MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	9 Primrose Street, Chevy Chase	**Meeting Date:**	6/11/2025
Resource:	Contributing Resource (**Chevy Chase Village Historic District)**	**Report Date:**	6/4/2025
Project Contact:	Alex Smith, Architect	**Public Notice:**	5/28/2025
Review:	HAWP	**Tax Credit:**	Partial
Permit Number:	1001603 REVISION	**Staff:**	Dan Bruechert
PROPOSAL:	Dormer and fenestration alterations and porch alterations		

STAFF RECOMMENDATION

Staff recommends that the HPC **approve with two (2) conditions** the HAWP application with final approval authority delegated to Staff.

1. The front porch may not leave the board edges exposed and must utilize the "chamfer nosing" trim. Details showing the location of this trim must be submitted before the issuance of the approval documents.
2. The proposed TimberTech is inconsistent with the requisite guidance and approval of this HAWP revision does not extend to the proposed stoop stairs and decking. A material that satisfies the criteria for a 'compatible substitute material' or wood must be used. Revised material specifications must be submitted to Staff before the issuance of the approval documents.

ARCHITECTURAL DESCRIPTION:

SIGNIFICANCE:	Contributing Resource within the Chevy Chase Village Historic District
STYLE:	Craftsman/Foursquare
DATE:	c. 1892-1916

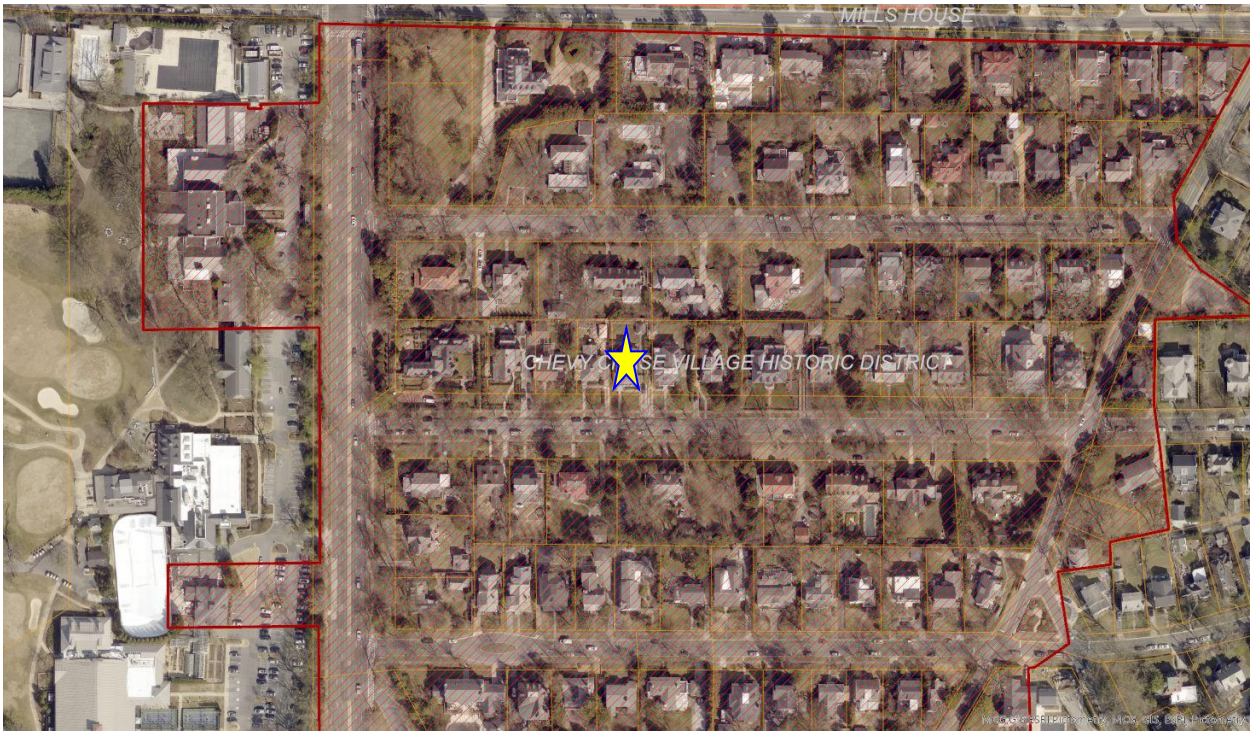


Figure 1: The subject property is located on the north side of Primrose Street.

BACKGROUND

The HPC approval the original HAWP for various alterations by consent on August 17, 2022.[1] Work proposed included reconfiguring the arrangement of the dormer windows, replacing the existing dormer siding, and replacing a window on the right elevation.

PROPOSAL

The applicant proposes to revise the previously approved HAWP by changing the porch and mudroom stoop materials, installing a different door in the rear, and repairing rather than replacing several windows. The window repairs will qualify for the County's historic preservation tax credit.

APPLICABLE GUIDELINES:

When reviewing alterations and new construction within the Chevy Chase Village Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include *Montgomery County Code Chapter 24A (Chapter 24A*), the historic preservation review guidelines in the approved and adopted amendment for the *Chevy Chase Village Historic District (Guidelines)*, and *the Secretary of the Interior's Standards for Rehabilitation (Standards)*. Because this HAWP also includes porch flooring replacements, the HPC is guided by *Policy No. 24-01* ADOPTED POLICY FOR THE APPROPRIATENESS OF SUBSTITUTE MATERIALS FOR PORCH AND DECK FLOORING. The pertinent information in these documents is outlined below.

Montgomery County Code; Chapter 24A-8

[1] The Staff Report and application for the 2022 HAWP approval are available here: https://montgomeryplanning.org/wp-content/uploads/nop2022/08/I.H-9-Primrose-Street-Chevy-Chase-1001603.pdf.

(b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:

(1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or

(2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or

(c) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

Chevy Chase Village Historic District Guidelines

The *Guidelines* state that the following five basic policies should be adhered to:

1. Preserving the integrity of the proposed Chevy Chase Village Historic District. Any alterations should, at a minimum, perpetuate the ability to perceive the sense of time and place portrayed by the district.

2. Preserving the integrity of the contributing structures in the district. Alterations to contributing structures should be designed in such a way that the altered structure still contributes to the district.

3. Maintaining the variety of architectural styles and the tradition of architectural excellence.

4. Design review emphasis should be restricted to changes that will be visible from the front or side public right-of-way, or that would be visible in the absence of vegetation or landscaping.

5. Alterations to the portion of a property that are not visible from the public right-of-way should be subject to very lenient review. Most changes to rear of the properties should be approved as a matter of course.

The G*uidelines* break down specific projects into three levels of review – Lenient, Moderate and Strict Scrutiny.

"Lenient Scrutiny" means that the emphasis of the review should be on issues of general massing and scale, and compatibility with the surrounding streetscape, and should allow for a very liberal interpretation of preservation rules. Most changes should be permitted unless there are major problems with massing, scale and compatibility.

"Moderate Scrutiny" involves a higher standard of review than "lenient scrutiny." Besides issues of massing, scale and compatibility, preserving the integrity of the resource is taken into account. Alterations should be designed so that the altered structure still contributes to the district. Use of compatible new materials, rather than the original building materials, should be permitted. Planned changes should be compatible with the structure's existing design, but should not be required to replicate its architectural style.

"Strict Scrutiny" means that the planned changes should be reviewed to ensure that the integrity of the significant exterior architectural or landscaping features and details is not compromised. However, strict scrutiny should not be "strict in theory but fatal in fact" i.e. it does not mean that there can be no changes but simply that the proposed changes should be reviewed with extra care.

The *Guidelines* that pertain to this project are as follows:

Doors should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not. For outstanding resources, they should be subject to strict scrutiny if they are visible from the public right-of-way. Addition of compatible storm doors should be encouraged.

Porches should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not. Enclosures of existing side and rear porches have occurred throughout the Village with little or no adverse impact on its character, and they should be permitted where compatibly designed.

Windows (including window replacement) should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not. For outstanding resources, they should be subject to strict scrutiny. Addition of compatible exterior storm windows should be encouraged, whether visible from the public right-of-way or not. Vinyl and aluminum windows (other than storm windows) should be discouraged. Addition of security bars should be subject to lenient scrutiny, whether visible from the public right-of-way or not.

Secretary of the Interior's Standards for Rehabilitation

The Secretary of the Interior defines rehabilitation as "the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values." The applicable *Standards* are as follows:

2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.

9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Historic Preservation Commission - Policy No. 24-01
ADOPTED POLICY FOR THE APPROPRIATENESS OF SUBSTITUTE MATERIALS FOR PORCH AND DECK FLOORING

2. Historic districts are comprised of groups of cohesive historic resources that collectively contribute to the county's historic, architectural, archaeological, or cultural values. Resources in

many districts are categorized as 'Outstanding,' 'Contributing,' or 'Non-Contributing' and the treatment of these resources varies based on their categorization.

4. Contributing Resources – These are significant for their contribution to the district as a whole and prioritize retaining the architectural style, overall volume, and size. Porch floors on 'Contributing' resources may be a compatible substitute material (discussed below), provided the material matches the building's historic character and construction methods. Historic rear porches for 'Contributing' resources may be constructed using a compatible substitute material. Non-historic porches and decks on 'Contributing' resources that are not visible from the public right-of-way may be constructed using substitute materials.
7. Compatible substitute materials for replacement porch flooring/decking – On buildings where a substitute material is acceptable under this policy, the material must satisfy the following criteria:
    - It must match the dimensions and installation method (i.e.) of the existing material or a historically appropriate porch flooring, (e.g., boards must run perpendicular to the house for porches);
    - It must be millable;
    - It can be painted without voiding the product warranty; or,
        - Has a uniform appearance consistent with painted wood;
    - It has a minimal (or no) stamped or embossed texture on the surface; and,
    - It has a finished edge that appears as a cut solid board.

STAFF DISCUSSION

The subject property is a c. 1892-1916 Craftsman/Foursquare-style Contributing Resource within the Chevy Chase Village Historic District. The HPC approved a HAWP in 2022 to reconfigure the dormer windows, change the dormer siding, and remove and replace an existing window on the left elevation. The applicant has modified the scope of work and now proposes to change the flooring material on the front porch and the mudroom stoop. The applicant also propose to install a new side door providing access to the mudroom. Finally, the applicant proposes to remove the window replacement on the left side of the house. Eliminating this element from the scope of work does not require a HAWP revision, however, the restoration of this window is eligible for the County's historic preservation tax credit.

Front Porch Floor

The existing front porch has wood tongue and groove flooring with flagstone stairs. The applicant proposes to remove the existing porch flooring and replace it with Aeratis Heritage, a PVC product, in tongue and groove flooring. No work is proposed for the stairs. The existing porch floorboards have warped and cupped in spite of the applicant's maintenance. This material degradation is likely due to UV damage exacerbated by the house's south facing orientation.

The proposed floorboards are 3" (three inches) wide and have hidden fasteners. The proposed material will come with a gray finish, however, the material can be painted or stained. At the intersection of the front porch and the house, the applicant proposes to install a quarter-round trim piece, matching the appearance of the floorboards. All board will be installed perpendicular to the front wall plane.

Staff finds the existing porch flooring is likely not the original porch and that the material integrity has been compromised and recommends the HPC approve its removal under 24A-8(b)(2).

In attempting to address the decrease in material quality and improvements in alternative materials, the HPC adopted *Policy 24-01* to aid in determining in what circumstances a substitute material may be installed for porch and deck flooring. As a contributing resource, the subject property may install a 'compatible substitute material,' as defined within the policy. Staff finds the proposed Aeratis Traditions tongue and groove flooring satisfies those criteria. The porch flooring will be installed in a historically appropriate method, it will be milled to size, it can be painted or stained, and it has a minimal embossed

texture. The specifications provided in the application show the half-round trim piece that will be installed over the exposed tongue and into the edge groove. However, details do not include the proposed treatment for the board ends. Aeratis manufactures a trim piece called a 'chamfer nosing' that covers the cut ends of the boards. Staff recommends the HPC include a condition for the approval of this HAWP revision that the applicant is required to install the chamfer nosing at the front edge of the porch and require the applicant to submit plans showing this treatment to Staff to verify before issuing the approval documents. With that condition, Staff finds the proposed front porch treatment is consistent with 24A8(b)(2) and (d); Standards #2, 6, and 9; the *Design Guidelines*; and Historic Preservation Commission - Policy No. 24-01 ADOPTED POLICY FOR THE APPROPRIATENESS OF SUBSTITUTE MATERIALS FOR PORCH AND DECK FLOORING.

Stoop Replacement

In 2001, the HPC approved an addition to the right rear corner of the house.[2] The approved stairs and decking were constructed using pressure treated wood that was painted to match the front porch. The applicant proposes to remove the existing stairs and decking and install TimberTech Vintage deck boards and stair treads.

Staff finds that the existing stoop is not a historic feature and removing the stairs treads and decking will not impact any historic fabric.

Under the HPC's Policy No. 24-01 ADOPTED POLICY FOR THE APPROPRIATENESS OF SUBSTITUTE MATERIALS FOR PORCH AND DECK FLOORING, non-historic porches and decks on 'Contributing' resources that are <u>not visible from the public right-of-way</u> may be constructed using substitute materials (emphasis added). This stoop is visible from the right-of-way. Staff finds that in developing the policy, the HPC wanted to provide maximum latitude for features that were of little-to-no historic significance that were not visible to the general public. Staff finds that because this stoop is visible from the public right-of-way, it must be evaluated under the requirements for a 'compatible substitute material.' Staff finds the proposed TimberTech siding fails the requirement that the material can be painted or stained or that its appearance be consistent with painted wood. Staff has examined samples of the proposed material and finds that its finish is not consistent with painted wood and is aware that painting TimberTech voids its warranty. Additionally, paint adhesion to the boards is generally considered to be poor. Staff does not recommend the HPC approve the proposed TimberTech for the stoop stairs as it is incompatible with 24A-8(b)(2); *Standard #6*; and the HPCs Policy No. 24-01 ADOPTED POLICY FOR THE APPROPRIATENESS OF SUBSTITUTE MATERIALS FOR PORCH AND DECK FLOORING, and recommends the HPC condition the approval of a compatible substitute material or wood for the stoop decking and stairs. Staff finds the Aeratis Tradition, proposed for the front porch, would be appropriate in this location.

Side Door

The wood side door entrance to the 2001 mudroom is poorly protected from the elements and is showing signs of rot. The applicant proposes to remove and replace this door and install a new Marvin aluminum clad door in its place. The proposed door will match the dimensions and exterior appearance of the existing door, but will have an aluminum exterior. The door is visible from a very narrow oblique angle from the public right-of-way.

Staff finds the existing door is not historic and its removal will not impact the character of the house and should be approved as a matter of course.

The *Design Guidelines* require that doors that are visible from the public right-of-way should be reviewed under moderate scrutiny. Moderate scrutiny, as defined in the *Guidelines*, permits the use of compatible

[2] Link to 2001 mudroom HAWP documents: https://mcatlas.org/tiles/06_HistoricPreservation_PhotoArchives/Padlock/HAR60640007/Box058/35-13-01B_Chevy%20Chase%20Historic%20District_9%20Primrose%20Street_03-14-2001.pdf.

new materials. Staff finds that the proposed door has a finish consistent with painted wood and will provide improved durability over the existing wood door and recommends the HPC approve the door replacement under 24A-8(b)(2) and (d); *Standards #2, 6, and 9*; and the *Design Guidelines*.

Other Work
The applicant proposes to eliminate the removal and replacement of an existing window from the scope of work. A HAWP revision is not required for this, because this will not result in a visual or physical change from the existing condition.

This work, in addition to the replacement chimney flashing, and any stucco repair are eligible for the County's historic preservation tax credit. For additional information about this product, please visit our website: https://montgomeryplanning.org/planning/historic/tax-credit-program/

STAFF RECOMMENDATION:

Staff recommends that the Commission **approve with two (2) conditions** the HAWP application:

1. The front porch may not leave the board edges exposed and must utilize the "chamfer nosing" trim. Details showing the location of this trim must be submitted before the issuance of the approval documents and
2. The proposed TimberTech is inconsistent with the requisite guidance and approval of this HAWP revision does not extend to the proposed stoop stairs and decking. A material that satisfies the criteria for a 'compatible substitute material' or wood must be used. Revised material specifications must be submitted to Staff before the issuance of the approval documents;

under the Criteria for Issuance in Chapter 24A-8(b)(2), and (d), having found that the proposal is consistent with the *Chevy Chase Village Historic District Guidelines* identified above, and therefore will not substantially alter the exterior features of the historic resource and is compatible in character with the district and the purposes of Chapter 24A;

and with the *Secretary of the Interior's Standards for Rehabilitation #2, #9,* and *#10;*

and Historic Preservation Commission - Policy No. 24-01 ADOPTED POLICY FOR THE APPROPRIATENESS OF SUBSTITUTE MATERIALS FOR PORCH AND DECK FLOORING;

and with the general condition that the applicant shall present an electronic set of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or dan.bruechert@montgomeryplanning.org to schedule a follow-up site visit.

FOR STAFF ONLY:
HAWP# 1117345
DATE ASSIGNED_____

APPLICATION FOR HISTORIC AREA WORK PERMIT

HISTORIC PRESERVATION COMMISSION
301.563.3400

APPLICANT:

Name: Alice Keating E-mail: keatinga99@gmail.com

Address: 9 Primrose Street City: Chevy Chase Zip: 20815

Daytime Phone: (202) 271-2374 Tax Account No.: _____

AGENT/CONTACT (if applicable):

Name: Katharine Scott E-mail: katie@domaarchdesign.com

Address: 4304 47th Street NW City: Washington, DC Zip: 20016

Daytime Phone: (202) 375-9276 Contractor Registration No.: _____

LOCATION OF BUILDING/PREMISE: MIHP # of Historic Property_____

Is the Property Located within an Historic District? X Yes/District Name Chevy Chase Village
__No/Individual Site Name_____

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: 9 Street: Primrose Street

Town/City: Chevy Chase Nearest Cross Street: Connecticut Avenue

Lot: P1 Block: 58 Subdivision: 0009 Parcel: 0000

TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:

- ☐ New Construction
- ☐ Addition
- ☑ Demolition
- ☐ Grading/Excavation
- ☑ Deck/Porch
- ☐ Fence
- ☐ Hardscape/Landscape
- ☑ Roof
- ☐ Shed/Garage/Accessory Structure
- ☐ Solar
- ☐ Tree removal/planting
- ☑ Window/Door
- ☐ Other:_____

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

Katharine Scott — Signature of owner or authorized agent

05/12/2025 — Date

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFING [Owner, Owner's Agent, Adjacent and Confronting Property Owners]	
Owner's mailing address Alice Keating 9 Primrose Street, Chevy Chase, MD 20815	**Owner's Agent's** mailing address Katharine Scott 4304 47th Street NW Washington, DC 20016
Adjacent and confronting Property Owners mailing addresses	
11 Primrose Street Chevy Chase, MD 20815	7 Primrose Street Chevy Chase, MD 20815
12 Primrose St Chevy Chase, MD	8 Primrose Street Chevy Chase, MD
6 Quincy Street Chevy Chase, MD	8 Quincy Street Chevy Chase MD 20815

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

Existing two-story, single-family home with cellar and attic and rear paved patio. The existing residence has asphalt shingle roofs, stucco exteriors at main levels, stucco exteriors at front and rear dormers, painted wood siding exteriors at side dormers, and a painted wood covered porch on a stone foundation at the front. A one-story Mudroom addition and uncovered stoop were added by a previous owner at the east facade and are not original to the structure. Site has a single story shed in the rear yard with a slate roof and stucco exterior walls and a small flagstone patio at the rear.

Description of Work Proposed: Please give an overview of the work to be undertaken:

This is a revision to approved Historic Area Work Permit #1001603 dated August 17, 2022. The applicant requests an updated approval memo for DPS.

Applicant has revised the work to add repairs to existing front porch and side yard stoop, and to omit window replacement at the second floor. Previously approved proposed work to include exterior repairs and window replacement at the Attic level, and an interior reconfiguration and renovation of the existing Attic level.

Exterior renovation to include reconfiguration and replacement of windows at the existing side and rear attic dormers. The existing side dormers will be reclad in a stucco finish to match the original dormers at the front and rear facades. Minor repairs to replace existing rotten eave trim at the east side dormer will also be included. At the first and second floors, existing original windows will be repaired in place. At the first floor, the scope will include replacing the existing Mudroom exterior door at the east facade, and the replacement of existing rotten floor boards at the existing front porch and east side yard stoop.

Interior renovation to include reconfiguring existing attic level for new bedroom, workspace, and closet; updates to existing attic bath; exposing existing roof rafters for insulation and to raise ceiling height; removing existing radiators at attic level and replacing the existing forced air system; and new closet cabinetry at the second floor Primary Suite.

Work Item 1: Window Replacement and Restoration

Description of Current Condition:	Proposed Work:
The existing original windows are in need of repair. The windows are inoperable and panes of glass are cracked at the front facade, second level. The windows at the east and west attic dormers are not original to the home. The dormers appear to have been enlarged by a previous owner at an unknown date.	Attic renovation will include reconfiguring the window layout and replacing the windows at the east and west side dormers, replacing rear dormer windows with taller units, and re-cladding the existing side dormers in stucco finish to match the original dormers at the front and rear facades. At the first and second floors, existing original windows will be repaired in place. Sash mechanisms will be repaired to be made operable, broken panes will be replaced and glazing putty restored, and windows will be repainted in their entirety.

Work Item 2: Mudroom Exterior Door Replacement

Description of Current Condition:	Proposed Work:
The Mudroom side addition at the east facade does not appear to be original to the structure. The stone foundation varies from the main foundation, the window and door casing is simple brick mold rather than 1x trim with a back band as used at all other locations, and the exterior door is insulated glass without muntins. The door is an outswing and is not protected from the elements. The wood door shows signs of rot and the paint is significantly peeled.	We propose to replace the existing painted wood Mudroom door with a new exterior clad-wood outswing door by Marvin. We propose to include a divided lite pattern to more closely align with the window pattern at the original structure. The prefinished aluminum clad exterior will protect the door from the elements and will facilitate maintenance and preserve the homeowner's investment. The door is specified to include muntins with an exterior putty profile and and simulated divided lites with spacer bar.

Work Item 3: Porch and Stoop Flooring Replacement

Description of Current Condition:	Proposed Work:
The existing front porch faces due south and is exposed to extreme weather conditions including full sun. Over time the floor boards have warped and rotted and the surface requires routine repainting. At the east side facade a small stoop was added at a later date by a previous owner. The stoop appears to be constructed of pressure treated lumber and is not protected from the elements. The stoop flooring shows similar signs of rot, warping, and paint deterioration despite routine maintenance.	We propose to replace the existing front porch plank flooring with new Aeratis Heritage 3-inch prefinished solid extruded PVC tongue-and-groove planks, size to match existing. Color: Battleship Gray, to match existing paint color. We propose to replace the existing side yard stoop decking with TimberTech Advanced PVC 5-1/2 inch deck planks with concealed Cortex fasteners, size to match existing. Color: Coastline, to match existing paint color.

HISTORIC AREA WORK PERMIT
CHECKLIST OF
APPLICATION REQUIREMENTS

	Required Attachments						
Proposed Work	I. Written Description	2. Site Plan	3. Plans/ Elevations	4. Material Specifications	5. Photographs	6. Tree Survey	7. Property Owner Addresses
New Construction	*	*	*	*	*	*	*
Additions/ Alterations	*	*	*	*	*	*	*
Demolition	*	*	*		*		*
Deck/Porch	*	*	*	*	*	*	*
Fence/Wall	*	*	*	*	*	*	*
Driveway/ Parking Area	*	*		*	*	*	*
Grading/Excavation/Landscaing	*	*		*	*	*	*
Tree Removal	*	*		*	*	*	*
Siding/ Roof Changes	*	*	*	*	*		*
Window/ Door Changes	*	*	*	*	*		*
Masonry Repair/ Repoint	*	*	*	*	*		*
Signs	*	*	*	*	*		*

DEPARTMENT OF PERMITTING SERVICES

Marc Elrich
County Executive

Rabbiah Sabbakhan
Director

HISTORIC AREA WORK PERMIT APPLICATION

Application Date: 5/16/2025

Application No: 1117345
AP Type: HISTORIC
Customer No: 1525491

Comments

This is a revision to approved Historic Area Work Permit #1001603 dated August 17, 2022. The applicant requests an updated approval memo for DPS. Applicant has revised the work to add repairs to existing front porch and side yard stoop, and to omit window replacement at the second floor.

Affidavit Acknowledgement

The Contractor is the Primary applicant authorized by the property owner
This application does not violate any covenants and deed restrictions

Primary Applicant Information

Address	9 PRIMROSE ST CHEVY CHASE, MD 20815
Othercontact	Scott (Primary)

Historic Area Work Permit Details

Work Type	ALTER
Scope of Work	Exterior repairs, window replacement at attic, and an interior renovation of the attic.

DOMA
ARCHITECTURE + DESIGN

MAY 9 2025

K E A T I N G R E S I D E N C E

9 PRIMROSE STREET CHEVY CHASE MD 20815

REVISION TO ORIGINAL SUBMISSION AND APPROVAL DATED AUGUST 19, 2022.

OMISSIONS FROM SCOPE

- Omit replacement windows at second floor Primary Bath, rear and left elevations. Existing windows will remain in place.

REVISIONS TO SCOPE

- Existing Mudroom door will be replaced as planned; however, we propose to specify a design with divided lites to mimic the historic style of the home. We propose to install a prefinished aluminum-clad wood exterior French door by Marvin, as the door is an outswing orientation without protection from the elements. The existing Mudroom addition does not appear original to the home.

ADDITIONS TO SCOPE

- Existing front porch flooring and Mudroom stoop decking are rotten and require replacement. We propose to replace the front porch decking with Aeratis Heritage porch flooring. We propose to replace the stoop decking with TimberTech Advanced PVC decking.
- Existing original casement and double-hung windows will be restored in-place. Sash mechanisms will be repaired to be made operable. Broken panes will be replaced and glazing putty restored. Windows will be repainted in their entirety.

DOMA
ARCHITECTURE + DESIGN

MAY 9 2025

KEATING RESIDENCE

9 PRIMROSE STREET CHEVY CHASE MD 20815

PRELIMINARY SPECIFICATIONS

PROJECT SCOPE

Interior renovation to existing second floor and attic space, and new windows and exterior cladding to existing side dormers. Renovation to include updates to existing attic bath; reconfiguring existing attic space for new bedroom, workspace and closet; exposing existing roof rafters for insulation and to raise ceiling height; removing existing radiators at attic level and installing new forced air system; new closet buildout at Second Floor Primary Suite; replace existing exterior front porch flooring and Mudroom stoop decking; and replace First Floor Mudroom exterior door with new door. Mudroom addition and stoop do not appear to be original – stone foundation is different material and pattern from main foundation, window and door trim is simple brickmould rather than 1x trim with backband used at all other locations, and the exterior door to be replaced is insulated glass without muntins.

SPECIFICATIONS

UTILITIES + SITE WORK

- Landscaping
    - All planting and final grading by Owner.

- Utilities
    - General Contractor to coordinate and provide connection to existing utilities, to remain.

- Electric
    - Provide and install panels, outlets and switches, per code - dimmers throughout. Provide allowance for heavy-up to existing system if necessary.
    - Decorative fixtures by Owner.
    - Provide lamps and bulbs for all fixtures, per manufacturers' specifications.
    - Home security system, intercom and audio/visual system by Owner.
    - Provide telephone, cable, & CAT6 wiring at locations shown on plans.
    - Provide recessed lights and wall washers as shown, white trim + baffle. Provide allowance
    - Contractor to verify existing electrical panel and advise if replacement is required.

- Plumbing
    - See individual rooms.
    - Provide copper supply pipes for indoors (above ground), and PVC supply pipes for under slab and underground; PVC waste pipes with cast iron stand pipes and cast iron elbows at all toilet locations.

- Inspect and verify if existing hose bibs are frost proof. Replace if needed.

