

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	20 W. Kirke St., Chevy Chase	Meeting Date:	6/11/2025
Resource:	Contributing Resource Chevy Chase Village Historic District	Report Date:	6/4/2025
Applicant:	Elizabeth Williams (Avantika Dalal, Agent)	Public Notice:	5/28/2025
Review:	HAWP	Tax Credit:	No
Permit No.:	1116733	Staff:	Laura DiPasquale
Proposal:	Hardscape alterations and fence installation		

STAFF RECOMMENDATION

Staff recommends that the HPC **approve with one (1) condition** the HAWP application, with final approval authority delegated to staff:

1. The applicant must consult with and implement the recommendation(s) of an arborist regarding the tree protection plan prior to issuance of the HAWP.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Contributing Resource to the Chevy Chase Village Historic District
STYLE: Craftsman w/traditional additions
DATE: c.1916-27



Figure 1: 20 W. Kirke St. is at the corner of W. Kirke and Magnolia Pkwy.

PROPOSAL

The applicants propose to replace portions of the asphalt driveway with new decorative stone paving, and to install a new wood trash enclosure and six-foot tall wood screen wall. The proposal also slightly reduces the footprint of the previously-approved patio and shape of the southern seat-wall. A portion of the proposed work falls within the Chevy Chase Village-designated right-of-way.

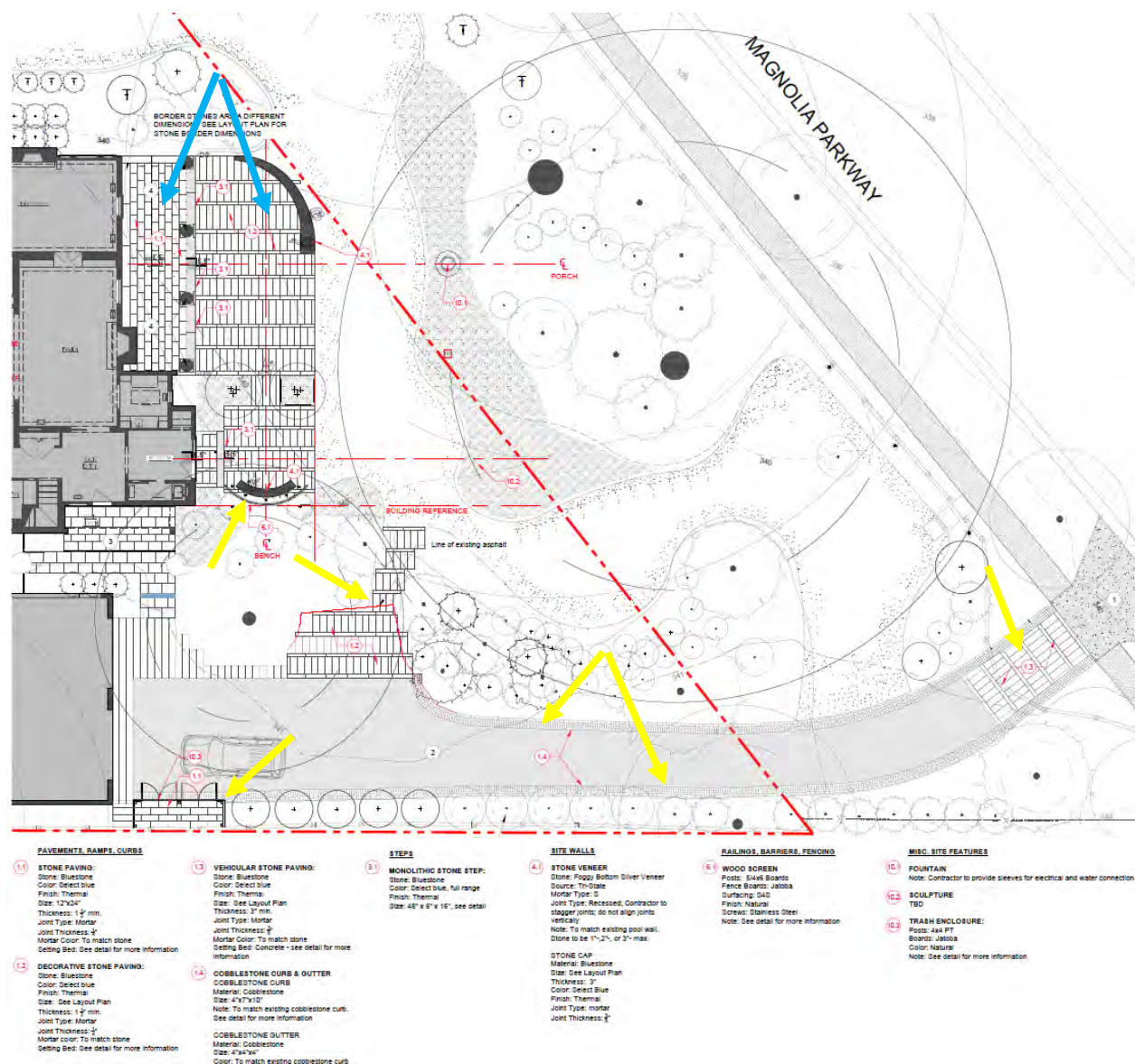


Figure 2: Proposed site plan and key. Yellow arrows point to the areas of new work. Blue arrows point to the hardscaping approved under HAWP 1109308 at the April 9, 2025 HPC meeting.



Figure 3: View of the subject property from Magnolia Parkway.

APPLICABLE GUIDELINES

When reviewing alterations and new construction within the Chevy Chase Village Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and adopted amendment for the Chevy Chase Village Historic District (*Guidelines*), *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these four documents is outlined below.

Chevy Chase Village Historic District Guidelines

The *Guidelines* state five basic policies that should be adhered to, including:

1. Preserving the integrity of the Chevy Chase Village Historic District. Any alterations should, at a minimum, perpetuate the ability to perceive the sense of time and place portrayed by the district.
2. Preserving the integrity of contributing structures. Alterations should be designed in such a way that the altered structure still contributes to the district.
3. Maintaining the variety of architectural styles and the tradition of architectural excellence.
4. Design review emphasis should be restricted to changes that will be visible from the front or side public right-of-way, or that would be visible in the absence of vegetation or landscaping.
5. Alterations to the portion of a property that are not visible from the public-right-of-way should be subject to a very lenient review. Most changes to the rear of the properties should be approved as a matter of course.

The *Guidelines* break down specific projects into three levels of review - Lenient, Moderate and Strict Scrutiny for Outstanding and Contributing Resources:

“Lenient Scrutiny” means that the emphasis of the review should be on issues of general massing and scale, and compatibility with the surrounding streetscape, and should allow for a very liberal interpretation of preservation rules. Most changes should be permitted unless there are major problems with massing, scale or compatibility.

“Moderate Scrutiny” involves a higher standard of review than “lenient scrutiny.” Besides issues of massing, scale and compatibility, preserving the integrity of the resource is taken into account. Alterations should be designed so that the altered structure still contributes to the district. Use of

compatible new materials, rather than the original building materials, should be permitted. Planned changes should be compatible with the structure's existing design, but should not be required to replicate its architectural style.

“Strict Scrutiny” means that the planned changes should be reviewed to insure that the integrity of the significant exterior architectural or landscaping features and details is not compromised. However, strict scrutiny should not be “strict in theory but fatal in fact” i.e. it does not mean that there can be no changes but simply that the proposed changes should be reviewed with extra care.

- Driveways should be subject to strict scrutiny only with regard to their impact on landscaping, particularly mature trees. In all other respects, driveways should be subject to lenient scrutiny. Parking pads and other paving in front yards should be discouraged.
- Fences should be subject to strict scrutiny if they detract significantly from the existing open streetscape. Otherwise, fences should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not.
- Gazebos and other garden structures should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not.

Montgomery County Code; Chapter 24A-8

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district.

Secretary of the Interior's Standards for Rehabilitation:

- 2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.
- 9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
- 10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

Staff supports the proposed paving alterations, screen wall, and trash enclosure installation, and recommends approval. The subject property started as a clapboard sided, side-gable Craftsman bungalow orientated toward Magnolia Parkway. A later addition to the west, constructed in a Federal Revival vocabulary, reoriented the house with a new entrance along Kirke Street. A 2012 addition to the south of the historic bungalow employs many of the craftsman elements found on the historic house. The corner property has an extensive and heavily landscaped yard, much of which is in the Village-designated right-of-way and which is enclosed by a low picket fence.

Hardscape Alterations (Patio) and Screen Wall Installation

The HPC approved restoration of the enclosed porch to its original, open appearance and construction of a bluestone patio and seat walls under HAWP 1109308 at its April 9, 2025 meeting.¹ The current proposal slightly reduces the footprint of the patio by two feet (from 19 feet to 17 feet) on the east side, as well as on the southern end so that the proposed screen wall will align with the plane of the house. Staff finds that the proposed changes are minimal and in keeping with HPC's April 2025 approval, and will not substantially alter the visual character of the site and surrounding district, per Chapter 24A-8(b)(2) and (d) and *Standard 9*.

