

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	23345 Frederick Road, Clarksburg	Meeting Date:	5/28/2025
Resource:	Contributing Resource (Clarksburg Historic District)	Report Date:	5/21/2025
		Public Notice:	5/15/2025
Applicant:	Javier Nogales (Michal P. Rouse, Architect)	Tax Credit:	No
Review:	HAWP	Staff:	Laura DiPasquale
Case Number:	1115052		
PROPOSAL:	Porch modifications, fenestration alterations, siding replacement, and other alterations		

STAFF RECOMMENDATION

Staff recommends that the Commission **approve with seven (7) conditions** the HAWP application, with final approval authority delegated to staff:

1. Front and rear porch columns, railings, and trim must be painted wood. The porch columns must be no larger than 4 to 5-inches square. The front stair newel posts must be eliminated or replaced with plain 4-inch posts with minimal caps to match the proposed rear stair newel posts.
2. The rear landing support columns must be simplified square wood posts and the minimum size required by Code.
3. The front porch flooring must be run perpendicular to the façade.
4. The proposed windows on the southeast side elevation must be wood and both be the same configuration with either one-over-one or two-over-two simulated-divided-lites.
5. The original wood siding must be repaired or replaced in-kind with 5-inch exposure Dutch lap wood siding.
6. The standing-seam metal roofing must have maximum 1-inch seams, 1-inch crimped ridge caps, and 18 to 20-inch exposure. The applicant must provide detailed photographs of the existing roofing to the Historic Preservation Office for the property file. The applicant is encouraged, but not required, to provide a small physical sample of the roofing to the Historic Preservation Office for its archive.
7. The applicant must provide an elevation detail of the modified foundation wall at the proposed areaway, including the proposed egress door.



Figure 1: The subject property is indicated with a yellow star within the Clarksburg Historic District.

PROPERTY DESCRIPTION

SIGNIFICANCE: Old Parsonage/Contributing Resource
(Clarksburg Historic District)
DATE: 1856
STYLE: I-House with Greek Revival detailing



Figure 2: Front elevation of 23345 Frederick Road, Clarksburg.

PROPOSAL

The applicant proposes to make numerous exterior modifications, including reconstructing the front and rear porches/stairways, altering side and rear window and door openings, replacing the siding and roofing, adding new exterior vents and condensing units, and creating a new exterior areaway.

APPLICABLE GUIDELINES

The Historic Preservation Office and HPC consult several documents when reviewing alterations and new construction within the Clarksburg Historic District. These documents include the historic preservation review guidelines in the approved and adopted amendment for the *Vision of Clarksburg: A Long-Range Preservation Plan* (Vision), Montgomery County Code Chapter 24A (Chapter 24A), and the Secretary of the Interior's Standards for Rehabilitation (Standards). The pertinent information is outlined below.

Vision of Clarksburg

The document, published in 1992, provides guidance in evaluating proposals in the historic district by identifying character-defining features of the historic district. Among these are:

Roof Form and Materials

Seventy-three percent of Clarksburg's historic residences have gable roof forms, there are numerous variations including end gables, cross gables and elongated gables. Six hipped roofs are located in the district (26%). Replacement roofing materials are found throughout the historic district, particularly asphalt shingles. Standing seam metal roofs remain on several buildings in the district.

Porches

Sixty-six percent of the historic houses in Clarksburg have a one-story, full width front porch. Nineteen percent of the buildings have a one-story entry porch and only two buildings were surveyed with wrap-around porches (11 %). The porch projection is a strong character-defining feature in the Clarksburg Historic District, reflecting the influence of the Victorian aesthetic on house construction and renovation.

Dominant Building Material

The dominant building material in Clarksburg is wood executed as clapboard and weatherboard. These buildings, which total 71 % of the building stock, retain much of their original wood trim and ornamental detail, significantly contributing to the visual appearance, character and integrity of the historic district. Only 29% percent of the structures are clad in replacement materials of aluminum siding or asphalt shingles. One brick structure is located in the district, now clad with numerous replacement materials.

Vernacular

The most common expression of architecture in Clarksburg is presented in historic vernacular forms. Representative of the late-19th century domestic architecture in Montgomery County is the two-story, two-bay farmhouse. This house type is generally a two-story frame building with a side entry and an end chimney as seen at 23415 Frederick Road. The small scale of these dwellings usually necessitated the construction of rear wings and additions. This house has been attached at the roof-line to a large I-house to the rear. A one-story, hipped roof porch with turned posts runs the full width of the house.

The I-house evolved from the traditional British folk house, but grew to include additions and local stylistic details. This was often the form used to present the Federal style in less academic expressions. The I-house is characterized as a two-story, two room wide, one-room deep house. The rectangular structure has the primary entrance located centrally on the longer axis and end chimneys located on each of the shorter sides. The elevations of I-houses are symmetrically organized into three bays with either a one- or two-story porch articulating the primary facade. Generally, I-houses dating from the mid- to late-19th century have boxed cornices with molded corner profile elements. By the turn of the century, the molded profile element is no longer prevalent, while the box cornice remained in a more simplified form. During the late 19th to early

20th century houses often included cornice returns in the gable ends, an element used to give the vernacular form a more formal appearance.

Numerous examples of the I-house are found in Clarksburg ranging in date from 1820-1856. The characteristics typical of I-houses in Clarksburg include symmetric facade compositions, gable standing seam metal roofs, fixed lights within the side gables, a one-story front porch with simple wood posts, and two interior or exterior end chimneys. In Clarksburg, the earliest I-house appears to be the Elizabeth Powers House which dates to 1820-1840. This two-and-one half story frame dwelling has a three-bay symmetrical facade which features a denticulated cornice and a simple central doorway with portico flanked by two pairs of double windows. The structure was built in two stages, with the rear portion constructed in the 1820s, and the main block added around 1840.

The Old Parsonage, (the subject property in this application), located at 23345 Frederick was built between 1856-1865. This two-story side gable residence is identified by small scrolled brackets at the eaves, a boxed denticulated cornice and wide, flat window lintels. Both houses, as is typical of rural I-houses, have large rear additions.