- HVAC
  - Existing system : (1) zone, hot-water radiators served by boiler at the basement. (2) zone A/C system- basement unit serves first and basement level, attic unit serves second and attic level.
  - Remove existing Attic Level radiator system. Provide recommendation for new heating and cooling system to serve the Attic Level. Existing Basement, First and Second Level systems to remain.
  - Hard metal duct shall be used; maximum of 4' length of flexible duct permitted.
  - Provide electric air filters / unit
  - Provider humidifier/ unit.
  - All ceiling and wall registers to be by mud in flush grills.

GENERAL

Existing Exterior Dormer Walls
Existing Attic framing to remain. Where available, insulate existing exterior wall cavity with Icynene spray foam insulation R-21 thickness or to meet performance method requirements for local jurisdictions. Existing cladding at side dormers to be removed and replaced with painted stucco to match existing.

Existing Roof
All existing roof material to remain. Existing roof framing to remain, removing existing drywall ceilings. Provide Icynene open cell spray foam insulation to R-49 thickness or to meet performance method requirements for local jurisdictions.

Existing Chimney
Inspect existing chimney and identify source of water damage. Repair as needed.

Gutters and Downspouts
Existing to remain.

Casement Windows
New windows at Attic to be Marvin painted wood SDL with muntin profiles to match existing, insulated glass, white jamb liners and paintable wood screens with white hardware.

Exterior Doors
New exterior door at Mudroom to be Marvin exterior aluminum-clad wood SDL with muntin profiles to match existing, insulated glass.

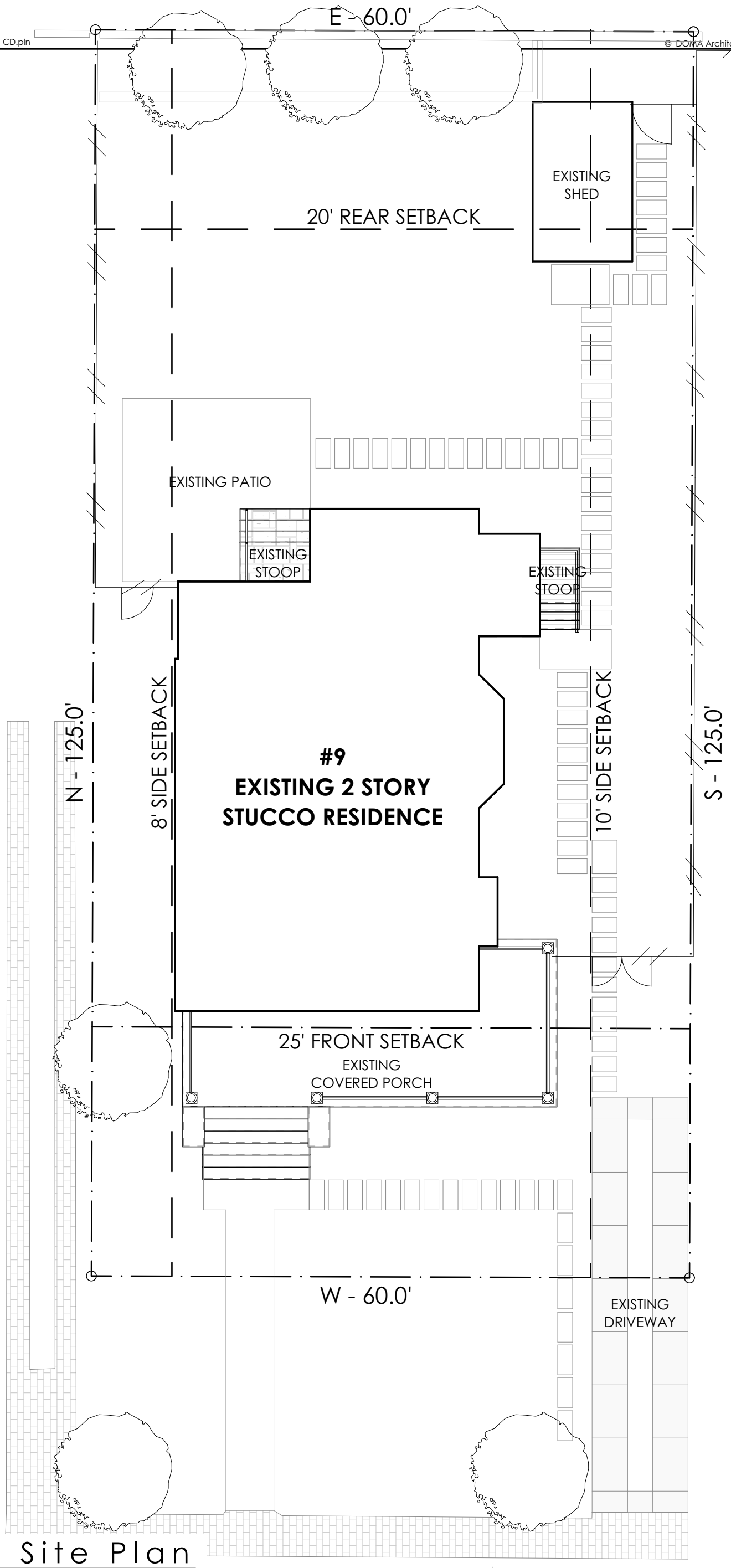
Exterior Trim
Painted wood trim to match existing. Inspect existing dormer's trim for rot and replace as needed.

Terraces, Stoops, retaining walls
Existing to remain.

Porch Flooring
Existing porch flooring to be replaced with Aeratis Heritage prefinished solid extruded PVC tongue-and-groove planks, size to match existing.

Mudroom Stoop Decking
Existing mudroom stoop decking to be replaced with TimberTech Advanced PVC deck planks with concealed fasteners, size to match existing.

Painting
Low VOC spec. Benjamin Moore throughout. All interior and exterior painted surfaces effected by propose construction to be re-painted.



1 Existing Site Plan
3/32" = 1'-0"

DOMA
ARCHITECTURE + DESIGN
4304 47th Street NW
Washington DC 20016
www.domaarchdesign.com
202.375.9276

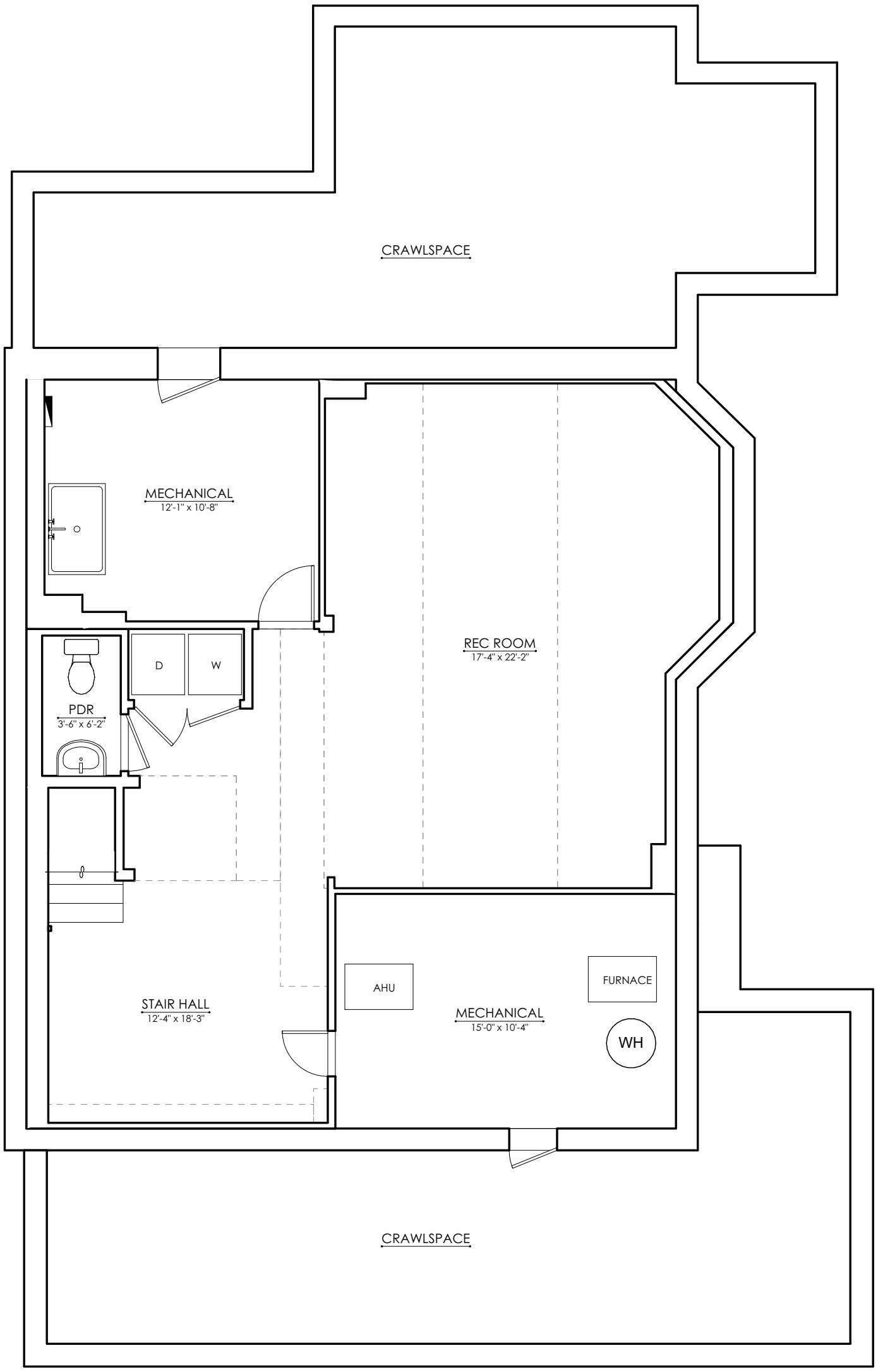
Project No. 2112

Keating Residence
9 Primrose Street
Chevy Chase MD 20815

06-08-2022	Chevy Chase Village Set
07-06-2022	HAWP Set
05-09-2025	HAWP Set - Revision

Sheet Title
Existing Site Plan

Sheet Number
A1.0



1 Existing Basement Plan

3/16" = 1'-0"

N

DOMA
ARCHITECTURE + DESIGN
4304 47th Street NW
Washington DC 20016
www.domaarchdesign.com
202.375.9276

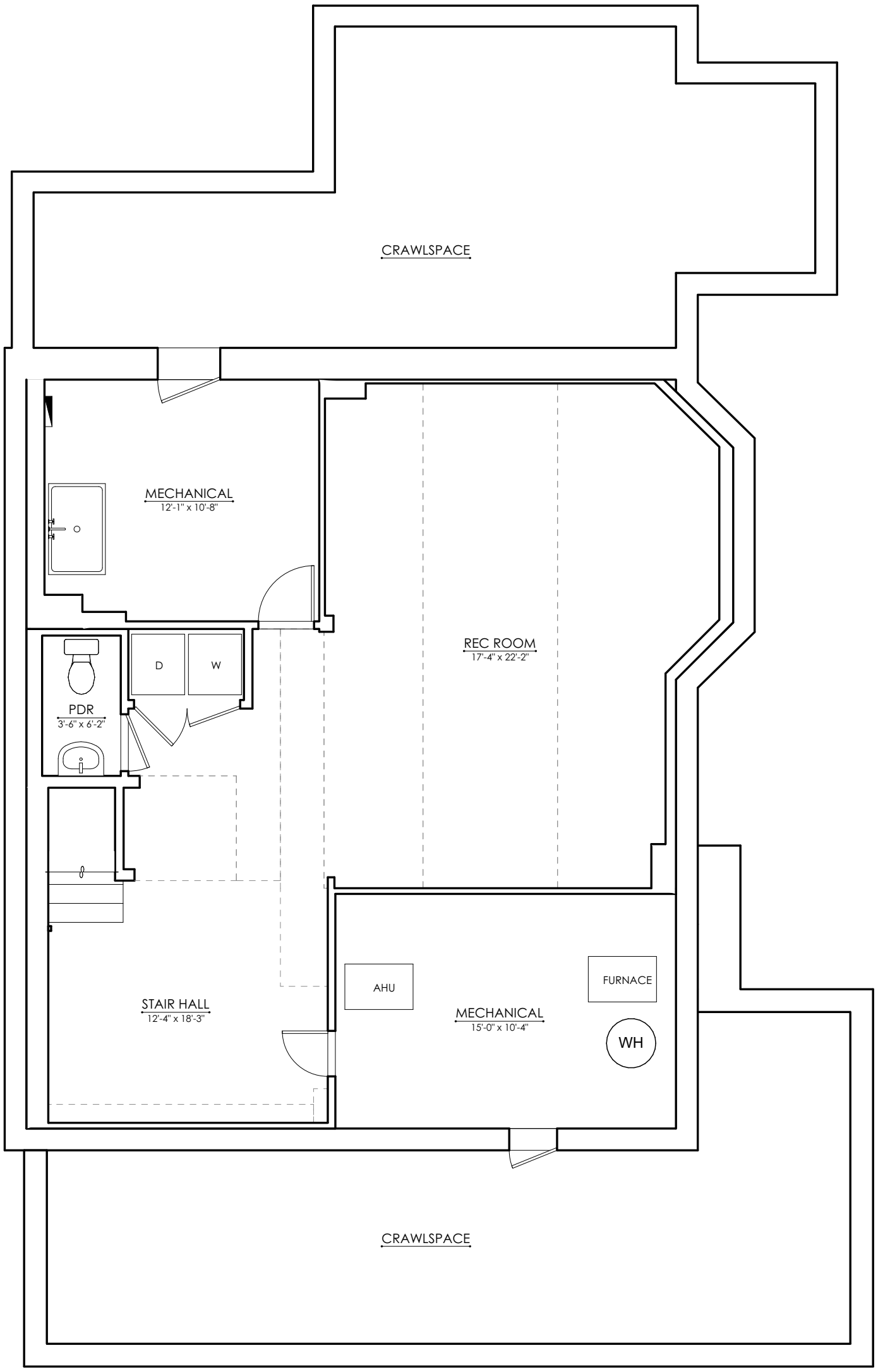
Project No. 2112

Keating Residence
9 Primrose Street
Chevy Chase MD 20815

06-08-2022	Chevy Chase Village Set
07-06-2022	HAWP Set
05-09-2025	HAWP Set - Revision

Sheet Title
Existing Basement Plan

Sheet Number
A1.01



1 Basement Plan

3/16" = 1'-0"

N

DOMA
ARCHITECTURE + DESIGN
4304 47th Street NW
Washington DC 20016
www.domaarchdesign.com
202.375.9276

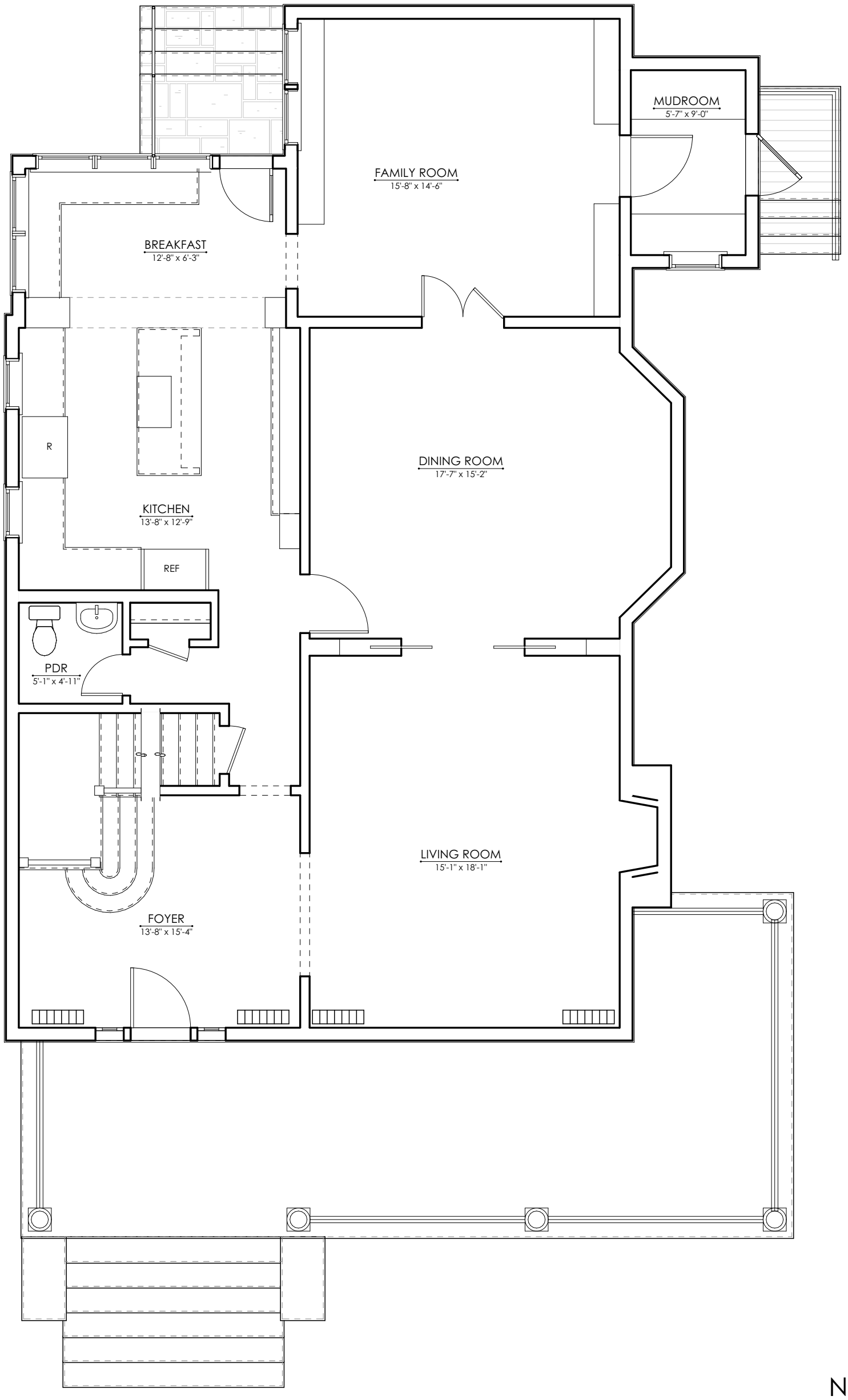
Project No. 2112

Keating Residence
9 Primrose Street
Chevy Chase MD 20815

06-08-2022	Chevy Chase Village Set
07-06-2022	HAWP Set
05-09-2025	HAWP Set - Revision

Sheet Title
Proposed Basement Plan

Sheet Number
A1.2



1 Existing First Floor Plan

3/16" = 1'-0"

N

DOMA
ARCHITECTURE + DESIGN

4304 47th Street NW
Washington DC 20016
www.domaarchdesign.com
202.375.9276

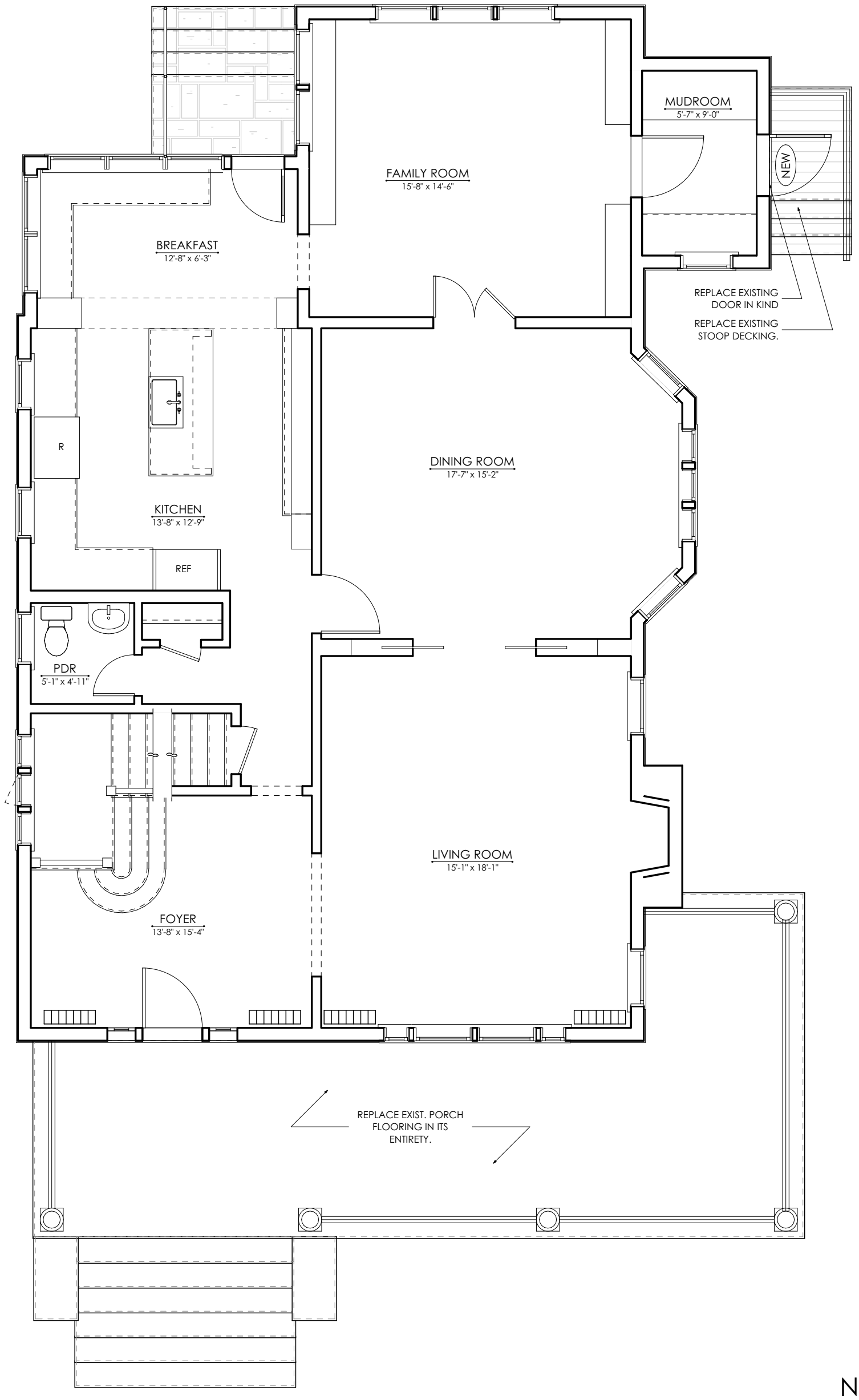
Project No. 2112

Keating Residence
9 Primrose Street
Chevy Chase MD 20815

06-08-2022	Chevy Chase Village Set
07-06-2022	HAWP Set
05-09-2025	HAWP Set - Revision

Sheet Title
Existing First Floor Pan

Sheet Number
A1.3



1 First Floor Plan

3/16" = 1'-0"

N

DOMA
ARCHITECTURE + DESIGN

4304 47th Street NW
Washington DC 20016
www.domaarchdesign.com
202.375.9276

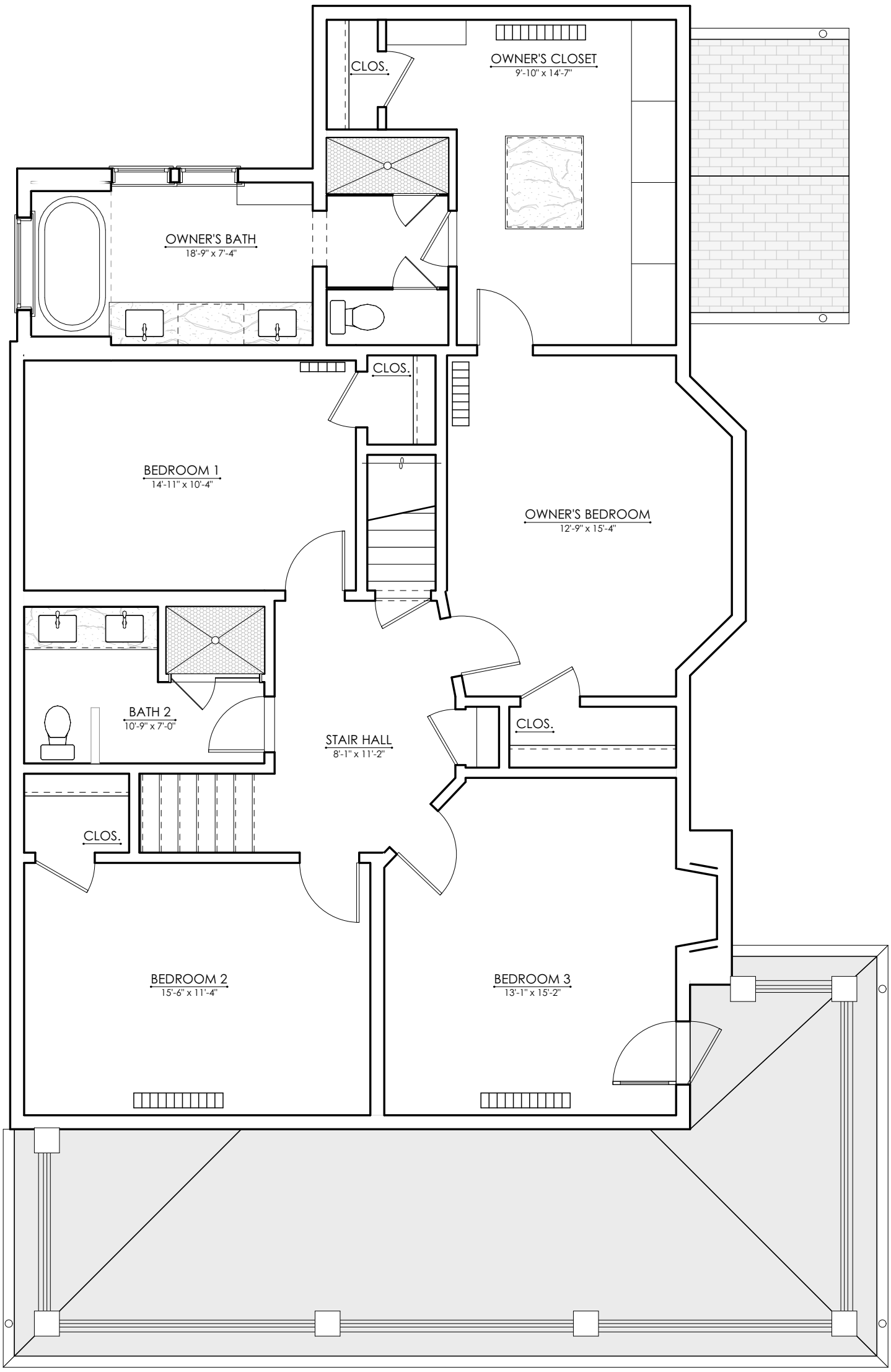
Project No. 2112

Keating Residence
9 Primrose Street
Chevy Chase MD 20815

06-08-2022	Chevy Chase Village Set
07-06-2022	HAWP Set
05-09-2025	HAWP Set - Revision

Sheet Title
Proposed First Floor Plan

Sheet Number
A1.4



1 Existing Second Floor Plan

3/16" = 1'-0"