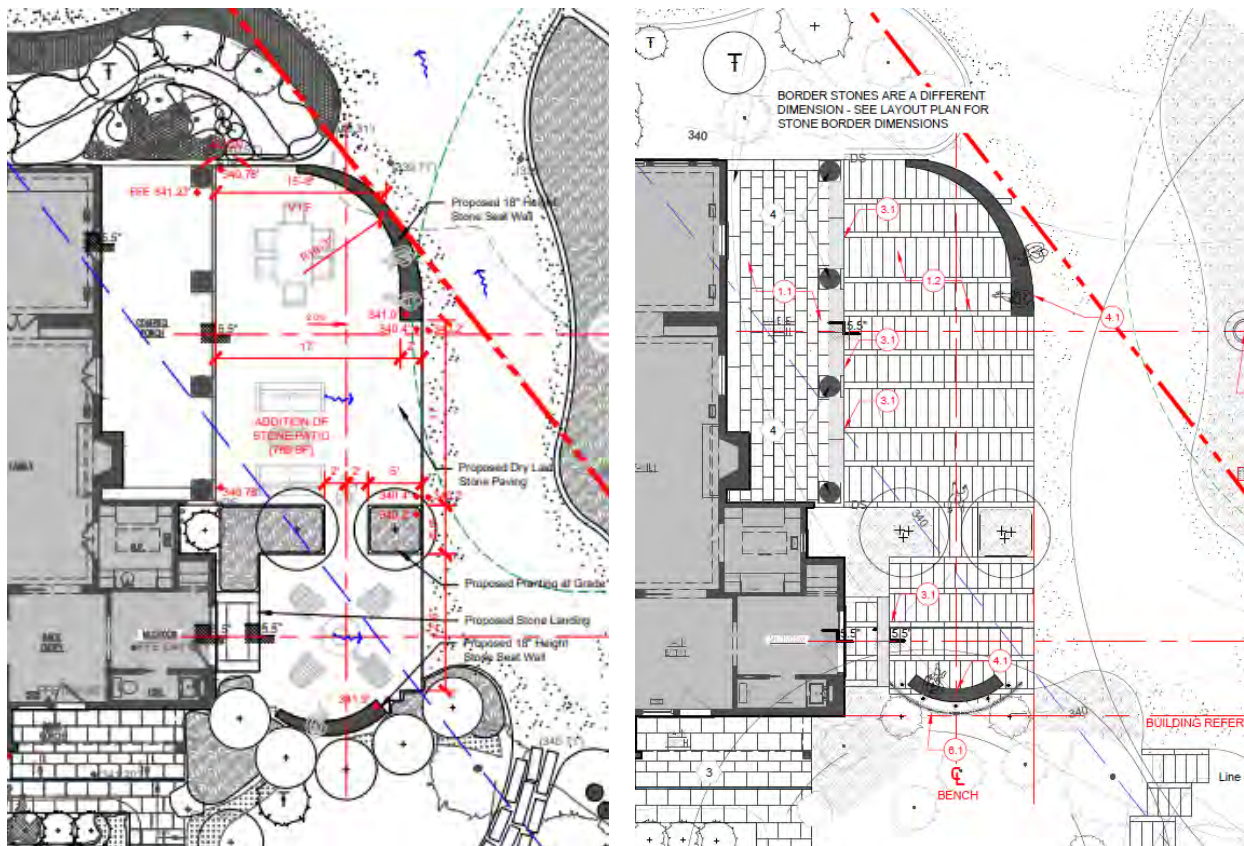


Figure 4: Detail of the site plan from HAWP 1109308, approved by the HPC in April 2025 (left) and detail of the current proposal (right).

¹ HAWP 1109308 staff report and application documents: <https://montgomeryplanning.org/wp-content/uploads/2025/04/I.D.-20-W-Kirke-Street-Chevy-Chase-1109308.pdf>

HAWP 1109308 approval documents: https://mcatlas.org/files6/06_HistoricPreservation_PhotoArchives/HAWP/HPC%202025-04-09/20%20W%20Kirke%20St.%20Chevy%20Chase%20-%201109308%20approval.pdf



Figure 3: View of the previously-approved patio location. A yellow arrow points to the location of the proposed 6-foot tall screen wall that would extend around a stone-clad seat wall. The holly tree will be removed.

The proposed 13-foot 3 1/4-inch long by 6-foot tall, curved wood screen would be constructed of vertical 5/4-inch x 6-inch wood boards connected with steel fasteners and mounted onto 12-inch sonotube footings. Staff finds that the proposed screen could qualify as a “garden structure,” identified in the Design Guidelines as being subject to moderate scrutiny if visible from the public right-of-way. Staff finds that, although the feature may be visible from the public right-of-way, it will be set back substantially to the street, will not destroy or obscure any historic materials, will be compatible with but differentiated from the old, and could be easily removed in the future, leaving the essential form and integrity of the property unimpaired, in keeping with *Standards 9 and 10*. Likewise, staff finds that the proposal will not substantially alter the exterior features of the resource, per Chapter 24A-8(b)(1).

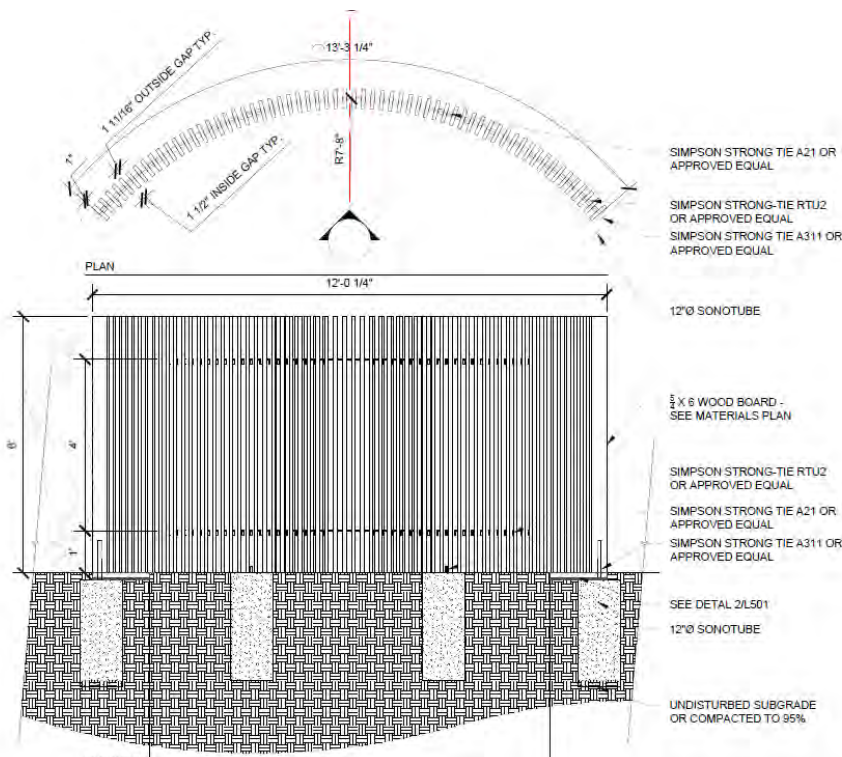


Figure 4: Plan and elevation of the proposed wood screen.

Hardscape Alterations (Driveway)

Staff finds that, per the *Design Guidelines*, driveways should be subject to strict scrutiny only with regard to their impact on landscaping, particularly mature trees, but in all other respects should be subject to lenient scrutiny. Staff notes that some pavement replacement is proposed within the dripline of two mature trees adjacent to the driveway and that the application includes a demolition and tree protection plan that includes root pruning and tree protection measures. Staff recommends that the applicants consult with an arborist regarding the proposed scope and implement the arborist's recommendations for tree protection. Other portions of the proposed driveway replacement fall within the Chevy Chase Village-designated right-of-way. Provided mature trees are adequately protected and the scope is approved by or does not require review by Chevy Chase Village, staff supports the replacement of portions of the asphalt driveway with cobblestone and bluestone paving as proposed, as well as the replacement of existing stone pavers with new pavers in a modified footprint and configuration. Staff finds that the proposed alterations do not remove or damage historic materials and that the proposed materials are compatible with the historic resource, per *Standards 2 and 9*, and Chapter 24A-8(b)(2), as well as the *Design Guidelines*.

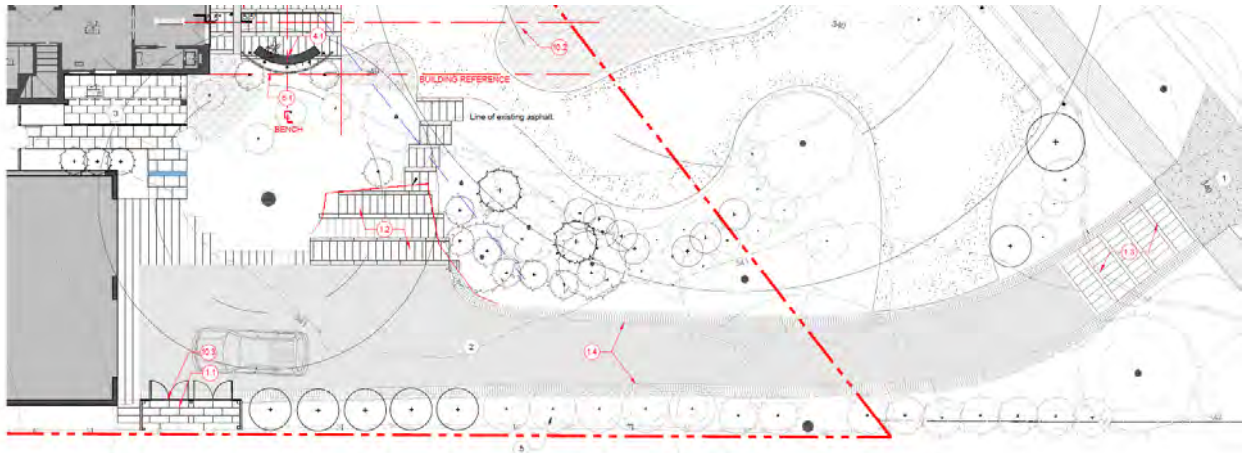


Figure 5: Detail of the driveway paving modifications. The dashed red line indicates the property line. The area outside of the line is within the right-of-way.