Montgomery County Code Chapter 24A-8

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style.
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (*Ord. No. 9-4, § 1; Ord. No. 11-59*)

Secretary of the Interior's Standards for Rehabilitation:

The Secretary of the Interior defines rehabilitation as “the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values.” Because the property is a Master Plan Site, the Commission’s focus in reviewing the proposal should be the *Secretary of the Interior’s Standards for Rehabilitation*. The applicable *Standards* are as follows:

- 2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
- 6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
- 9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be

compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

Historic Preservation Commission Policy No. 24-01: Policy for the Appropriateness of Substitute Materials for Porch and Deck Flooring

The Historic Preservation Commission (HPC) has reviewed several porch replacement projects over the last several years where the previous porch flooring/decking failed in only a few years. This failure is largely due to the quality of the materials available. Most domestic wood species available in the market for porch flooring/decking is significantly weaker, less durable, and less resistant to rot...

Now, THEREFORE:

WHEREAS, Section 24A-8(b) of the Montgomery County Code identifies seven criteria to evaluate approvable HAWPs for properties designated on the Master Plan for Historic Preservation or properties that are in a historic district designated on the Master Plan for Historic Preservation;

WHEREAS, nothing in this policy may supersede Council-adopted Design Guidelines for Historic Districts or Sites that already specify the use of certain materials and finishes;

WHEREAS, porches and decks are identified as character-defining features of historic buildings;

WHEREAS, if the HPC determines the porch flooring/decking has deteriorated beyond repair, it shall be the policy of the Historic Preservation Commission that:

1. Sites listed on the Master Plan for Historic Preservation are properties that have been designated to the Master Plan for Historic Preservation based on their individual historic significance, including architectural significance. Because of the significance of these sites, preserving its historic character is of paramount concern. Wood is the appropriate material to maintain the historic appearance, materials, and construction methods at Master Plan sites. The HPC does not evaluate wood and species. The finish applied needs to be compatible with the species selected.
2. Historic districts are comprised of groups of cohesive historic resources that collectively contribute to the county's historic, architectural, archaeological, or cultural values. Resources in many districts are categorized as 'Outstanding,' 'Contributing,' or 'Non-Contributing' and the treatment of these resources varies based on their categorization.
3. Outstanding Resources/Primary – These resources have the highest level of architectural or historical significance in the historic district and the objective for Outstanding/Primary resources is to preserve the historic and architectural character to the greatest extent possible. Wood should be used on all porches and decks for Outstanding/Primary resources. The wood should be painted and installed in a historically appropriate method. Porches on building additions and new construction to Outstanding/Primary resources will be evaluated on a case-by-case basis. As with Master Plan Sites, the HPC does not evaluate wood species and the applied finish needs to be appropriate for the material selected.
4. Contributing Resources – These are significant for their contribution to the district as a whole and prioritize retaining the architectural style, overall volume, and size. Porch floors on 'Contributing' resources may be a compatible substitute material (discussed below), provided the material matches the building's historic character and construction methods. Historic rear porches for 'Contributing' resources may be constructed using a compatible substitute material. Non-historic porches and decks on 'Contributing' resources that are not visible from the public right-of-way may be constructed using substitute materials.
5. Non-Contributing Resources/Secondary/Spatial – These were constructed after the district's period of significance or have been so heavily modified that they no longer contribute to the historic district's character. These resources do not need to use traditional materials. New porch

flooring/decking materials for these resources need to satisfy the criteria for compatible substitute material.

6. Compatible substitute materials for replacement porch flooring/decking – On buildings where a substitute material is acceptable under this policy, the material must satisfy the following criteria:
 - It must match the dimensions and installation method (i.e.) of the existing material or a historically appropriate porch flooring, (e.g., boards must run perpendicular to the house for porches);
 - It must be millable;
 - It can be painted without voiding the product warranty; or,
 - Has a uniform appearance consistent with painted wood;
 - It has a minimal (or no) stamped or embossed texture on the surface; and,
 - It has a finished edge that appears as a cut solid board.

STAFF DISCUSSION

Staff generally supports the proposed alterations and recommends approval with some conditions. Staff notes that the property appears to have had numerous alterations prior to designation, including construction of the existing full-width porch, removal of the piazza/two-story porch along the southeast side of the rear ell, partial reconstruction of the chimneys in CMU, and installation of aluminum trim and aluminum siding over Dutch lap wood siding.



Figure 3: Circa 1913 photograph of Frederick Road, Clarksburg showing the subject property from an oblique angle.



Figure 4: Circa 1990s photograph of 23345 Frederick Road, from A Vision of Clarksburg.

Porch Alterations

Staff finds that the existing porches (front and side rear) are not original and that their modifications should be treated with leniency, provided the changes are compatible with the resource and district, per Chapter 24A-8(d) and *Standard 9*. A circa 1913 photograph of Frederick Road in Clarksburg shows a gable-roofed single-bay front porch covering the entry that does not extend the full width of the façade. A two-story porch or piazza with posts and railings extends along the side of the rear ell.¹ Per the *Vision of Clarksburg*, one-story front porches with simple wood columns are a common feature on vernacular I-houses such as 23345 Frederick Road. Staff finds that the front existing porch is in poor condition and must be largely rebuilt. Staff finds that the general details of the proposed porch with four squared posts, squared balusters, and a standing-seam metal roof is compatible with the property, per Chapter 24A-8(b)(2) and *Standard 9*, but that the details should be further simplified to be in keeping with the vernacular I-house style of the building. Staff recommends that the cornice brackets on the front porch be eliminated and the newel posts eliminated or replaced with plain 4x4 posts with minimal caps, so as not to add conjectural features that create a false sense of historical development, which runs contrary to the *Standards*.² Staff finds that the proposed Azek trim and posts and TimberTech railings should be replaced with wood (which, if pressure-treated, should be painted after a curing period), per Chapter 24A-8(b)(2), but that the proposed Aeratis porch flooring and stair treads are consistent with *Policy No. 24-01*, provided the flooring is run perpendicular to the façade. Staff notes that the dimensions/proportions of the front posts varies visually throughout the application, but that the proposed first floor plan identifies a dimension of 4 1/8-inches in width, which staff finds to be an appropriate square dimension for the porch posts, or up to 5 inches square



Figure 5: Front elevation of 23345 Frederick Road.