N

DOMA
ARCHITECTURE + DESIGN

4304 47th Street NW
Washington DC 20016
www.domaarchdesign.com
202.375.9276

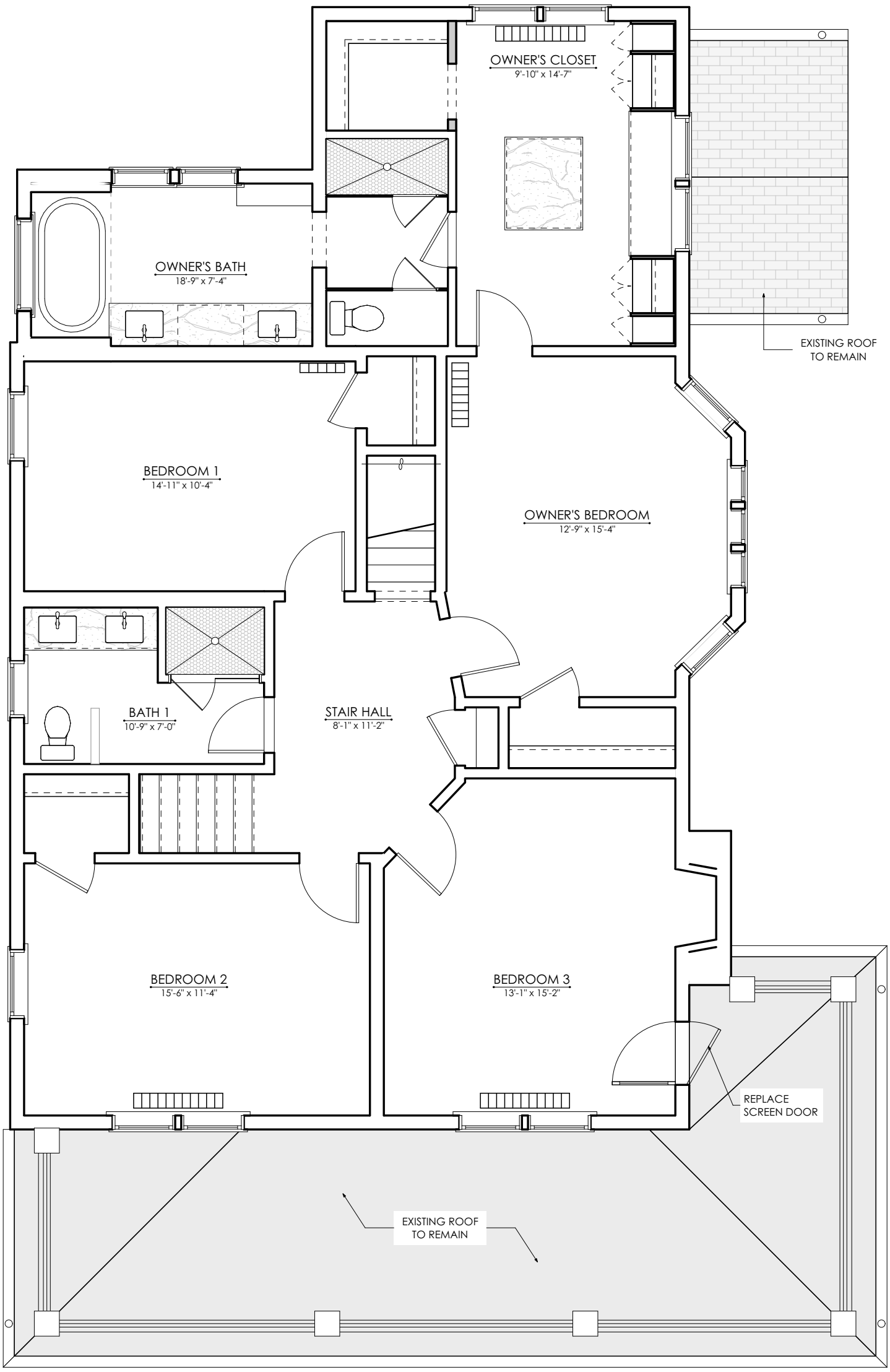
Project No. 2112

Keating Residence
9 Primrose Street
Chevy Chase MD 20815

06-08-2022	Chevy Chase Village Set
07-06-2022	HAWP Set
05-09-2025	HAWP Set - Revision

Sheet Title
Existing Second Floor Plan

Sheet Number
A1.25



1 Second Floor Plan

3/16" = 1'-0"

N

DOMA
ARCHITECTURE + DESIGN

4304 47th Street NW
Washington DC 20016
www.domaarchdesign.com
202.375.9276

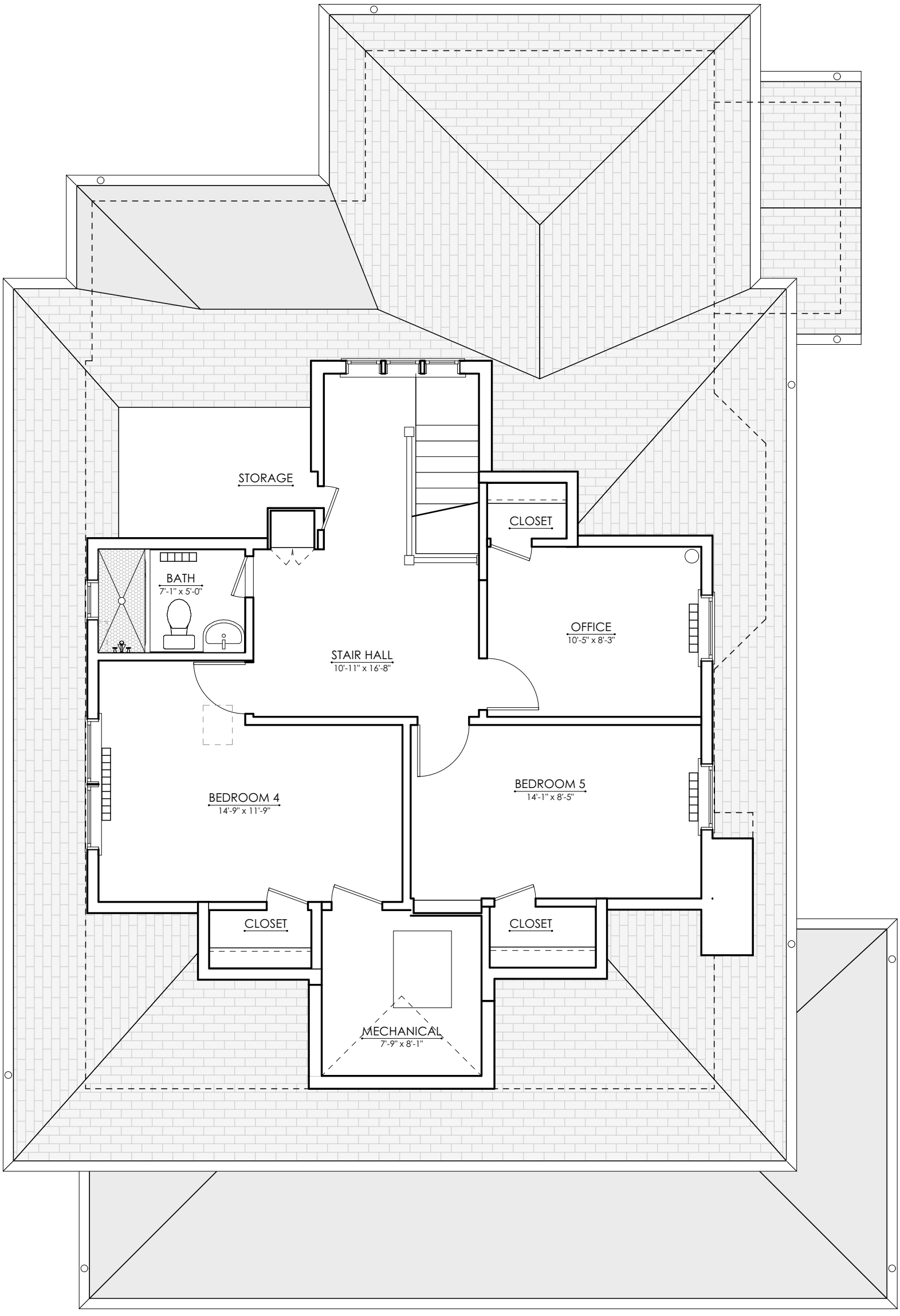
Project No. 2112

Keating Residence
9 Primrose Street
Chevy Chase MD 20815

06-08-2022	Chevy Chase Village Set
07-06-2022	HAWP Set
05-09-2025	HAWP Set - Revision

Sheet Title
Proposed Second Floor Plan

Sheet Number
A1.6



1 Existing Attic Plan

3/16" = 1'-0"

N

DOMA
ARCHITECTURE + DESIGN
4304 47th Street NW
Washington DC 20016
www.domaarchdesign.com
202.375.9276

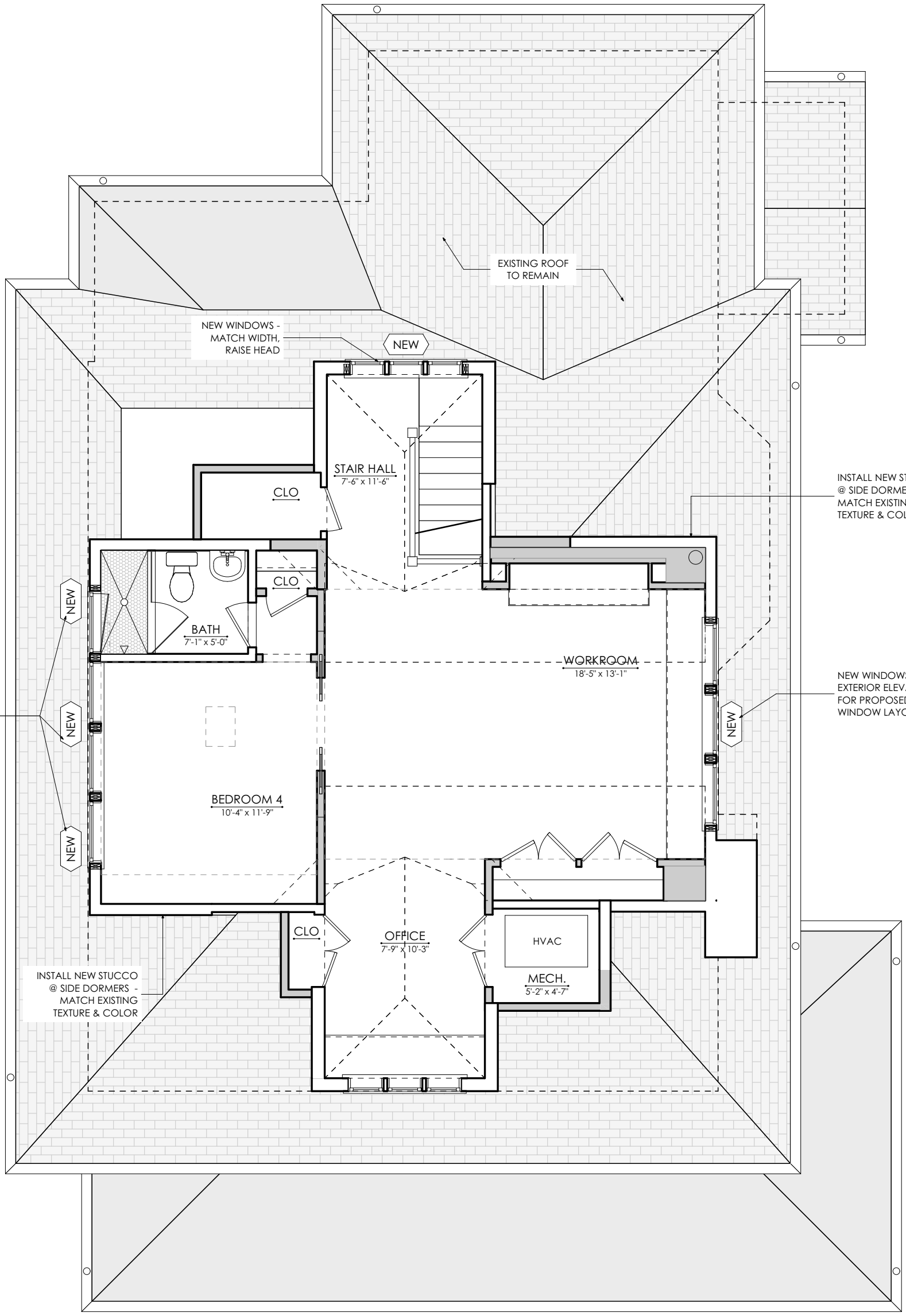
Project No. 2112

Keating Residence
9 Primrose Street
Chevy Chase MD 20815

06-08-2022	Chevy Chase Village Set
07-06-2022	HAWP Set
05-09-2025	HAWP Set - Revision

Sheet Title
Existing Attic Plan

Sheet Number
A1.7



1 Attic Plan

3/16" = 1'-0"

N

DOMA
ARCHITECTURE + DESIGN

4304 47th Street NW
Washington DC 20016
www.domaarchdesign.com
202.375.9276

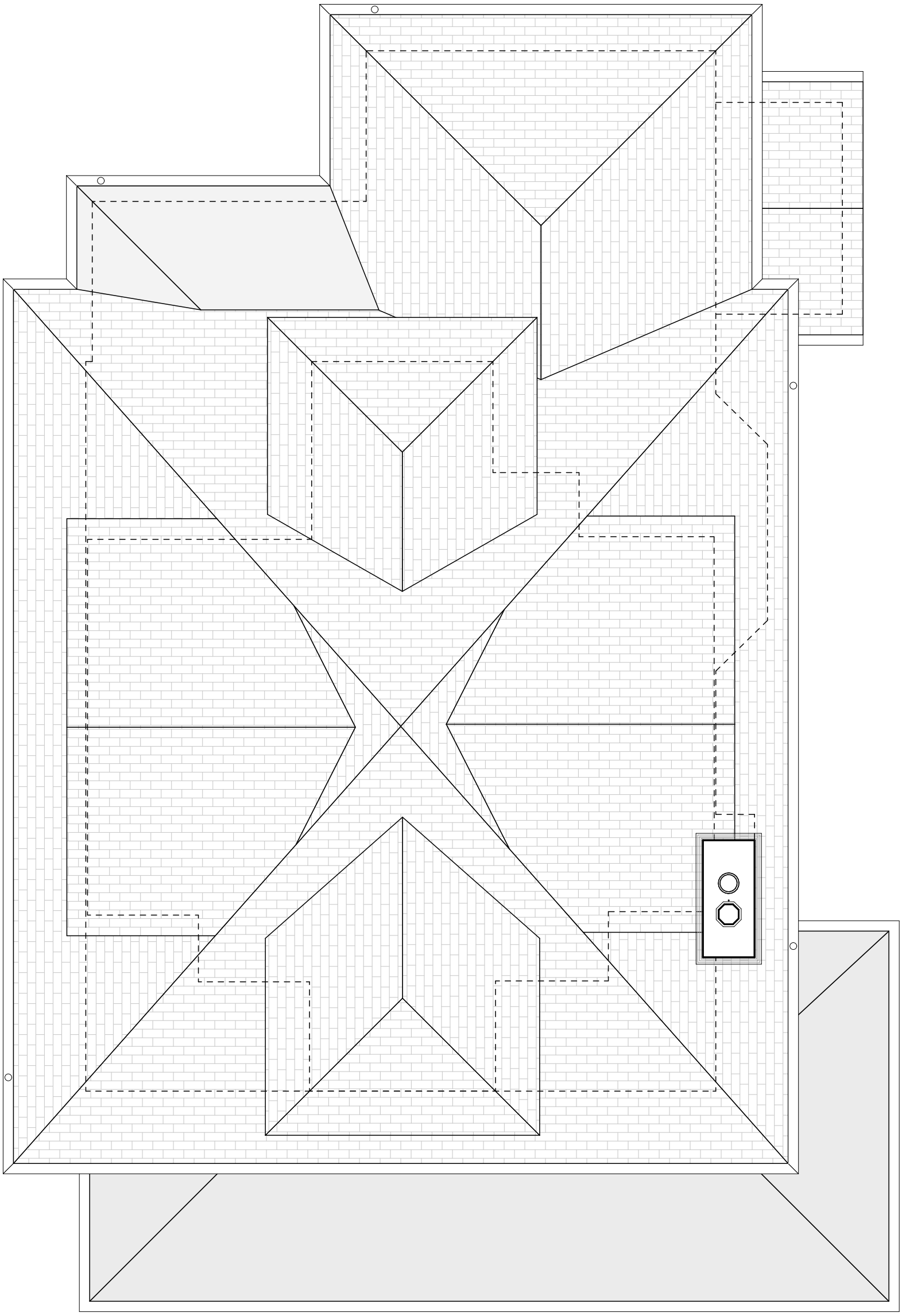
Project No. 2112

Keating Residence
9 Primrose Street
Chevy Chase MD 20815

06-08-2022	Chevy Chase Village Set
07-06-2022	HAWP Set
05-09-2025	HAWP Set - Revision

Sheet Title
Proposed Attic Plan

Sheet Number
A1.8



1 Existing Roof Plan

3/16" = 1'-0"

N

DOMA
ARCHITECTURE + DESIGN
4304 47th Street NW
Washington DC 20016
www.domaarchdesign.com
202.375.9276

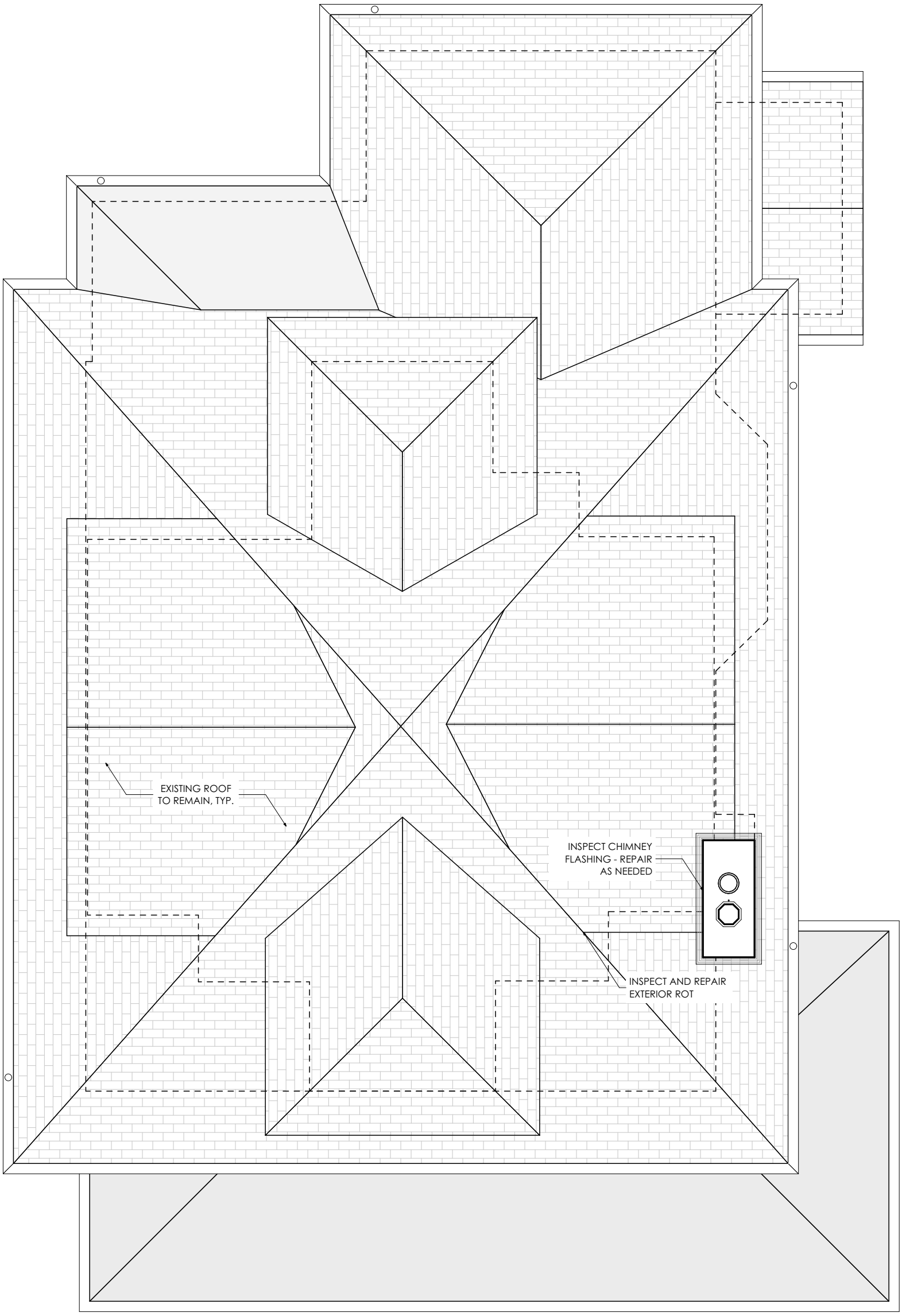
Project No. 2112

Keating Residence
9 Primrose Street
Chevy Chase MD 20815

06-08-2022	Chevy Chase Village Set
07-06-2022	HAWP Set
05-09-2025	HAWP Set - Revision

Sheet Title
Existing Roof Plan

Sheet Number
A1.~~2~~9



1 Roof
3/16" = 1'-0"

N

DOMA
ARCHITECTURE + DESIGN
4304 47th Street NW
Washington DC 20016
www.domaarchdesign.com
202.375.9276

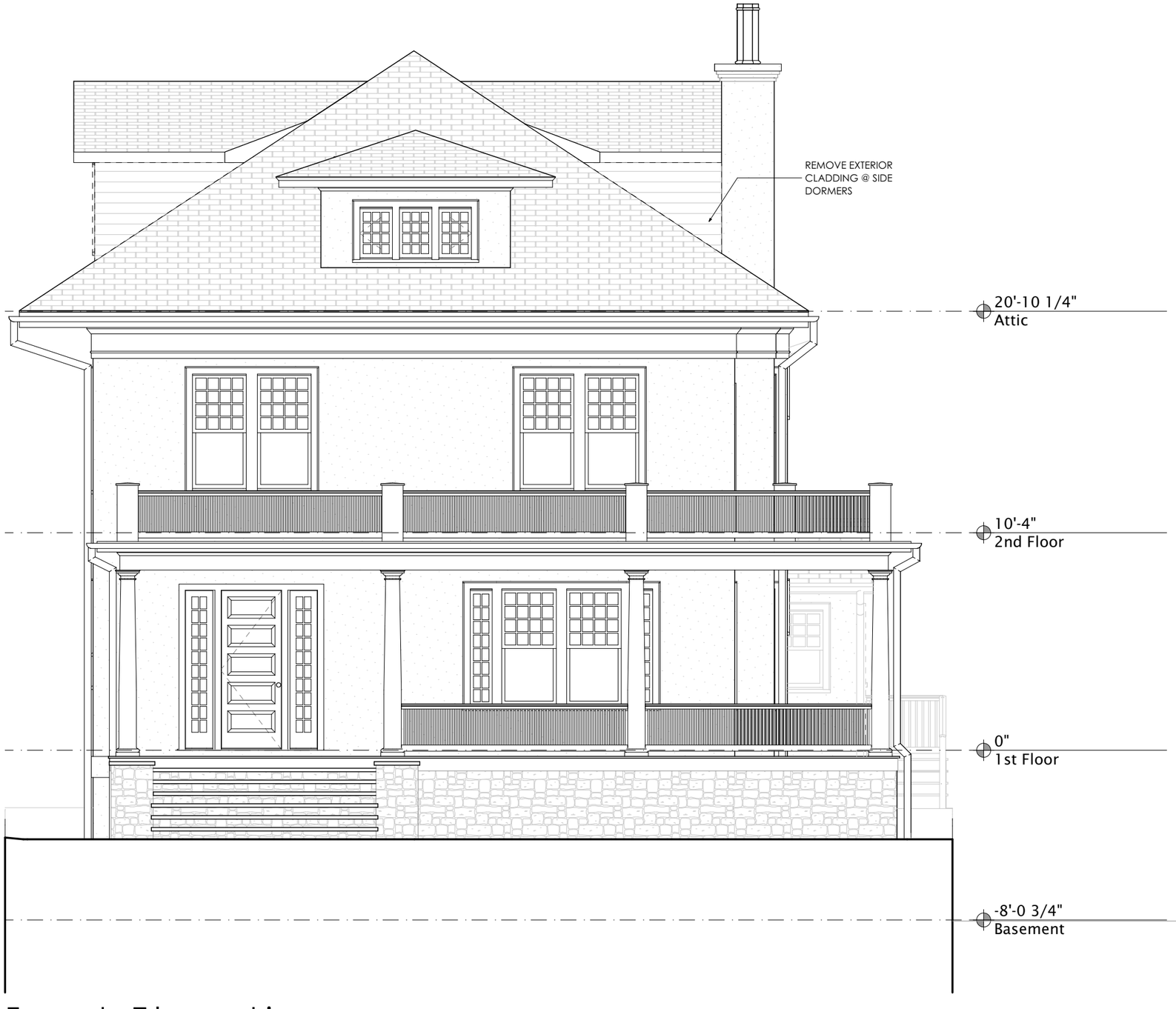
Project No. 2112

Keating Residence
9 Primrose Street
Chevy Chase MD 20815

06-08-2022	Chevy Chase Village Set
07-06-2022	HAWP Set
05-09-2025	HAWP Set - Revision

Sheet Title
Proposed Roof Plan

Sheet Number
A1-10



1 Front Elevation

3/16" = 1'-0"

DOMA
ARCHITECTURE + DESIGN
4304 47th Street NW
Washington DC 20016
www.domaarchdesign.com
202.375.9276

Project No. 2112

Keating Residence

9 Primrose Street
Chevy Chase MD 20815

Date	Issue Description
06-08-2022	Chevy Chase Village Set
07-06-2022	HAWP Set
07-27-2022	HAWP Set Resubmission
05-09-2025	HAWP Set - Revision

Sheet Title

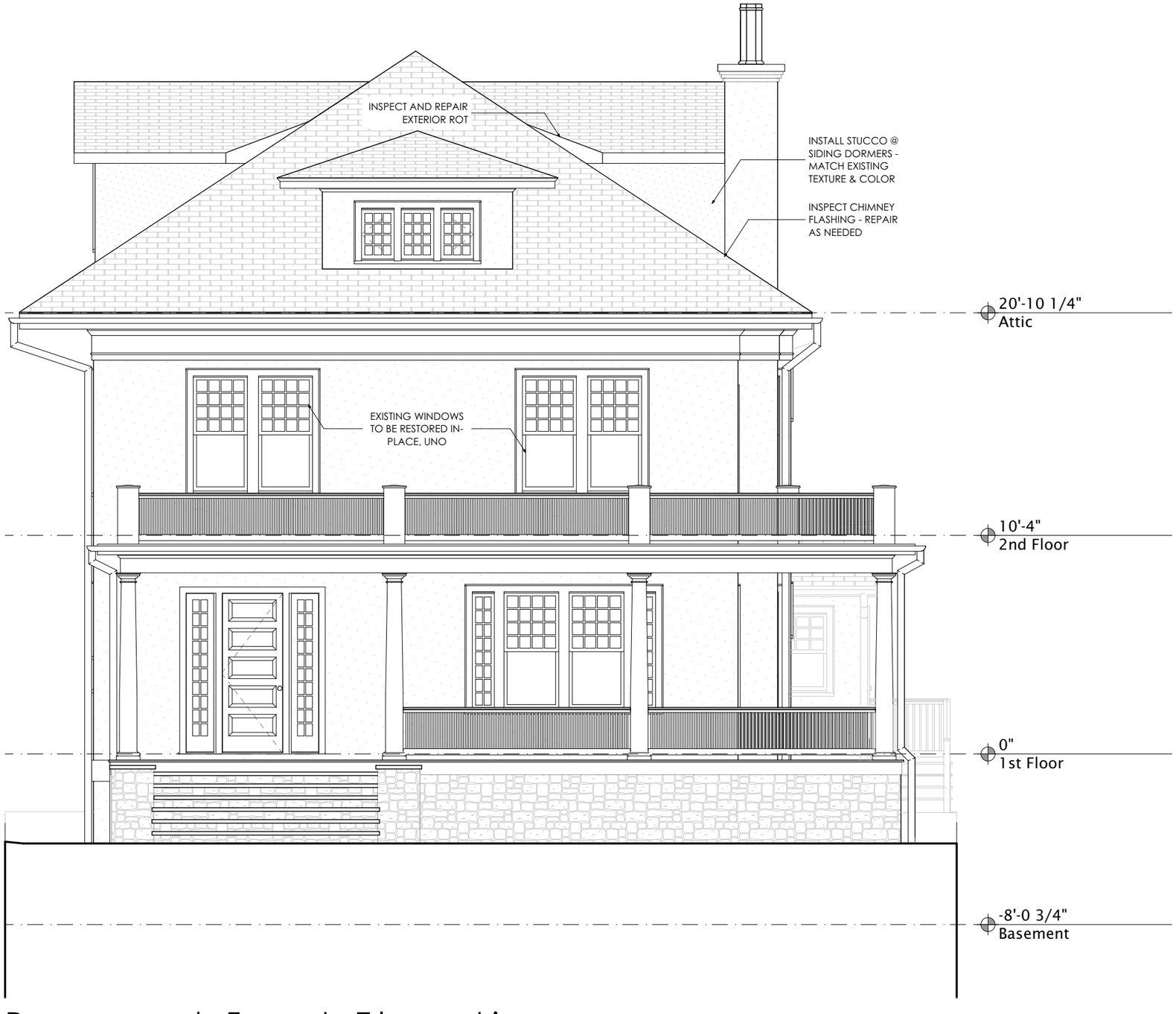
Existing Front Elevation

Sheet Number

A2-1

Printed: 5/9/2025

File Name: "C:\Users\kscot\Desktop\2025.04.14 Keating CD.pln



1 Proposed Front Elevation
3/16" = 1'-0"

DOMA
ARCHITECTURE + DESIGN
4304 47th Street NW
Washington DC 20016
www.domaarchdesign.com
202.375.9276