Figure 6: View of the existing driveway. The perimeter of the driveway asphalt would be replaced with granite cobblestone pavers. A portion of the center asphalt would be replaced with bluestone pavers to match the previously-approved patio.

Trash Enclosure

Along the southern property line, adjacent to the garage, the applicants propose to install an approximately 13-foot long by 4-foot deep by 4-feet 8 1/2-inch tall wooden trash enclosure clad in 1-inch by 5-inch vertical wood boards. Staff finds that the proposed location is inconspicuous from the public right-of-way, does not destroy or obscure any historic materials that characterize the property, could be removed in the future without damaging the historic resource, and is compatible in design and materials with the historic property, in keeping with *Standards 2, 9, and 10* and Chapter 24A-8(b)(1) and (2).

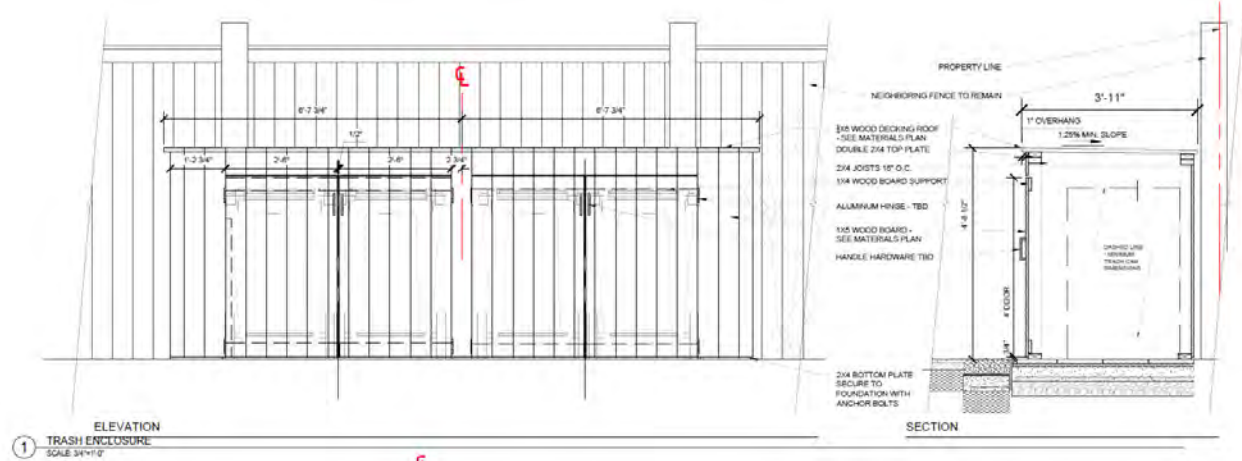


Figure 7: Trash enclosure elevation and section drawings.



Figure 8: Photograph of the proposed trash enclosure location.

STAFF RECOMMENDATION

Staff recommends that the Commission **approve with one (1) condition** the HAWP application:

1. The applicant must consult with and implement the recommendation(s) of an arborist regarding the tree protection plan prior to issuance of the HAWP.

under the Criteria for Issuance in Chapter 24A-8(b)(1), (2), and (d), and the *Chevy Chase Village Historic District Guidelines*, having found that the proposal, as modified by the condition, will not substantially alter the exterior features of the historic resource and is compatible in character with the district and the purposes of Chapter 24A;

and with the *Secretary of the Interior's Standards for Rehabilitation* # 2, 9, and 10;

and with the general condition that the applicant shall present an electronic set of drawings, if applicable, to HPC staff for review and stamping prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the HPC as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-495-2167 or laura.dipasquale@montgomeryplanning.org to schedule a follow-up site visit.



FOR STAFF ONLY:

HAWP# _____

DATE ASSIGNED _____

APPLICATION FOR HISTORIC AREA WORK PERMIT

HISTORIC PRESERVATION COMMISSION
301.563.3400

APPLICANT:

Name: _____

E-mail: _____

Address: _____

City: _____ Zip: _____

Daytime Phone: _____

Tax Account No.: _____

AGENT/CONTACT (if applicable):

Name: _____

E-mail: _____

Address: _____

City: _____ Zip: _____

Daytime Phone: _____

Contractor Registration No.: _____

LOCATION OF BUILDING/PREMISE: MIHP # of Historic Property _____

Is the Property Located within an Historic District? ☒ Yes/District Name _____
_____ No/Individual Site Name _____

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: _____ Street: _____

Town/City: _____ Nearest Cross Street: _____

Lot: _____ Block: _____ Subdivision: _____ Parcel: _____

TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:

- | | | |
|---|---|--|
| <input type="checkbox"/> New Construction | <input checked="" type="checkbox"/> Deck/Porch | <input type="checkbox"/> Shed/Garage/Accessory Structure |
| <input type="checkbox"/> Addition | <input type="checkbox"/> Fence | <input type="checkbox"/> Solar |
| <input type="checkbox"/> Demolition | <input checked="" type="checkbox"/> Hardscape/Landscape | <input type="checkbox"/> Tree removal/planting |
| <input type="checkbox"/> Grading/Excavation | <input type="checkbox"/> Roof | <input type="checkbox"/> Window/Door |
| | | <input type="checkbox"/> Other: _____ |

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

(Owner's Agent)

Signature of owner or authorized agent

Date

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address

Owner's Agent's mailing address

Adjacent and confronting Property Owners mailing addresses

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

Description of Work Proposed: Please give an overview of the work to be undertaken:

Work Item 1: _____	
Description of Current Condition:	Proposed Work:

Work Item 2: _____	
Description of Current Condition:	Proposed Work:

Work Item 3: _____	
Description of Current Condition:	Proposed Work:

HISTORIC AREA WORK PERMIT CHECKLIST OF APPLICATION REQUIREMENTS

	Required Attachments						
Proposed Work	I. Written Description	2. Site Plan	3. Plans/ Elevations	4. Material Specifications	5. Photographs	6. Tree Survey	7. Property Owner Addresses
New Construction	*	*	*	*	*	*	*
Additions/ Alterations	*	*	*	*	*	*	*
Demolition	*	*	*		*		*
Deck/Porch	*	*	*	*	*	*	*
Fence/Wall	*	*	*	*	*	*	*
Driveway/ Parking Area	*	*		*	*	*	*
Grading/Exc avation/Land scaing	*	*		*	*	*	*
Tree Removal	*	*		*	*	*	*
Siding/ Roof Changes	*	*	*	*	*		*
Window/ Door Changes	*	*	*	*	*		*
Masonry Repair/ Repoint	*	*	*	*	*		*
Signs	*	*	*	*	*		*

WILLIAMS MOORE RESIDENCE - PHASE 2

ABBREVIATIONS			
ALUM.	ALUMINUM	IN.	INCH
AC.	ACRES	INL.	INLET
ADD'L.	ADDITIONAL	INV.	INVERT
APPROX.	APPROXIMATE	J.B.	JUNCTION BOX
@	AT	LAT.	LATITUDE
AVG.	AVERAGE	LINE.	LINEAR LINEAL
B&B	BALLED AND BURLAPPED	L.F.	LINEAR FOOT
BSMT.	BASEMENT	L.L.	LIVE LOAD
B.C.	BOTTOM OF CURB	L.P.	LOW POINT
BIT.	BITUMINOUS	MAINT.	MAINTENANCE
BLDG.	BUILDING	M.H.	MANHOLE
B.M.	BENCHMARK	MFR.	MANUFACTURER
BOT. or B.	BOTTOM	MAS.	MASONRY
B.S.	BOTTOM OF SLOPE	MATL.	MATERIAL
B.W.	BOTH WAYS	MAX	MAXIMUM
CAL.	CALIPER	MECH.	MECHANICAL
C.B.	CATCHBASIN	MTL.	METAL
C.I.	CAST IRON	MIN.	MINIMUM
CIR.	CIRCULAR	MISC.	MISCELLANEOUS
CAP.	CAPACITY	MON.	MONUMENT
CTR.	CENTER	N.	NORTH
CL.	CENTERLINE	NOM.	NOMINAL DIMENSION
COL.	COLUMN	N.T.S.	NOT TO SCALE
C.L.F.	CHAIN LINK FENCE	N.O. or #	NUMBER
C.O.	CLEANOUT	N.I.C.	NOT IN CONTRACT
CONC.	CONCRETE	N.T.S.	NOT TO SCALE
CMU	CONCRETE MASONRY UNIT	O.C.	ON CENTER
CONST.	CONSTRUCTION	ORIG.	ORIGINAL
CONT.	CONTINUOUS	O.A.	OUTSIDE DIAMETER
C.U.	CUBIC	OVHD.	OVERHEAD
C.F.	CUBIC FEET	PTD.	POINT
C.Y.	CUBIC YARD	PASS.	PASSENGER
C.S.	CROSS SLOPE	PT.	POINT
DEG.	DEGREE	P.V.C.	POLYVINYL CHLORIDE
DEP.	DEPARTURE	PSF	POUND PER SQUARE FOOT
DEPT.	DEPARTMENT	PSI	POUND PER SQUARE INCH
DTL.	DETAIL	P.L.	PROPERTY LINE
D.I.	DRAIN INLET	PVMT.	PAVEMENT
DI.	DIAMETER	R.	RADIUS
DIM.	DIMENSION	REF.	REFERENCE
DN.	DOWN	REINF.	REINFORCED, REINFORCING
D.F.	DRINKING FOUNTAIN	REQ'D.	REQUIRED
DWGS.	DRAWINGS	REV.	REVISED, REVISION(S)
DS	DOWNSPOUT	R.O.W.	RIGHT OF WAY
E	EAST	R.	ROOF DRAIN
EACH	EACH	Ø	ROUND DIAMETER
EQ.	EQUAL	R.O.	ROUGH OPENING
ELEC.	ELECTRICAL	SAN.	SANITARY
ELEV.	ELEVATION	SECT.	SECTION
EQUIV.	EQUIVALENT	SHEET	SHEET
EQUIP.	EQUIPMENT	S.M.	SHEET METAL
EXIST.	EXISTING	S.W.	SIDEWALK
EXP. JT.	EXPANSION JOINT	SIMIL.	SIMILAR
EXT.	EXTERIOR	S.	SOUTH
E.W.	END WALL	SPEC.	SPECIFICATIONS
F.B.	FACE BRICK	STD.	STANDARD
F.O.C.	FACE OF CONCRETE	STA.	STATION
'	FEET	S.I.	STORM INLET
'	FEET	---	STORM SEWER
FIN.	FINISHED	---SAN---	SANITARY SEWER
F.A.	FIRE ALARM	SPEC.	SPECIFICATIONS OR SPECIFIED
FLR.	FLOOR	STL.	STEEL
F.D.	FLOOR DRAIN	SQ	SQUARE
F.G.	FINISHED GRADE	S.F.	SQUARE FOOT
F.H.	FIRE HYDRANT	S.Y.	SQUARE YARD
F.F.	FINISHED FLOOR	S/S	STAINLESS STEEL
F.L.	FLOW LINE	STA.	TANGENT
F.T.	FOOT	TEL.	TELEPHONE
FUT.	FUTURE	T.C.	TOP OF CURB
---G---	GAS	T.E.	TAPERED END
GA.	GAUGE	T&G	TOUNGE AND GROOVE
GAL.	GALLON	T.S.	TOP OF SLOPE
GALV.	GALVANIZED	T.W.	TOP OF WALL
G.R.	GUARD RAIL	TYP.	TYPE
GD	GRADE	U.D.	UNDERDRAIN
G.V.	GAS VALVE	U.S.G.S.	US GEOLOGICAL SURVEY
HVAC.	HEATING, VENTILATION, AND AIR CONDITIONING	U.L.	UNDERWRITERS LABORATORY
HT.	HEIGHT	VAR.	VARIES, VARIABLE
H.P.	HIGH POINT	V.I.F.	VERIFY IN FIELD
H.B.	HOSE BIB	VERT.	VERTICAL
HOR.	HORIZONTAL	W---	WATER
HR.	HOUR	W.	WEST
HT.	HEIGHT	W	WITH
HW	HEAD WALL	W.M.	WATER METER
HWY.	HIGHWAY	W/O	WITHOUT
IN.	INCH	U.W.M.	WELDED WIRE MESH
"	INCHES	U.V.	UNDER VALVE
INCL.	INCLUDED, INCLUDING	Y.D.	YARD DRAIN
I.D.	INSIDE DIAMETER		

