Landscape Architect prior to commencing work. This plan should be reviewed with the Landscape Architect and Owner at the Pre-Construction meeting.

9. The Contractor shall distribute materials and equipment and spread any stockpiles in such a manner as to protect existing conditions, such as utilities, paving, vegetation, etc. Do not stockpile soil or construction materials, or drive vehicles within the drip line of existing trees to

10. The Contractor is responsible for contacting the local utility agency a minimum of 72 hours prior to commencing work and shall be fully responsible for any damages which may occur as a result of the Contractor's failure to preserve any and all marked utilities.

11. The Contractor is responsible for any construction inspections required

12. The Contractor shall provide erosion control materials around the Limit of Work as required by local codes. Such materials shall be in place prior to any demolition work and shall remain in place until work is completed. Protective fencing shall be erected at the dripline of existing trees that are to remain (as indicated on the plans). Refer to TREE CARE NOTES on sheet L003

13. The Contractor shall preserve and protect all existing conditions unless otherwise noted. The Contractor shall promptly repair any damage to existing pavement, driveways, and adjacent facilities caused by construction operations. Any damages, or necessary alterations other than those indicated on the drawings must be repaired and are the responsibility of the Contractor.

14. The Contractor is responsible for keeping all work and related activities within the property line or the designated Limit of Work. At no time is access, storage, or movement of materials, machinery, or debris to take place outside of the project Limit of Work line or through neighboring sites. Construction access shall be maintained in a condition which will prevent tracking or flowing of sediment onto public rights-of way. Any streets, sidewalks, alleys, or driveways disturbed during construction must be cleared of debris, swept, and washed on a daily basis during construction. The Contractor shall keep the site clean and free of trash at all times during construction.

15. The Contractor shall minimize construction operations in the root zones of existing trees to remain. The Landscape Architect shall approve all trenching or other disturbance required within the root zones of trees. The Contractor is responsible for consulting an Arborist prior to major excavation. Do not shred or tear tree roots with excavation equipment. Refer to TREE CARE NOTES.

16. The Contractor shall provide mock-ups in the field of all vertical and horizontal surfaces for approval by Owner and Landscape Architect prior to construction. All mock-ups shall be preserved to be used for reference during construction. Do not remove mock-ups until construction

17. Substitutions in products and materials are not permitted without prior approval by the Landscape Architect.

18. The Contractor is responsible for coordinating with all other trades on the site.

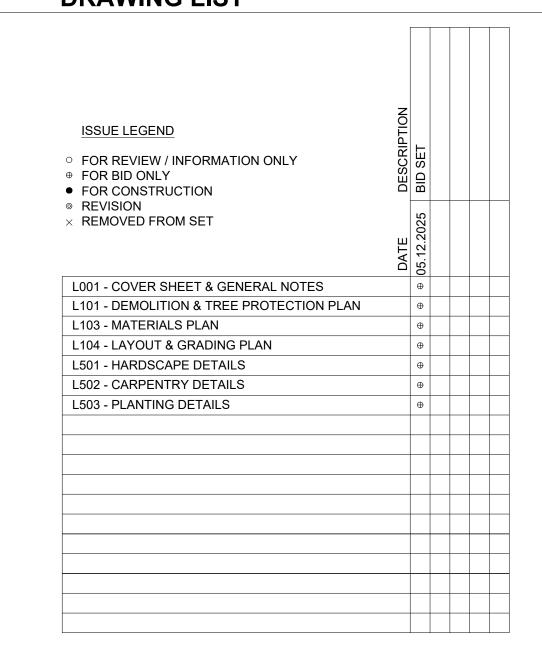
19. The Contractor, or a contractor's representative shall be on site at the time of all materials deliveries. If someone is not available to accept the delivery the contractor shall be fully responsible for any loss or damage to the materials or adjacent property.

20. Upon completion of the project, all excess soil, temporary fencing, erosion control measures, stabilization materials, and other debris shall be removed from the site and disposed of legally. All paved areas, walls, etc. shall be thoroughly washed and cleaned.

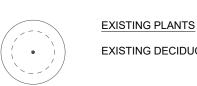
21. Where applicable the contractor is responsible for ensuring that all elements are constructed in accordance with the design documents and contract conditions including the current ADA standards for accessible design and updates. If the contractor observes that any part of the project is non-compliant with the ADA, they shall notify the landscape architect immediately so that an adjustment can be made to ensure compliance. Any landscape components that are built without complying with the above code must be corrected by the contractor at no

22. Refer to individual drawings for further notes.

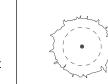
## **DRAWING LIST**



# PLANTING SYMBOLS



EXISTING DECIDUOUS PLANT TO REMAIN



EXISTING EVERGREEN PLANT TO REMAIN

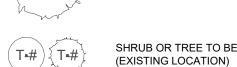


DECIDUOUS PLANT TO BE REMOVED

EXISTING VINE TO REMAIN



EVERGREEN PLANT TO BE REMOVED



SHRUB OR TREE TO BE TRANSPLANTED



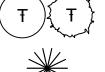
PROPOSED DECIDUOUS PLANT

EXISTING WOODLAND EDGE



PROPOSED EVERGREEN PLANT

TRANSPLANTED SHRUB OR TREE



(PROPOSED LOCATION)

REFER TO PLANTING PLAN FOR PLANT LEGEND



PROPOSED VINE

DRAWING SYMBOLS

STAIR DIRECTION AND RISER NUMBER

SPOT ELEVATIONS

**EXISTING SPOT ELEVATION** 

PROPOSED SPOT ELEVATION

TOP OF WALL / BOTTOM OF WALL

DIRECTION OF DRAINAGE FLOW



PROPOSED LAWN (PLAN)

# MATERIALS SYMBOLS

ALUMINUM







CONCRETE MASONRY UNIT

PRECAST CONCRETE

CAST-IN-PLACE CONCRETE



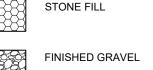


UNDISTURBED SOIL



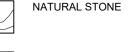
MORTAR

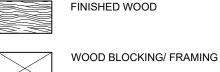


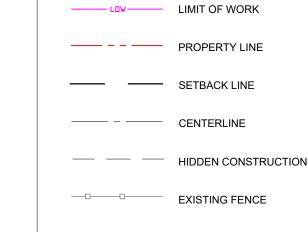


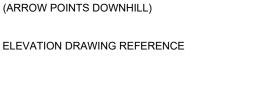


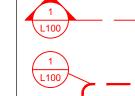












T/W 351.39

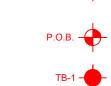
B/W 351.39

SECTION DRAWING REFERENCE

DETAIL DRAWING REFERENCE



1ST FLOOR
EL 100'-0"
ELEVATION SYMBOL



DRAWING LAYOUT POINT OF BEGINNING

# **ELECTRICAL SYMBOLS**

PENDANT OR PIER LIGHT PATH LIGHT

DIRECTIONAL SPOT LIGHT WALL / SCONCE LIGHT IN-WALL / STEP LIGHT

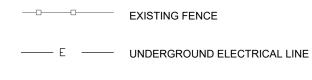
> IN-GROUND LIGHT FOUNTAIN LIGHT POOL LIGHT