Project No. 2112

Keating Residence
9 Primrose Street
Chevy Chase MD 20815

Date	Issue Description
06-08-2022	Chevy Chase Village Set
07-06-2022	HAWP Set
07-27-2022	HAWP Set Resubmission
05-09-2025	HAWP Set - Revision

Sheet Title

Proposed Front Elevation

Sheet Number

A2-2

Printed: 5/9/2025

File Name: "C:\Users\kscot\Desktop\2025.04.14 Keating CD.pln

1 Left Elevation

3/16" = 1'-0"

DOMA
ARCHITECTURE + DESIGN
4304 47th Street NW
Washington DC 20016
www.domaarchdesign.com
202.375.9276

Project No. 2112

Keating Residence

9 Primrose Street
Chevy Chase MD 20815

Date	Issue Description
06-08-2022	Chevy Chase Village Set
07-06-2022	HAWP Set
07-27-2022	HAWP Set Resubmission
05-09-2025	HAWP Set - Revision

Sheet Title

Existing Left Elevation

Sheet Number

A2-3

31 Printed: 5/9/2025

File Name: "C:\Users\ksco\Desktop\2025.04.14 Keating CD.pln

1 Proposed Left Elevation
3/16" = 1'-0"

DOMA
ARCHITECTURE + DESIGN
4304 47th Street NW
Washington DC 20016
www.domaarchdesign.com
202.375.9276

Project No. 2112

Keating Residence
9 Primrose Street
Chevy Chase MD 20815

Date	Issue Description
06-08-2022	Chevy Chase Village Set
07-06-2022	HAWP Set
07-27-2022	HAWP Set Resubmission
05-09-2025	HAWP Set - Revision

Sheet Title

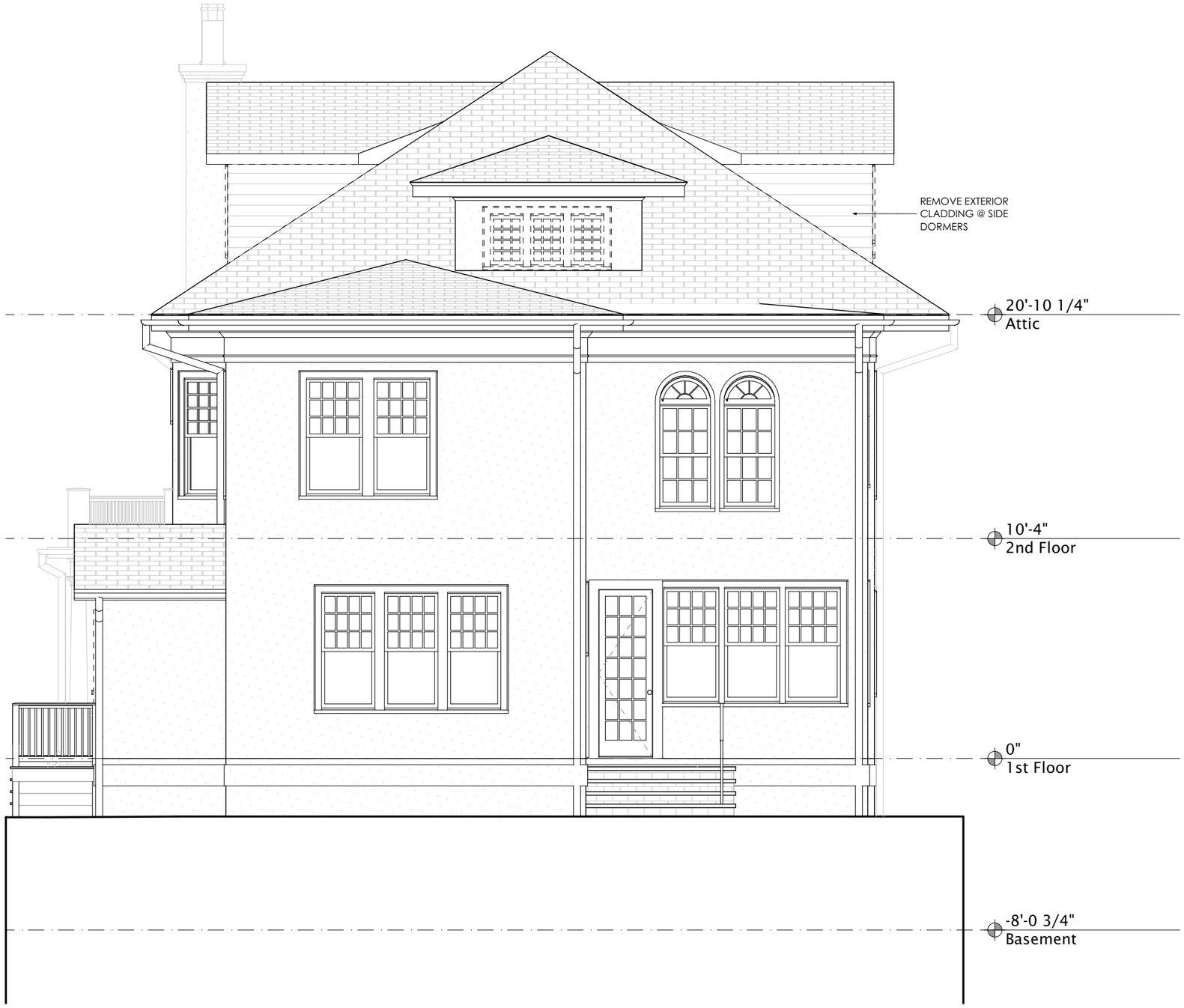
Proposed Left Elevation

Sheet Number

A2-4

32 Printed: 5/9/2025

File Name: "C:\Users\kscot\Desktop\2025.04.14 Keating CD.pln



1 Rear Elevation

3/16" = 1'-0"

DOMA
ARCHITECTURE + DESIGN
4304 47th Street NW
Washington DC 20016
www.domaarchdesign.com
202.375.9276

Project No. 2112

Keating Residence

9 Primrose Street
Chevy Chase MD 20815

Date	Issue Description
06-08-2022	Chevy Chase Village Set
07-06-2022	HAWP Set
07-27-2022	HAWP Set Resubmission
05-09-2025	HAWP Set - Revision

Sheet Title

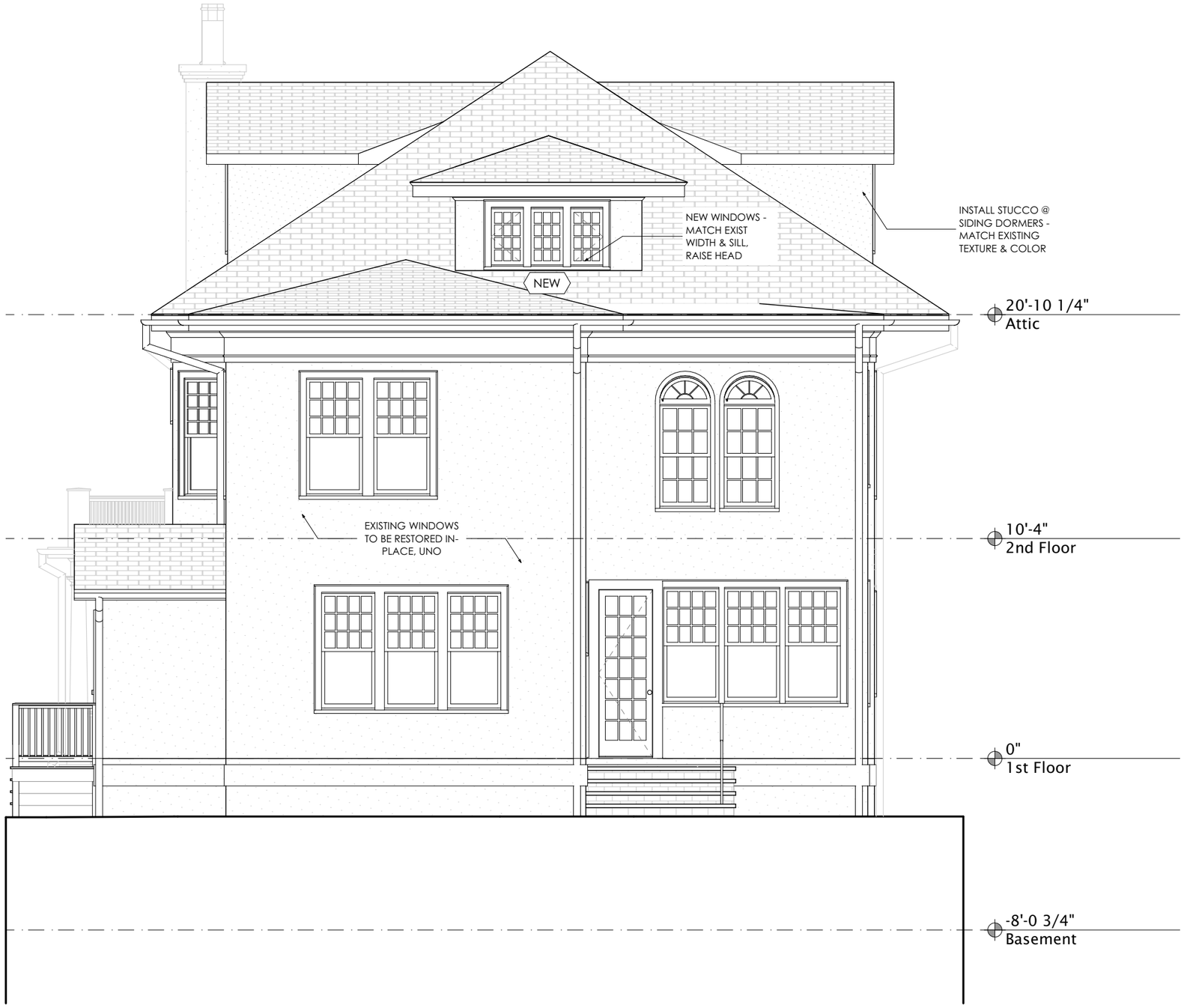
Existing Rear Elevation

Sheet Number

A2-5

33 Printed: 5/9/2025

File Name: "C:\Users\kscot\Desktop\2025.04.14 Keating CD.pln



1 Proposed Rear Elevation

3/16" = 1'-0"

File Name: "C:\Users\kscot\Desktop\2025.04.14 keating CD.pln

DOMA
ARCHITECTURE + DESIGN
4304 47th Street NW
Washington DC 20016
www.domaarchdesign.com
202.375.9276

Project No. 2112

Keating Residence

9 Primrose Street
Chevy Chase MD 20815

Date	Issue Description
06-08-2022	Chevy Chase Village Set
07-06-2022	HAWP Set
07-27-2022	HAWP Set Resubmission
05-09-2025	HAWP Set - Revision

Sheet Title

Proposed Rear Elevation

Sheet Number

A2-6

Printed: 5/9/2025

1 Right Elevation

3/16" = 1'-0"

DOMA
ARCHITECTURE + DESIGN
4304 47th Street NW
Washington DC 20016
www.domaarchdesign.com
202.375.9276

Project No. 2112

Keating Residence

9 Primrose Street
Chevy Chase MD 20815

Date	Issue Description
06-08-2022	Chevy Chase Village Set
07-06-2022	HAWP Set
07-27-2022	HAWP Set Resubmission
05-09-2025	HAWP Set - Revision

Sheet Title

Existing Right Elevation

Sheet Number

A2-7

35 Printed: 5/9/2025

File Name: "C:\Users\kscot\Desktop\2025.04.14 Keating CD.pln

1 Right Elevation

3/16" = 1'-0"

DOMA
ARCHITECTURE + DESIGN
4304 47th Street NW
Washington DC 20016
www.domaarchdesign.com
202.375.9276

Project No. 2112

Keating Residence

9 Primrose Street
Chevy Chase MD 20815

Date	Issue Description
06-08-2022	Chevy Chase Village Set
07-06-2022	HAWP Set
07-27-2022	HAWP Set Resubmission
05-09-2025	HAWP Set - Revision

Sheet Title

Proposed Right Elevation

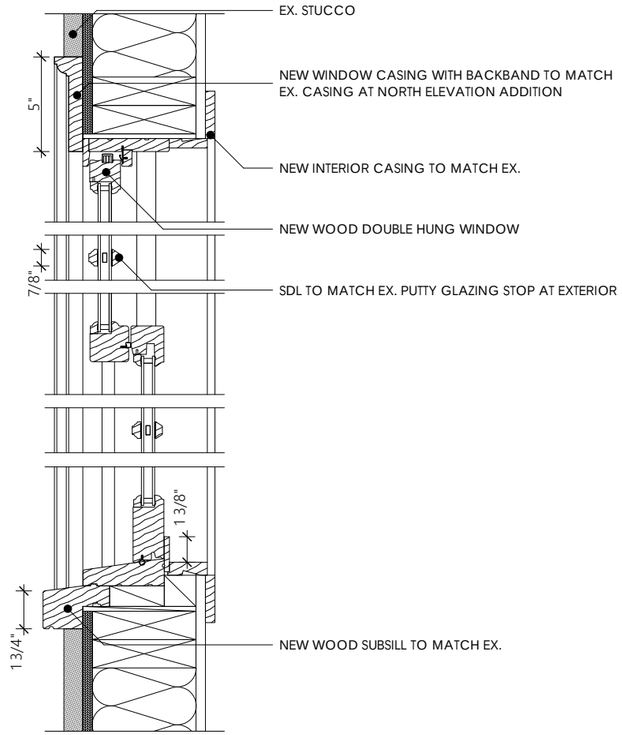
Sheet Number

A2-8

36Printed: 5/9/2025

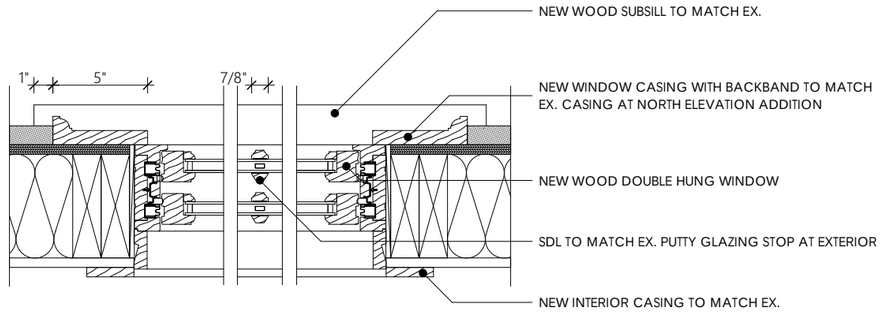
File Name: "C:\Users\kscot\Desktop\2025.04.14 Keating CD.pln

1 Existing Window Detail



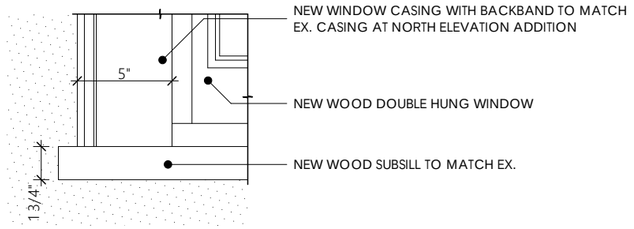
2 Window Section

1 1/2" = 1'-0"



3 Window Plan

1 1/2" = 1'-0"



4 Window Elevation

1 1/2" = 1'-0"

DOMA
ARCHITECTURE + DESIGN
4304 47th Street NW
Washington DC 20016
www.domaarchdesign.com
202.375.9276

Project No. 2112

Keating Residence

9 Primrose Street
Chevy Chase MD 20815

Date	Issue Description
06-08-2022	Chevy Chase Village Set
07-06-2022	HAWP Set
07-27-2022	HAWP Set Resubmission
05-09-2025	HAWP Set - Revision

Sheet Title

Window Details

Sheet Number

A2-9

37 Printed: 5/9/2025

File Name: "C:\Users\ktscol\Desktop\2025.04.14 Keating CD.pln

1 Front (South) View

2 West Side View

3 Rear (North) View

4 East Side View

DOMA
ARCHITECTURE + DESIGN
4304 47th Street NW
Washington DC 20016
www.domaarchdesign.com
202.375.9276

Project No. 2112

Keating Residence

9 Primrose Street
Chevy Chase MD 20815

Date	Issue Description
06-08-2022	Chevy Chase Village Set
07-06-2022	HAWP Set
07-27-2022	HAWP Set Resubmission
05-09-2025	HAWP Set - Revision

Sheet Title

Existing Photos

Sheet Number

A2-10

Printed: 5/9/2025

File Name: "C:\Users\kscot\Desktop\2025.04.14 Keating CD.pln

1 East Side View

2 Mudroom Addition View

3 East Side Dormer

File Name: "C:\Users\ktscol\Desktop\2025.04.14 Keating CD.pln

DOMA
ARCHITECTURE + DESIGN
4304 47th Street NW
Washington DC 20016
www.domaarchdesign.com
202.375.9276

Project No. 2112

Keating Residence

9 Primrose Street
Chevy Chase MD 20815

Date	Issue Description
06-08-2022	Chevy Chase Village Set
07-06-2022	HAWP Set
07-27-2022	HAWP Set Resubmission
05-09-2025	HAWP Set - Revision

Sheet Title

Existing Photos

Sheet Number

A2-11

Printed: 5/9/2025

1 Mudroom Addition View

2 Mudroom Door Leaf

3 Mudroom Foundation

4 Main House Foundation

DOMA
ARCHITECTURE + DESIGN
4304 47th Street NW
Washington DC 20016
www.domaarchdesign.com
202.375.9276

Project No. 2112

Keating Residence

9 Primrose Street
Chevy Chase MD 20815

Date	Issue Description
06-08-2022	Chevy Chase Village Set
07-06-2022	HAWP Set
07-27-2022	HAWP Set Resubmission
05-09-2025	HAWP Set - Revision

Sheet Title

Existing Photos

Sheet Number

A2-12

40 Printed: 5/9/2025

File Name: "C:\Users\kscot\Desktop\2025.04.14 Keating CD.pln

DOMA
ARCHITECTURE + DESIGN

MAY 16 2025

K E A T I N G R E S I D E N C E

9 PRIMROSE STREET CHEVY CHASE MD 20815

REVISION TO ORIGINAL SUBMISSION AND APPROVAL, HISTORIC AREA WORK PERMIT #1001603 DATED AUGUST 17, 2022.

OMISSIONS FROM SCOPE

- Omit replacement windows at second floor Primary Bath, rear and left elevations. Existing windows will remain in place.

REVISIONS TO SCOPE

- Existing Mudroom door will be replaced as planned; however, we propose to specify a design with divided lites to mimic the historic style of the home. We propose to install a prefinished aluminum-clad wood exterior French door by Marvin, as the door is an outswing orientation without protection from the elements. The existing Mudroom addition does not appear original to the home.

ADDITIONS TO SCOPE

- Existing front porch flooring and Mudroom stoop decking are rotten and require replacement. We propose to replace the front porch decking with Aeratis Heritage porch flooring. We propose to replace the stoop decking with TimberTech Advanced PVC decking.
- Existing original casement and double-hung windows will be restored in-place. Sash mechanisms will be repaired to be made operable. Broken panes will be replaced and glazing putty restored. Windows will be repainted in their entirety.

DOMA
ARCHITECTURE + DESIGN

MAY 16 2025

K E A T I N G R E S I D E N C E

9 PRIMROSE STREET CHEVY CHASE MD 20815

PRELIMINARY SPECIFICATIONS

PROJECT SCOPE

Interior renovation to existing second floor and attic space, and new windows and exterior cladding to existing side dormers. Renovation to include updates to existing attic bath; reconfiguring existing attic space for new bedroom, workspace and closet; exposing existing roof rafters for insulation and to raise ceiling height; removing existing radiators at attic level and installing new forced air system; new closet buildout at Second Floor Primary Suite; replace existing exterior front porch flooring and Mudroom stoop decking; and replace First Floor Mudroom exterior door with new door. Mudroom addition and stoop do not appear to be original – stone foundation is different material and pattern from main foundation, window and door trim is simple brickmould rather than 1x trim with backband used at all other locations, and the exterior door to be replaced is insulated glass without muntins.

SPECIFICATIONS

UTILITIES + SITE WORK

- Landscaping
  - All planting and final grading by Owner.

- Utilities
  - General Contractor to coordinate and provide connection to existing utilities, to remain.

- Electric
  - Provide and install panels, outlets and switches, per code - dimmers throughout. Provide allowance for heavy-up to existing system if necessary.
  - Decorative fixtures by Owner.
  - Provide lamps and bulbs for all fixtures, per manufacturers' specifications.
  - Home security system, intercom and audio/visual system by Owner.
  - Provide telephone, cable, & CAT6 wiring at locations shown on plans.
  - Provide recessed lights and wall washers as shown, white trim + baffle. Provide allowance
  - Contractor to verify existing electrical panel and advise if replacement is required.

- Plumbing
  - See individual rooms.
  - Provide copper supply pipes for indoors (above ground), and PVC supply pipes for under slab and underground; PVC waste pipes with cast iron stand pipes and cast iron elbows at all toilet locations.

- Inspect and verify if existing hose bibs are frost proof. Replace if needed.

- HVAC
  - Existing system : (1) zone, hot-water radiators served by boiler at the basement. (2) zone A/C system- basement unit serves first and basement level, attic unit serves second and attic level.
  - Remove existing Attic Level radiator system. Provide new variable speed air handler unit at attic mechanical room and new outdoor compressor to serve Attic and Second Floor. Provide zone damper system with separate thermostats at the Attic and Second Floor. Existing Basement and First Floor systems to remain.
  - Hard metal duct shall be used; maximum of 4' length of flexible duct permitted.
  - Provide electric air filters / unit.
  - Provider humidifier/ unit.
  - All ceiling and wall registers to be by mud in flush grills.

GENERAL

Existing Exterior Dormer Walls
Existing Attic framing to remain. Where available, insulate existing exterior wall cavity with Icynene spray foam insulation R-21 thickness or to meet performance method requirements for local jurisdictions. Existing cladding at side dormers to be removed and replaced with painted stucco to match existing.

Existing Roof
All existing roof material to remain. Existing roof framing to remain, removing existing drywall ceilings. Provide Icynene open cell spray foam insulation to R-49 thickness or to meet performance method requirements for local jurisdictions.

Existing Chimney
Inspect existing chimney and identify source of water damage. Repair as needed.

Gutters and Downspouts
Existing to remain.

Casement Windows
New windows at Attic to be Marvin Ultimate painted wood SDL with muntin profiles to match existing, insulated glass, white jamb liners and paintable wood screens with white hardware.

Exterior Doors
New exterior door at Mudroom to be Marvin Ultimate exterior aluminum-clad wood SDL with muntin profiles to match existing, insulated glass.

Exterior Trim
Painted wood trim to match existing. Inspect existing dormer's trim for rot and replace as needed.

Terraces, Stoops, retaining walls
Existing to remain.

Porch Flooring
Existing porch flooring to be replaced with Aeratis Heritage 3-inch prefinished solid extruded PVC tongue-and-groove planks, size to match existing. Color: Battleship Gray, to match existing paint color.

Mudroom Stoop Decking

Existing mudroom stoop decking to be replaced with TimberTech Advanced PVC 5-1/2" deck planks with concealed Cortex fasteners, size to match existing. Vintage Collection, color: Coastline.

Painting

Low VOC spec. Benjamin Moore throughout. All interior and exterior painted surfaces affected by proposed construction to be re-painted.

Ultimate Wood Casement Collection

Unit Features

Ultimate Wood Casement Collection:

Ultimate Wood Casement (UWCA), Ultimate Wood Awning (UWAWN), Ultimate Wood Casement Picture (UWCAP)

Ultimate Wood Casement Bows and Bays (UWCABB)

Ultimate Wood Casement Push Out (UWCAPO), Ultimate Wood Awning Push Out (UWAWNPO)

Ultimate Wood Casement Push Out Picture (UWCAPOP), Wood Ultimate Casement Push Out Bows and Bays (UWCAPOBB)

Ultimate Wood Casement French (UWCAFR), Ultimate Wood Casement Push Out French (UWCAPOFR)

Ultimate Wood Casement Polygon (UWCAPOLY)

Ultimate Wood Awning Push Out Picture (UWAWNPOP)

Bows and Bays are not available with CE mark from factory. Bows and Bay kits are available for field mulling.

Frame:

- Frame thickness: 1 3/16" (30)
- Frame base with pre-drilled installation holes in jambs. Factory applied 2" (51) BMC and 15/16" (24) subsill is standard.
- Full frame unit is 4 9/16" (116) from backside of BMC to interior wood face of frame.
- Replacement frame: units have overall 3 11/32" (85) jambs from BMC to interior face of frame

Sash:

- Nominal Sash thickness for full frame: 1 3/4" (44) with 3/4" (19) insulating glass. For 1" (25) insulating glass sash thickness is 2" (51).
- Nominal Sash thickness for replacement frame: 1 3/4" (44) with 3/4" (19) insulating glass.
- Stiles and Rails 2 1/16" (52) standard. Optional tall bottom rail 3 9/16" (90) available.
- Standard interior cope sticking shape: Ogee. Optional Ovolo and Square is available depending on glazing option.
- Standard exterior cope sticking shape: Simulated Putty Glaze.

Hardware: - See Individual Product Chapter

Weather Strip:

- Frame weather strip is made of a foamed EPDM material with a hollow built in it to reduce compression force. The material is UV resistant, durable, has a low COE, and is flexible enough to be bent around 90 degree corners to allow for fewer seams in it around the frame. It is only available in beige.
- Sash weather strip is made of glass filled polypropylene material and is formulated to be UV resistant, have low COE, and slide easily in and out of frame. Standard color is beige, with optional black or white.

Insect Screen:

- Standard is a full size roll form aluminum surround, in Satin Taupe, optional Stone White or Bronze. Standard screen mesh is Charcoal Fiberglass. Optional screen mesh is High Transparency, Silver Gray Fiberglass, Charcoal Aluminum, Black Aluminum, Bright Aluminum, or Bright Bronze.
- Optional wood screen available. Standard screen mesh is high transparency. Screen mesh options Charcoal Fiberglass, Silver Gray Fiberglass, Charcoal Aluminum, Black Aluminum, Bright Aluminum, Bright Bronze.

Wood Interior Swinging Insect Screens: (Push Out Units only)

- Interior and exterior is solid wood.
- Ball and Catch latch system used.
- Screen mesh: Charcoal High Transparency (CH HI-Tran) fiberglass.
- Screen mesh options: Charcoal Fiberglass, Silver Gray Fiberglass, Charcoal Aluminum, Black Aluminum, Bright Aluminum and Bright Bronze.