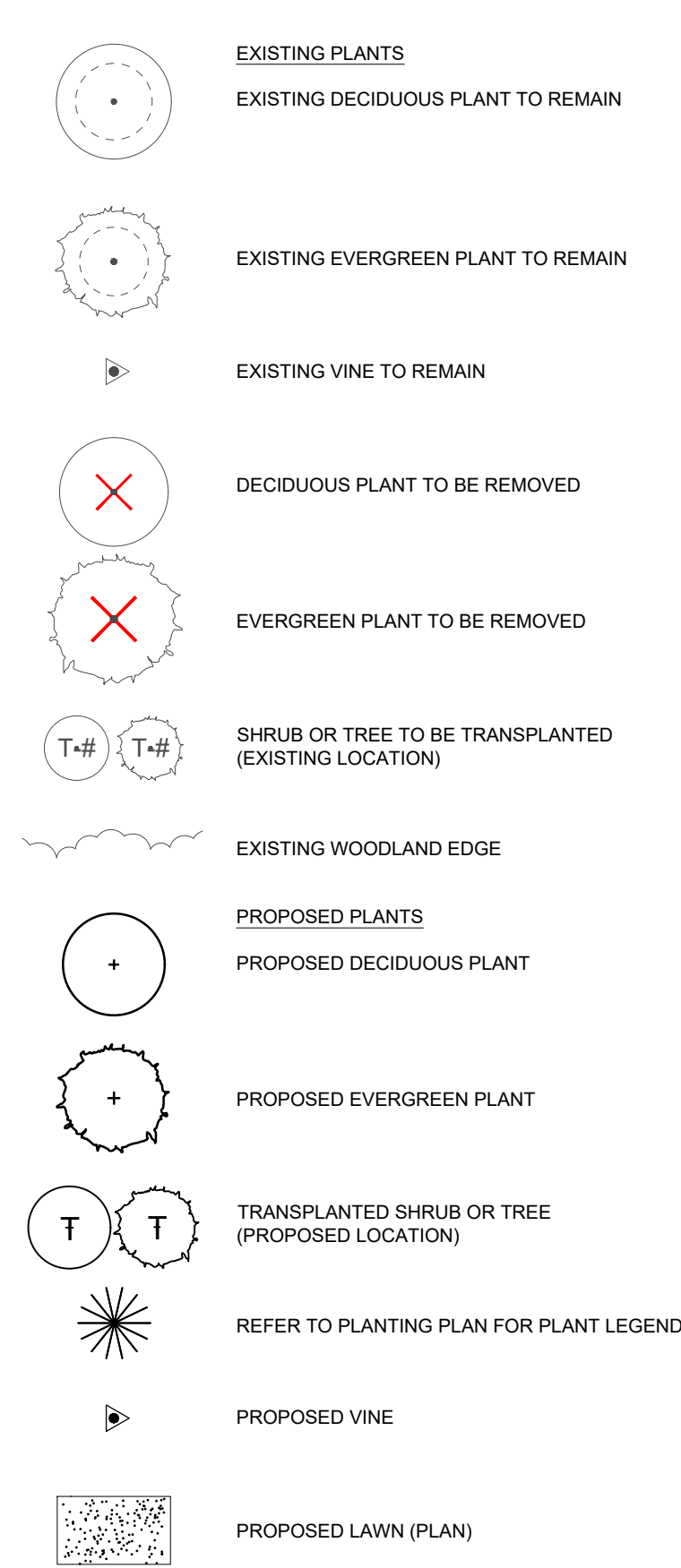
GENERAL NOTES

3. The proposed plans are derived from a survey dated 11.01.2018.
2. All work shall conform to requirements of the local soil conservation district and all applicable federal, state, county and/or local statutes, ordinances, regulations, laws and codes. The Contractor shall take all necessary steps to ensure such compliance at no additional cost to the Owner.
3. The Contractor is responsible for licensing, bonding, and insurance as required by applicable regulatory agencies.
4. Prior to commencing any work, the contractor shall schedule a pre-construction meeting with the Landscape Architect.
5. Prior to commencing any work, contractor shall test existing lighting and/or irrigation systems to determine functionality and notify the client & architect of any poorly or non-functioning systems that are intended to remain. Systems will be assumed to be fully operational unless determined otherwise by the contractor.
6. The Contractor shall obtain Owner's approval for times of day during which construction operations may occur. All construction operations shall occur within times specified by local ordinances.
7. The Contractor shall fully acquaint himself with the conditions of the site. The Contractor shall thoroughly examine and be familiar with the drawings and specifications. Should the Contractor find, after visiting the site or during construction, any discrepancies, omissions, ambiguities, or conflicts in or among the Contract Documents or be in doubt as to their meaning, they shall bring these items to the attention of the Landscape Architect for direction prior to commencing work.
8. The Contractor shall identify all staging and stockpile areas for approval by the Landscape Architect prior to commencing work. This plan should be reviewed with the Landscape Architect and Owner at the Pre-Construction meeting.
9. The Contractor shall distribute materials and equipment and spread any stockpiles in such a manner as to protect existing conditions, such as utilities, paving, vegetation, etc. Do not stockpile soil or construction materials, or drive vehicles within the drip line of existing trees to remain.
10. The Contractor is responsible for contacting the local utility agency a minimum of 72 hours prior to commencing work and shall be fully responsible for any damages which may occur as a result of the Contractor's failure to preserve any and all marked utilities.
11. The Contractor is responsible for any construction inspections required.
12. The Contractor shall provide erosion control materials around the Limit of Work as required by local codes. Such materials shall be in place prior to any demolition work and shall remain in place until work is completed. Protective fencing shall be erected at the dipline of existing trees that are to remain (as indicated on the plans). Refer to TREE CARE NOTES on sheet L003
13. The Contractor shall preserve and protect all existing conditions unless otherwise noted. The Contractor shall promptly repair any damage to existing pavement, driveways, and adjacent facilities caused by construction operations. Any damages, or necessary alterations other than those indicated on the drawings must be repaired and are the responsibility of the Contractor.
14. The Contractor is responsible for keeping all work and related activities within the property line or the designated Limit of Work. At no time is access, storage, or movement of materials, machinery, or debris to take place outside of the project Limit of Work line or through neighboring sites. Construction access shall be maintained in a condition which will prevent tracking or flowing of sediment onto public rights-of-way. Any streets, sidewalks, alleys, or driveways disturbed during construction must be cleared of debris, swept, and washed on a daily basis during construction. The Contractor shall keep the site clean and free of trash at all times during construction.
15. The Contractor shall minimize construction operations in the root zones of existing trees to remain. The Landscape Architect shall approve all trenching or other disturbance required within the root zones of trees. The Contractor is responsible for consulting an Arborist prior to major excavation. Do not shred or tear tree roots with excavation equipment. Refer to TREE CARE NOTES.
16. The Contractor shall provide mock-ups in the field of all vertical and horizontal surfaces for approval by Owner and Landscape Architect prior to construction. All mock-ups shall be preserved to be used for reference during construction. Do not remove mock-ups until construction is complete.
17. Substitutions in products and materials are not permitted without prior approval by the Landscape Architect.
18. The Contractor is responsible for coordinating with all other trades on the site.
19. The Contractor, or a contractor's representative shall be on site at the time of all materials deliveries. If someone is not available to accept the delivery the contractor shall be fully responsible for any loss or damage to the materials or adjacent property.
20. Upon completion of the project, all excess soil, temporary fencing, erosion control measures, stabilization materials, and other debris shall be removed from the site and disposed of legally. All paved areas, walls, etc. shall be thoroughly washed and cleaned.
21. Where applicable the contractor is responsible for ensuring that all elements are constructed in accordance with the design documents and contract conditions including the current ADA standards for accessible design and updates. If the contractor observes that any part of the project is non-compliant with the ADA, they shall notify the landscape architect immediately so that an adjustment can be made to ensure compliance. Any landscape components that are built without complying with the above code must be corrected by the contractor at no additional expense.
22. Refer to individual drawings for further notes.