> > LIGHTING BY ARCHITECT PROPOSED OUTLET **EXISTING OUTLET**

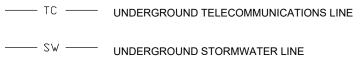
PROPOSED TRANSFORMER LOCATION EXISTING LIGHT POLE LOCATION

# **LINETYPES** —— LOW——— LIMIT OF WORK

HIDDEN CONSTRUCTION (BELOW)

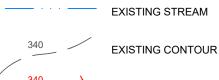






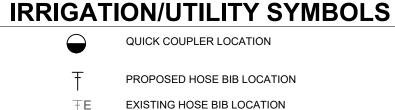


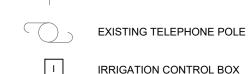






PROJECT PHASE DELINEATION

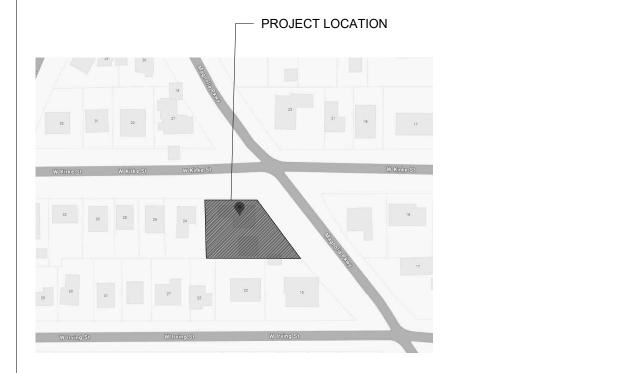




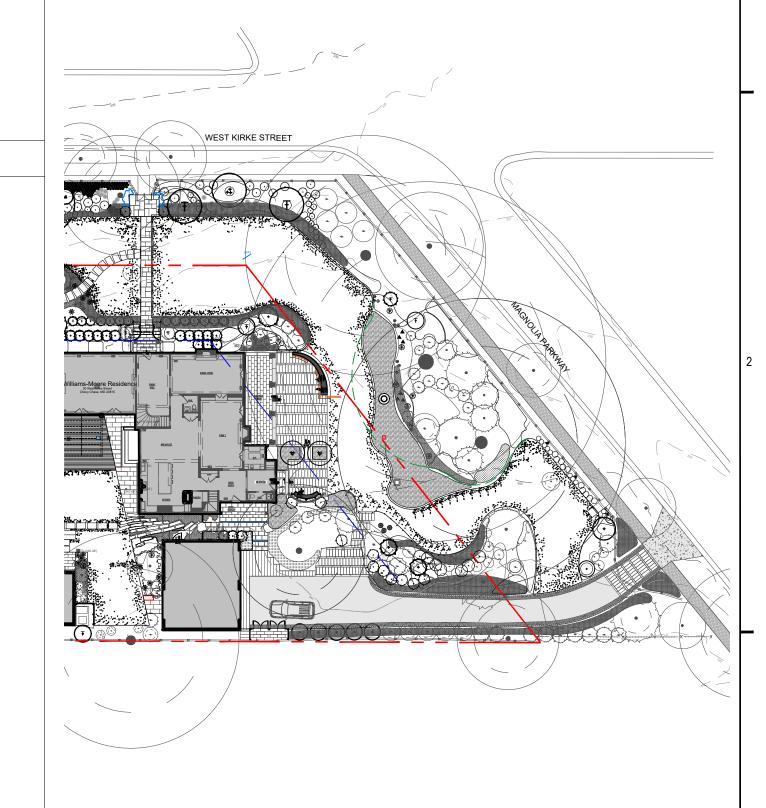
IRRIGATION CONTROL BOX ODS EXISTING DOWNSPOUT LOCATION

# **REGIONAL MAP - NTS** PROJECT LOCATION





**SITE PLAN 1/32"=1'-0"** 



Project Name / Client

**WILLIAMS MOORE** PHASE 2 20 West Kirke St. Chevy Chase, MD

Client Emergency Contact Number: (111) 111-1111

Landscape Architect



www.moodygraham.com

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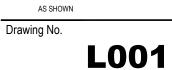
Scope of work noted below has been already approved by HPC under

Restoration/ reconstruction of side porch and interior renovations to (2) second floor bedroom suites, including bathrooms. Adding stone patio, seat walls, and new planting.

Drawing Release Record No. Date Revisions 05/12/25 BID SET Professional Seal

Project Number: 25618-01 Drawn By: NW Checked By: AD

**GOVER SHEET & GENERAL NOTES** 



#### **LEGEND**

EXISTING HARDSCAPE TO BE REMOVED

— SF — SILT FENCE

→ TREE PROTECTION FENCE



EXISTING DECIDUOUS PLANT TO REMAIN (DASHED LINE = CRITICAL ROOT ZONE)



EXISTING EVERGREEN PLANT TO REMAIN (DASHED LINE = CRITICAL ROOT ZONE

EXISTING VINE TO REMAIN



EXISTING PLANT TO BE REMOVED



(T+#) T+#} SHRUB OR TREE TO BE TRANSPLANTED (SHOWN IN EXISTING LOCATION)

#### TREE CARE NOTES

REMOVAL

In the District Of Columbia private property trees between 44" and 99.9" in circumference are considered Special Trees. Trees that are greater than 100" in circumference are considered Heritage Trees.

The removal of Special Trees requires a Special Tree Removal Permit. Heritage trees in healthy condition cannot be removed.

Species exempt from this permit are Ailanthus altissima, Morus sp. and Acer platanoides. Trees in Public Space in Washington DC require a permit prior to removal.