¹ Reed Brothers Dodge, “Then and Now: Clarksburg Main Street, 1913.” Available: <https://reedbrothersdodgehistory.com/2022/07/28/then-now-clarksburg-main-street-1913/>

² <https://www.nps.gov/orgs/1739/upload/its-38-alterations-without-historical-basis.pdf>

Rear Porch, Egress Stair and Landing

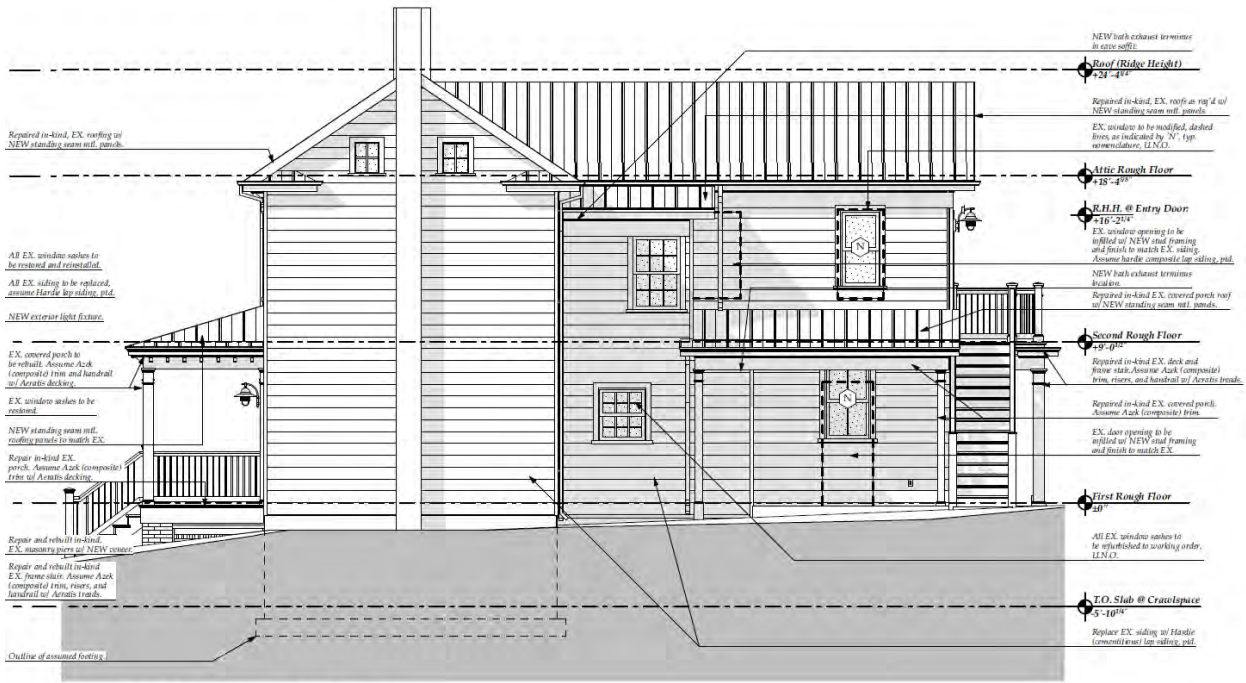
As with the front porch, staff finds that the existing side/rear porch, stair and landing are not original, having replaced a two-story side porch visible in the 1913 photograph, so staff finds that an exact replication of the earlier feature is not necessary, but that the proposal should be compatible with the character of the property, per Chapter 24A-8(b)(2) and *Standard 9*. As with the front porch, staff recommends that the details of the rear porch, stair, and landing railing be simplified to be more in keeping with the vernacular character of the I-house style building and to avoid creating a false sense of history, per the *Standards*. Staff recommends that all posts be approximately 4-inches square, and that the landing posts replicate the simple style of the proposed rear stair railing newel posts. Staff notes that the first-floor rear posts supporting the landing above are not dimensioned, but should likewise be 4-inches square, if structurally sufficient, or a maximum 6-inches square, with no ornamentation. Staff finds that the proposed Azek trim and posts and TimberTech railings should be replaced with wood, per Chapter 24A-8(b)(2), but that the proposed Aeratis porch flooring and stair treads are consistent with *Policy No. 24-01*.



Figure 8: Existing southeast side elevation and rear stair.



Figure 9: Existing southeast side elevation.



PROPOSED Southeast (Side) Elevation

Scale: 1/8" = 1'-0"

Figure 10: Proposed southeast side elevation.



Figure 11: Photograph of the existing rear elevation, May 2025 (Historic Preservation Office).