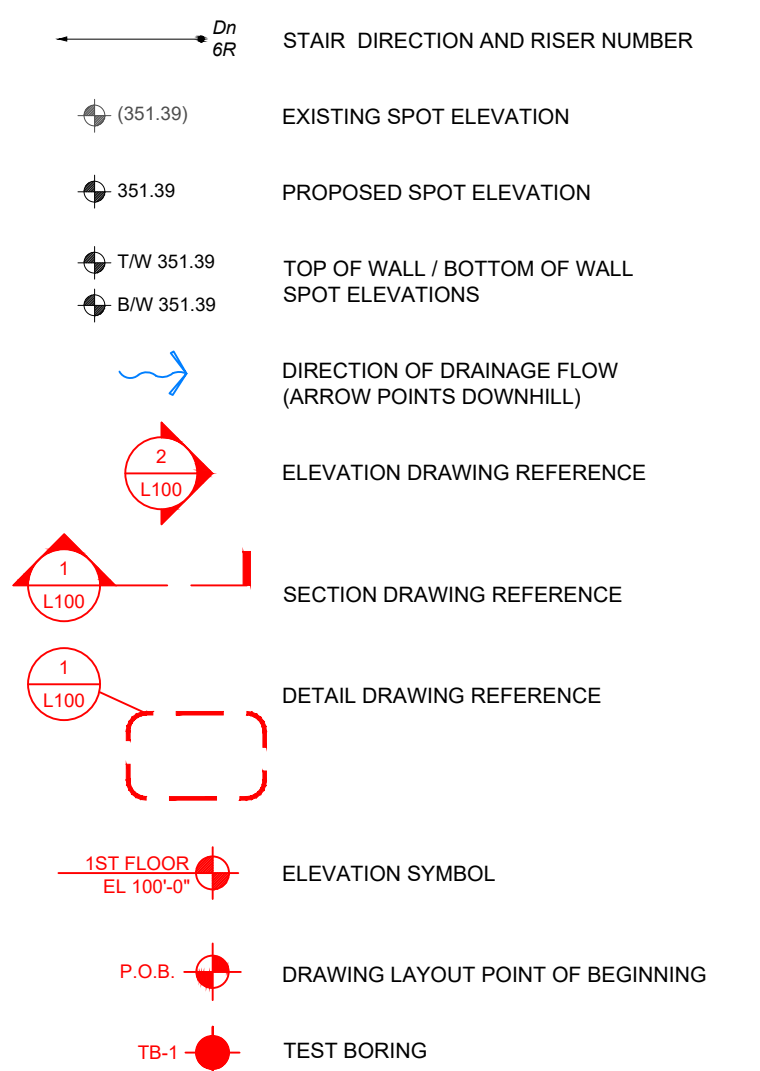
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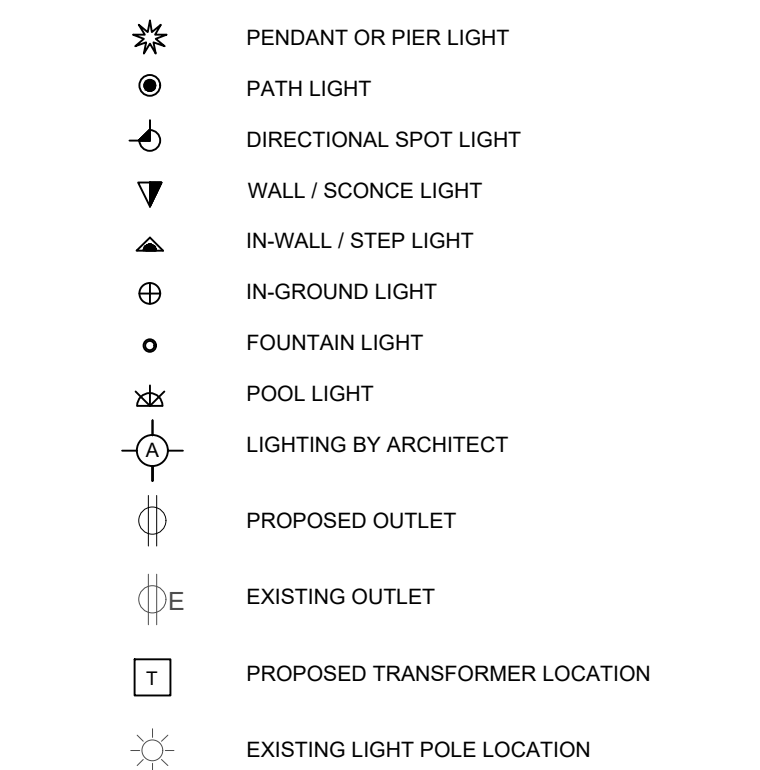
PLANTING SYMBOLS