#### PRUNING

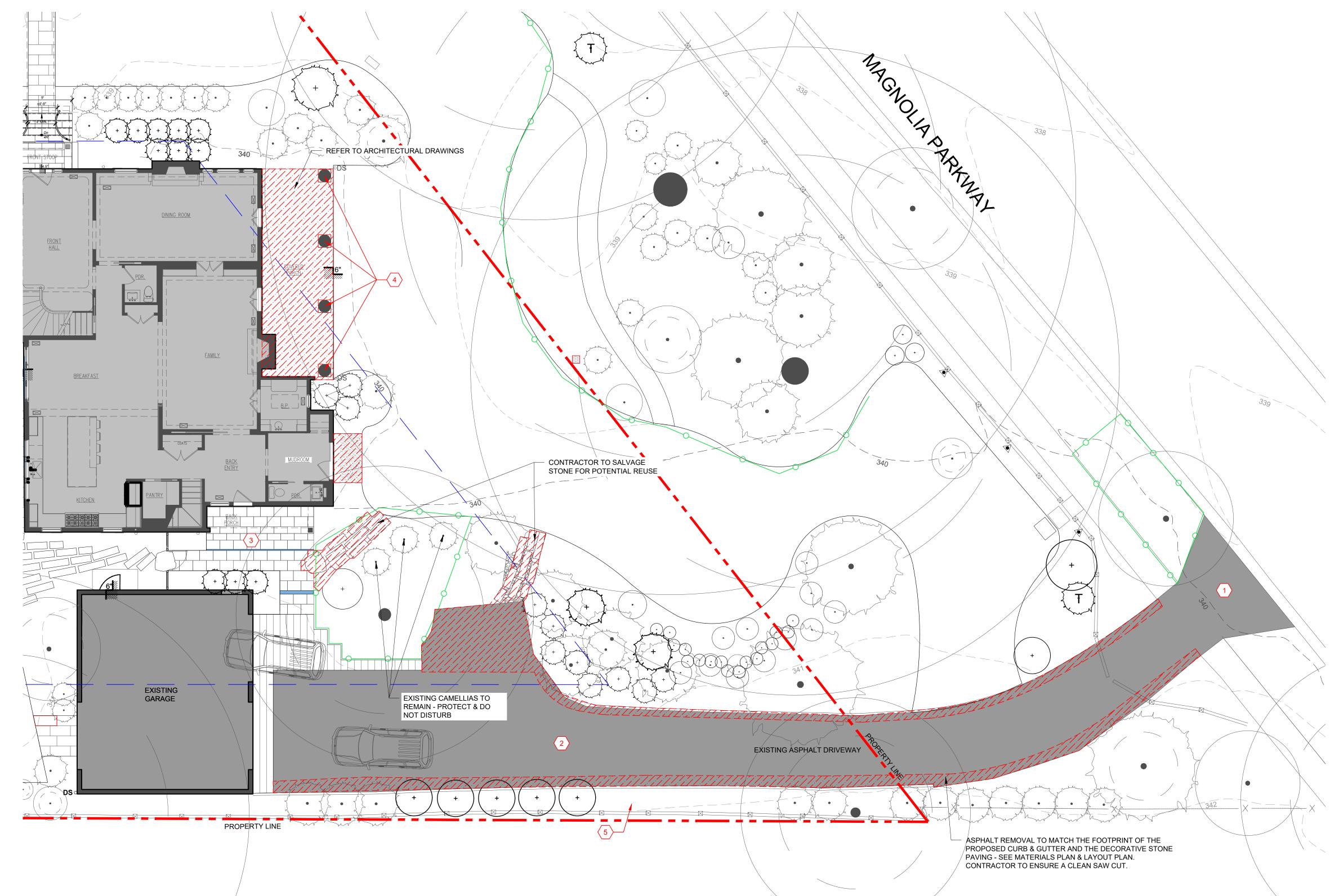
- 1. All tree pruning and removal performed shall be executed by a company, having in full-time employment, a certified Arborist. Pruning shall be performed to the standards of the International Society of Arborists Pruning Guidelines, and to ANSI
- 2. Tree pruning shall be performed to balance the crown and eliminate hazards. The main work performed shall be to reduce the sail effect through thinning, reducing sucker growth. Limbs shall be pruned back to an appropriate lateral branch.
- 3. Tree roots should be root pruned to avoid tearing and shredding by grading equipment. Root pruning shall be to a depth of 18". The contractor shall trench around the tree beyond the edge of the tree protection area and then clear the soil by hand to the edge of the tree protection area and hand prune the roots. Roots shall be cut cleanly, as far from the trunk of the tree as possible.
- 4. Trenching shall be performed using a Vermeer trenching machine, vibratory plow or equivalent. Root pruning shall be completed prior to base or subgrade preparation, or to any excavation adjacent to the tree.
- 5. Excavation in an area where roots are present shall not cause the tearing or ripping of tree roots. Roots must be cleanly severed prior to continuing with excavation, or tunneled around to prevent damage to the root.
- 6. At sites where root pruning or excavation has taken place near trees to remain, and many living roots remain exposed to the air, the contractor shall cover the exposed roots with sand, soil, or moist burlap within 2 hours. Root ends shall be covered with soil or burlap and kept moist until the final backfill or grade is established.

## TREE PROTECTION

- 1. Where called for on the plans, place storm fence or other approved protective barriers around existing trees to remain before any construction begins. Tree protection shall remain in place until all construction is complete.
- 2. Construction materials, debris, and supplies shall not be stored within the drip line or protective fencing area under any tree. If damaging construction operations are done under the drip line or within the protective fencing area of any tree (for example, mixing mortar or dumping of paint or solvents) the Arborist shall be contacted immediately to evaluate the potential impact on the trees health, at the Contractor's expense. The Contractor will be liable for the full cost of replacement of the tree or trees of the same caliper size should this be deemed necessary by the Arborist.
- 3. Vehicles shall not be parked within the drip line or protective fencing area.
- 4. Blasting mats or a thick layer of woodchips or another cushioning surface material approved by the Landscape Architect shall be placed over areas where roots are present and construction traffic occurs. Cushioning materials shall be removed at the completion of construction.

## TRANSPLANTING NOTES

- 1. Immediately after harvesting plants, protect from drying and damage until plants can be re-planted. Plants that cannot be planted immediately shall be kept in the shade, well protected with soil, wet mulch, or other acceptable material, and kept well watered. Plants shall be lifted and handled with suitable support of the soil ball to avoid damaging it. Rootballs shall be checked regularly and watered sufficiently to maintain root viability.
- 2. Contractor shall provide labor to care for trees, shrubs, perennials, ornamental grasses, and lawn areas until site is ready for installation.
- 3. If applicable, Contractor shall provide labor to water trees, shrubs, perennials, ornamental grasses, and lawn areas until irrigation system is installed and fully operational.

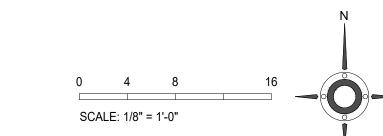


## SITE PREPARATION

- 1. Install temporary tree protection and temporary erosion control measures prior to any land disturbance as required by local codes. Refer to TREE CARE NOTES. In areas of existing trees to remain, the Contractor has the option of providing an extra one foot length of filter fabric at the base of the fencing and securing it in place with straw bales.
- 2. The Contractor shall inspect all tree protection and erosion control devices and correct any deficiencies at the end of each work day to ensure their performance. The Contractor shall remove soil trapped by the erosion control fence if the soil level is near the top of the fabric or bulging at any point during construction.
- 3. The Contractor shall strip and stock pile 6" topsoil from all construction areas prior to grading operations. Protect stock pile with silt fencing or other erosion control measures. Topsoil shall not be placed in piles higher than 4' above existing grade.
- 4. No erosion control device shall be removed without prior approval of the Landscape Architect and local inspector.
- 5. Before final grading and planting begins the landscape architect will inspect tree protection areas for compaction and mechanical damage. If the landscape architect determines that either of these exist, the contractor will remedy at his expense. Measures may include but are not limited to evaluation by a licensed arborist, airspading, bioplex treatment, cabling, root pruning and pruning of canopy/limbs.

## **EXISTING CONDITIONS KEYNOTES:**

- 1 Existing Concrete Apron to Remain
- 2 Existing Asphalt to Remain.
- (3) Existing Stone Paving to Remain
- 4 Existing Columns to Remain. 5 Neighboring Fence to Remain.