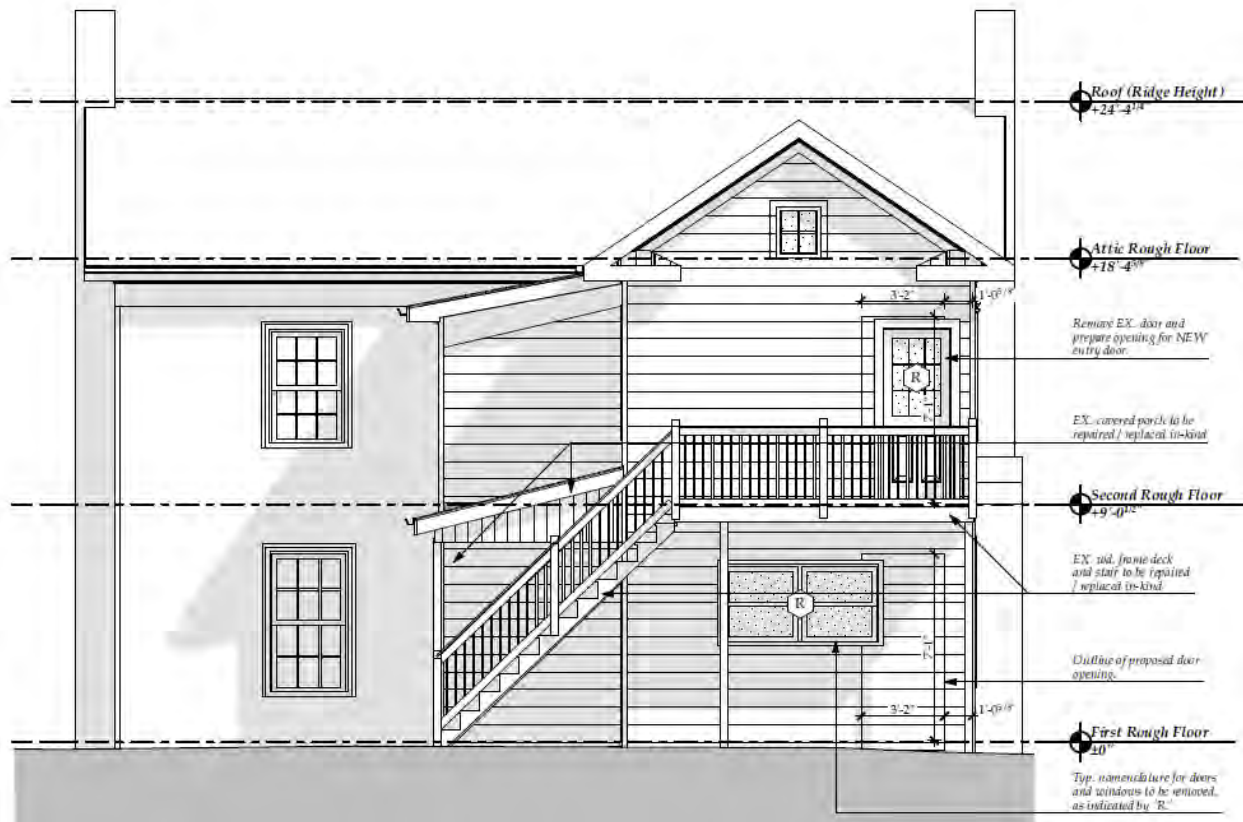


Figure 12: Existing rear elevation drawing.



Figure 13: Proposed rear elevation. The posts on the 2nd-floor landing should replicate the simple square appearance of the newel posts at the base of the stair (outlined in red), and the ornamentation removed from the landing support columns.



Figure 14: Example of the simplified rear stair and landing posts recommended by staff.

ENTRANCES AND PORCHES	
RECOMMENDED	NOT RECOMMENDED
The following work is highlighted to indicate that it is specific to Rehabilitation projects and should only be considered after the preservation concerns have been addressed.	
Designing the Replacement for Missing Historic Features	
Designing and installing a new entrance or porch when the historic feature is completely missing or has previously been replaced by one that is incompatible. It may be an accurate restoration based on documentary and physical evidence, but only when the historic entrance or porch to be replaced coexisted with the features currently on the building. Or, it may be a new design that is compatible with the size, scale, material, and color of the historic building.	Creating an inaccurate appearance because the replacement for the missing entrance or porch is based upon insufficient physical or historic documentation, is not a compatible design, or because the feature to be replaced did not coexist with the features currently on the building.
Alterations and Additions for a New Use	
Enclosing historic porches on secondary elevations only, when required by a new use, in a manner that preserves the historic character of the building (e.g., using large sheets of glass and recessing the enclosure wall behind existing posts and balustrades).	Enclosing porches in a manner that results in a diminution or loss of historic character by using solid materials rather than clear glazing, or by placing the enclosure in front of, rather than behind, the historic features.
Designing and constructing additional entrances or porches on secondary elevations when required for the new use in a manner that preserves the historic character of the building (i.e., ensuring that the new entrance or porch is clearly subordinate to historic primary entrances or porches).	Constructing secondary or service entrances and porches that are incompatible in size and scale or detailing with the historic building or that obscure, damage, or destroy character-defining features.

Figure 15: Guidance for Entrances and Porches in the Secretary of the Interior's Rehabilitation Guidelines.

Fenestration and Other Alterations – Rear Ell

On the southeast side elevation of the rear ell, the applicants propose to remove the existing first-floor door and two existing second-floor windows, and on the northeast rear elevation of the ell, the applicants propose to remove a set of first-floor windows and a second-floor door. On the rear elevation of the ell, the applicants propose to modify a non-historic first-floor window opening and to replace an existing wood door with two new wood doors. The *Secretary of the Interior's Rehabilitation Guidelines* recommend “adding new window openings on rear or other secondary, less visible elevations, if required by a new use. The new openings and the windows in them should be compatible with the overall design of the building but, in most cases, not duplicate the historic fenestration.” Staff finds that the proposed locations are minimally visible from the public right-of-way and would meet these guidelines, as well as Chapter 24A-8(b)(1). Staff finds that the proposed Marvin Elevate fiberglass windows and ¾-lite wood doors have traditional profiles that would be generally compatible with the historic resource, per *Standard* 9, but that wood windows would be the appropriate compatible material for use on the historic ell, per Chapter 24A-8(b)(2). As currently presented, the application proposes a two-over-two window at the first floor and one-over-one window at the second floor. Staff recommends that both new windows have the same configuration, either one-over-one or two-over-two.



Figure 16: Front and southeast side elevations showing limited visibility of rear ell windows from Frederick Road.



Figure 17: Southeast side elevation of 23345 Frederick Road. The first-floor door would be replaced with a window. The central two-over-two window would be infilled, and the size and configuration of the far-right window would be modified.

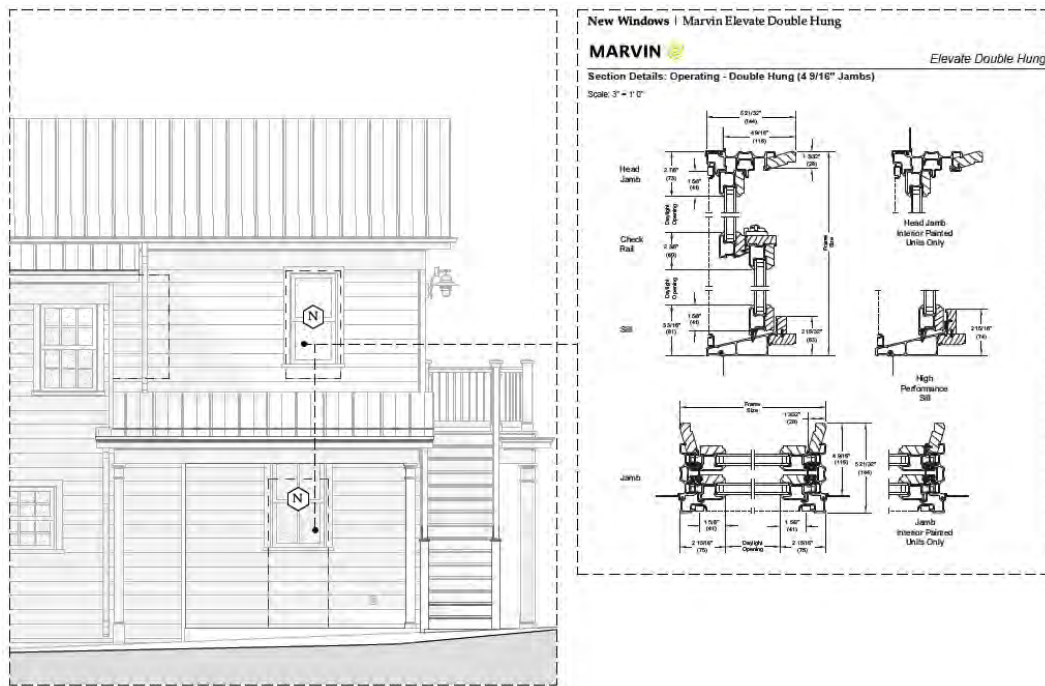


Figure 18: Detail of the proposed side elevation of the rear ell and proposed window details.