Unit Features

Glass and glazing:

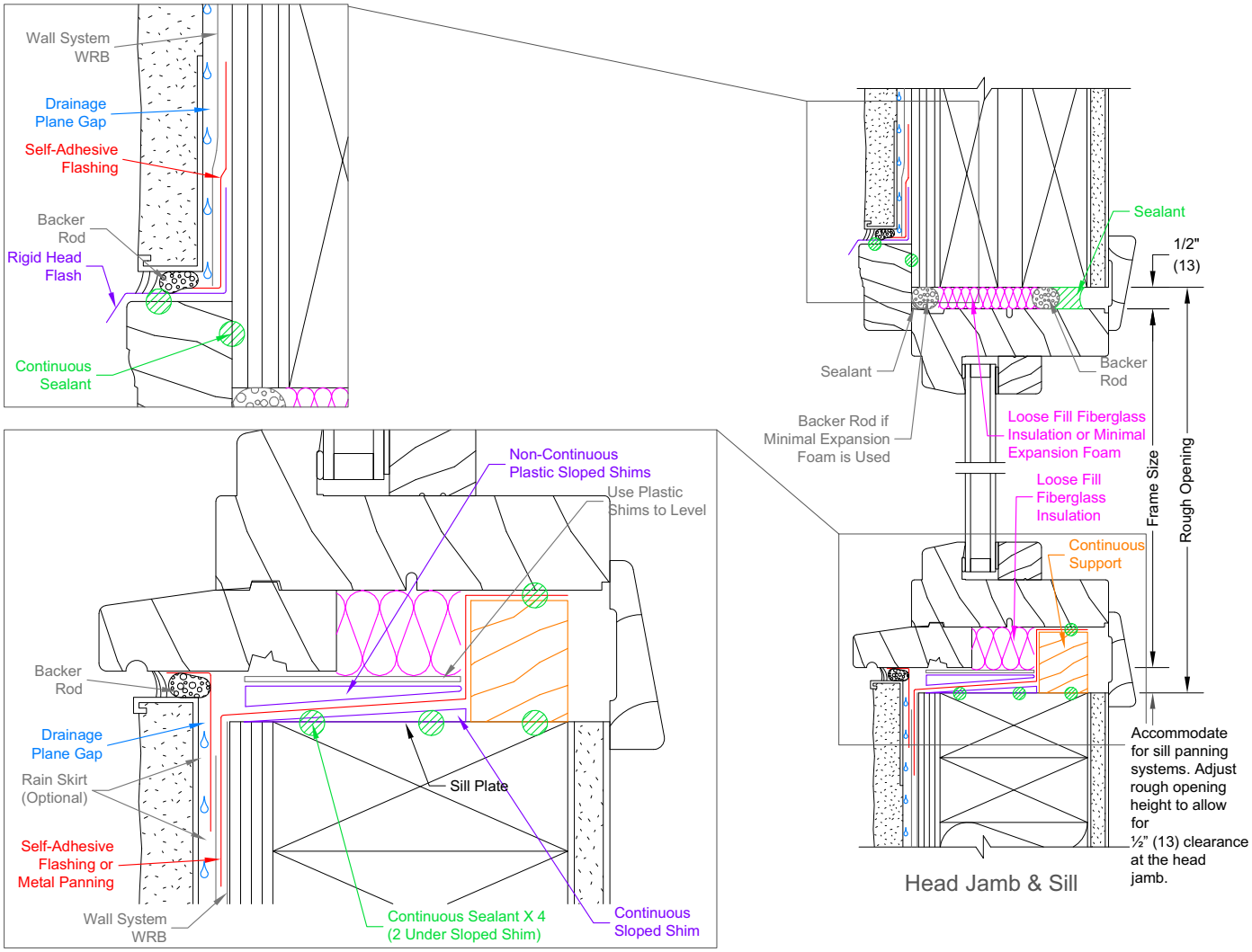
- Glazing seal: silicone glazed
- Standard glass: Insulating Low E2 Argon or air
- Optional glazing available: Low E1 Argon or air, Low E3 Argon or air, Low E2/ERS Argon or air, Low E3/ERS Argon or air, clear, tints, decorative glass, tempered, and obscure
- Insulating glass will be altitude adjusted with capillary tubes for higher elevations
- Argon gas is not available for elevations that require capillary tubes
- See unit features in product sections for Tripane glass options

CE Optional Glazing:

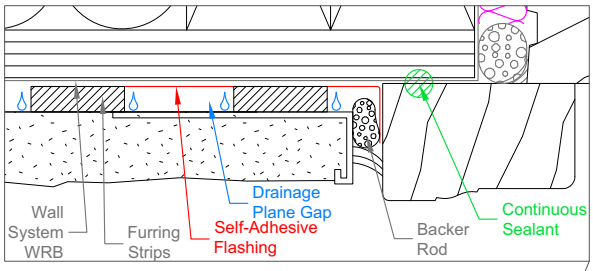
- Glazing seal: silicone glazed
- Standard glass: Insulating Low E2 Argon or air
- Optional glazing available: Low E1 Argon or air, Low E3 Argon or air, clear, laminated clear & tints, tempered, sandblasted
- Glass panes available in 3, 4, and 6 mm thicknesses
- Laminated panes available in 7.0 and 7.8 mm thicknesses
- Insulating glass will be altitude adjusted with capillary tubes for higher elevations
- Argon gas is not available for elevations that require capillary tubes
- See unit features in product sections for Tripane glass options
- Single glaze and ADL are not available with CE mark

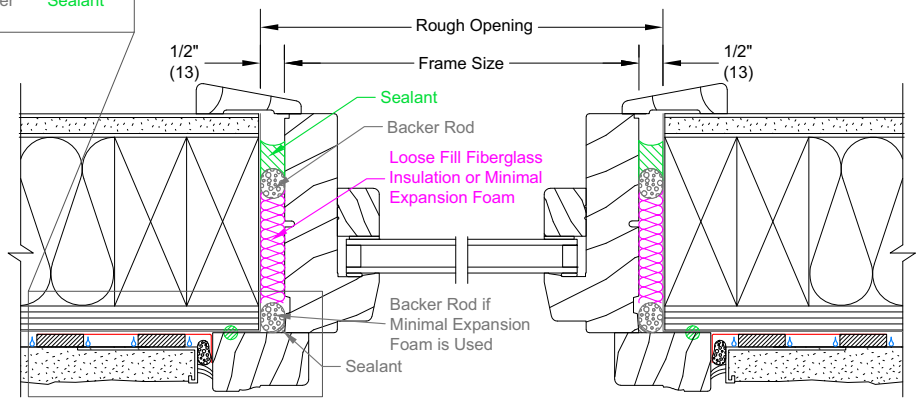
Ultimate Wood Direct Glaze Polygon - 2x4 Frame with Stucco

Scale: 3" = 1'0"



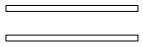
Head Jamb & Sill



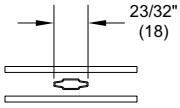


Jamb

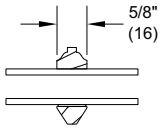
Insulating Glass Lite Options



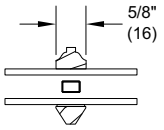
Insulating Glass



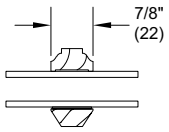
Aluminum 23/32"
Contour GBG



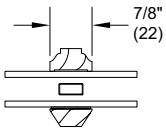
5/8" SDL



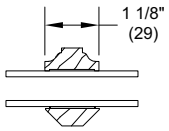
5/8" SDL
W/Spacer



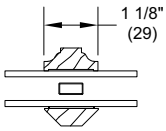
7/8" SDL



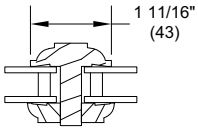
7/8" SDL
W/Spacer Bar



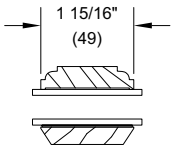
1 1/8" SDL



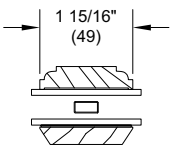
1 1/8" SDL
W/Spacer Bar



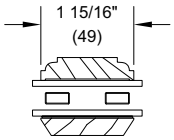
1 11/16" IG ADL



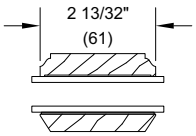
1 15/16" SDL



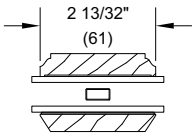
1 15/16" SDL
W/One Spacer Bar



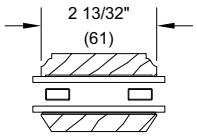
1 15/16" SDL
W/Two Spacer Bar



2 13/32" SDL



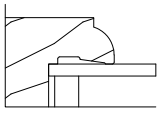
2 13/32" SDL
W/One Spacer Bar



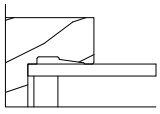
2 13/32" SDL
W/Two Spacer Bar

NOTE: ADL is not available with CE mark

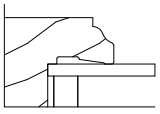
Ovolo



Square

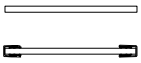


Ogee

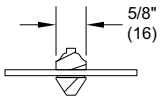


Single Glaze Lite Options

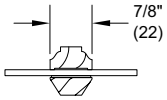
Single Glaze



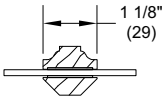
Single Glaze
W/ Energy Panel



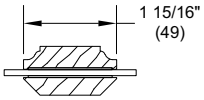
5/8" SDL



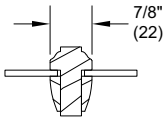
7/8" SDL



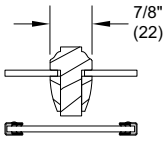
1 1/8" SDL



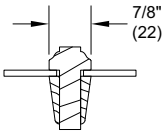
1 15/16" SDL



7/8" SG-ADL



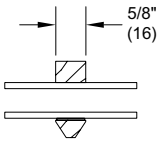
7/8" SG-ADL
W/ Energy Panel



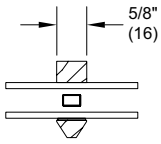
7/8" SG-ADL
Full Depth Munt

NOTE: ADL and single glaze are not available with CE mark

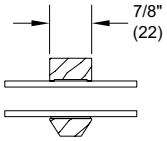
Optional Interior Square Simulated Divided Lite



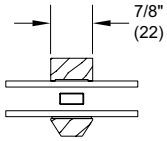
5/8" SDL



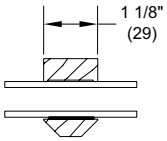
5/8" SDL
W/Spacer



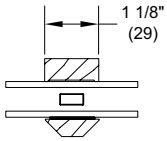
7/8" SDL



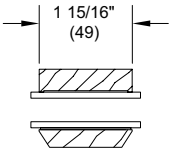
7/8" SDL
W/Spacer Bar



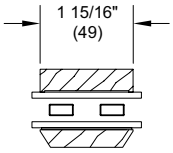
1 1/8" SDL



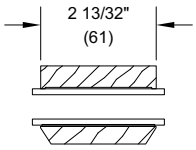
1 1/8" SDL
W/Spacer Bar



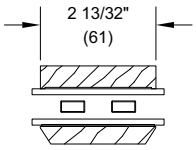
1 15/16" SDL



1 15/16" SDL
W/Two Spacer Bars

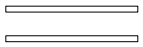


2 13/32" SDL

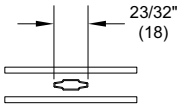


2 13/32" SDL
W/Two Spacer Bar

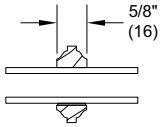
Optional Divided Lite Options - UWCA with UWDH Option



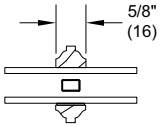
Insulating Glass



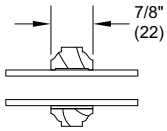
Aluminum 23/32"
Contour GBG



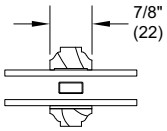
5/8" SDL



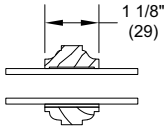
5/8" SDL
W/Spacer



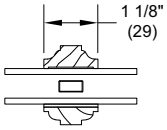
7/8" SDL



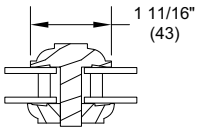
7/8" SDL
W/Spacer Bar



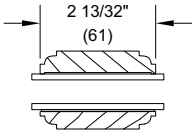
1 1/8" SDL



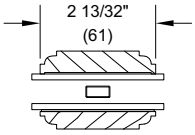
1 1/8" SDL
W/Spacer Bar



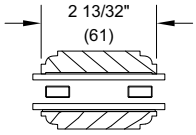
1 11/16" IG ADL



2 13/32" SDL



2 13/32" SDL
W/One Spacer Bar

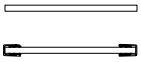


2 13/32" SDL
W/Two Spacer Bar

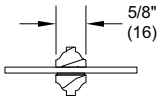
NOTE: ADL is not available with CE mark

Optional Single Glaze Divided Lite Options - UWCA with UWDH Option

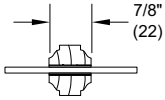
Single Glaze



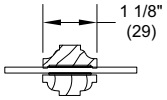
Single Glaze
W/ Energy Panel



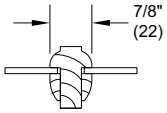
5/8" SDL



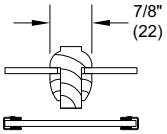
7/8" SDL



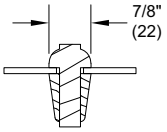
1 1/8" SDL



7/8" SG-ADL



7/8" SG-ADL
W/ Energy Panel



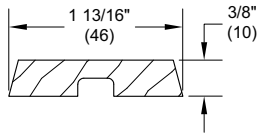
7/8" SG-ADL
Full Depth Munt

NOTE: Single glaze and ADL are not available with CE mark

Wood Exterior Mullion Trim and Wood Exterior Casing

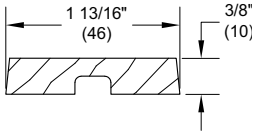
Not to Scale

Wood Exterior Mullion Trim



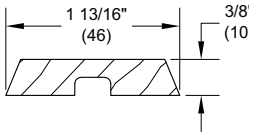
W1185

W1034 - For Ultimate Gilder



W1189

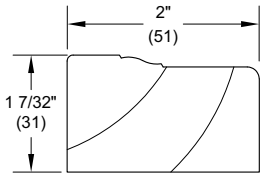
W1094 - For Ultimate Wood Double Hung Magnum



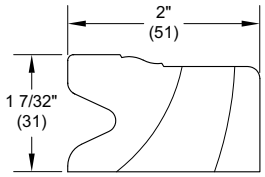
W1187

W1242 - for 3/8” Mullion Reinforcement

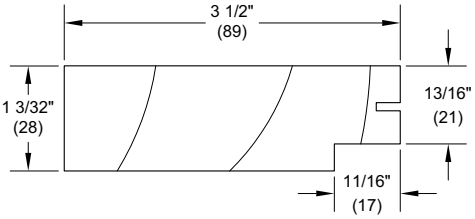
Exterior Casing



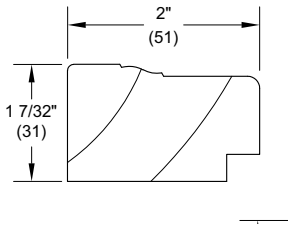
W1047 - Brick Mould Casing



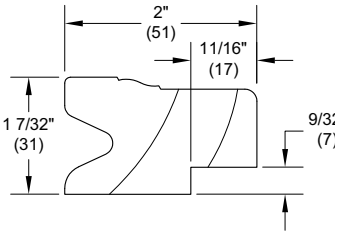
W1039 - Stucco Brick Mould Casing



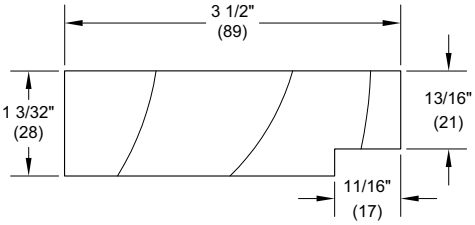
W1047 - Flat Casing
Top casing for Sliding, Swinging and French Doors Includes Screen Kerf



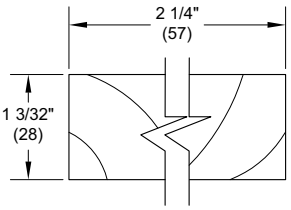
W6533 - Brick Mould Casing For Ultimate Sliding French Door



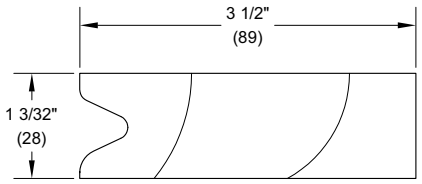
W1049 - Stucco Brick Mould Casing
Side Casing for Ultimate Sliding, Swinging and French Doors



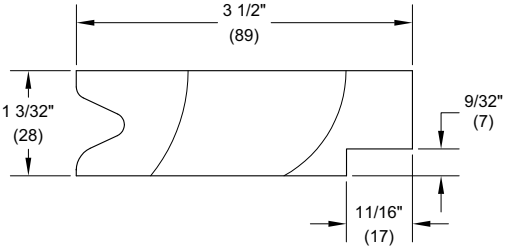
W1076 - Flat Casing
Side Casing for Ultimate Sliding, Swinging and French Doors



Flat Casing available from 2" to 10"



W1035 - Stucco Flat Casing
3 1/2” for top casing

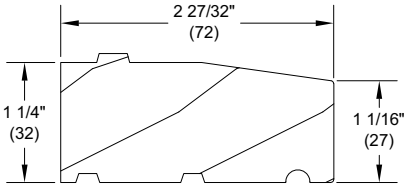


W1030 - Stucco Flat Casing
3 1/2” for side casing

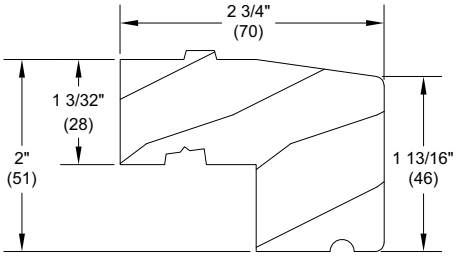
NOTE: 5/4 casing greater than 10", contact your Marvin representative

Wood Subsills

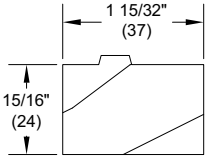
Not to Scale



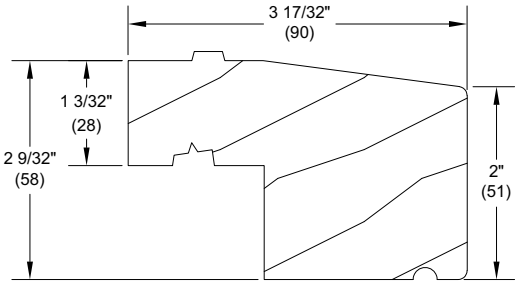
W2122 - Narrow Subsill



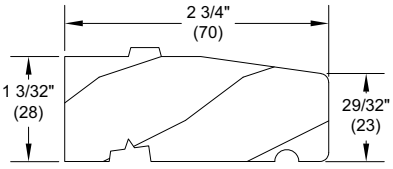
W2165 - 2" Thick Subsill (UWDH)



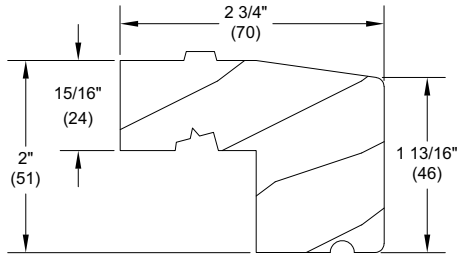
W2124 - Cut Back Subsill



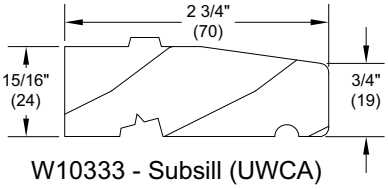
W8063 - 2" Extended Thick Subsill (UWDH)



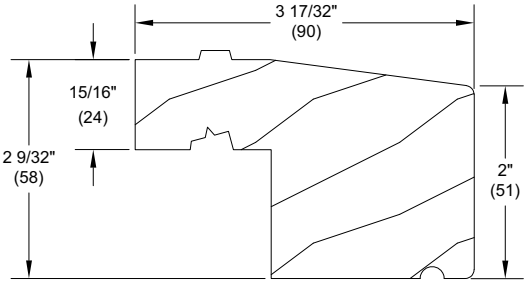
W2134 - Subsill (UWDH)



W10340 - 2" Simulated Thick Subsill (UWCA)



W10333 - Subsill (UWCA)

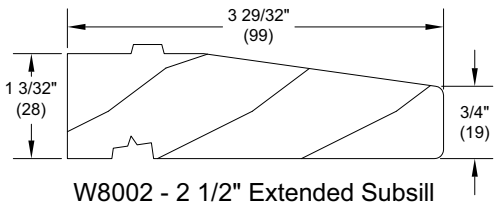


W10341 - 2" Extended Simulated Thick Subsil (UWCA)

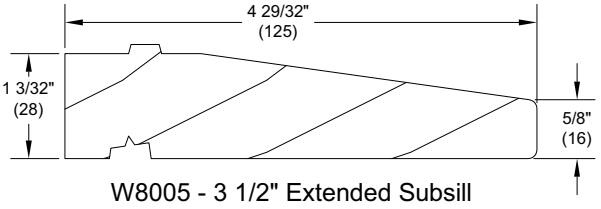
NOTE: For product compatibility, see chart on next page.

Wood Subsills

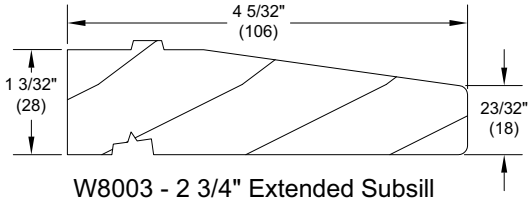
Not to Scale



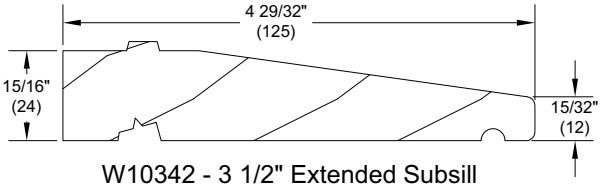
W8002 - 2 1/2" Extended Subsill



W8005 - 3 1/2" Extended Subsill



W8003 - 2 3/4" Extended Subsill



W10342 - 3 1/2" Extended Subsill

NOTE: For product compatibility, see chart below.

Part #	Description	Product Compatibility
W8063	2" Simulated Thick Subsill	UWDH, UWDHP, UWDHTR, UWDH RT, UWDHRTP, UWDHRTTR, UWDHM, UWDHMP, IWDHMT, UWDHMRT, UWDHMRTP, UWDHMRTTR
W10341	2" Extended Simulated Thick Subsill	UWCA, UWAWN, UWCAP, UWCAPO, UWAWNPO, UWCAPOP, UWCART, UWDG, UWGL, UWCAPOLY, UWCAFR, UWCAPOFR
W10340	2" Simulated Thick Subsill	UWCA, UWAWN, UWCAP, UWCAPO, UWAWNPO, UWCAPOP, UWCART, UWDG, UWGL, UWCAPOLY, UWFCA, UWCAPOFR
W2165	2" Simulated Thick Subsill	UWDH, UWDHP, UWDHTR, UWDH RT, IWDHRTP, UWDHRTTR, UWDHM, UWDHMP, UWDHMT, UWDHMRT, UWDHMRTP, UWDHMRTTR
W2122	Narrow Subsill	UWTT
W2124	Cut Back Subsill	UWTT
W2134	Subsill	UWDH, UWDHP, UWDHT, UWDH RT, UWDHRTP, UWDHRTTR, UWDHM, UWDHMP, UWDHMTR, UWDHMRT, UWDHMRTP, UWDHMRTT
W10333	Subsill	UWCA, UWAWN, UWCAP, UWCAPO, UWAWNPO, UWCAPOP, UWCART, UWDG, UWGL, UWCAPOLY, UWCAF, UWCAPOFR
W2120	Extended Subsill	UWTT
W8002	2 1/2" Extended Subsill	UWDH, UWDHP, UWDHT, UWDH RT, UWDHRTP, UWDHRTTR, UWDHM, UWDHMP, UWDHMTR, UWDHMRT, UWDHMRTP, UWDHMRTTR
W8003	2 3/4" Extended Sudsill	UWDH, UWDHP, UWDHT, UWDH RT, UWDHRTP, UWDHRTTR, UWDHM, UWDHMP, UWDHMTR, UWDHMRT, UWDHMRTP, UWDHMRTTR
W8004	3" Extended Subsill	UWDH, UWDHP, UWDHT, UWDH RT, UWDHRTP, UWDHRTTR, UWDHM, UWDHMP, UWDHMTR, UWDHMRT, UWDHMRTP, UWDHMRTTR
W8005	3 1/2" Extended Subsill	UWDH, UWDHP, UWDHT, UWDH RT, UWDHRTP, UWDHRTTR, UWDHM, UWDHMP, UWDHMTR, UWDHMRT, UWDHMRTP, UWDHMRTTR
W10342	3 1/2" Extended Subsill	UWCA, UWAWN, UWCAP, UWCAPO, UWAWNPO, UWCAPOP, UWCART, UWDG, UWGL, UWCAPOLY, UWCAF, UWCAPOFR

Section 08 52 00
Ultimate Wood Casement/Awning IZ3 Collection

Part 1 General

1.1 Section Includes

A. Ultimate Wood Casement/Awning Window: Operators, Stationary and Picture units complete with hardware, glazing, weather strip, insect screen, removable screen, grilles-between-the-glass, simulated divided lite, jamb extension, and standard or specified anchors, trim and attachments.