Project Name / Client

## WILLIAMS MOORE PHASE 2

20 West Kirke St. Chevy Chase, MD 20815

Client Emergency Contact Number: (111) 111-1111

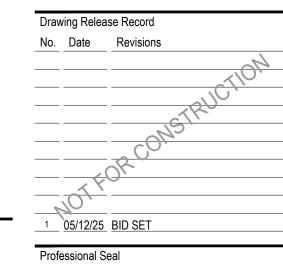
Landscape Architect



© 2024 Moody Graham Landscape Architecture

Scope of work noted below has been already approved by HPC under HAWP # 1109308

Restoration/ reconstruction of side porch and interior renovations to (2) second floor bedroom suites, including bathrooms. Adding stone patio, seat walls, and new planting.



Project Number: 25618-01 Drawn By: NW Checked By: AD

Drawing No.

Sheet Name

**DEMOLITION & TREE** PROTECTION PLAN

#### **LEGEND**

— LOV— LIMIT OF WORK PROPERTY LINE

— SETBACK LINE

€—-— CENTERLINE

\_\_\_ ABOVE

---- BELOW

EXISTING FENCE

**---** PROJECT PHASE DELINEATION

STAIR DIRECTION AND RISER QUANTITY

WOOD CONSTRUCTION NOTES

1. Lumber sizes indicated on details are both nominal and dimensional. Dimensional sizes are indicated in inches.

2. All softwood lumber shall comply with guidelines established by the American Lumber Standards Committee - www.alsc.org. Lumber shall be of the best quality for the intended use, with no knots, checks, splits, cupping or other defects.

3. All exposed lumber shall be Western Red Cedar, Grade D and Better Clear, S4S, unless otherwise noted. All clad posts and structural members not exposed to view shall be Southern Yellow Pine, S4S, select structural grade, kiln dried or air dried with maximum 19% moisture content or approved equal. Structural lumber shall be treated in accordance with American Wood Preservers Association Standard UC3B for above ground use, and UC4A for ground contact use. www.awpa.com

4. All wood screws and other fasteners shall be stainless steel type 304 or 316 unless otherwise noted. All carriage bolts and brackets shall be galvanized. Provide washers for all bolted connections; countersink and plug all bolted connections. Contractor shall submit samples of fasteners and hardware for approval by Landscape Architect.

5. Contractor shall provide shop drawings of wood construction for review and approval by Landscape Architect.

6. Contractor shall construct sample panels of railings and other wood construction for approval by Owner and Landscape Architect. All sample panels shall be preserved and protected so that they can be used for reference during construction. Do not remove or destroy panels until construction is complete.

7. Deadbolt, latches and hinges are to be determined.

8. For pricing purposes only finish all exposed wood with a translucent stain. Color to be determined - Contractor is to provide finish samples to Landscape Architect for approval.

WESTERN RED CEDAR GRADES

cv - Clear Vertical Grain - Pieces may exhibit a few minor characteristics which do not detract from their high appearance and quality. Limiting provisions include: very light torn grain, very light skips on the non-graded face and very light warp. a - A & Better Clear - Ideally suited to applications where finishing

requirements are less exacting. Limiting provisions include: small seasoning checks, occasional very light skips on edges and backs. Allows for two small, sound tight knots or their equivalent c - C & Better Clear - Pieces of this grade are of sound wood. Most pieces are entirely clear or have only a few unimportant characteristics such as: medium stained sap wood , short splits, small pitch streaks and occasional small knots.

d - D & Better Clear - This grade accounts for pieces of lumber having one or more characteristics which are of such size and number that the piece is not of C & BTR grade. Medium pitch streaks, limited pin holes, hit and miss skips, two knots approximately 1" or their equivalent. Stk - Select Tight Knot - The basis for this grade are the knots, burls and naturally occurring markings which are of fairly uniform distribution and add to the decorative character of the piece. Sound, tight knots: star checked and/or slightly chipped knots permitted

GENERAL MATERIALS NOTES be sound and free from mineral stains or other foreign matter and defects to

GENERAL WOOD CONSTRUCTION 1. Lumber sizes indicated on details are both nominal and dimensional. Dimensional sizes are indicated in inches.

Lumber Standards Committee - www.alsc.org. Lumber shall be of the best quality for the intended use, with no knots, checks, splits, cupping or other defects.

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4. All wood screws and other fasteners shall be stainless steel type 304 or 316 unless otherwise noted. All carriage bolts and brackets shall be galvanized. Provide washers for all bolted connections;

GENERAL CONCRETE CONSTRUCTION

Comply with the latest edition of the following:

ACI 302 "Guide for Concrete Floor and Slab Construction"

Concrete" 4. ACI 305 "Hot Weather Concreting"

5. ACI 306 "Cold Weather Concreting"

6. ACI 311 "Recommended Practice for Concrete Inspection"

ACI 315 "Details and Detailing of Concrete Reinforcement"

8. ACI 318 "Building Code Requirements for Reinforced Concrete" 9. ACI 347 "Recommended Practice for Concrete Formwork"

11. CRSI "Manual of Standard Practice".

## **SITE DETAIL KEYNOTES:**

(1.0)	PAVEMEN	TS, RAMPS, CURBS	DETAIL/ SHEET
(1.0)			
	1.1	Stone Paving	1/L501
	1.2	Decorative Stone Paving	2/L501
	1.3	Vehicular Stone Paving	3/L501
	1.4	Cobblestone Curb & Gutter	4/L501
(2.0)	<b>JOINTING</b>		
	N/A		
(3.0)	STEPS		
	3.1	Monolithic Stone Step	5/L501
(4.0)	SITE WALL	LS	
	4.1	Stone Seat Wall	6/L501

(5.0) <u>SITE FURNITURE</u>

(6.0)	RAILINGS,	BARRIERS, FENCING	
	6.1	Wood Screen	2/L502
7.0	SITE LIGH	TING	
	Refe	r to Lighting and Electrical Series Drawings	N/A

PLANTING AND LANDSCAPE 9.1 Perennial Planting Area

MISCELLANEOUS SITE FEATURES

10.1 Fountain (TBD) 10.2 Sculpture 10.3 Trash Enclosure 1/L502

(2) Existing Asphalt to Remain.

 $\sqrt{3}$  Existing Stone Paving to Remain

## **EXISTING CONDITIONS KEYNOTES:**

1 Existing Concrete Apron to Remain

4 Existing Columns to Remain.

## 5 Neighboring Fence to Remain.

Install all products and materials per manufacturers recommendations. All stone shall appearance and durability.

2. All softwood lumber shall comply with guidelines established by the American

3. Refer to notes below for exposed wood types and finishes. All clad posts and

1. ACI 301 "Specifications for Structural Concrete for Buildings"

ACI 304 "Recommended Practice for Measuring, Mixing, Transporting, Placing

10. ACI SP-15 Field Reference Manual

PAVEMENTS, RAMPS, CURBS STONE PAVING: Stone: Bluestone Color: Select blue Finish: Thermal Size: 12"x24" Thickness:  $1\frac{1}{2}$ " min. Joint Type: Mortar Joint Thickness: <sup>1</sup>/<sub>4</sub>" Mortar Color: To match stone

(1.2) DECORATIVE STONE PAVING: Stone: Bluestone Color: Select blue Finish: Thermal

Size: See Layout Plan Thickness:  $1\frac{1}{2}$ " min. Joint Type: Mortar Joint Thickness: 1/4" Mortar color: To match stone Setting Bed: See detail for more information

Setting Bed: See detail for more information

## **VEHICULAR STONE PAVING:** Stone: Bluestone

**BORDER STONES ARE A DIFFERENT** DIMENSION - SEE LAYOUT PLAN FOR

STONE BORDER DIMENSIONS

Color: Select blue Finish: Thermal Size: See Layout Plan Thickness: 3" min. Joint Type: Mortar Joint Thickness: 3" Mortar Color: To match stone Setting Bed: Concrete - see detail for more

#### **COBBLESTONE CURB & GUTTER** COBBLESTONE CURB Material: Cobblestone Size: 4"x7"x10" Note: To match existing cobblestone curb.