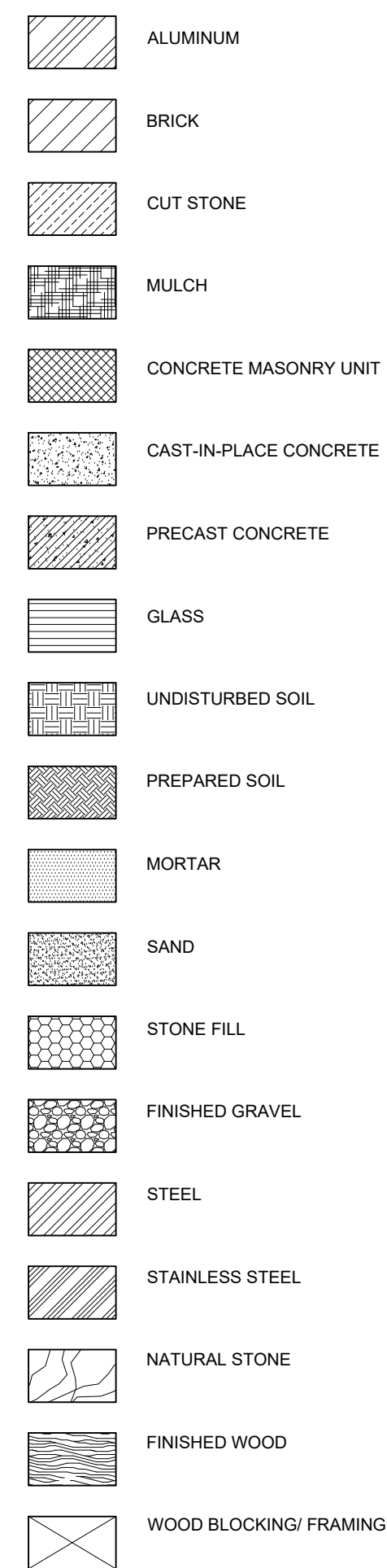
DRAWING SYMBOLS



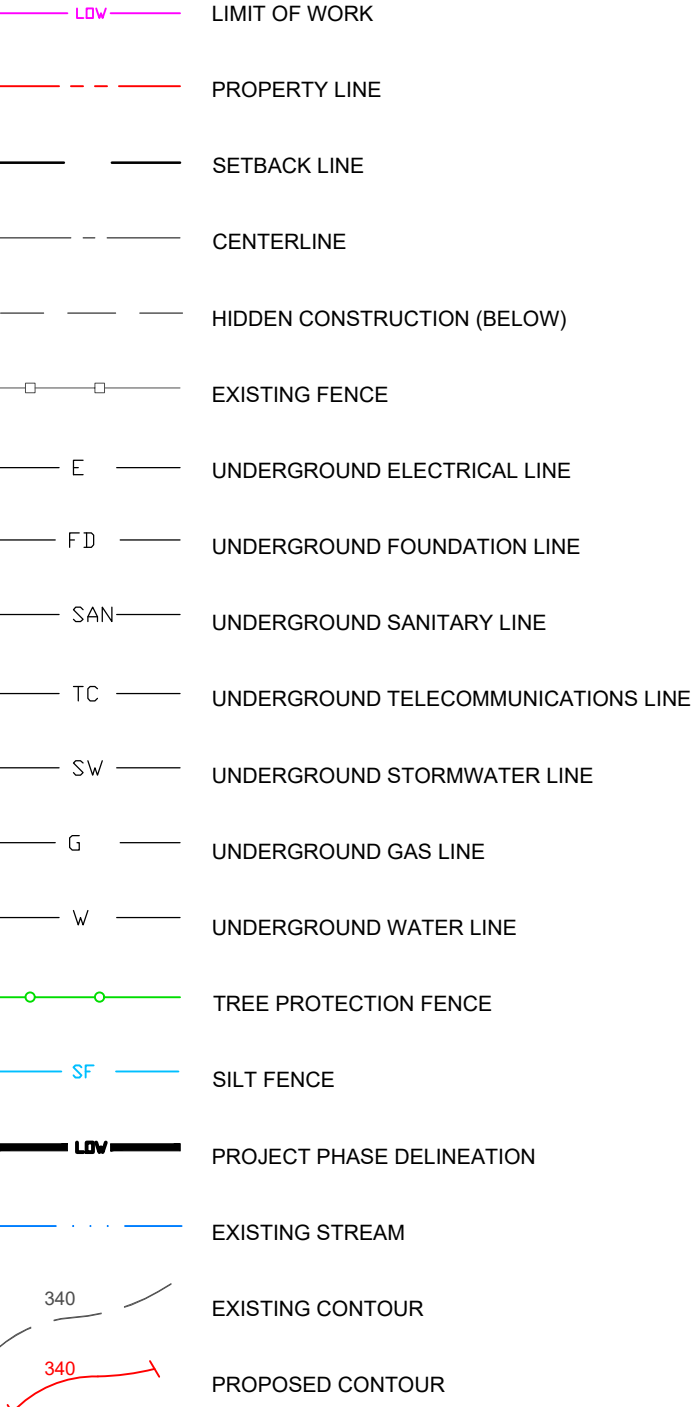
ELECTRICAL SYMBOLS



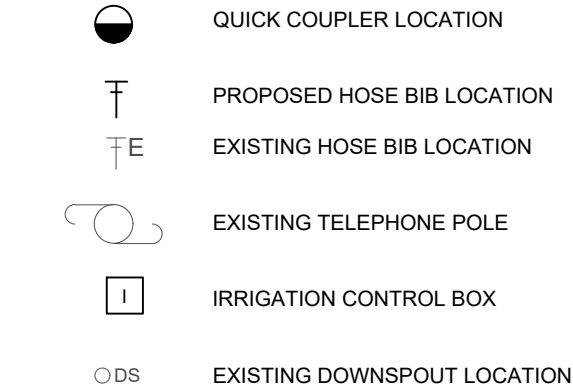
MATERIALS SYMBOLS



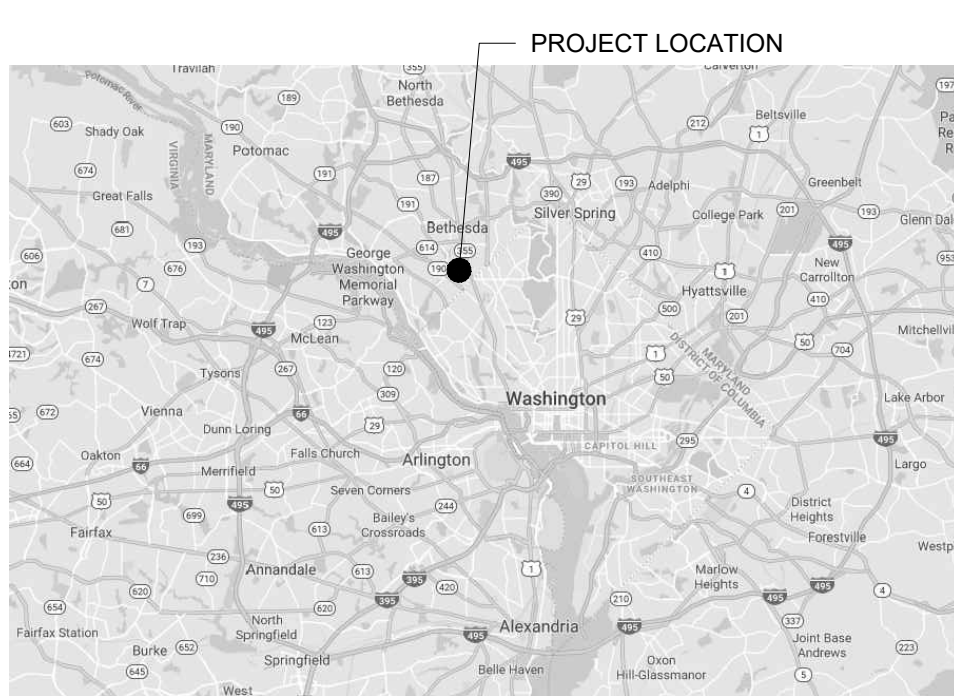
LINETYPES



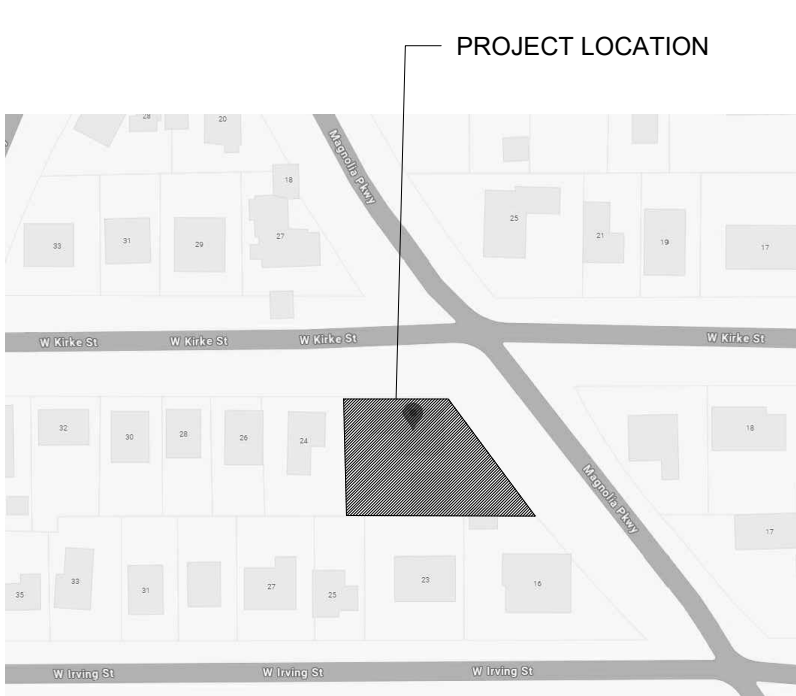
IRRIGATION/UTILITY SYMBOLS



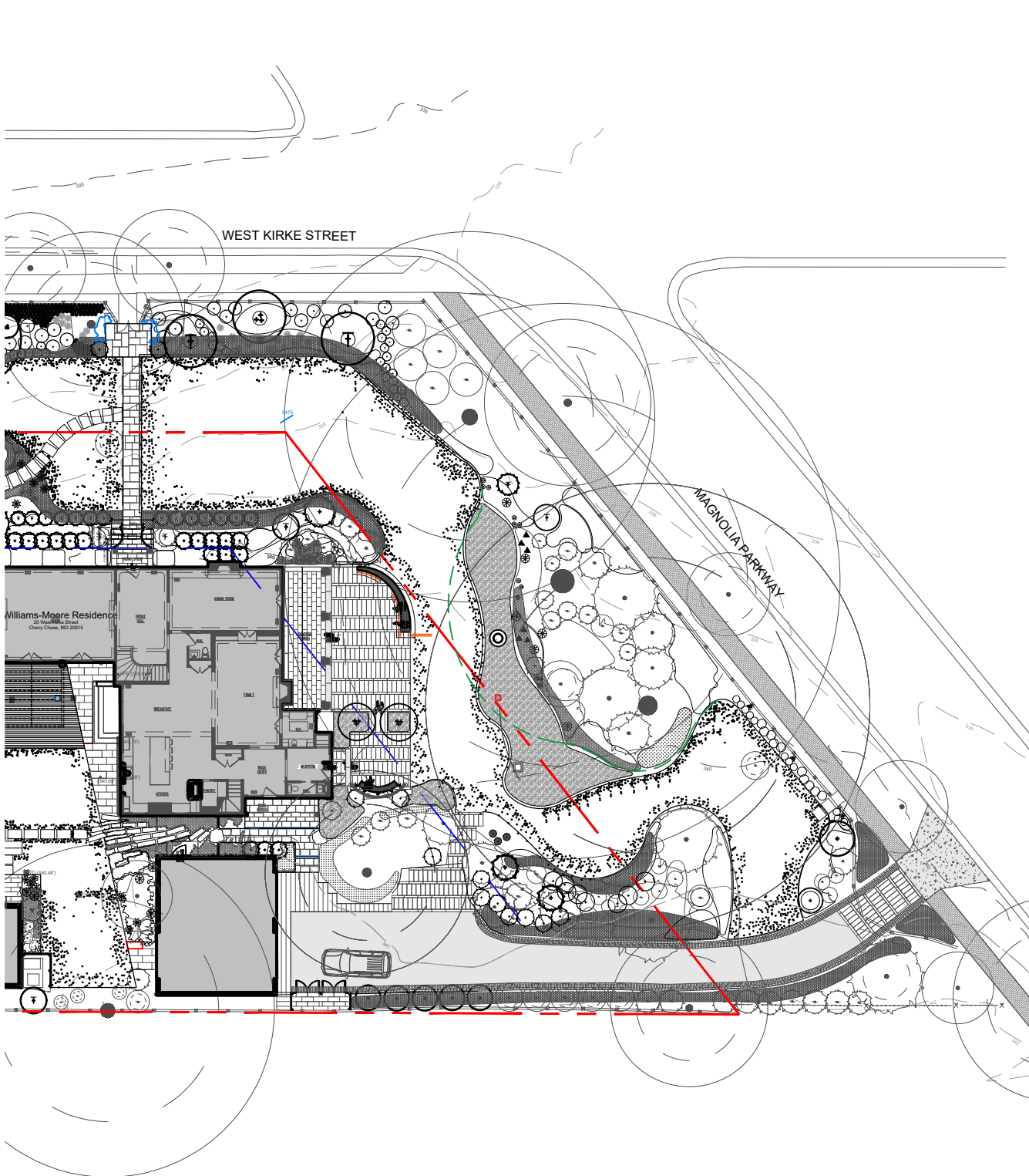
REGIONAL MAP - NTS



VICINITY PLAN - NTS



SITE PLAN 1/32"=1'-0"

Project Name / Client

WILLIAMS MOORE
PHASE 2

20 West Kirke St.
Chevy Chase, MD
20815

Client Emergency Contact Number
(111) 111-1111

Landscape Architect



609 H Street NE, Suite 600
Washington, DC 20002
(202) 543-1286
www.moodygraham.com

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Note

Scope of work noted below has been already approved by HPC under HAWP # 1109308

Restoration/ reconstruction of side porch and interior renovations to (2) second floor bedroom suites, including bathrooms. Adding stone patio, seat walls, and new planting.