1.2 Related Sections

A. Section 01 33 23 – Submittal Procedures; Shop Drawings, Product Data and Samples

B. Section 01 62 00 – Product Options

C. Section 01 65 00 – Product Delivery

D. Section 01 66 00 – Storage and Handling Requirements

E. Section 01 71 00 – Examination and Preparation

F. Section 01 73 00 - Execution

G. Section 01 74 00 – Cleaning and Waste Management

H. Section 01 76 00 – Protecting Installed Construction

I. Section 06 22 00 – Millwork: Wood trim other than furnished by window manufacturer

J. Section 07 92 00 – Joint Sealant: Sill sealant and perimeter caulking

K. Section 09 90 00 – Painting and Coasting: Paint and stain other than factory-applied finish

1.3 References

A. American Society for Testing Materials (ASTM):

1. E283: Standard Test method for Rate of Air Leakage through Exterior Windows, Curtain Walls and Doors

2. E330: Standard Test Method for Structural Performance of Exterior Windows, Curtain Walls and Door by Uniform Static Air Pressure Difference

3. E547: Standard Test Method for Water Penetration of Exterior Windows, Curtain Walls and Doors by Cyclic Static Air Pressure Differential

4. E2190: Specification for Sealed Insulated Glass Units

5. C1036: Standard Specification for Flat Glass

6. E1996: Standard Specification or Performance of Exterior Windows, Curtain Walls, Door and Storm Shutters Impacted by Windborne Debris in Hurricanes

7. E1886: Standard Test Method for Performance Windows, Curtain Walls, Doors and Storm Shutters Impacted by Missile(s) and Exposed to Cyclic Pressure Differentials

B. American Architectural Manufacturer's Association/Window and Door Manufacturer's Association (AAMA/WDMA/CSA):

1. AAMA/WDMA/CSA 101/I.S.2/A440-05, Standard/Specification for window, doors and unit skylights

2. AAMA/WDMA/CSA 101/I.S.2/A440-08, North American Fenestration, Standard/Specification for window, doors and skylights

3. AAMA/WDMA/CSA 101/I.S.2/A440-11,NAFS 2011 – North American Fenestration, Standard/Specification for windows, doors and skylights

C. WDMA I.S.4: Industry Standard for Water Repellant Preservative Treatment for Millwork

D. Window and Door Manufacturer's Association (WDMA): 101/I.S.2 WDMA Hallmark Certification Program

E. Sealed Insulating Glass Manufacturer's Association/Insulating Glass Certification Council (SIGMA/IGCC)

F. American Architectural Manufacturer's Association (AAMA): 2605: Voluntary Specification for High Performance Organic Coatings on Architectural Extrusions and Panels

G. National Fenestration rating Council (NFRC):

1. 101: Procedure for Determining Fenestration Product thermal Properties

2. 200: Procedure for Determining Solar Heat Grain Coefficients at Normal Incidence

1.4 System Description

A. Design and Performance Requirements:

IZ3 Minimum and Maximum Frame Size									
Unit Type		Min Width		Min Height		Max Width		Max Height	
		in	mm	in	mm	in	mm	in	mm
UWCA	Insulating Glass 3/4" (19) or 1" (25)	14	(356)	12 7/16	(316)	36	(914)	84 1/16	(2135)
UWCA	Insulating Glass 3/4" (19) or 1" (25)	14	(356)	12 7/16	(316)	30	(762)	96 1/16	(2440)
UWAWN	Insulating Glass 3/4" (19) or 1" (25)	16	(406)	11 1/2	(292)	48	(1219)	54 1/16	(1373)
UWCAP	Insulating Glass 3/4" (19) or 1" (25)	12	(305)	11 1/8	(283)	71 1/8	(1807)	36 15/16	(938)
						36	(914)	72 1/16	(1830)
UWCAP	Insulating Glass 1" (25) - Tempered	12	(305)	11 1/8	(283)	78 1/16	(1983)	73 9/16	(1868)
						104 45/64	(2659)	60 15/16	(1548)

1. Window units shall be designed to comply with ASTM E1996 Wind Zone 3 Missile Level D Rating +65/-65 psf

2. Air leakage shall not exceed the following when tested at 6.24 psf according to ASTM E283: 0.30 cfm per square foot of frame

3. No water penetration when tested at the following pressure according to ASTM E547: 9.75 psf

4. Assembly shall withstand a positive or negative uniform static air pressure difference of 97.5 psf without damage when tested according to ASTM E330

5. Impact and Cycling per ASTM E1996 and E 1886 with passing results for Missile Level D and Pressure Cycling of +65/-65 psf

1.5 Submittals

A. Shop Drawings: Submit shop drawings under provision of Section 01 33 23

B. Product Data: Submit catalog data under provision of Section 01 33 23

C. Samples:

1. Submit corner section under provision of section 01 33 23

2. Include glazing system, quality of construction and specified finish

D. Quality Control Submittals: Certificates: submit manufacturer's certification indicating compliance with specified performance and design requirement under provision of section 01 33 23

1.6 Quality Assurance

A. Requirements: consult local code for IBC [International Building Code] and IRC [International Residential Code] adoption year and pertinent revisions for information on:

1. Egress, emergency escape and rescue requirements

2. Basement window requirements

3. Windows fall prevention and/or window opening control device requirements

1.7 Delivery

A. Comply with provisions of Section 01 65 00

B. Deliver in original packaging and protect from weather

1.8 Storage and Handling

A. Prime and seal wood surfaces, including to be concealed by wall construction, if more than thirty (30) days will expire between delivery and installation

B. Store window units in an upright position in a clean and dry storage area above ground to protect from weather under provision of Section 01 66 00

1.9 Warranty

Complete and current warranty information is available at marvin.com/warranty. The following summary is subject to the terms, condition, limitations and exclusions set forth in the Marvin Windows and Door Limited Warranty and Products in Coastal Environments Limited Warranty Supplement:

A. Clear insulating glass with stainless steel spacers is warranted against seal failure caused by manufacturing defects and resulting in visible obstruction through the glass for twenty (20) years from the original date of purchase. Glass is warranted against stress cracks caused by manufacturing defects from ten (10) years from the original date of purchase.

B. Factory applied interior finish is warranted to be free from finish defects for a period of five (5) years from the original date of purchase.

C. Hardware and other non-glass components are warranted to be free from manufacturing defects for ten (10) years from the original date of purchase.

Part 2 Products

2.1 Manufactured Units

A. Description: Factory-assembled Ultimate Wood Casement/Awning as manufactured by Marvin, Warroad, Minnesota.

2.2 Frame Description

A. Non Finger-Jointed Pine or finger-jointed core with non finger-jointed Pine veneer; non finger-jointed Mahogany or finger-jointed core with non finger-jointed Mahogany veneer; non finger-jointed Vertical Grain Douglas Fir or finger-jointed with non finger-jointed Vertical Grain Douglas Fir veneer

1. Kiln-dried to moisture content no greater than 12 percent at the time of fabrication

2. Water repellant, preservative treated in accordance with ANSI/WDMA I.S.4

B. Frame thickness: 1 3/16” (30mm)

C. Frame depth: overall 5 21/32” jamb (144mm). 4 9/16” (116mm) jamb depth from the nailing fin plane to the interior face of the frame for new construction

2.3 Sash Description

A. Interior: Non Finger-Jointed Pine or finger-jointed core with non finger-jointed Pine veneer; non finger-jointed Mahogany or finger-jointed core with non finger-jointed Mahogany veneer; non finger-jointed Vertical Grain Douglas Fir or finger-jointed with non finger-jointed Vertical Grain Douglas Fir veneer

1. Kiln-dried to moisture content no greater than twelve (12) percent at the time of fabrication

2. Water repellant preservative treated with accordance with WDMA I.S.4

B. Sash thickness: Sash thickness is 1 3/4” (44mm) and 2” (51mm)

C. Stiles and Rails: 2 1/16” (52mm)

D. Sash Options: Optional tall bottom rail: 3 9/16” (90mm)

E. Interior Sash Sticking

1. Standard: Ogee

2. Optional: Square Sticking and Ovolo Profile

2.4 Glazing

A. Select quality complying with ASTM C1036. Insulating glass SIGMA/IGCC certified to performance level CBA when tested in accordance with ASTM E2190

B. Glazing method: Insulating glass, consisting of inboard lite of laminated glass. Exterior glass is standard annealed glass with optional tempered glass available.

C. Glazing seal: Silicone bedding at interior and exterior

D. Glass Type: Clear, Tempered, Obscure, Laminated, Low E2 with or without Argon, Low E3 with or without Argon, Low E1 with or without Argon

2.5 Finish

A. Interior/Exterior: Treated bare wood

1. Prime: Factory-applied enamel primer. Available on Pine product only.

B. Interior Finish options:

1. Painted Interior Finish. Available on Pine product only.

2. Factory-applied water-borne acrylic enamel clear coat. Applied in two separate coats with light sanding between coats. Available on Pine, Mahogany, and Vertical Grain Douglas Fir.

3. Factory-applied water-borne urethane stain. Stain applied over a wood (stain) conditioner. A water-borne acrylic enamel clear coat applied in two separate coats, with light sanding between coats, applied over the stain. Available on Pine, Mahogany, and Vertical Grain Douglas Fir. Colors available: Wheat, Honey, Hazelnut, Leather, Cabernet, and Espresso.

2.6 Hardware

A. Casement Crank Out operating hardware:

1. Locks: Multi-point sequential concealed locking system in the jamb opposite the hinge side for casement units. Lock handles are removable, non-handed are available in the same finishes as the handles. Standard tie bars, cams and keepers – steel coated with E-Gard™. Keeper features a roller for reduce average lock force and does not easily disengage with the cam even under severe loading. Stainless steel packages are available for coastal application.

2. Handles: Standard operating handle is a folding handle, zinc plated with the standard folding cover being molded plastic. Available colors: standard is Satin Taupe (painted), White (painted), Bronze (painted), Matte Black (painted), Satin Chrome (plated), Satin Nickel (plated), Oil Rubbed Bronze (plated), Brass (plated), Antique (plated)

3. Hinges: One at the sill to bottom rail and one at the head jamb to top rail. Hinges are steel coated with E-Gard™. Hinge track is stainless steel. Units with frame OM of 20” (508mm) and greater use an 18” (457mm) wash/egress hinge or 22” (559mm) wash/egress hinge to allow the sash to slide across the frame opening which causes the sash exterior to rotate towards the user for easy washing. Units under 20” (508mm) use dyad hinges. Using the dyad hinges means that the slide across feature, for easy washing, is no longer a feature.

B. Awning Crank Out:

1. Hinges: There are two hinges that connect the stiles of the sash to the jambs of the frame. The hinges are steel coated with E-Gard™, and the hinge track is stainless steel.

2. Operating Hardware: Single arm standard, coated with E-Gard™

3. Handles: The standard operating handle is a folding handle, zinc painted with the standard folding cover being molded plastic. Available colors: standard is Satin Taupe (painted), White (painted), Bronze (painted), Matte Black (painted), Satin Chrome (plated), Satin Nickel (plated), Oil Rubbed Bronze (plated), Brass (plated), Antique Brass (plated)

4. Locks: Multi-point, sequential, concealed locking system. Lock handles are removable, non-handed, and are available in the same finishes as handles. Standard tie bar, cams and keeps are steel coated with E-Gard™.

2.7 Weather Strip

A. Weather strip at the frame is a hollow foamed material bent around 90 degree corner to allow for seamless corner joints

1. Color: Beige

B. Sash weather strip bulb shaped glass filled material

1. Color: White, beige or black

2.8 Jamb Extension

A. Jamb extensions are available for various wall thickness factory-applied up to a 12" (305mm) wide

B. Finish: Match interior frame finish

2.9 Insect Screen

A. Aluminum frame finish is available in Satin Taupe, Bronze, Stone White, or Ebony

B. Screen mesh: Charcoal Fiberglass, Charcoal Aluminum White, Black Aluminum Wire, Bright Aluminum Wire, Bright Bronze Wire, High Transparency Mesh (Hi-Tran) Charcoal Fiberglass

C. Optional Wood Screen Surround with Hi-Tran Fiberglass Screen. Species will match unit species.

2.10 Simulated Divided Lites (SDL)

A. 5/8" (16mm) wide, 7/8" (22mm) wide, 1 1/8" (29mm), 1 15/16" (49mm), 2 13/32" (61mm) wide with or w/out internal spacer bar.

B. Muntins: Pine, Mahogany, or Vertical Grain Douglas Fir.

C. Muntins adhere to glass with closed-cell copolymer acrylic foam tape.

D. Sticking:

1. Standard: Ogee

2. Optional: Square

E. Pattern: Rectangular, diamond, custom lite cut

F. Finish: Match panel finish

2.11 Grilles-Between-the-Glass (GBG)

A. Offered on 1" glazing only

B. 23/32" (18mm) contoured aluminum bar

1. Exterior Colors: Stone White. The use of different types of glazing may alter the exterior GBG color appearance.

2. Interior Colors: Stone White, Bronze, Pebble Gray, Sierra, White, Ebony (only available with Ebony exterior).

C. Optional flat aluminum spacer bar. Contact your Marvin representative

D. Pattern: Rectangular, Cottage, Custom lite layout

2.12 Accessories and Trim

A. Installation Accessories:

1. Factory installed vinyl nailing/drip cap

2. Installation brackets: 6 3/8" (162mm), 9 3/8" (283mm), 15 3/8" (390mm)

3. Masonry brackets: 6" (152mm), 10" (254mm)

B. Exterior Wood Moulding:

1. Profile: Brick Mould Casing (BMC), Flat Casing, Stucco Brick Mould, Stucco Flat Casing, Special Casing 3 (SPC3), Special Casing 7 (SPC7), Special Casing 21 (SPC21), Special Casing 18 (SPC18), Special Casing 26 (SPC26)

2. Finish: Match exterior frame finish

C. Cedar Dress:

1. Subsill

2. Brick Mould and Flat Casing

3. Mull Covers

4. Available on Pine frames

5. Bare cedar

Part 3 Execution

3.1 Examination

A. Verification of Condition: Before installation, verify openings are plumb, square and of proper dimensions as required in Section 01 71 00. Report frame defects or unsuitable conditions to the General contractor before proceeding.

B. Acceptance of Condition: Beginning on installation confirms acceptance of existing conditions.

3.2 Installation

A. Comply with Section 01 73 00.

B. Assemble and install window/door unit(s) according to manufacturer's instruction and reviewed shop drawing.

C. Install sealant and related backing materials at perimeter of unit or assembly in accordance with Section 07 92 00 Joint Sealants. Do not use expansive foam sealant.

D. Install accessory items as required.

E. Use finish nails to apply wood trim and mouldings.

3.3 Field Quality Control

A. Remove visible labels and adhesive residue according to manufacturer's instruction.

B. Unless otherwise specified, air leakage resistance tests shall be conducted at a uniform static pressure of 75 Pa (~1.57 psf). The maximum allowable rate of air leakage shall not exceed 2.3 L/sm^2 (~0.45 cfm/ft^2).

C. Unless otherwise specified, water penetration resistance testing shall be conducted per AAMA 502 and ASTM E1105 at 2/3 of the fenestration products design pressure (DP) rating using "Procedure B" – cyclic static air pressure difference. Water penetration shall be defined in accordance with the test method(s) applied.

3.4 Cleaning

A. Remove visible labels and adhesive residue according to manufacturer's instruction.

B. Leave windows and glass in a clean condition. Final cleaning as required in Section 01 74 00.

3.5 Protecting Installed Construction

A. Comply with Section 07 76 00.

B. Protecting windows from damage by chemicals, solvents, paint or other construction operations that may cause damage.

End of Section

Ultimate Outswing French Door G2
Ultimate Outswing French Door 2 1/4" G2

Unit Features

Abbreviations

UOFD G2: Ultimate Outswing French Door G2

UOFD225 G2: Ultimate Outswing French Door 2 1/4" G2

UOFD225 G2 IZ3: Ultimate Outswing French Door 2 1/4" G2 IZ3

Frame:

- Frame thickness: 1 1/16" (27)
- Jamb Depth: 4 9/16" (116)
- Sill
  - Standard: Performance sill
    - Fiberglass reinforced pultruded sill with water shed and weep system
    - Color: Ebony
  - Optional: Accessibility Sill
    - Fiberglass reinforced pultruded sill with water shed and weep system
    - Reduced resistance to air and water infiltration, relative to Standard Performance Sill
    - Reduces standard CN height by 1/2"
    - Color: Ebony
    - Not ADA compliant as delivered.

Panel:

- UOFD G2 Panel thickness: 1 3/4" (44)
  - Top rail height and stile width: 4 3/4" (121)
  - Sidelite stile width: 3" (76)
  - Bottom rail height: 8 1/8" (206)
  - Bottom rail:
    - Stave core is used for Pine, Cherry, Douglas Fir and Mahogany
    - Laminated veneer lumber (LVL) is used for White Oak
  - Stationary stile and hinged stile:
    - LVL is used for White Oak, Mahogany and Cherry
    - Stave core is used for Pine and Douglas Fir
  - Locking stile: all wood species use LVL
  - Top rail:
    - LVL is used for White Oak
    - Solid wood for Mahogany and Cherry
    - Stave core is used for Pine and Douglas Fir
  - Intermediate rail: solid wood for all species
- UOFD2.25 G2 Panel thickness: 2 1/4"(57)
  - Top rail height and stile width: 4 3/4" (121)
  - Sidelite stile width: 3" (76)
  - Bottom rail height: 8 1/8" (206)
  - Bottom rail, stationary stile, locking stile, hinged stile and top rail for all species use LVL
  - Intermediate rail: solid face laminated
  - Interior glazing profile: Ogee (with Simulated Putty exterior glazing profile)
    - Optional interior glazing profile: Square (with Simulated Putty exterior glazing profile)

Raised/Flat Panel Option:

- Standard stamped raised panel uses .080” (2) aluminum to the exterior with foam backing
- Core is medium density fiberboard (MDF) with non finger-jointed wood laminated to the interior

Unit Features

Hardware:

- Multi-point lock: applied to active and inactive panels, 2 3/8" (60) backset, with latch engagement and three locking points, with options of non-keyed or keyed alike.
  - Dead bolt
  - Head jamb bolt
  - Sill bolt
- Optional prep for passage latch with deadbolt (up to CN70 height)
- Optional no lock/no bore (up to CN70 height)
- Optional lever handle set active, inactive

Handle Set:

- Traditional handle set finish options:
  - Powder coat finishes: Satin Taupe, White, Dark Bronze, Matte Black
  - Metal finishes: Satin Chrome, Polished Chrome, Antique Brass, Oil Rubbed Bronze
  - PVD finishes: Brass PVD, Oil Rubbed Bronze PVD, Satin Nickel PVD
- Contemporary handle set finish options:
  - Painted finishes: Matte Black, Dark Bronze,
  - PVD finishes: Oil Rubbed Bronze PVD, Satin Nickel PVD
- Minimalist handle set finish options:
  - Painted finishes: Matte Black, Dark Bronze,
  - PVD finishes: Oil-Rubbed Bronze, Satin Nickel
- Gallery Collection Hardware
  - Ashley Norton
  - Bouvet
  - Rocky Mountain Hardware
  - Reference marvin.com

Hinges:

- Adjustable hinges
    - Powder coat finish: Satin Taupe, Gold Tone, Dark Bronze. Silver Frost, White, Matte Black
    - Metal finishes: Satin Chrome, Polished Chrome, Antique Brass, Oil Rubbed Bronze
    - PVD finishes: Brass PVD, Oil Rubbed Bronze PVD, Satin Nickel PVD
  - Dimensions are 4 1/4"(108) x 3 3/4"(95) with 3/8"(10) radius corners
    - Adjustment is 3/16"(5) for horizontal and vertical of panels in frame
  - Quantity per panel
    - up to CN80 height = three hinges per panel
    - Greater than CN80 height and up to CN90 height = four hinges per panel
    - Greater than CN90 height = five hinges per panel

Weather Strip:

- Weather strip at all panel perimeter points
  - Color: black

Mulling:

- For mull performance, refer to the General Mulling chapter of the ADM.

Unit Features Continued

Glass and Glazing:

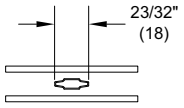
- Glazing seal: Silicone glazed
- Standard glass: Insulating Dual Pane Low E2 with Argon or Air
- Gas Fill: Air or Argon
- Outswing French Door G2
  - Dual-pane insulating glass thickness: 3/4"
- Outswing French Door 2 1/4" G2
  - Dual-pane insulating glass thickness: 15/16"
  - Tri-pane insulating glass thickness: 1 1/4"
- Insulating glass coatings:
  - Low E1
  - Low E2
  - Low E3
  - Low ERS
  - Low ELR
- Available glass types:
  - Laminated
  - Tempered
  - Obscure
- Tints:
  - Bronze
  - Gray
  - Green
  - Reflective Bronze
- Decorative glass options:
  - Frost
  - 1/2 English Reed
  - Rain
  - Sandblasted
  - Glue Chip
- All glass is of select quality complying with ASTM C 1036. Tempered or Laminated safety glazing per CPSC 16 CFR 1201. Insulating glass is manufactured and tested to pass level ASTM 2190 and is IGCC certified.
- IZ3 product requires laminated and tempered glass.
- For additional specialty glazing options, please contact your Marvin representative.

Lock Status Sensor (Optional):

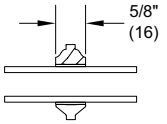
- Refer to **Lock Status Sensor Installation Instructions** for requirements.
- To achieve a closed and locked status, The Lock Status Sensor requires that the door must be closed to depress the anti-slam mechanism so that the door can be manually locked. It allows easy integration with home automation systems using a wireless connection.
  - Requires purchase of secondary transmitter for operation. Marvin will prep for this option. Wired connection not available.
- Wireless Lock Status Sensor is located within the width and height of the operating panel.
  - Sensor Location will always be integrated into the locking hardware system.

Standard Divided Lite Options

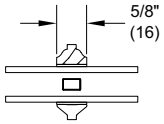
Insulating Glass



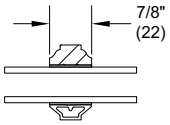
Aluminum 23/32"
Contour GBG



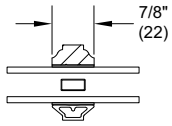
5/8" SDL



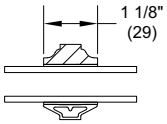
5/8" SDL
W/Spacer



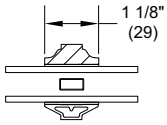
7/8" SDL



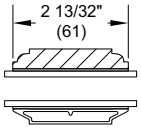
7/8" SDL
W/Spacer Bar



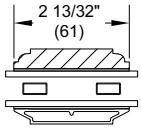
1 1/8" SDL



1 1/8" SDL
W/Spacer Bar



2 13/32" SDL



2 13/32" SDL
W/Two Spacer Bars

NOTE: Due to the inherent qualities of tempered glass, daylight gaps may be seen when using simulated divided lite bars. Daylight gaps could be visible between the internal spacer bar and surface applied bars when viewing from an acute angle to the glass on the following applications:

- Tempered glass over 72" high while using 5/8" SDL bars

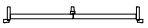
- Tempered glass over 91" high while using 7/8" SDL bars.

Outswing Handing Configurations

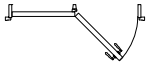

O*

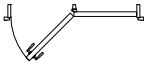

X *R

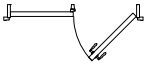

X L*


OO

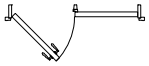

XX L*


OX R

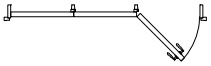

XO L

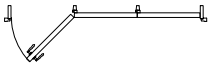

OX L

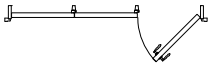

XX R*

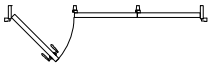

XO R

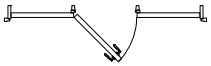

OOO

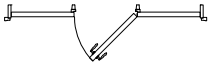

OOX R


XOO L


OOX L


XOO R


OXO R


OXO L

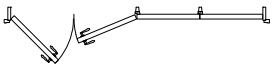

OXX R

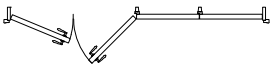

OXX L

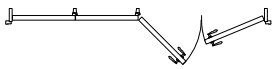

XXO L

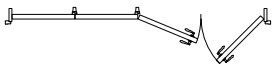

XXO R


OOOO


XXOO R


XXOO L

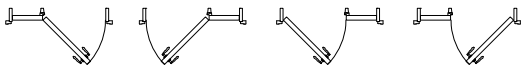

OOXX R

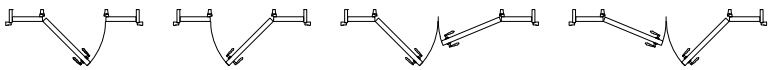

OOXX L


OXXO R


OXXO L

Unequal Configurations With Sidelites


OX R XO L XO R OX L


OXO R OXO L OXXO R OXXO L

* IZ3 available on O, X, and XX configurations.

* IZ3 available on O, X, and XX configurations.

Standard Unit Measurements

Standard Inswing and Outswing Unit Measurements																	
Width																	
Unit Type	**CN**	**Masonry Opening**		**Rough Opening**		**Frame Size**		**Panel OM**		**Daylight Std Opening**		**Standard Glass Size**		**Contemporary Glass Size**	
		ft - in	**mm**	**ft - in**	**mm**	**ft - in**	**mm**	**ft-in**	**mm**	**ft - in**	**mm**	**in**	**mm**	**in**	**mm**
1 Panel	1-6	1-8 11/32	(517)	1-8 27/32	(529)	1-7 27/32	(504)	1-5 15/32	(444)	0-11 1/2	(292)	12 3/4	(324)	12 3/4	(324)
	2-6R	2-7 1/8	(791)	2-7 5/8	(803)	2-6 5/8	(778)	2-4 1/4	(718)	1-6 25/32	(477)	20 1/32	(509)	20 1/32	(509)
	3-0R	3-1 1/8	(943)	3-1 5/8	(956)	3-0 5/8	(930)	2-10 1/4	(870)	2-0 25/32	(629)	26 1/32	(661)	26 1/32	(661)
	2-0	2-1 15/16	(659)	2-2 7/16	(672)	2-1 7/16	(646)	1-11 1/16	(586)	1-1 19/32	(345)	14 27/32	(377)	14 27/32	(377)
	2-6	2-7 15/16	(811)	2-8 7/16	(824)	2-7 7/16	(799)	2-5 1/16	(738)	1-7 19/32	(498)	20 27/32	(529)	20 27/32	(529)
	2-8	2-9 15/16	(862)	2-10 7/16	(875)	2-9 7/16	(849)	2-7 1/16	(789)	1-9 19/32	(548)	22 27/32	(580)	22 27/32	(580)
	3-0	3-1 15/16	(964)	3-2 7/16	(976)	3-1 7/16	(951)	2-11 1/16	(891)	2-1 19/32	(650)	26 27/32	(682)	26 27/32	(682)
	3-6	3-7 15/16	(1116)	3-8 7/16	(1129)	3-7 7/16	(1103)	3-5 1/16	(1043)	2-7 19/32	(802)	32 27/32	(834)	32 27/32	(834)
2 Panel	5-0R*	4-11 1/2	(1511)	5-0	(1524)	4-11	(1499)	2-4 1/4	(718)	1-6 25/32	(477)	20 1/32	(509)	20 1/32	(509)
	6-0R*	5-11 1/2	(1816)	6-0	(1829)	5-11	(1803)	2-10 1/4	(870)	2-0 25/32	(629)	26 1/32	(661)	26 1/32	(661)
	4-0	4-1 1/8	(1248)	4-1 5/8	(1260)	4-0 5/8	(1235)	1-11 1/16	(586)	1-1 19/32	(345)	14 27/32	(377)	14 27/32	(377)
	5-0	5-1 1/8	(1553)	5-1 5/8	(1565)	5-0 5/8	(1540)	2-5 1/16	(738)	1-7 19/32	(498)	20 27/32	(529)	20 27/32	(529)
	5-4	5-5 1/8	(1654)	5-5 5/8	(1667)	5-4 5/8	(1641)	2-7 1/16	(789)	1-9 19/32	(548)	22 27/32	(580)	22 27/32	(580)
	6-0	6-1 1/8	(1857)	6-1 5/8	(1870)	6-0 5/8	(1845)	2-11 1/16	(891)	2-1 19/32	(650)	26 27/32	(682)	26 27/32	(682)
	7-0	7-1 1/8	(2162)	7-1 5/8	(2175)	7-0 5/8	(2149)	3-5 1/16	(1043)	2-7 19/32	(802)	32 27/32	(834)	32 27/32	(834)
3 Panel	9-0R	8-9 7/8	(2689)	8-10 3/8	(2702)	8-9 3/8	(2677)	2-10 1/4	(870)	2-0 25/32	(629)	26 1/32	(661)	26 1/32	(661)
	6-0	6-0 5/16	(1837)	6-0 13/16	(1849)	5-11 13/16	(1824)	1-11 1/16	(586)	1-1 19/32	(345)	14 27/32	(377)	14 27/32	(377)
	7-6	7-6 5/16	(2294)	7-6 13/16	(2307)	7-5 13/16	(2281)	2-5 1/16	(738)	1-7 19/32	(498)	20 27/32	(529)	20 27/32	(529)
	8-0	8-0 5/16	(2446)	8-0 13/16	(2459)	7-11 13/16	(2434)	2-7 1/16	(789)	1-9 19/32	(548)	22 27/32	(580)	22 27/32	(580)
	9-0	9-0 5/16	(2751)	9-0 13/16	(2764)	8-11 13/16	(2738)	2-11 1/16	(891)	2-1 19/32	(650)	26 27/32	(682)	26 27/32	(682)
	10-6	10-6 5/16	(3208)	10-6 13/16	(3221)	10-5 13/16	(3196)	3-5 1/16	(1043)	2-7 19/32	(802)	32 27/32	(834)	32 27/32	(834)
4 Panel	8-0	7-11 1/2	(2426)	8-0	(2438)	7-11	(2413)	1-11 1/16	(586)	1-1 19/32	(345)	14 27/32	(377)	14 27/32	(377)
	10-0	9-11 1/2	(3035)	10-0	(3048)	9-11	(3023)	2-5 1/16	(738)	1-7 19/32	(498)	20 27/32	(529)	20 27/32	(529)
	10-8	10-7 1/2	(3239)	10-8	(3251)	10-7	(3226)	2-7 1/16	(789)	1-9 19/32	(548)	22 27/32	(580)	22 27/32	(580)
	12-0	11-11 1/2	(3645)	12-0	(3658)	11-11	(3632)	2-11 1/16	(891)	2-1 19/32	(650)	26 27/32	(682)	26 27/32	(682)
	14-0	13-11 1/2	(4255)	14-0	(4267)	13-11	(4242)	3-5 1/16	(1043)	2-7 19/32	(802)	32 27/32	(834)	32 27/32	(834)
Height																	
Unit Type	**CN**	**Masonry Opening**		**Rough Opening**		**Frame Size**		**Panel OM**		**Daylight Std Opening**		**Standard Glass Size**		**Contemporary Glass Size**	
		ft - in	**mm**	**ft - in**	**mm**	**ft - in**	**mm**	**ft-in**	**mm**	**ft - in**	**mm**	**in**	**mm**	**in**	**mm**
All Configurations	6-6R	6-7 3/4	(2026)	6-8	(2032)	6-7 1/2	(2019)	6-4 39/64	(1946)	5-3 47/64	(1794)	65 3/64	(1828)	68 27/64	(1738)
	6-8	6-10 1/4	(2089)	6-10 1/2	(2096)	6-10	(2083)	6-7 7/64	(2009)	5-6 15/64	(1858)	67 35/64	(1891)	70 59/64	(1801)
	7-0	7-2 1/4	(2191)	7-2 1/2	(2197)	7-2	(2184)	6-11 7/64	(2111)	5-10 15/64	(1959)	71 35/64	(1993)	74 59/64	(1903)
	8-0	8-2 1/4	(2496)	8-2 1/2	(2502)	8-2	(2489)	7-11 7/64	(2416)	6-10 15/64	(2264)	83 35/64	(2298)	86 59/64	(2208)
	9-0	9-2 1/4	(2800)	9-2 1/2	(2807)	9-2	(2794)	8-11 7/64	(2721)	7-10 15/64	(2569)	95 35/64	(2602)	98 59/64	(2513)
	10-0	10-2 1/4	(3105)	10-2 1/2	(3112)	10-2	(3099)	9-11 7/64	(3025)	8-10 15/64	(2874)	107 35/64	(2907)	110 59/64	(2817)