See detail for more information

COBBLESTONE GUTTER Material: Cobblestone Size: 4"x4"x4" Color: To match existing cobblestone curb

MONOLITHIC STONE STEP: Stone: Bluestone Finish: Thermal

Color: Select blue, full range Size: 48" x 6" x 16", see detail

Line of existing asphalt

# (4.1) STONE VENEER

Source: Tri-State Mortar Type: S stagger joints; do not align joints vertically Note: To match existing pool wall. Stone to be 1"-,2"-, or 3"- max.

STONE CAP Material: Bluestone Size: See Layout Plan Thickness: 3" Color: Select Blue Finish: Thermal Joint Type: mortar

Stone: Foggy Bottom Silver Veneer Joint Type: Recessed; Contractor to

Joint Thickness: 3"

## SITE WALLS

## **RAILINGS, BARRIERS, FENCING**

WOOD SCREEN Posts: 5/4x6 Boards Fence Boards: Jatoba

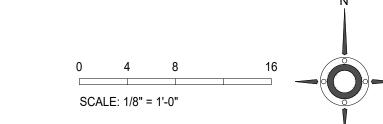
Surfacing: S4S Finish: Natural Screws: Stainless Steel Note: See detail for more information

#### MISC. SITE FEATURES (10.1) FOUNTAIN

Note: Contractor to provide sleeves for electrical and water connection (10.2) SCULPTURE

10.3 Posts: 4x4 PT Boards: Jatoba

TRASH ENCLOSURE: Color: Natural Note: See detail for more information



Project Name / Client

## WILLIAMS MOORE PHASE 2

20 West Kirke St. Chevy Chase, MD

Client Emergency Contact Number: (111) 111-1111

Landscape Architect



www.moodygraham.com

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Drawing Release Record No. Date Revisions 05/12/25 BID SET

Project Number: 25618-01 Drawn By: NW

Checked By: AD

Professional Seal

Sheet Name MATERIALS PLAN

Drawing No.

#### **LEGEND**

POINT OF BEGINNING

LIMIT OF WORK

PROPERTY LINE

— SETBACK LINE

€—-— CENTERLINE

-- ABOVE

---- BELOW

---- EXISTING FENCE

**---** PROJECT PHASE DELINEATION

STAIR DIRECTION AND RISER QUANTITY

♦ (351.39) EXISTING SPOT ELEVATION

♦ 351.39 PROPOSED SPOT ELEVATION

♦ TW 351.60 TOP OF WALL SPOT ELEVATION BOTTOM OF WALL SPOT ELEVATION

◆ 351.39 PROPOSED TOP OF DRAIN INLET **ELEVATION** 

DIRECTION OF DRAINAGE FLOW (ARROW POINTS DOWNHILL)

**EXISTING CONTOUR** 

PROPOSED CONTOUR

#### LAYOUT NOTES

- 1. DO NOT SCALE DRAWINGS. Use figures given for dimensions. If dimensions or necessary information is missing contact Landscape Architect for clarification.
- 2. All angles are perpendicular unless otherwise noted. All lines that appear parallel are parallel unless otherwise noted.
- 3. The Contractor shall stake the location of hardscape features such as edge of paving, walls, stairs, curbs, drains, etc., per the layout plans for review and approval by LA before proceeding with work. Center lines of paths and drives shall be staked at 25' intervals, unless otherwise noted, for review and approval by LA.
- 4. The Contractor shall field verify all existing conditions and make necessary minor adjustments in the proposed work to meet the intent of the plans and to provide smooth the construction drawings and actual site conditions the contractor will immediately notify the Landscape Architect and secure written instruction prior to proceeding with any part of the work affected by omission or discrepancy.
- 5. New work shall meet and match alignment of existing features and finished grades at limits of work and at existing pavement or other facilities to remain.
- 6. All dimensions are to face of tread, face of brick edging, and face of walls, etc., unless otherwise noted. All dimensions to faces of buildings are to the face of foundation where the wall meets grade, unless otherwise noted.
- 7. All linear dimensions of pavers, treads, coping, curbs, etc. are to center of joint, unless otherwise noted.
- 8. Refer to Layout & Grading Plans for locations of drain inlets. Align drains with edges of paving unless otherwise noted. Contractor to field verify locations of existing drainage courses. Drain inlets not dimensioned, drainage swales, high points and low points shall be staked in the field for review and approval by the LA.

## **SOIL PREPARATION DEFINITIONS**

GENERAL NOTE: See SOILS PLAN for additional notes regarding soil amendments, composition, and installation.

Subgrade- Elevation of ground after completing excavation and rough grading, or top surface of a fill or backfill, prior to placing planting soil.