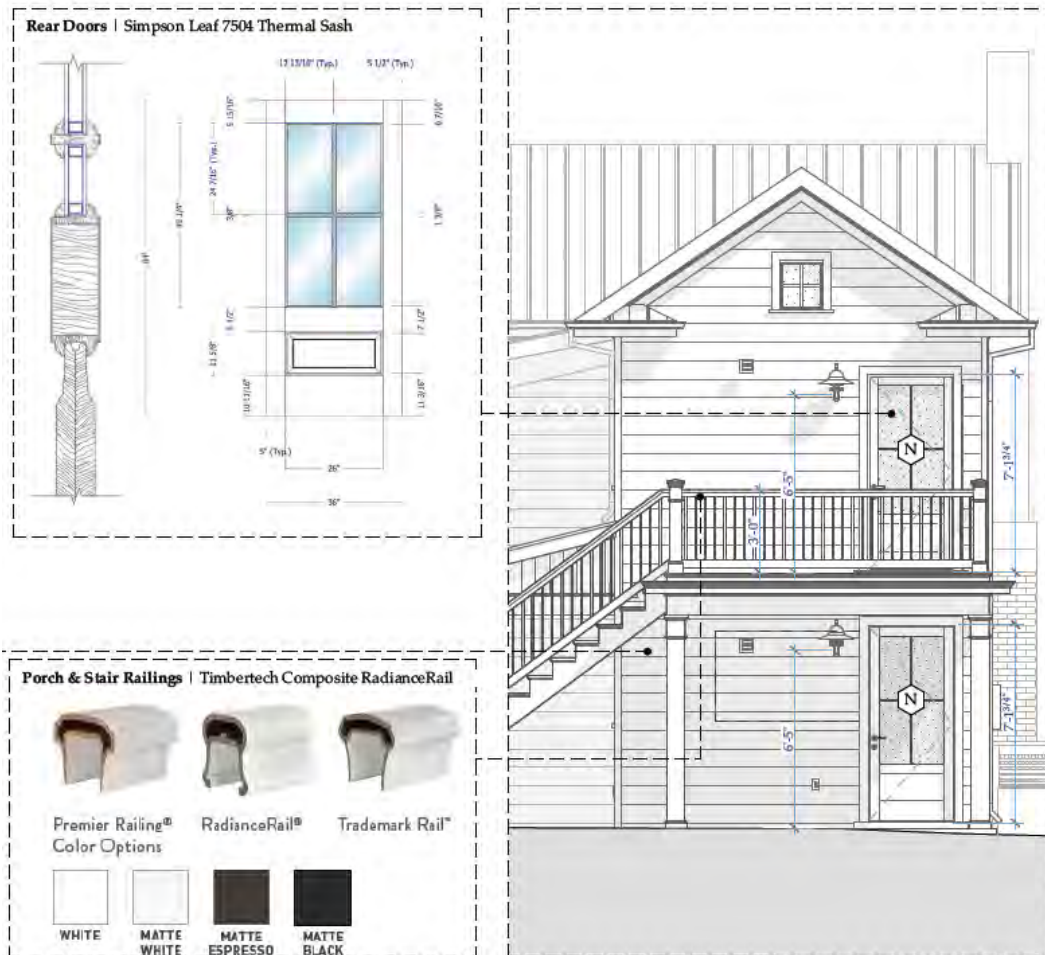


Figure 19: Detail of proposed rear elevation and proposed door, stair and porch railings.

A-20

Siding Replacement

The applicants propose to replace the existing wood-textured aluminum siding with smooth 8-inch exposure fiber cement siding. Staff finds that the aluminum siding predates designation, but that it appears to cover the original wood Dutch lap siding with a narrower, approximately 5-inch exposure, which is visible on the front façade where the porch fascia was recently removed. Staff finds that the removal of the aluminum siding and restoration or in-kind replacement of the wood Dutch lap siding to match the dimensions, texture, profile and appearance of the historic wood siding would be the appropriate treatment, per *Standard 6* and Chapter 24A-8(b)(2). The restoration of the historic siding would be eligible for the County historic preservation tax credit.

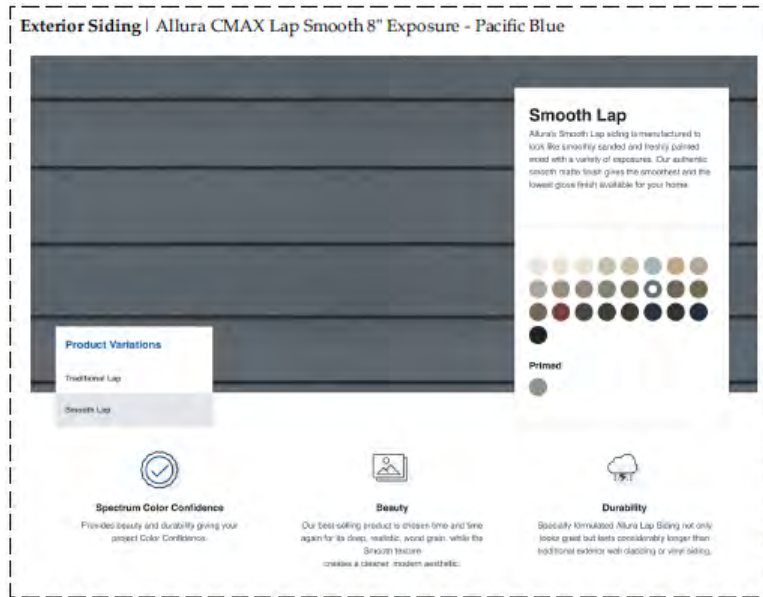


Figure 20: Proposed siding material.