Standard Unit Measurement - In-Sash Transom

Standard In-Sash Transom Unit Measurements													
Width													
Unit Type	**Call Number**	**Masonry Opening**		**Rough Opening**		**Frame Size**		**Sash OM**		**Daylight Opening**		**Glass Size**	
		ft - in	**mm**	**ft - in**	**mm**	**ft - in**	**mm**	**ft-in**	**mm**	**ft - in**	**mm**	ft-in	mm
1 Sash 1 Frame	1-6	1-8 11/32	(517)	1-8 27/32	(529)	1-7 27/32	(504)	1-5 15/32	(444)	0-8	(203)	9 1/4	(235)
	2-0	2-1 15/16	(659)	2-2 7/16	(672)	2-1 7/16	(646)	1-11 1/16	(586)	1-1 19/32	(345)	14 27/32	(377)
	2-6	2-7 15/16	(811)	2-8 7/16	(824)	2-7 7/16	(799)	2-5 1/16	(738)	1-7 19/32	(498)	20 27/32	(529)
	2-8	2-9 15/16	(862)	2-10 7/16	(875)	2-9 7/16	(849)	2-7 1/16	(789)	1-9 19/32	(548)	22 27/32	(580)
	3-0	3-1 15/16	(964)	3-2 7/16	(976)	3-1 7/16	(951)	2-11 1/16	(891)	2-1 19/32	(650)	26 27/32	(682)
	3-6	3-7 15/16	(1116)	3-8 7/16	(1129)	3-7 7/16	(1103)	3-5 1/16	(1043)	2-7 19/32	(802)	32 27/32	(834)
	4-0	4-1 1/8	(1248)	4-1 5/8	(1260)	4-0 5/8	(1235)	3-10 1/4	(1175)	3-0 25/32	(934)	38 1/32	(966)
	5-0	5-1 1/8	(1553)	5-1 5/8	(1565)	5-0 5/8	(1540)	4-10 1/4	(1480)	4-0 25/32	(1239)	50 1/32	(1271)
	5-4	5-5 1/8	(1654)	5-5 5/8	(1667)	5-4 5/8	(1641)	5-2 1/4	(1581)	4-4 25/32	(1341)	54 1/32	(1372)
	6-0	6-1 1/8	(1857)	6-1 5/8	(1870)	6-0 5/8	(1845)	5-10 1/4	(1784)	5-0 25/32	(1544)	62 1/32	(1576)
	7-0	7-1 1/8	(2162)	7-1 5/8	(2175)	7-0 5/8	(2149)	6-10 1/4	(2089)	6-0 25/32	(1849)	74 1/32	(1880)
2 Sash 1 Frame	4-0	4-1 1/8	(1248)	4-1 5/8	(1260)	4-0 5/8	(1235)	1-11 1/16	(586)	1-1 19/32	(345)	14 27/32	(377)
	5-0	5-1 1/8	(1553)	5-1 5/8	(1565)	5-0 5/8	(1540)	2-5 1/16	(738)	1-7 19/32	(498)	20 27/32	(529)
	5-4	5-5 1/8	(1654)	5-5 5/8	(1667)	5-4 5/8	(1641)	2-7 1/16	(789)	1-9 19/32	(548)	22 27/32	(580)
	6-0	6-1 1/8	(1857)	6-1 5/8	(1870)	6-0 5/8	(1845)	2-11 1/16	(891)	2-1 19/32	(650)	26 27/32	(682)
	7-0	7-1 1/8	(2162)	7-1 5/8	(2175)	7-0 5/8	(2149)	3-5 1/16	(1043)	2-7 19/32	(802)	32 27/32	(834)
3 Sash 1 Frame	6-0	6-0 5/16	(1837)	6-0 13/16	(1849)	5-11 13/16	(1824)	1-11 1/16	(586)	1-1 19/32	(345)	14 27/32	(377)
	7-6	7-6 5/16	(2294)	7-6 13/16	(2307)	7-5 13/16	(2281)	2-5 1/16	(738)	1-7 19/32	(498)	20 27/32	(529)
	8-0	8-0 5/16	(2446)	8-0 13/16	(2459)	7-11 13/16	(2434)	2-7 1/16	(789)	1-9 19/32	(548)	22 27/32	(580)
	9-0	9-0 5/16	(2751)	9-0 13/16	(2764)	8-11 13/16	(2738)	2-11 1/16	(891)	2-1 19/32	(650)	26 27/32	(682)
	10-6	10-6 5/16	(3208)	10-6 13/16	(3221)	10-5 13/16	(3196)	3-5 1/16	(1043)	2-7 19/32	(802)	32 27/32	(834)
4 Sash 1 Frame	8-0	7-11 1/2	(2426)	8-0	(2438)	7-11	(2413)	1-11 1/16	(586)	1-1 19/32	(345)	14 27/32	(377)
	10-0	9-11 1/2	(3035)	10-0	(3048)	9-11	(3023)	2-5 1/16	(738)	1-7 19/32	(498)	20 27/32	(529)
	10-8	10-7 1/2	(3239)	10-8	(3251)	10-7	(3226)	2-7 1/16	(789)	1-9 19/32	(548)	22 27/32	(580)
	12-0	11-11 1/2	(3645)	12-0	(3658)	11-11	(3632)	2-11 1/16	(891)	2-1 19/32	(650)	26 27/32	(682)
	14-0	13-11 1/2	(4255)	14-0	(4267)	13-11	(4242)	3-5 1/16	(1043)	2-7 19/32	(802)	32 27/32	(834)
Height													
Unit Type	**Call Number**	**Masonry Opening**		**Rough Opening**		**Frame Size**		**Sash OM**		**Daylight Opening**		**Glass Size**	
		ft - in	**mm**	**ft - in**	**mm**	**ft - in**	**mm**	**ft-in**	**mm**	**ft - in**	**mm**	**ft - in**	**mm**
All Configurations	1-6	1-6 1/4	(464)	1-6 1/2	(470)	1-6	(457)	1-3 5/8	(397)	1-0 13/64	(310)	13 29/64	(342)
	2-0	2-0 1/4	(616)	2-0 1/2	(622)	2-0	(610)	1-9 5/8	(549)	1-6 13/64	(462)	19 29/64	(494)
	2-6	2-6 1/4	(768)	2-6 1/2	(775)	2-6	(762)	2-3 5/8	(702)	2-0 13/64	(615)	25 29/64	(647)

Certified Sizes and Ratings

Product	Air Tested to psf	Water Tested to psf	Structural Tested to psf	Certification Rating	Design Pressure (DP)	Overall Width		Overall Height		Applicable Configurations
						in	mm	in	mm	
Ultimate Outswing French Door G2 3680 (O/SLT)	1.57	6	60	LC-PG40	40	43 7/16	(1103)	98	(2489)	O
Ultimate Outswing French Door G2 12080 (OXXO)	1.57	6	60	LC-PG40	40	143	(98)	98	(2489)	OXXO
Ultimate Outswing French Door G2 14080 (OXXO)	1.57	4.5	45	LC-PG30	30	167	(98)	98	(2489)	OXXO
Ultimate Outswing French Door G2 140100 (OXXO)	1.57	4.5	45	LC-PG30	30	167	(4242)	122	(3099)	OXXO
Ultimate Outswing French Door2.25 G2 12080 (OXXO)	1.57	6	60	LC-PG40	40	143	(98)	98	(2489)	OXXO
Ultimate Outswing French Door2.25 G2 14080 (OXXO)	1.57	4.5	45	LC-PG30	30	167	(98)	98	(2489)	OXXO
Ultimate Outswing French Door2.25 G2 140100 (OXXO)	1.57	4.5	45	LC-PG30	30	167	(4242)	122	(3099)	OXXO
Ultimate Outswing French Door2.25 G2 36100 (O)	1.57	7.5	75	LC-PG50	50	43 7/16	(122)	122	(3099)	O
Ultimate Outswing French Door2.25 G2 36100 (X)	1.57	7.5	75	LC-PG50	50	43 7/16	(122)	122	(3099)	X
Ultimate Outswing French Door2.25 G2 60100 (XX)	1.57	7.5	75	LC-PG50	50	72 5/8	(122)	122	(3099)	XX
Ultimate Outswing French Door Transom G2 8026 (O)	1.57	6	60	LC-PG40	40	96 5/8	(30)	30	(762)	O
Ultimate Outswing French Door Transom G2 14026 (OOOO)	1.57	60	60	LC-PG40	40	96 5/8	(30)	30	(762)	OOOO

NOTE: 3 or 4 panel doors with more than 2 operating panels or more than 2 stationary panels are non-certified.

Certified Sizes and Ratings (Continued)

IZ3

Product	Air Tested to psf	Water Tested to psf	Structural Tested to psf	Certification Rating	Design Pressure (DP)	Overall Width		Overall Height		Applicable Configurations
						in	mm	in	mm	
Ultimate Outswing French Door2.25 G2 IZ3 36100 (O & SL)	1.57	9.75	97.5	LC-PG65	65	43 7/16	(122)	122	(3099)	O

Accessory Sill

Product	Air Tested to psf	Water Tested to psf	Structural Tested to psf	Certification Rating	Design Pressure (DP)	Overall Width		Overall Height		Applicable Configurations
						in	mm	in	mm	
Ultimate Outswing French Door G2 14080 (OXXO)	1.57	3.75	37.5	LC-PG25	25	167	(98)	98	(2489)	OXXO
Ultimate Outswing French Door 2.25 G2 140100 (OXXO)	1.57	3.75	37.5	LC-PG25	25	167	(122)	122	(3099)	OXXO
Ultimate Outswing French Door2.25 G2 36100 (X)	1.57	4.5	45	LC-PG30	30	43 7/16	(122)	122	(3099)	X
Ultimate Outswing French Door G2 3680 (X)	1.57	4.5	45	LC-PG30	30	43 7/16	(98)	98	(2489)	X

Minimum and Maximum Guidelines - Doors and In-Sash Transom

Ultimate Swinging French Door G2 Minimums and Maximums									
Unit Type		Min Frame Size Unit				Max Frame Size Unit			
		Width		Height		Width		Height	
		in	mm	in	mm	in	mm	in	mm
Sidelite	1 3/4" Panels	16 11/32	(415)	23 7/8	(606)	49 7/16	(1256)	98	(2489)
	2 1/4" Panels	16 11/32	(415)	23 7/8	(606)	49 7/16	(1256)	122	(3099)
Stationary	1 3/4" Panels	19 27/32	(504)	23 7/8	(606)	49 7/16	(1256)	98	(2489)
	2 1/4" Panels	19 27/32	(504)	23 7/8	(606)	49 7/16	(1256)	122	(3099)
1 - PanelOperator	1 3/4" Panels	18 3/32	(460)	54 15/16	(1395)	43 7/16	(1103)	98	(2489)
	2 1/4" Panels	18 3/32	(460)	70 5/16	(1786)	43 7/16	(1103)	122	(3099)
2 - PanelOperator	1 3/4" Panels	33 15/16	(862)	54 15/16	(1395)	84 5/8	(2149)	98	(2489)
	2 1/4" Panels	33 15/16	(862)	70 5/16	(1786)	84 5/8	(2149)	122	(3099)
3 - PanelOperator	1 3/4" Panels	49 25/32	(1264)	54 15/16	(1395)	125 13/16	(3196)	98	(2489)
	2 1/4" Panels	49 25/32	(1264)	70 5/16	(1786)	125 13/16	(3196)	122	(3099)
4 - PanelOperator	1 3/4" Panels	65 5/8	(1667)	54 15/16	(1395)	167	(4242)	98	(2489)
	2 1/4" Panels	65 5/8	(1667)	70 5/16	(1786)	167	(4242)	122	(3099)

Transom Minimum and Maximums									
Unit Type		Min Frame Size Unit				Max Frame Size Unit			
		Width		Height		Width		Height	
		in	mm	in	mm	in	mm	in	mm
Transom	Factory/Field Mulled	14 19/32	(371)	11 3/8	(289)	96 5/8	(2454)	30	(762)
1 Sash 1 Frame	Stand Alone	14 19/32	(371)	11 3/8	(289)	96 5/8	(2454)	30	(762)
Door Transom	Factory/Field Mulled	18 3/32	(460)	11 3/8	(289)	96 5/8	(2454)	30	(762)
1 Sash 1 Frame	Stand Alone	18 3/32	(460)	11 3/8	(289)	96 5/8	(2454)	30	(762)
Transom	Factory/Field Mulled	33 15/16	(862)	11 3/8	(289)	84 5/8	(2149)	30	(762)
2 Sash 1 Frame	Stand Alone	33 15/16	(862)	11 3/8	(289)	191	(4851)	30	(762)
Transom	Factory/Field Mulled	49 25/32	(1264)	11 3/8	(289)	125 13/16	(3196)	30	(762)
3 Sash 1 Frame	Stand Alone	49 25/32	(1264)	11 3/8	(289)	191	(4851)	30	(762)
Transom	Factory/Field Mulled	65 5/8	(1667)	11 3/8	(289)	167	(4242)	30	(762)
4 Sash 1 Frame	Stand Alone	65 5/8	(1667)	11 3/8	(289)	191	(4851)	30	(762)

Measurement Conversions

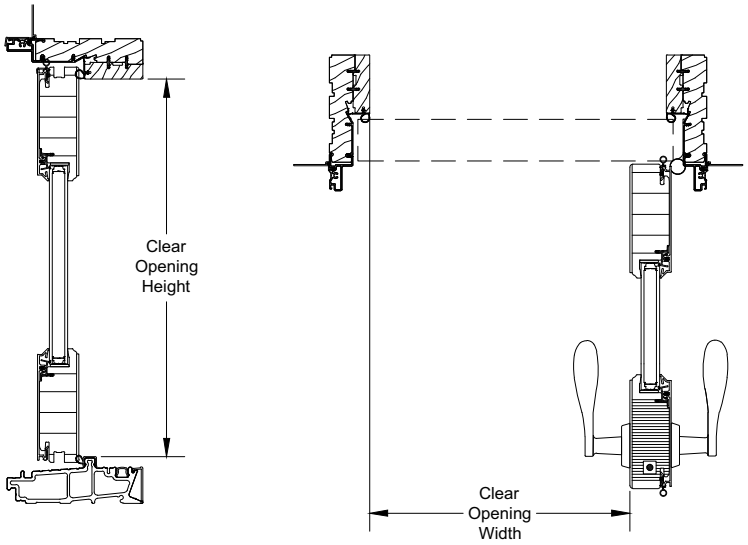
Unit Measurements		Width			Height	
From	To					
Frame		**in**	**mm**		**in**	**mm**
OM of Frame	Rough Opening	+ 1	(25)		+ 1/2	(13)
Masonry Opening	Rough Opening	+ 1/2	(13)		+ 1/4	(06)
Masonry Opening w/BMC	Rough Opening	-2 1/8	(54)		-1 1/16	(27)
Masonry Opening w/Flat Casing	Rough Opening	-5 1/2	(140)		-2 3/4	(70)
Operating Panel		**in**	**mm**		**in**	**mm**
OM of Frame	OM of Panel (x1)	-2 3/8	(60)		-2 57/64	(73)
OM of Frame	OM of Panel (x2)	-2 1/2	(64)	÷ 2	-2 57/64	(73)
OM of Frame	OM of Panel (x3)	-2 5/8	(67)	÷ 3	-2 57/64	(73)
OM of Frame	OM of Panel (x4)	-2 3/4	(70)	÷ 4	-2 57/64	(73)
OM of Frame	OM of Sidelite	-2 3/8	(60)		-2 57/64	(73)
Daylight Opening	OM of Panel - Ultimate Inswing French Door G2	+ 9 15/32	(240)		+ 12 7/8	(327)
Daylight Opening	OM of Panel - Ultimate Inswing Door	+ 5 31/32	(152)		+ 5 31/32	(152)
Daylight Opening	OM of Sidelite	+ 5 31/32	(152)		+ 12 7/8	(327)
Glass		**in**	**mm**		**in**	**mm**
Daylight Opening	Glass	+ 1 1/4	(32)		+ 1 1/4	(32)

Ultimate Inswing / Outswing French Door Transoms G2						
Unit Measurements		**Width**			**Height**	
From	**To**					
Frame		**in**	**mm**		**in**	**mm**
OM of Frame	Rough Opening	1	(25)		1/2	(13)
Masonry Opening	Rough Opening	1/2	(13)		1/4	(06)
Masonry Opening w/BMC	Rough Opening	-2 1/8	(54)		-1 1/16	(27)
Masonry Opening w/Flat Ca	Rough Opening	-5 1/2	(140)		-2 3/4	(70)
Sash		**in**	**mm**		**in**	**mm**
Rough Opening	OM of Panel (x1)	-2 7/8	(76)		-2 7/8	(73)
Rough Opening	OM of Panel (x2)	-3 1/2	(89)	÷ 2	-2 7/8	(73)
Rough Opening	OM of Panel (x3)	-3 5/8	(92)	÷ 3	-2 7/8	(73)
Rough Opening	OM of Panel (x4)	-3 3/4	(95)	÷ 4	-2 7/8	(73)
Rough Opening	OM of Sidelite	-3 3/8	(86)		-2 7/8	(73)
Glass	Sash OM	2 11/64	(55)		2 11/64	(55)
Glass	OM of Sidelite	4 23/32	(86)		2 11/64	(55)
Glass		**in**	**mm**		**in**	**mm**
Rough Opening	Glass	-4 7/16	(113)		-4 7/16	(113)

Net Clear Openings: Outswing Units

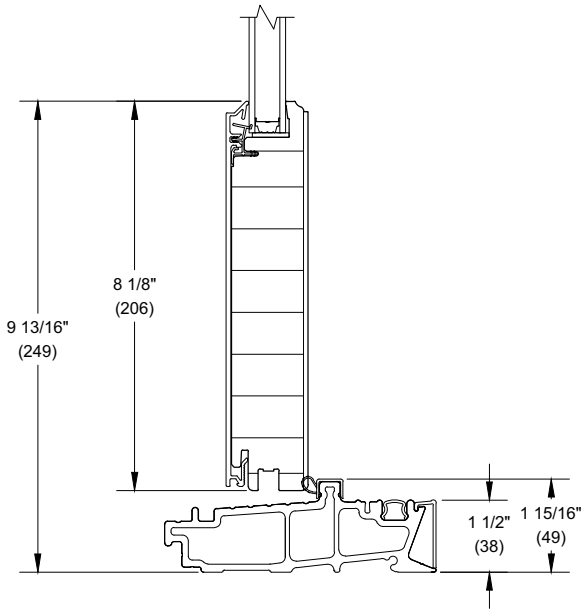
Net Clear Opening Ultimate Outswing French Door G2 1.75			
Width			
Unit Type	**Call Number**	**Net Clear Openings**	
		ft-in	**mm**
1 Panel Operator	2-6R	2-1 13/64	(640)
	3-0R	2-7 13/64	(793)
	2-0	1-8 1/64	(508)
	2-6	2-2 1/64	(661)
	2-8	2-4 1/64	(712)
	3-0	2-8 1/64	(813)
	3-6	3-2 1/64	(966)
2 Panel Operator	5-0R*	4-2 7/64	(1273)
	6-0R*	5-2 7/64	(1578)
	4-0	3-3 47/64	(1009)
	5-0	4-3 47/64	(1314)
	5-4	4-7 47/64	(1416)
	6-0	5-3 47/64	(1619)
	7-0	6-3 47/64	(1924)
Height			
Unit Type	**Call Number**	**Net Clear Openings**	
		ft - in	**mm**
All Configurations	6-6R	6-3 3/4	(1924)
	6-8	6-6 1/4	(1987)
	7-0	6-10 1/4	(2089)
	8-0	7-7 3/4	(2330)
	9-0	8-7 3/4	(2635)

Net Clear Opening Ultimate Outswing French Door 2.25 G2 and Ultimate Outswing Door 2.25			
Width			
Unit Type	**Call Number**	**Net Clear Openings**	
		ft-in	**mm**
1 Panel Operator	2-6R	2-0 45/64	(627)
	3-0R	2-6 45/64	(780)
	2-0	1-7 33/64	(496)
	2-6	2-1 33/64	(648)
	2-8	2-3 33/64	(699)
	3-0	2-7 33/64	(801)
	3-6	3-1 33/64	(953)
2 Panel Operator	5-0R*	4-1 7/64	(1247)
	6-0R*	5-1 7/64	(1552)
	4-0	3-2 47/64	(984)
	5-0	4-2 47/64	(1289)
	5-4	4-6 47/64	(1390)
	6-0	5-2 47/64	(1593)
	7-0	6-2 47/64	(1898)
Height			
Unit Type	**Call Number**	**Net Clear Openings**	
		ft - in	**mm**
All Configurations	6-6R	6-3 3/4	(1924)
	6-8	6-3 3/4	(1987)
	7-0	6-6 1/4	(2089)
	8-0	6-10 1/4	(2330)
	9-0	7-7 3/4	(2635)

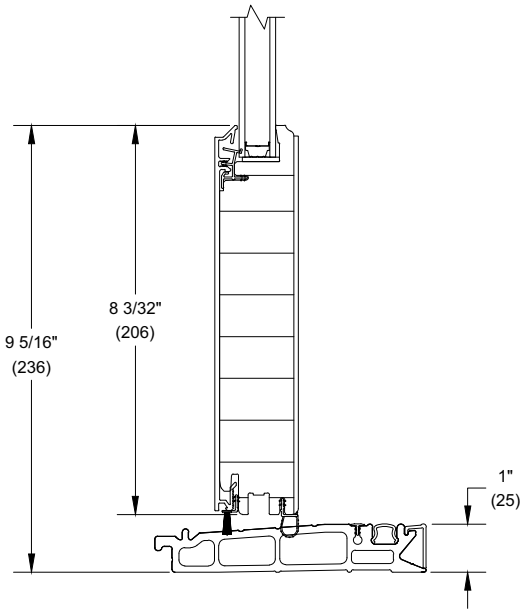


Outswing Section Details: Sill Options

Scale: 3" = 1' 0"



Performance Sill
4 9/16" Jamb

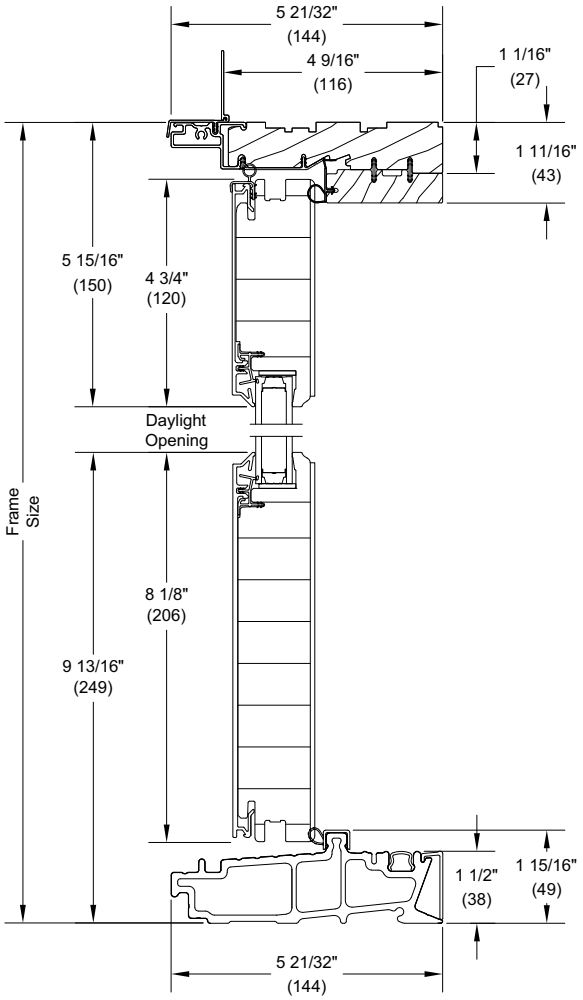


Accessibility Sill
4 9/16" Jamb

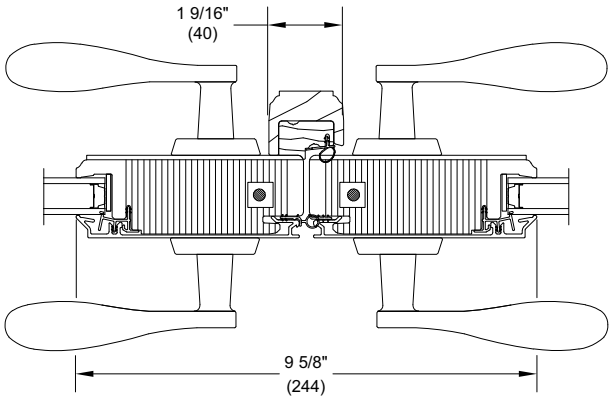
NOTE: Following section details show the Performance Sill, however, each detail is available with the Accessibility Sill.
The Accessibility Sill is not ADA compliant as delivered.
The Accessibility Sill is not available with IZ3.