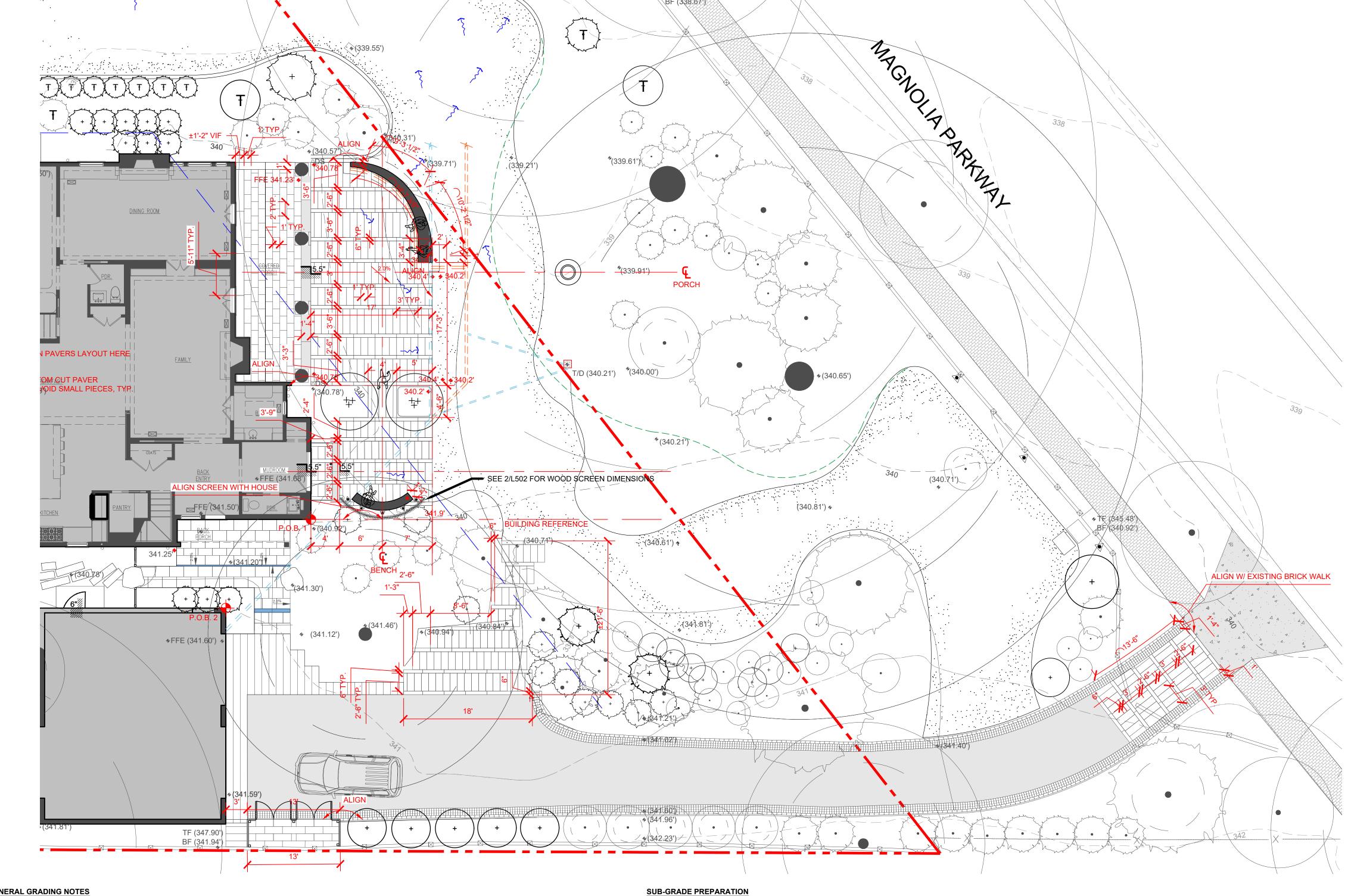
Topsoil- Original surface soil that is fertile, friable, field harvested soil, containing 3-5 percent by weight organic matter; free from subsoil, refuse, roots, stones larger than inch, noxious seeds, sticks, brush, litter, toxic substances (i.e. residual herbicides), and other deleterious substances; suitable for the germination of seeds and the support of vegetative

Planting Soil- Native and/or imported topsoil, mixed with soil amendments.

Finished Grade- Elevation of finished surface of planting soil.

## SOIL TESTING

- 1. Derive each 16 ounce composite sample from ten 6 ounce samples taken from random locations and mixed together. Take samples from 6 inch deep cores.
- 2. Take samples from each source for the following:
- 2.1. Existing In-place Topsoil: Submit one composite soil sample for testing. 2.2. Stockpiled topsoil: Submit one composite soil sample for testing.
- 2.3. Imported Topsoil: Submit one composite soil sample for testing for each unique
- 2.4. Subsoil: Submit one composite soil sample for testing. Take samples from 6 inch deep cores below top surface of subsoil.
- 3. Soil analysis to include the following: Percent organic matter, Percent deleterious material, Mechanical analysis (% sand, % silt, % clay), pH, Phosphorus, Potassium, Calcium, Magnesium, Manganese, Boron, Soluble salts content in mmhos/cm or ds, Cation exchange capacity. Additionally, test for Sodium in coastal areas.
- 4. Submit test results to the Landscape Architect a minimum of 30 days prior to commencing soil preparation for instructions on soil amendments.



## **GENERAL GRADING NOTES**

- 1. The Contractor shall review existing site conditions and inform the LA of any discrepancies between the existing conditions and the proposed grades. The Contractor shall not proceed with work until these discrepancies are resolved and written approval is given by the LA.
- 2. The contract shall locate and stake alignments of all utility lines for the field review of the LA before proceeding with the work. Stakes shall be left in place during grading for reference.
- 4. Soil shall be installed, moved, graded or compacted only when the soil is in an unfrozen and friable state. The soil shall not leave mud on the hand when squeezed and shall break into clods and clumps when broken. The soil moisture shall be sufficiently less than field capacity in order to achieve a suitably friable condition.
- 5. Provide grade stakes indicating finished elevations for walkways and pavement. Grades shall be reviewed in the field by the Landscape Architect prior to construction. Stakes shall remain in place during construction of walkways and paving as guides for the finished work.
- 6. New work shall meet and match existing finished grades at limits of work and at existing pavement or other facilities to remain. The Contractor shall field verify all existing grades and make necessary minor adjustments in the proposed work to meet the intent of the proposed Grading Plan and to provide smooth grading transitions between new work and existing conditions.
- 7. All hardscaped areas must pitch as indicated in the grading plans, a minimum of 1% to drain. All landscaped areas, except in rain gardens or other storm water infiltration areas, must pitch as indicated in the grading plans, a minimum of 2% to drain. All areas shall be graded so that positive drainage is achieved, sloping toward drain inlets or drainage ways. The Contractor shall inform the LA of any discrepencies in condition that do not allow this.
- 8. Slope all planting areas within 10 feet of the foundation away from the building at 5% minimum grade as indicated per code.

- 9. No grading shall be done that pitches surface water onto another property or outside the limit of grading.
- 10. Minimize grading operations in the root zones of existing trees to remain. Landscape Architect to approve all grading construction required within the root zones of trees.
- 11. Bedrock and rocks too large to be removed with excavation equipment on site exposed during excavation shall be left in place for the review of the Owner and LA. The Contractor shall not proceed with work until a plan for addressing the rock is provided by the LA.

## **GRADING AND ADA COMPLIANCE NOTES**

- Where applicable the contractor is responsible for ensuring that all elements are constructed in accordance with the design documents and contract conditions including the 3. Upon completion of sub-grade work Contractor shall remove all excess fill, materials, debris 2010 ADA standards for accessible design and updates. If the contractor observes that any part of the project is non-compliant with the ADA, he shall notify the landscape architect immediately so that a field adjustment can be made to ensure compliance.
- 2. All longitudinal slopes along the walks shall be no steeper than 4.5% without railing and 7.8% with railing. The cross slope shall be minimum 1% and maximum 1.5% or as noted on the drawings. All landing and transition areas shall be less than 1.5% in all directions. The limits provide a 0.5% margin from the DOJ ADA requirements to allow for construction
- Any hardscape surface areas that are built without complying with the above code must be corrected by the contractor at no additional expense.

- 1. For all conditions where compacted subgrade must be built up, place fill in six inch layers maximum and compact to 95%, or as otherwise stated. Repeat procedure with each six-inch lift. In planting bed areas compact to 75-80% max. The Contractor's compaction equipment shall be suitable and adequate for compacting materials to the specified densities within a reasonable length of time, without damage to previously installed planting soil, underlying structures, utilities or adjacent materials. Only tracked vehicles or vehicles equipped with low pressure floating tires shall be allowed in planting soil areas in order to minimize soil compaction during spreading and grading.
- 2. Remove or grind existing stumps within all proposed planting beds.Remove stones larger than 1 inch in any dimension and sticks, roots, rubbish, and other extraneous matter and legally dispose of them off Owner's property.
- and equipment from site, and legally dispose of excess materials.