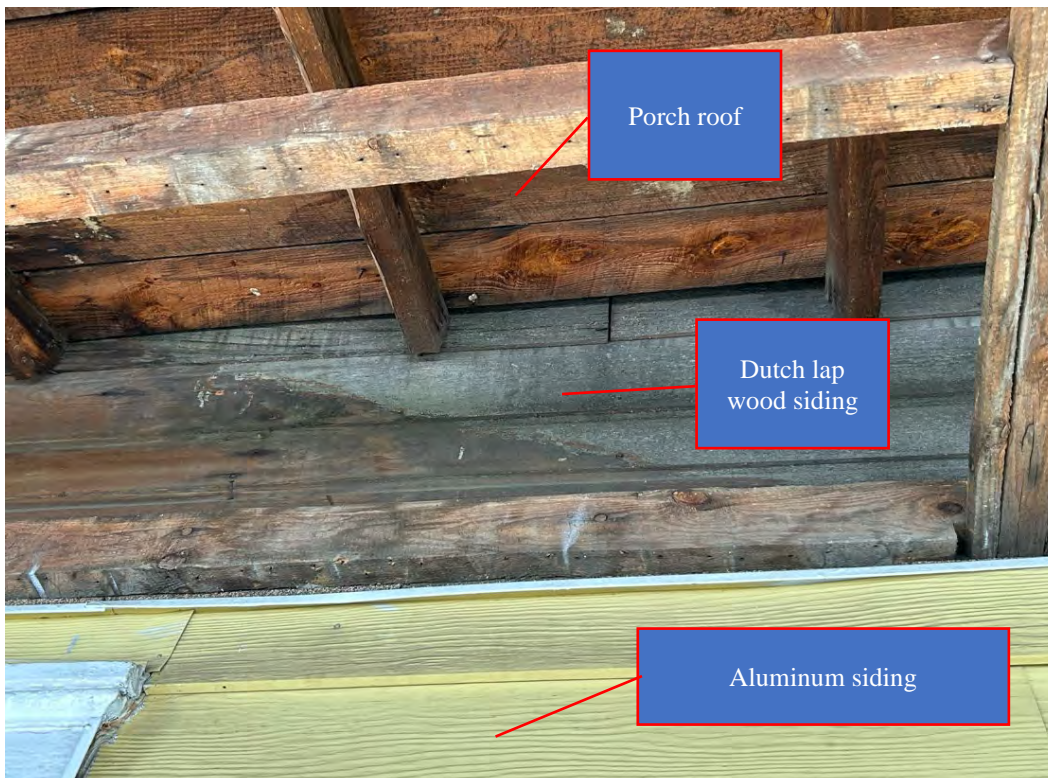


Figure 21: Detail of the siding under the front porch, with the existing yellow aluminum siding at the bottom and unpainted wood Dutch lap siding above.

Roof Replacement

The applicants propose to replace the existing roofing with new McElroy Metals 138T Galvalume Standing Seam roofing with 1.375-inch seams and 16-inch exposure. Staff finds that the existing roofing is unusual and appears to be low-profile standing-seam metal panels embossed with a shingle pattern, seemingly a hybrid of the standing-seam metal roofing and pressed metal shingles popular throughout the country by the late nineteenth century. The roof has 17 panels across the approximately 34-foot wide main roof. Staff is unfamiliar with any other properties with this particular roofing type and it does not appear to be commercially available. Staff finds that the roofing shows evidence of rust and extreme wear, and that, if original to the building, or dating to between the late-nineteenth and early-twentieth centuries, the material is over 100 years old and has likely long exceeded its predicted service life. As such, staff finds that the severity of deterioration warrants replacement, per *Standard 6*, but that an in-kind replacement would be extremely difficult and recommends approval of a compatible roofing material. The *Vision of Clarksburg* notes that the district includes many asphalt shingle replacement roofs, but that numerous properties retain their original standing-seam metal roofs. Staff recommends that a low-profile standing-seam metal roof with maximum 1-inch seams and 18 to 20-inch exposure to more closely replicate the dimensions of the existing roofing would be most appropriate for the replacement roofing. Staff recommends the HPC condition the replacement on the applicants providing detailed photographic documentation of the roofing and encourage the applicants to donate a small section of the roof to the Historic Preservation Office for future reference.



Figure 22: Google Streetview image of the roofing showing the 17 existing panels, shingle texture, and deterioration.

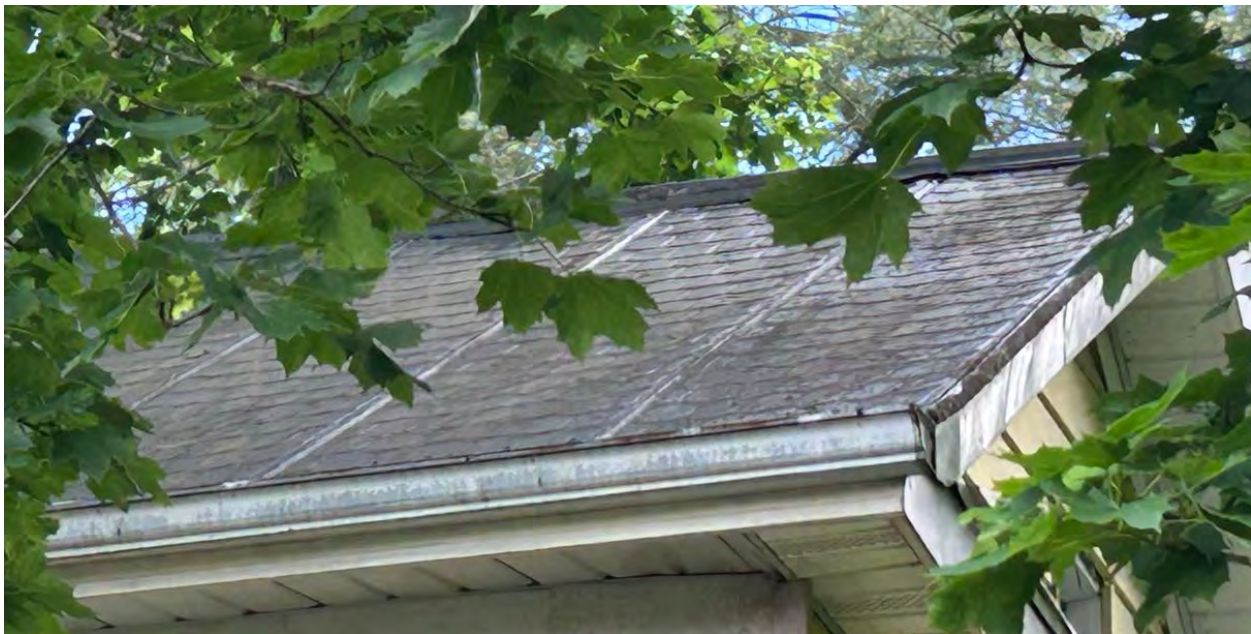


Figure 23: Detail of the roofing on the rear ell.