[illegible]

Professional Seal

Project Number: 25618-01

Drawn By: NW

Checked By: A

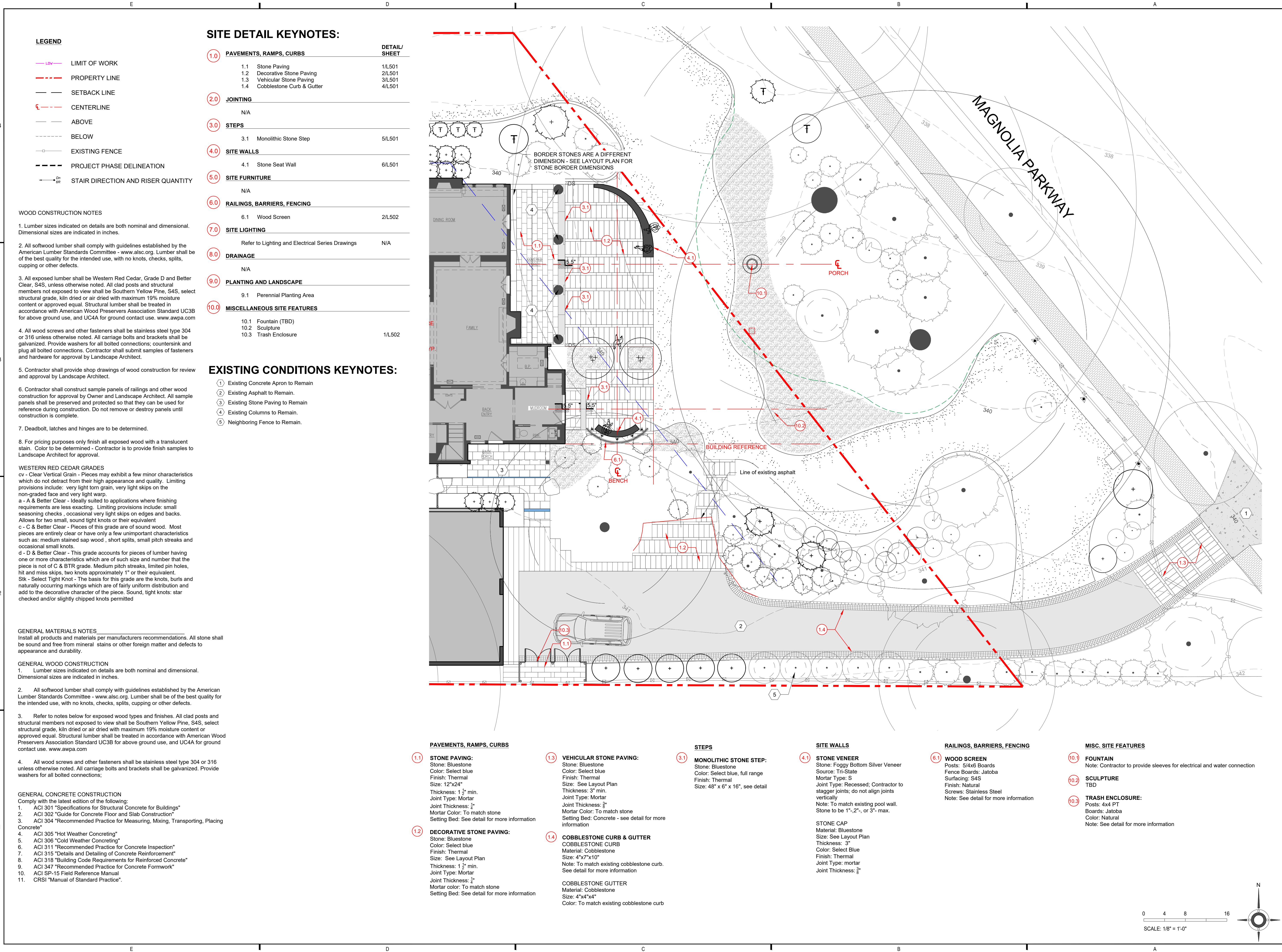
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COVER SHEET & GENERAL NOTES

AS SHOWN

Drawing No.

L001



Project Name / Client

WILLIAMS MOORE PHASE 2

20 West Kirke St.
Chesny Chase, MD
20815

Client Emergency Contact Number:
(111) 111-1111

Landscape Architect



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Note:

Scope of work noted below has been already approved by HPC under HAWP # 1109308

Restoration/ reconstruction of side porch and interior renovations to (2) second floor bedroom suites, including bathrooms. Adding stone patio, seat walls, and new planting.

Drawing Release Record

No. Date Revisions

1 05/12/25 BID SET

Professional Seal

Project Number: 25616-01

Drawn By: NW

Checked By: AD

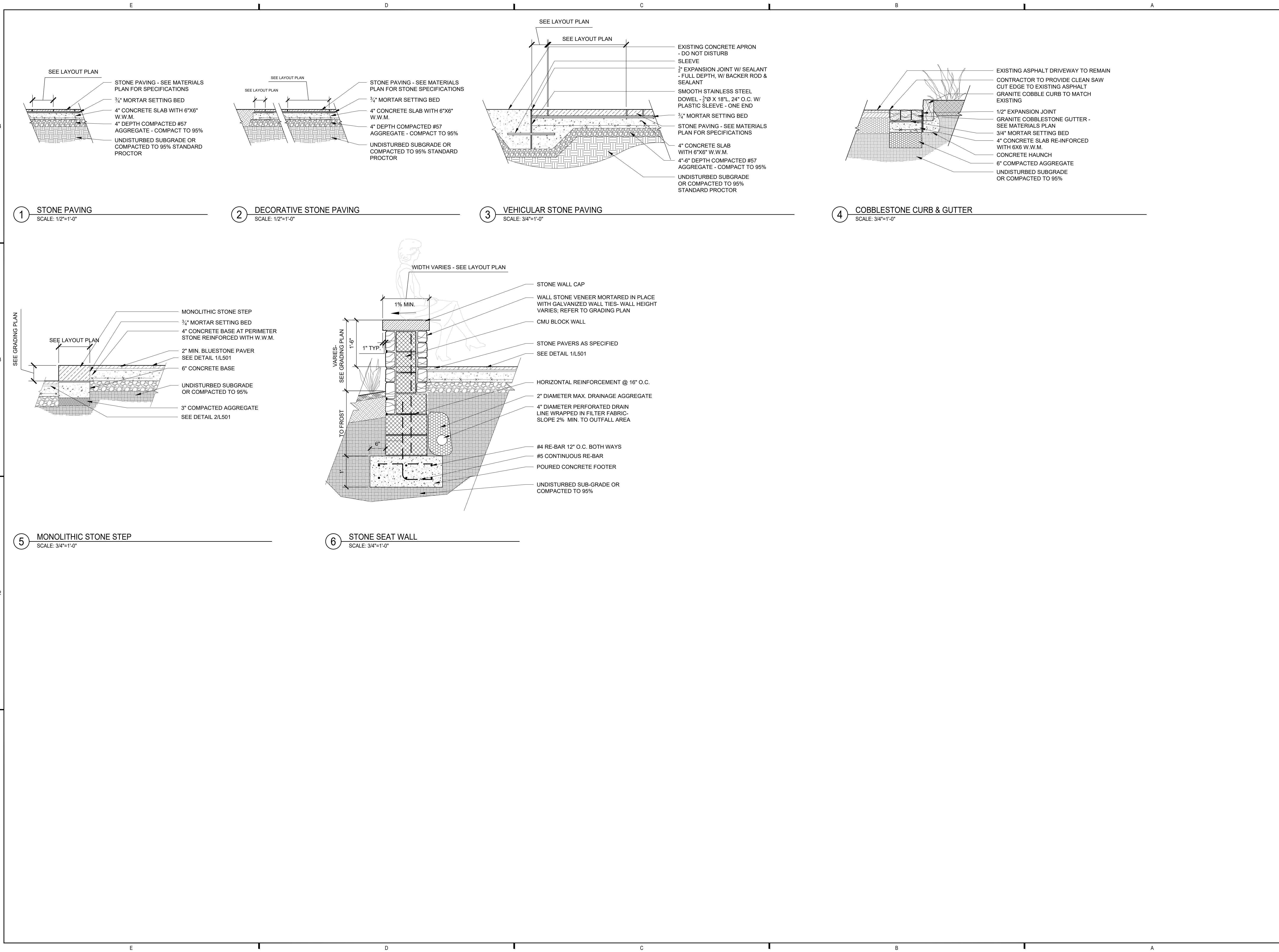
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MATERIALS PLAN

AS SHOWN

Drawing No.

L103



Project Name / Client

**WILLIAMS MOORE
PHASE 2**

20 West Kirke St.
Chevy Chase, MD
20815

Client Emergency Contact Number:
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Landscape Architect

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graham**
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Note:

Scope of work noted below has been
already approved by HPC under
HAWP # 1109308

Restoration/ reconstruction of side
porch and interior renovations to (2)
second floor bedroom suites, including
bathrooms. Adding stone patio, seat
walls, and new planting.