## DRAINAGE NOTES

electrical and irrigation work is complete.

- The Contractor shall evaluate existing drain lines and verify suitability for re-use or additional uses. New drain lines shall have a smooth interior wall, a minimum slope of 1%, and be sized to accommodate drainage area. Notify Landscape Architect if alternative drainage methods or layouts are required.
- 2. PERFORATED DRAINAGE LINE Perforated drainage line shall be 4" schedule 40 PVC. NON-PERFORATED DRAINAGE LINE - Non-perforated drainage line shall be schedule 40 PVC
- 4. The Contractor shall install electrical and irrigation sleeving prior to the installation of hardscape. Refer to Lighting and Irrigation plans for additional requirements for electrical and irrigation lines and sleeves. Stake all installed sleeve locations in field. Stakes must remain visible until

- All storm drain inlets shall connect to storm drain system designed by the Civil Engineer. See Civil Engineer's drawings for materials and configuration of drainage system.
- The Landscape Architect shall approve the location and layout of all drains.
- Test all new utility and site drainage systems prior to installation of backfill materials. Install backfill materials with care to avoid damaging or displacing installed utilities
- 4. Surface drainage shall be diverted to a storm sewer conveyance or other approved point of collection so as to not create a hazard. Lots shall be graded to drain surface water away from foundation walls. The grade shall fall a minimum of 6" within the first ten feet. Exception: Where lot lines, walls slopes or other physical barriers prohibit 6" of fall with 10 feet, the final grade shall slope away from the foundation at a minimum slope of 5 percent and the water shall be directed to draings or swales to ensure drainage away from the structure. Swales located within 10 feet of the building foundation shall be sloped a minimum of 2 percent . Impervious surfaces within 10

feet of the building foundation shall be sloped a minimum 2 percent away from the building.

SCALE: 1/8" = 1'-0"

Project Name / Client

### WILLIAMS MOORE PHASE 2

20 West Kirke St. Chevy Chase, MD

Client Emergency Contact Number:

(111) 111-1111 Landscape Architect



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Scope of work noted below has been already approved by HPC under HAWP # 1109308

Restoration/ reconstruction of side porch and interior renovations to (2) second floor bedroom suites, including bathrooms. Adding stone patio, seat walls, and new planting.

Drawing Release Record No. Date Revisions <u>05/12/25</u> BID SET

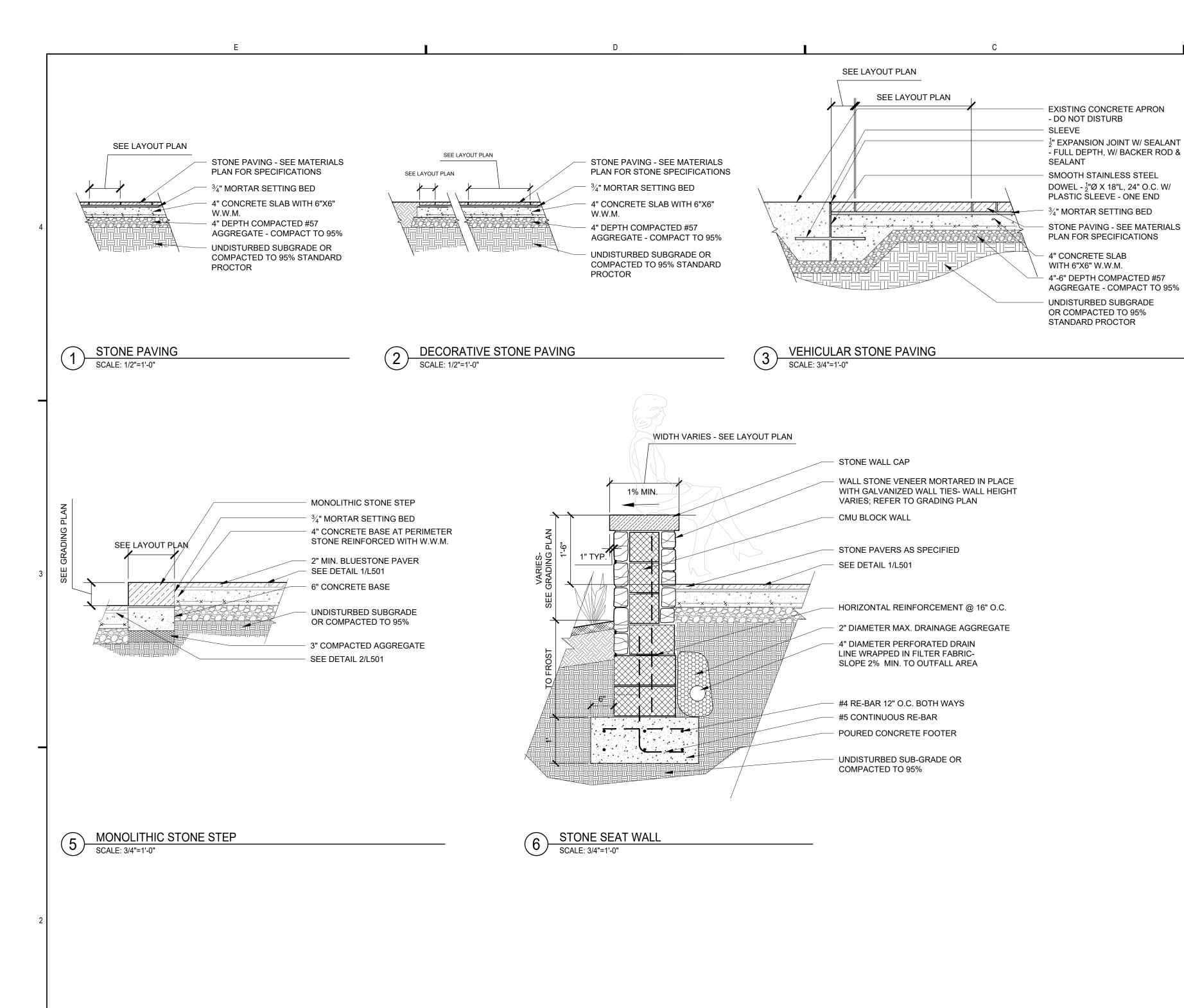
Project Number: 25618-01

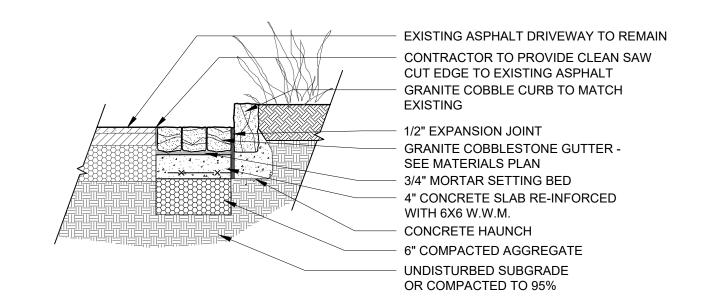
Drawn By: NW Checked By: AD

Professional Seal

LAYOUT & GRADING PLAN

Drawing No.