Areaway and Mechanical Equipment

Along the northwest side elevation, visible from Frederick Road and Spire Street, the applicants propose to cut a new set of doors in the foundation wall, accessed by a new areaway enclosed by a timber retaining wall, and to install a new concrete pad and condensing unit enclosure. Staff finds that, although the equipment enclosure will be visible from the public right-of-way, the proposed location is along a secondary elevation and would not obscure or damage any historic materials or character-defining features of the property, per *Standard 2*. The applicants also propose to install two new vents on the rear elevation, which staff finds will not substantially alter the exterior features of the resource, per Chapter 24A-8(b)(1).



Figure 24: Northwest side elevation and front elevation. The proposed condensing unit enclosure would replace the existing fuel tank.



Figure 25: Proposed northwest side elevation showing the areaway and mechanical unit enclosure.

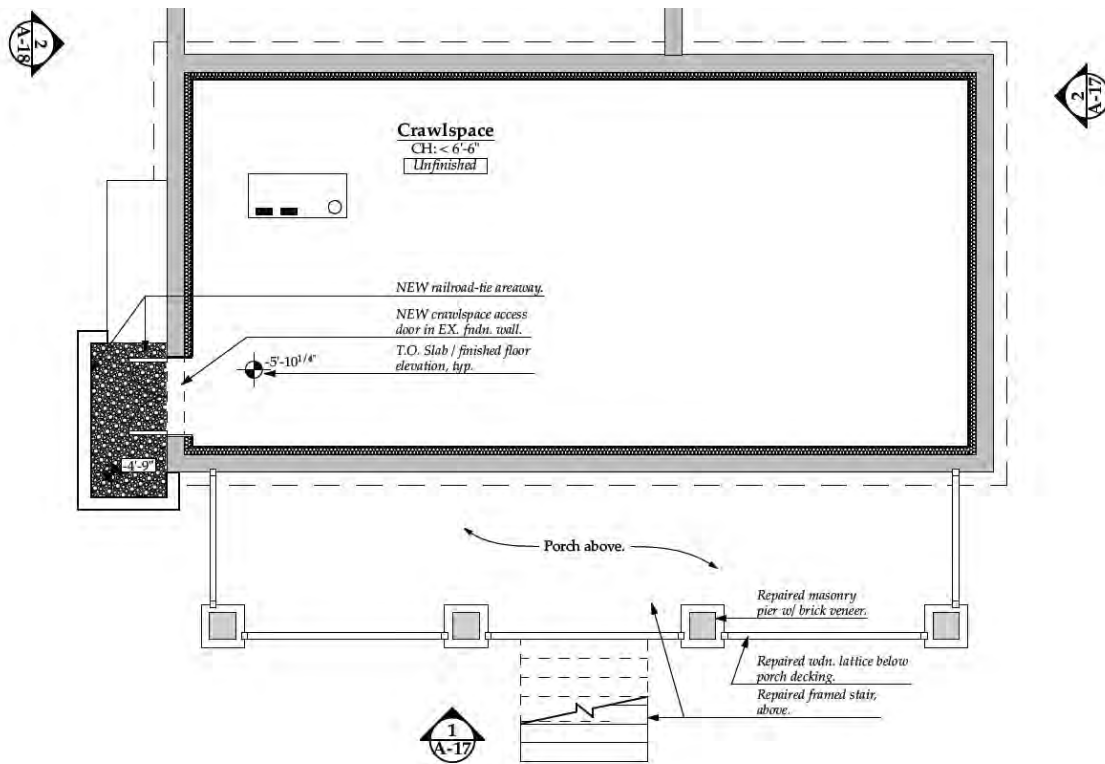


Figure 26: Proposed basement plan.