Drawing Release Record

No. Date Revisions

05/12/25 BID SET

Professional Seal

Project Number: 2816-01

Drawn By: NW

Checked By: AD

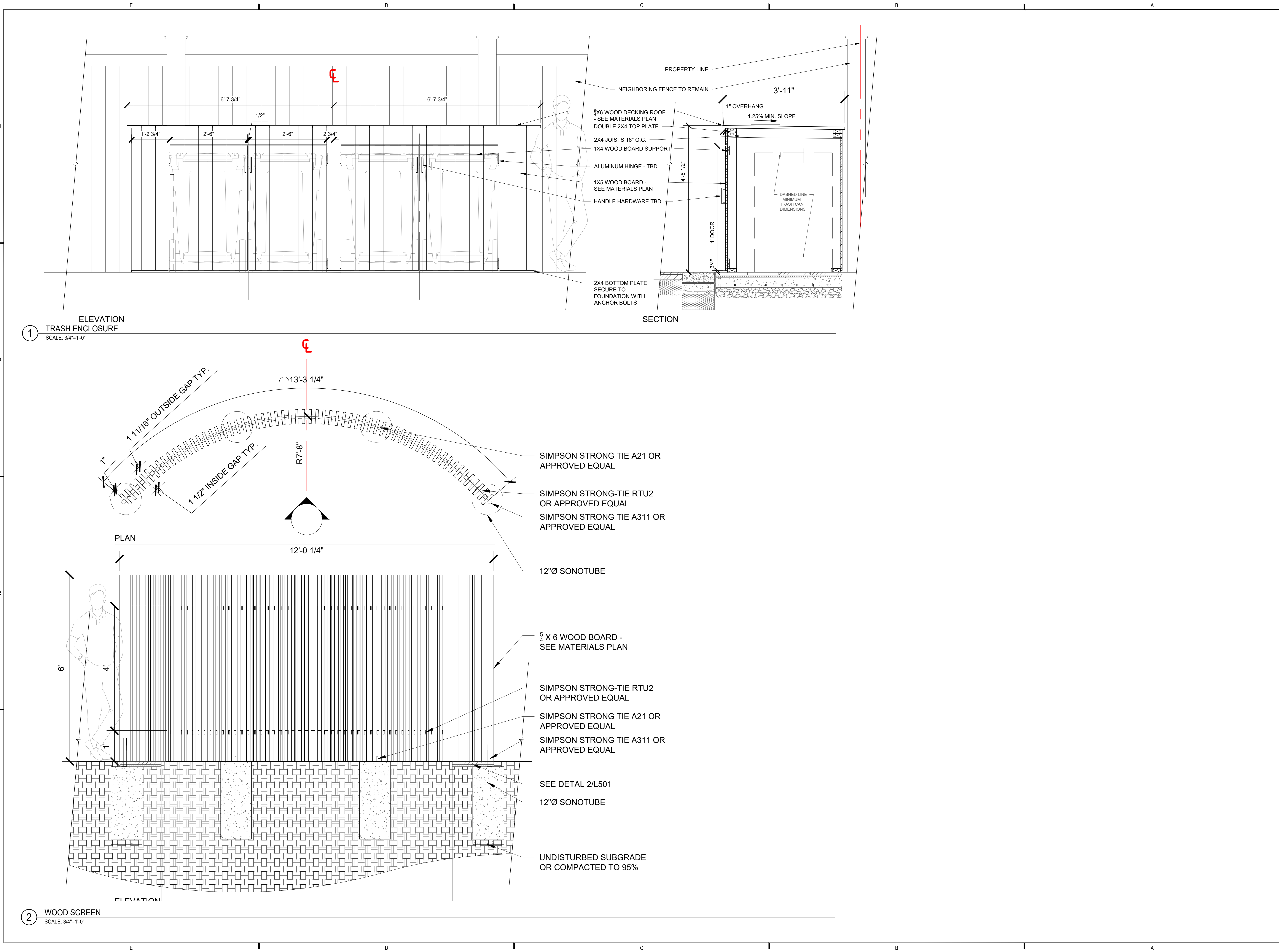
Sheet Name

HARDSCAPE DETAILS

AS SHOWN

Drawing No.

L501



Project Name / Client

**WILLIAMS MOORE
PHASE 2**

20 West Kirke St.
Chevy Chase, MD
20815

Client Emergency Contact Number:
(111) 111-1111

Landscape Architect



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Project Team

Architect
Firm Name
Street Address
City, State ZIP
(xxx) xxx-xxxx

Drawing Release Record

No. Date Revisions

1 05/12/25 BID SET

Professional Seal

Project Number: 2816-01

Drawn By: NW

Checked By: AD

Sheet Name

CARPENTRY DETAILS

AS SHOWN

Drawing No.

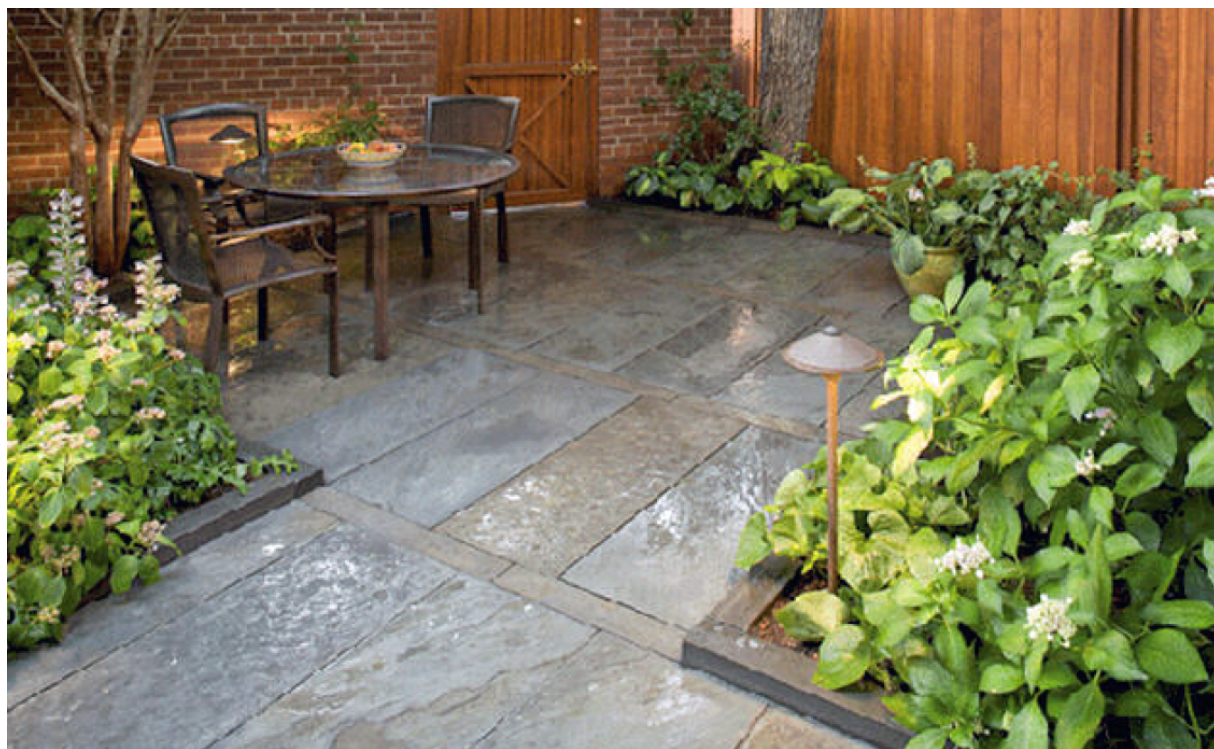
L502



Existing Condition

Precedent: Trash Enclosure

Paving material



Screen





**Municipality Letter for
Proposed Construction Project**

Subject Property: 20 West Kirke Street, Chevy Chase, MD 20815
Property Owner: Elizabeth Williams
Project Manager/Contractor: Avantika Dalal /Moody Graham Landscape Architecture
Proposed Work: Driveway work to include curbs, gutters and install new fence

5/14/2025

Rabbiah Sabbakhan, Director
Department of Permitting Services of Montgomery County
255 Rockville Pike, 2nd floor
Rockville, MD 20850

Dear Mr. Sabbakhan,

This letter is to inform your department that the above homeowner/contractor has notified Chevy Chase Village that he or she plans to apply for both county and municipal permits for the above summarized construction project. Chevy Chase Village will not issue any municipal building permit(s) for this proposed project until Montgomery County has issued all necessary county permits and the applicant has provided Chevy Chase Village with copies of county-approved and stamped plans. We have advised the homeowner/contractor that a permit from Montgomery County does not guarantee a permit from this municipality unless the project complies with all our municipal rules and regulations.

If this homeowner/contractor later applies for an amended county permit, please do not approve that application until you have received a Municipality Letter from us indicating that the homeowner/contractor has notified us of that proposed amendment to the permit.

If you have any questions about this proposed project and the municipal regulation of it by Chevy Chase Village, do not hesitate to have your staff contact my office. The Village Permitting Coordinator can be reached by phone at 301-654-7300 or by e-mail at ccvpermitting@montgomerycountymd.gov.

Sincerely,

Shana R. Davis-Cook
Chevy Chase Village Manager

CHEVY CHASE VILLAGE

5906 Connecticut Avenue
Chevy Chase, Maryland 20815

Phone (301) 654-7300

Fax (301) 907-9721

ccv@montgomerycountymd.gov

www.chevychasevillagemd.gov

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