COBBLESTONE CURB & GUTTER

Project Name / Client

WILLIAMS MOORE PHASE 2 20 West Kirke St.

Client Emergency Contact Number:

Landscape Architect

(111) 111-1111

Chevy Chase, MD 20815

> moody graham 609 H Street NE, Suite 600 Washington, DC 20002 (202) 543-1286

www.moodygraham.com

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Note:

Scope of work noted below has been already approved by HPC under HAWP # 1109308

Restoration/ reconstruction of side porch and interior renovations to (2) second floor bedroom suites, including bathrooms. Adding stone patio, seat walls, and new planting.

Drawing Release Record

No. Date Revisions

1 05/12/25 BID SET

Professional Seal

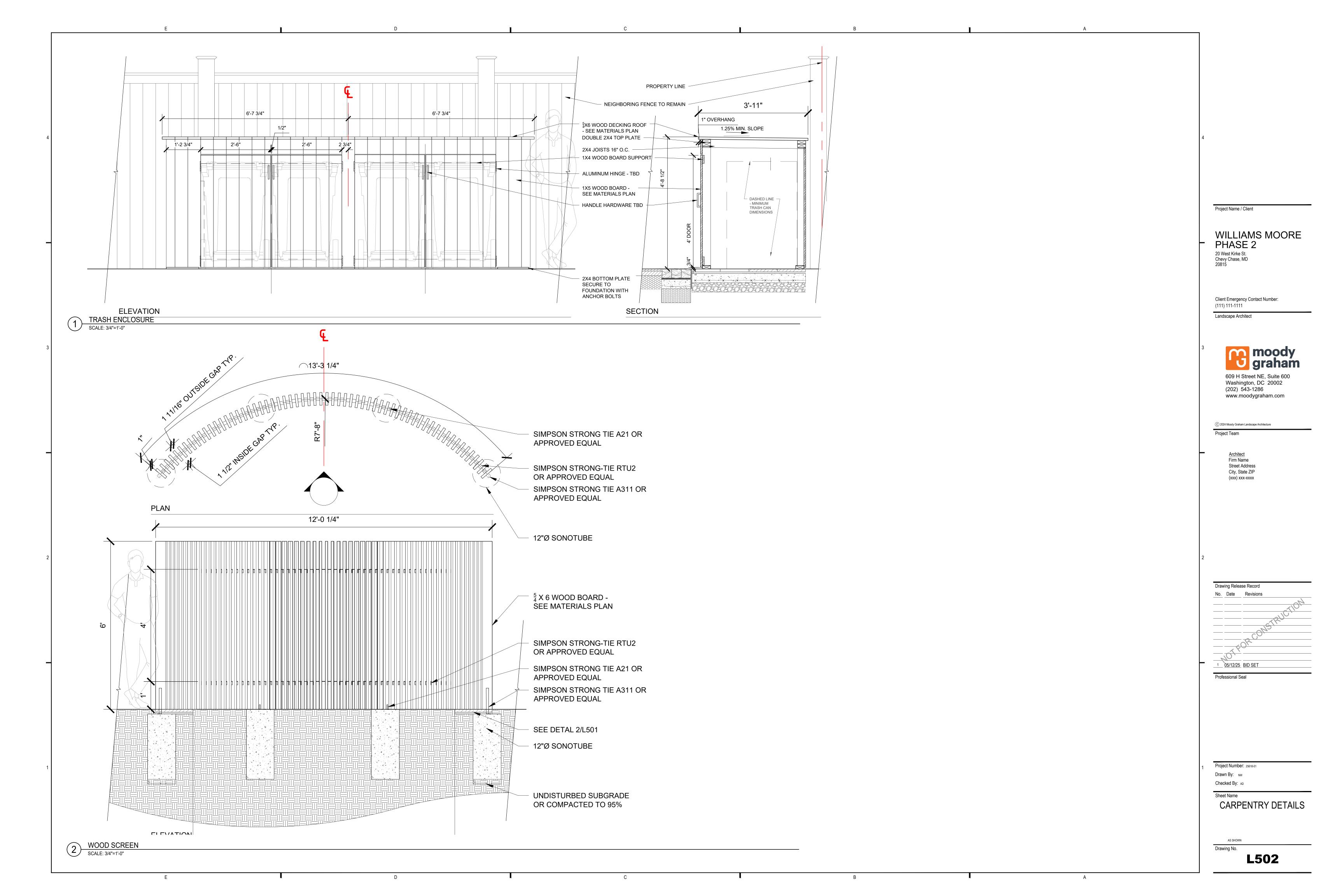
Project Number: 25618-01 Drawn By: NW

Checked By: AD

Sheet Name
HARDSCAPE DETAILS

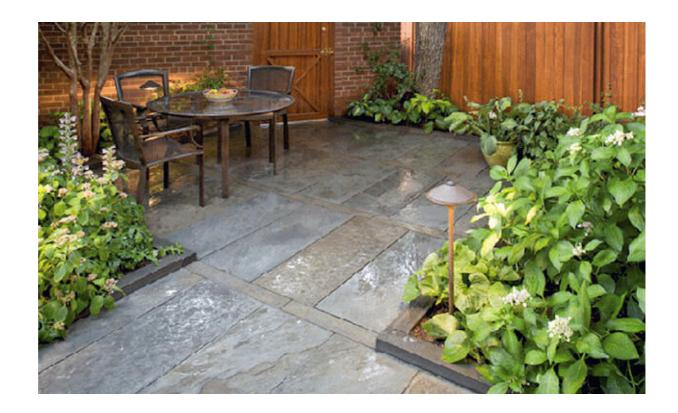
As shown

Drawing No.





## Paving material



## Screen





## **Municipality Letter for Proposed Construction Project**

**Subject Property:** 20 West Kirke Street, Chevy Chase, MD 20815

**Property Owner:** Elizabeth Williams

**Project Manager/Contractor:** Avantika Dalal /Moody Graham Landscape Architecture **Proposed Work:** Driveway work to include curbs, gutters and install new fence

5/14/2025

Rabbiah Sabbakhan, Director Department of Permitting Services of Montgomery County 255 Rockville Pike, 2<sup>nd</sup> floor Rockville, MD 20850

Dear Mr. Sabbakhan,

This letter is to inform your department that the above homeowner/contractor has notified Chevy Chase Village that he or she plans to apply for both county and municipal permits for the above summarized construction project. Chevy Chase Village will not issue any municipal building permit(s) for this proposed project until Montgomery County has issued all necessary county permits and the applicant has provided Chevy Chase Village with copies of county-approved and stamped plans. We have advised the homeowner/contractor that a permit from Montgomery County does not guarantee a permit from this municipality unless the project complies with all our municipal rules and regulations.

If this homeowner/contractor later applies for an amended county permit, please do not approve that application until you have received a Municipality Letter from us indicating that the homeowner/contractor has notified us of that proposed amendment to the permit.

If you have any questions about this proposed project and the municipal regulation of it by Chevy Chase Village, do not hesitate to have your staff contact my office. The Village Permitting Coordinator can be reached by phone at 301-654-7300 or by e-mail at covpermitting@montgomerycountymd.gov.

Sincerely,

Shana R. Davis-Cook

Chevy Chase Village Manager