Outswing Section Details: Operating (1 3/4" Panels)

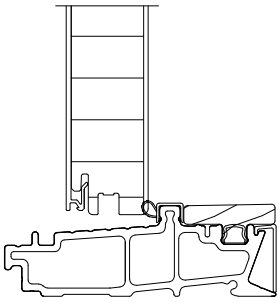
Scale: 3" = 1' 0"



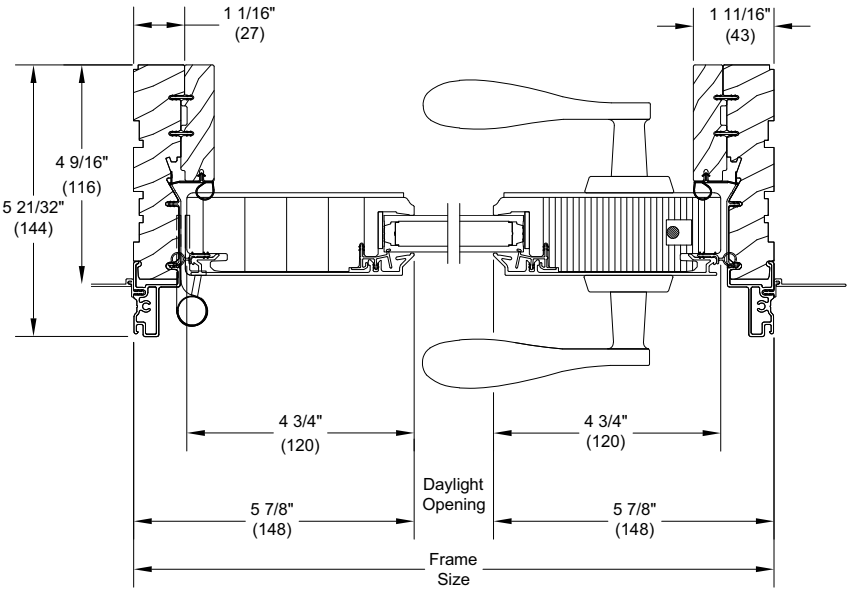
4 9/16" Head Jamb and Sill



XXL - Meeting Stiles

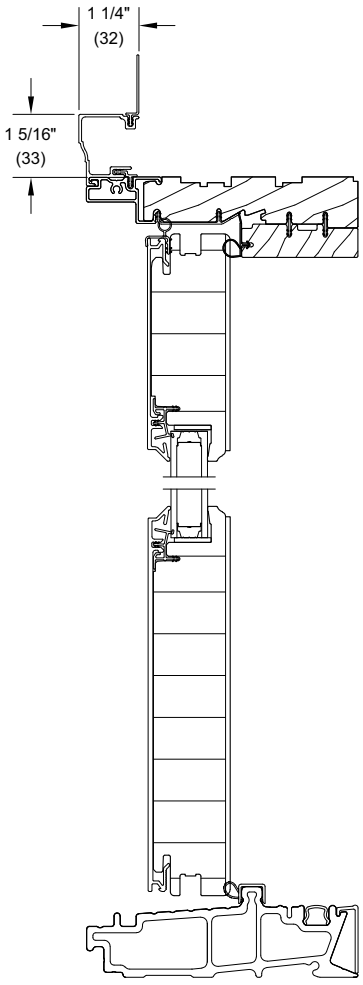


4 9/16" Sill with Sill Cover

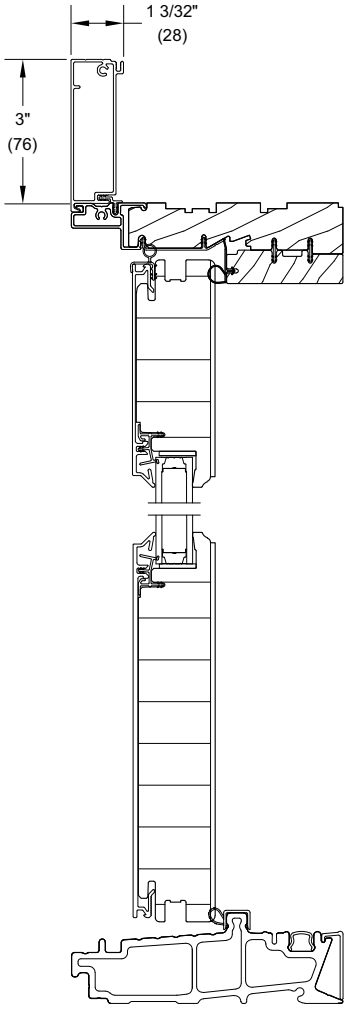


Outswing Section Details: Casing Options

Scale: 3" = 1' 0"



Head Jamb and Sill
with Clad Brick Mould Casing
4 9/16" Jamb Depth



Head Jamb and Sill
with Clad Flat Casing
4 9/16" Jamb Depth

NOTE: Illustration shows 1 3/4" panels. Also available with 2 1/4" panels.
Casings are available with IZ3 units.


ÆRATIS
THE PERFORMANCE LEADER IN EXTERIOR LIVING SPACE
NOW INCLUDING:
DURATECH®
CAPPING TECHNOLOGY

PERFORMANCE IS OUR ...advantage.

Aeratis Porch Flooring is a solid extruded PVC tongue & groove porch plank proven to out-perform wood, polypropylene, polyethylene and open-cell PVC products.

Its unsurpassed durability, coupled with a historic, traditional design, fortifies your porch floor against nature's adverse effects, while standing up to the scrutiny of the most discerning traditional architects, builders, historic societies, and homeowners.

Aeratis Features

- › An elegant finished floor look
- › Can be painted or left natural
- › For covered and uncovered porches
- › No ventilation requirements
- › Installs with staples, nails or screws
- › Cuts like wood and can be routed
- › Approved for historic restoration
- › Can be installed over concrete
- › Mold resistant and will not rot
- › Can be made watertight
- › Dimensionally stable
- › Meets W.U.I. Requirements
- › ADA slip-compliant
- › Stain resistant
- › 20-year warranty

* Review all installation instructions prior to installation

Aeratis Legacy

Aeratis Legacy is a 6" wide T&G porch plank. This board was engineered to match the wider planks used on many porches in the early 1800's. The wider Legacy plank not only cuts the installation time in half, it reduces the over-all cost per square foot of the project. This makes Legacy the clear choice when considering a wider boards for the porch.

Aeratis Heritage

Aeratis Heritage comes in three pre-finished colors and can be painted, stained, or left natural. Heritage is a double-sided board with a finished surface on both sides. This line of porch flooring comes in three colors, Weathered Wood, Battleship Gray, and Vintage Slate.

DURATECH
CAPPING TECHNOLOGY

Heritage and Legacy now with DuraTech® Capping Technology

A result of 5 years of research and development with a focus on form and function, this revolutionary acrylic based cap is color matched with the core, making the cap virtually invisible. The DuraTech® cap's surface rivals all available options in both hardness and slip resistance. The color retention is second to none and is backed by Aeratis' Limited Lifetime warranty.

TRADITIONS

PAINT-READY PORCH FLOORING

Aeratis Traditions is an uncolored board that can be painted or stained in any color. Unlike the Heritage line which can also be painted, Traditions flooring requires paint or stain to maintain it's unmatched warranty. When painted it maintains a 5-A paint adhesion, the strongest paint adhesion in the industry (no priming needed). Enjoy the same low maintenance porch that matches the look and feel of your home ... as well as FREE paint in the for of a rebate.

24" ON CENTER

TRADITIONS TWENTY-FOUR

Aeratis Traditions Twenty-Four Beaded Ceiling/ Wainscoting is a historically accurate, double-sided, paint-ready PVC ceiling product. The Traditions ceiling board dimensions are 5" x 3/8" x 16'. What makes the Traditions ceiling board unique is the fact that it is the only synthetic that can be installed with the ceiling joist 24" OC. Further, the ceiling board can be painted any color (see paint instructions and paint rebate at Aeratis.com).

Trim

1" x 7/8"
Chamfer nosing

3/4" x 3/4"
Quarter-round

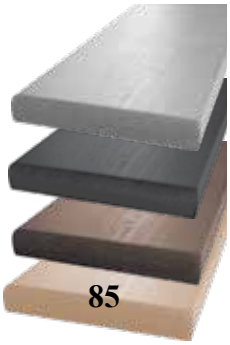
Product Dimensions

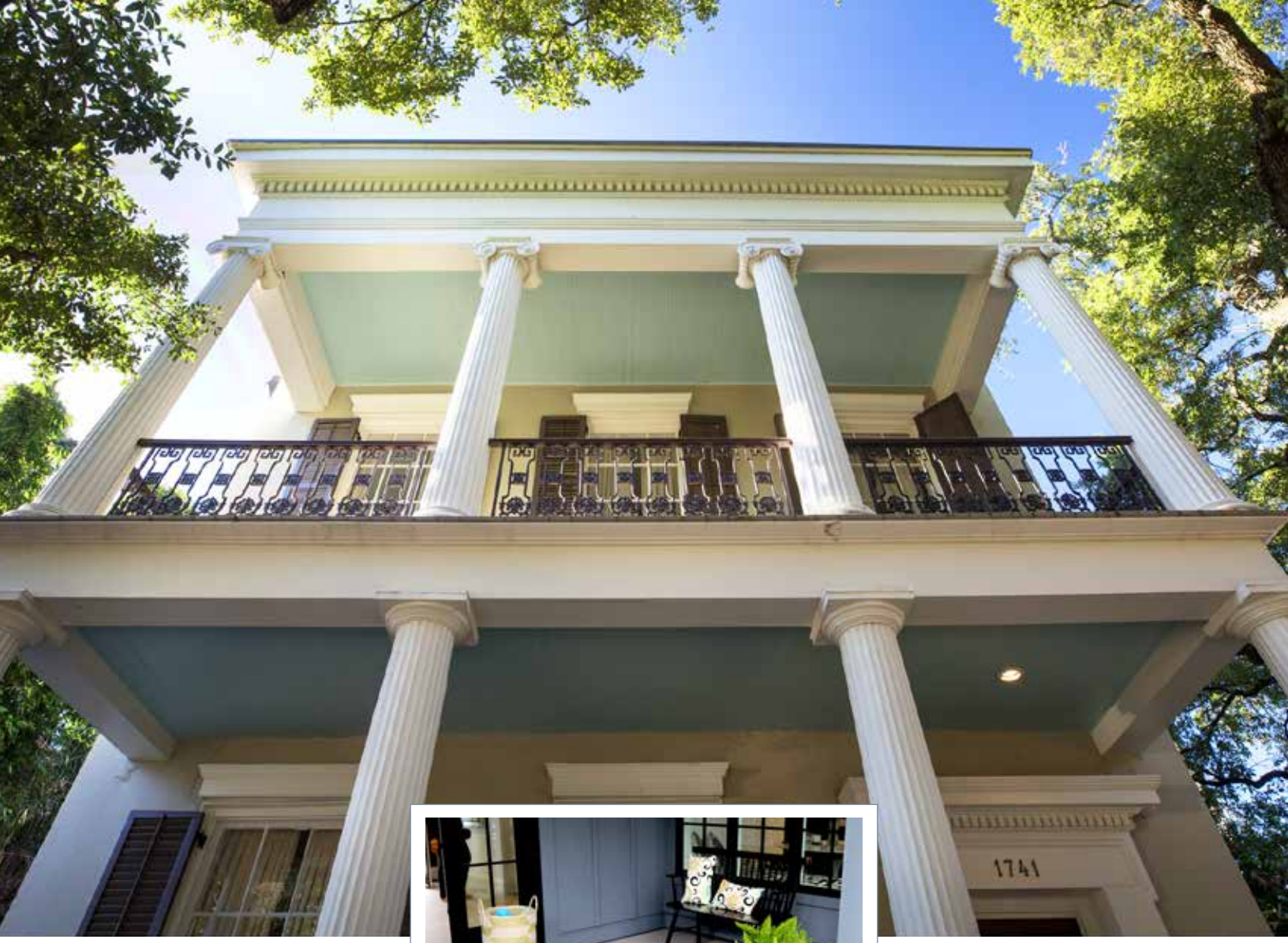
Product	L	W
Heritage Porch Flooring	12', 16', 20'	3-1/8"
Legacy Porch Flooring	12', 16', 20'	6"
Traditions Porch Flooring	12', 16', 20'	3-1/8"
Universal Porch Plank	12'	5-1/2"
All Trim Pieces	8'	NA
Traditions - 24" Ceiling	16'	5"

Heritage & Traditions thickness - 7/8" (Actual)
Legacy thickness - 7/8" (Actual)
Universal Porch Plank thickness - 7/8" (Actual)
Traditions Twenty-Four thickness- 3/8" (Actual)

Universal Porch Plank

The Aeratis Universal Porch Plank, or UPP, is perfect for picture framing your installation, for using on stairs or even as a stand-alone wide-plank porch application.





ÆRATIS

PVC PORCH PRODUCTS

p. 888-676-2683

products@aeratis.com

www.aeratis.com www.porchpro.com

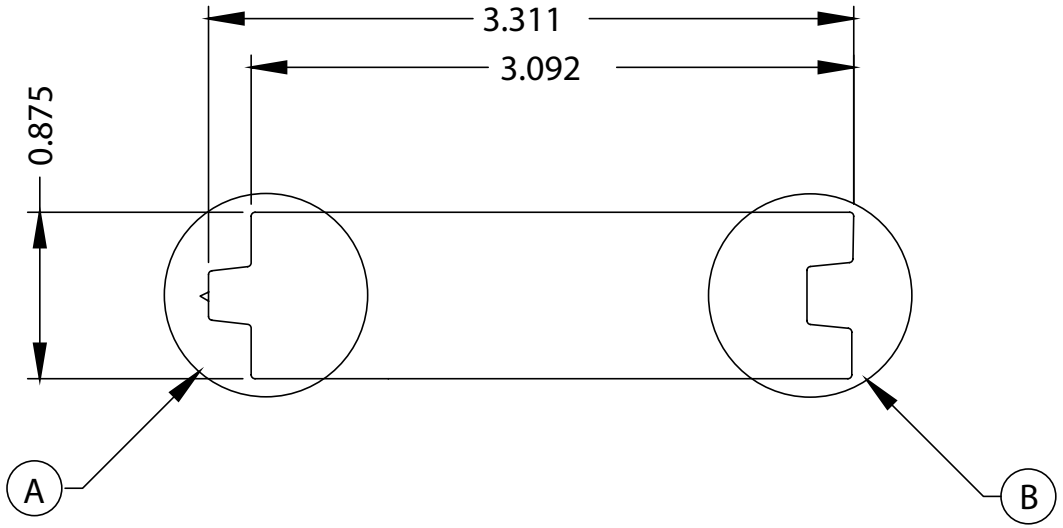
PROUD PARTNER OF

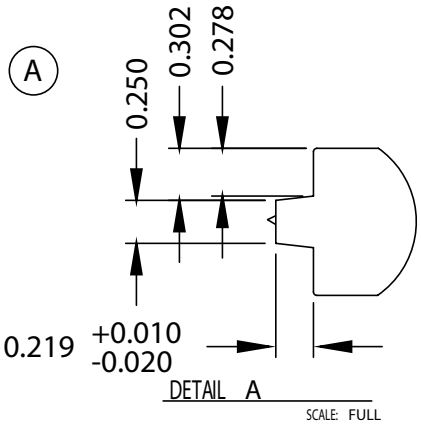
This Old House

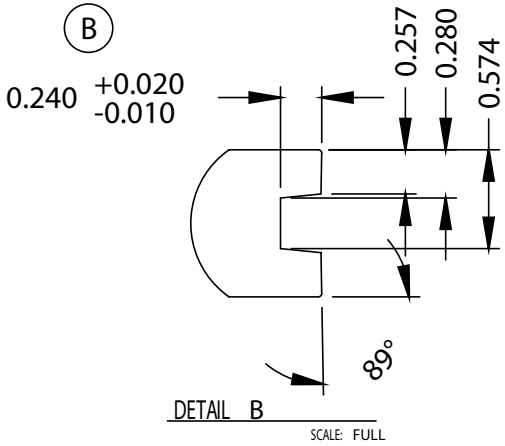
ÆRATIS®

PVC PORCH PRODUCTS

Heritage Product Line







Product Data:

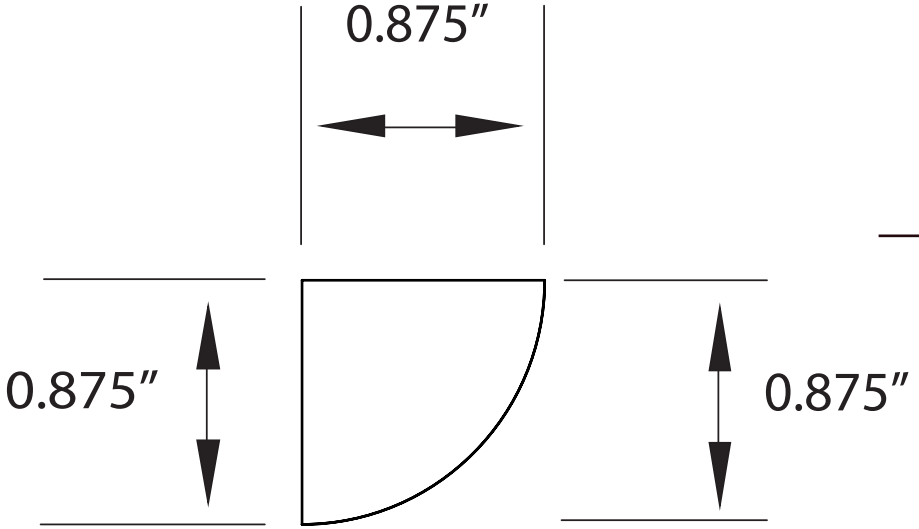
Lengths:	12', 16', 20' (1" longer than stated)
Color:	Weathered wood, Vintage Slate, Battleship Gray
Fastening:	Flooring nail/staples or trim-head screws
Ventilation:	0" / Ventilation not required
Span:	16" O.C. (Live load > 625 lbs p.s.f.)
Profile:	Double sided (Embossing on both sides)

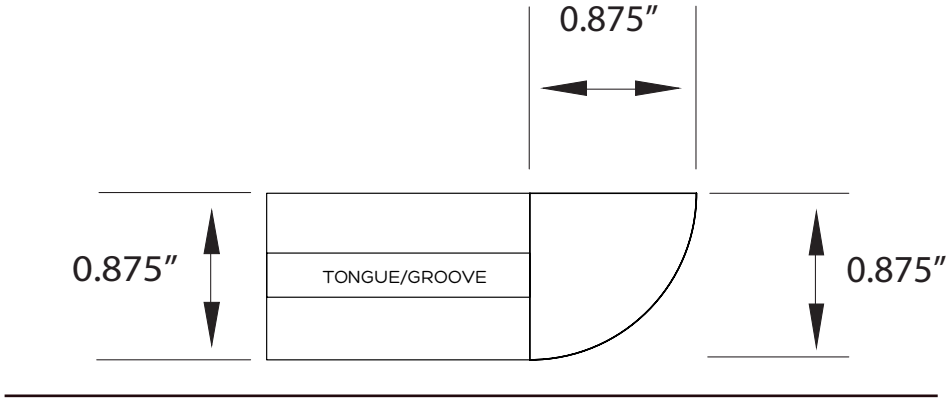
Approved by:	Aeratis Porch Products
REV:	1.01
Date:	01/29/2019
Type:	DWG/DXF/PDF/AI

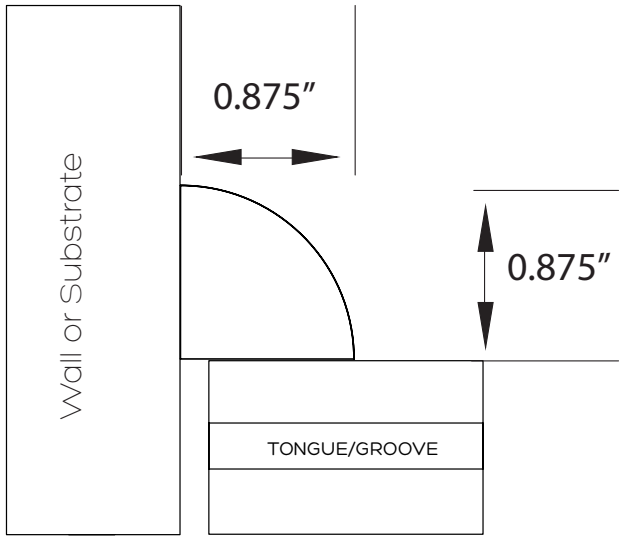
ÆRATIS®

PVC PORCH PRODUCTS

Quarter Round







Product Data:

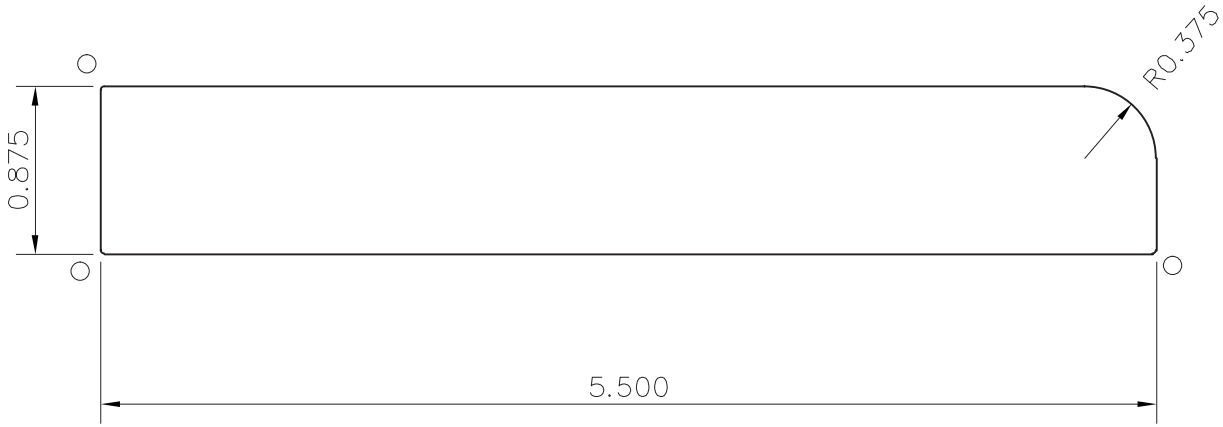
Lengths:	8' (1" longer than stated)
Color:	Weathered Wood, Vintage Slate, Battleship Gray
Fastening:	Trim-head screw every 12" Clear PVC Glue
Hole Filler:	DAP Blend Stick
Material:	Solid exturded PVC (sealed edges)
Application:	Hide were floor terminated into vertical wall

Approved by:	Aeratis Porch Products
REV:	1.01
Date:	01/29/2019
Type:	DWG/DXF/PDF/AI

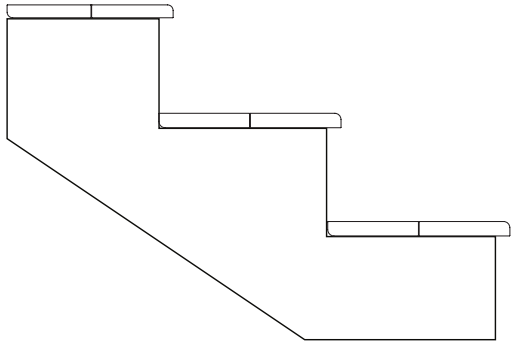
ÆRATIS®

PVC PORCH PRODUCTS

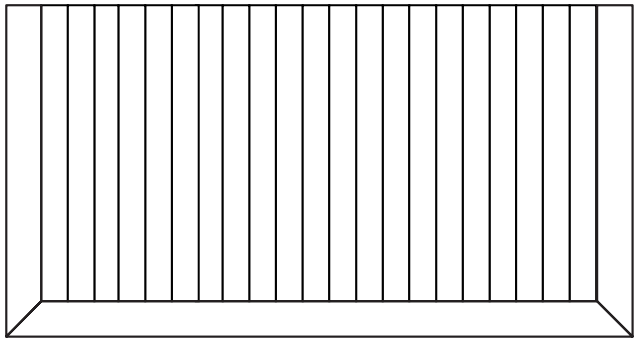
Universal Porch Plank



Stair Application



Picture Frame



Product Data:

Lengths:	12' (1" longer than stated)
Color:	Weathered Wood, Vintage Slate, Battleship Gray, Paint-Ready
Fastening:	Trim-head screws (Face screw and fill)
Ventilation:	0" / Ventilation not required
Span:	16" O.C. (Live load > 225 lbs p.s.f.) 12" O.C. on stairs
Profile:	Double sided

Approved by:	Aeratis Porch Products
REV:	1.01
Date:	01/29/2019
Type:	DWG/DXF/PDF/AI

TIMBERTECH ADVANCED PVC

Vintage Collection®

SUPER DURABLE
Made of high-performance and recycled polymers (and absolutely no wood fibers), TimberTech Advanced PVC decking is highly resistant to moisture damage like mold and mildew, and it won't splinter, crack, cup, peel, or rot.

LOW MAINTENANCE
Never sand, stain, or seal your deck ever again. An occasional scrub and rinse are all that's needed.

FADE & STAIN RESISTANT
Enjoy a richly hued deck for decades with protective capping that resists UV rays and staining.

TOP-RATED FIRE RESISTANCE
With an Ignition Resistant designation, Class A Flame Spread Rating, and WUI Compliance, this collection is one of our best choices for fire zones.

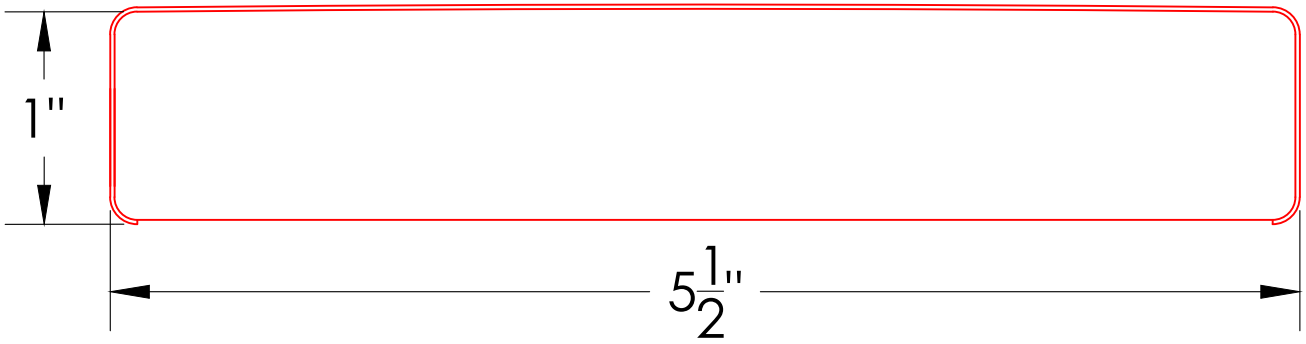
SPLINTER FREE & BAREFOOT FRIENDLY
Better for bare feet and paws, TimberTech Advanced PVC decking won't splinter, and stays up to 30° cooler to the touch with 40% better traction, wet or dry, than competitive products.

INDUSTRY-LEADING WARRANTIES
Rest easy knowing your investment is protected with a 50-Year Fade & Stain Limited Warranty and Limited Lifetime Product Warranty.

SUSTAINABLE
Made in the USA from approximately 60% recycled material, including post-construction scrap like vinyl siding and trim, Timbertech Advanced PVC decking is a sustainable option. Plus, it's fully recyclable at the end of its useful life.

DESIGN VERSATILITY
With multiwidth decking and heat-bending capabilities, TimberTech Advanced PVC Decking allows you to create a truly unique design that shows off your sense of style.

**Although TimberTech Advanced PVC decking is cooler to the touch than many other deck board products, all decking products will get hot in the sun. Additionally, the darker the decking color, the hotter it will feel. For hotter climates, consider choosing a lighter color.*



AZEK BUILDING PRODUCTS
WWW.AZEK.COM
(877) ASK-AZEK

AZEK® Deck

Vintage Deck Plank, Square Shouldered

ADB15516MH

Additional Variations:

12/16/20 | MH/CY/DH

Municipality Letter for
Proposed Construction Project

Subject Property:	9 Primrose Street, Chevy Chase, MD 20815
Property Owner:	Alice Keating
Project Manager/Contractor:	Doma Architectural Design
Proposed Work:	Interior alterations; window/door replacement and AC installation

5/12/2025

Rabbiah Sabbakhan, Director
Department of Permitting Services of Montgomery County
255 Rockville Pike, 2nd floor
Rockville, MD 20850

Dear Mr. Sabbakhan,

This letter is to inform your department that the above homeowner/contractor has notified Chevy Chase Village that he or she plans to apply for both county and municipal permits for the above summarized construction project. Chevy Chase Village will not issue any municipal building permit(s) for this proposed project until Montgomery County has issued all necessary county permits and the applicant has provided Chevy Chase Village with copies of county-approved and stamped plans. We have advised the homeowner/contractor that a permit from Montgomery County does not guarantee a permit from this municipality unless the project complies with all our municipal rules and regulations.

If this homeowner/contractor later applies for an amended county permit, please do not approve that application until you have received a Municipality Letter from us indicating that the homeowner/contractor has notified us of that proposed amendment to the permit.

If you have any questions about this proposed project and the municipal regulation of it by Chevy Chase Village, do not hesitate to have your staff contact my office. The Village Permitting Coordinator can be reached by phone at 301-654-7300 or by e-mail at ccvpermitting@montgomerycountymd.gov.

Sincerely,

Shana R. Davis-Cook
Chevy Chase Village Manager

CHEVY CHASE VILLAGE
5906 Connecticut Avenue
Chevy Chase, Maryland 20815
Phone (301) 654-7300
Fax (301) 907-9721
ccv@montgomerycountymd.gov
www.chevychasevillagemd.gov