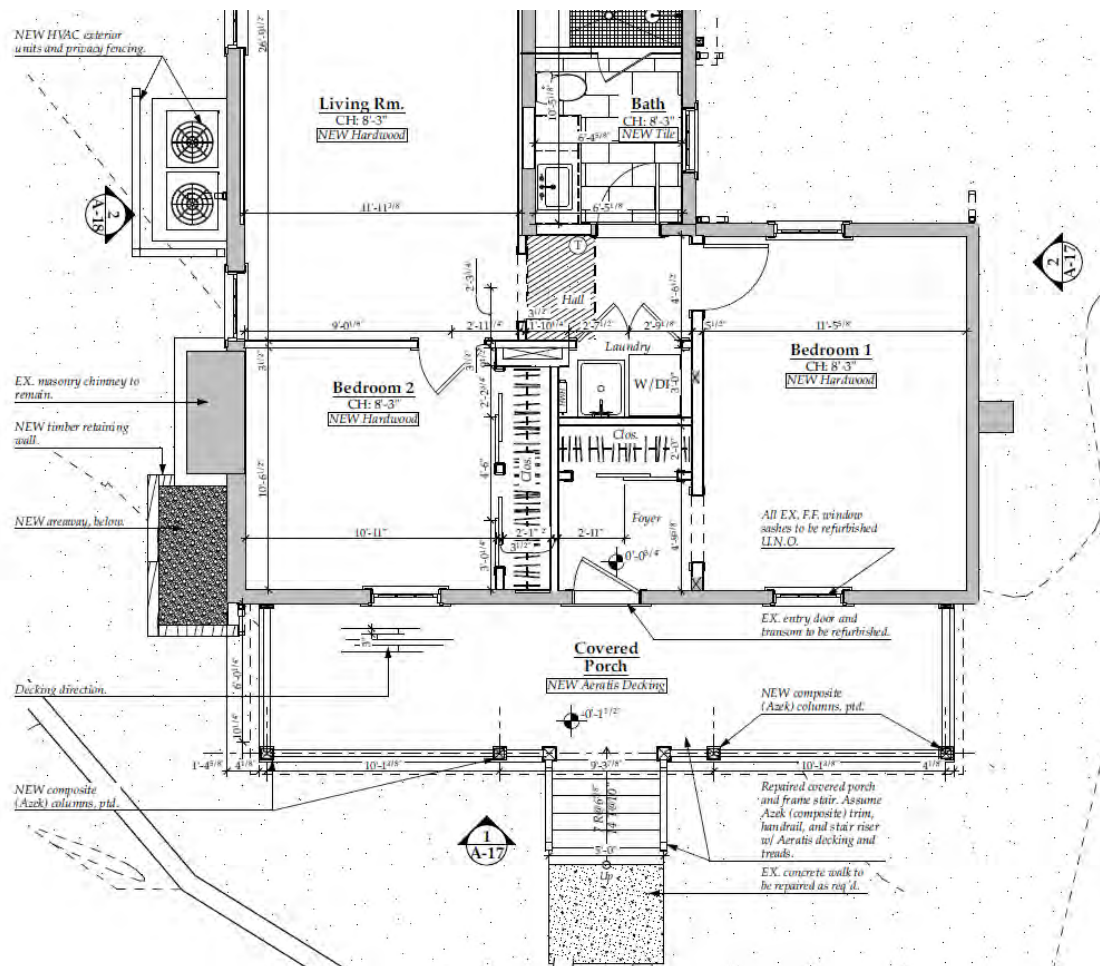


Figure 27: Proposed first-floor plan.

STAFF RECOMMENDATION

Staff recommends that the Commission **approve with seven (7) conditions** the HAWP application, with final approval authority delegated to staff:

1. Front and rear porch columns, railings, and trim must be painted wood. The porch columns must be no larger than 4 to 5-inches square. The front stair newel posts must be eliminated or replaced with plain 4-inch posts with minimal caps to match the proposed rear stair newel posts.
2. The rear landing support columns must be simplified square wood posts and the minimum size required by Code.
3. The front porch flooring must be run perpendicular to the façade.
4. The proposed windows on the southeast side elevation must be wood and both be the same configuration with either one-over-one or two-over-two simulated-divided-lites.
5. The original wood siding must be repaired or replaced in-kind with 5-inch exposure Dutch lap wood siding.
6. The standing-seam metal roofing must have maximum 1-inch seams, 1-inch crimped ridge caps, and 18 to 20-inch exposure. The applicant must provide detailed photographs of the existing roofing to the Historic Preservation Office for the property file. The applicant is encouraged, but not required, to provide a small physical sample of the roofing to the Historic Preservation Office for its archive.
7. The applicant must provide an elevation detail of the modified foundation wall at the proposed areaway, including the proposed egress door.

under the Criteria for Issuance in Chapter 24A-(b)(1) and (2), having found that the proposal, as modified by the conditions, will not substantially alter the exterior features of the historic resource; is compatible in character with the purposes of Chapter 24A;

and with the *Vision of Clarksburg*;

and with the *Secretary of the Interior's Standards for Rehabilitation* #2, #6, and #9;

and with the general condition that the applicant shall present an electronic set of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-495-2167 or laura.dipasquale@montgomeryplanning.org to schedule a follow-up site visit.



FOR STAFF ONLY:
HAWP# _____
DATE ASSIGNED _____

APPLICATION FOR HISTORIC AREA WORK PERMIT

HISTORIC PRESERVATION COMMISSION
301.563.3400

APPLICANT:

Name: _____

E-mail: _____

Address: _____

City: _____ Zip: _____

Daytime Phone: _____

Tax Account No.: _____

AGENT/CONTACT (if applicable):

Name: _____

E-mail: _____

Address: _____

City: _____ Zip: _____

Daytime Phone: _____

Contractor Registration No.: _____

LOCATION OF BUILDING/PREMISE: MIHP # of Historic Property _____

Is the Property Located within an Historic District? ☐ Yes/District Name _____

☐ No/Individual Site Name _____

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: _____ Street: _____

Town/City: _____ Nearest Cross Street: _____

Lot: _____ Block: _____ Subdivision: _____ Parcel: _____

TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:

☐ New Construction

☐ Deck/Porch

☐ Shed/Garage/Accessory Structure

☐ Addition

☐ Fence

☐ Solar

☐ Demolition

☐ Hardscape/Landscape

☐ Tree removal/planting

☐ Grading/Excavation

☐ Roof

☐ Window/Door

☐ Other: _____

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent

Date

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address

Owner's Agent's mailing address

Adjacent and confronting Property Owners mailing addresses

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

Description of Work Proposed: Please give an overview of the work to be undertaken:

Work Item 1: _____	
Description of Current Condition:	Proposed Work:

Work Item 2: _____	
Description of Current Condition:	Proposed Work:

Work Item 3: _____	
Description of Current Condition:	Proposed Work:

HISTORIC AREA WORK PERMIT CHECKLIST OF APPLICATION REQUIREMENTS

	Required Attachments						
Proposed Work	I. Written Description	2. Site Plan	3. Plans/ Elevations	4. Material Specifications	5. Photographs	6. Tree Survey	7. Property Owner Addresses
New Construction	*	*	*	*	*	*	*
Additions/ Alterations	*	*	*	*	*	*	*
Demolition	*	*	*		*		*
Deck/Porch	*	*	*	*	*	*	*
Fence/Wall	*	*	*	*	*	*	*
Driveway/ Parking Area	*	*		*	*	*	*
Grading/Exc avation/Land scaing	*	*		*	*	*	*
Tree Removal	*	*		*	*	*	*
Siding/ Roof Changes	*	*	*	*	*		*
Window/ Door Changes	*	*	*	*	*		*
Masonry Repair/ Repoint	*	*	*	*	*		*
Signs	*	*	*	*	*		*

Old Parsonage Renovation
23345 Frederick Rd. • Clarksburg, MD 20871

Historic Work Area Permit Set

20 May 2025



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Area Plan

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Scale: 1/64" = 1'-0"

Date: 5/20/25

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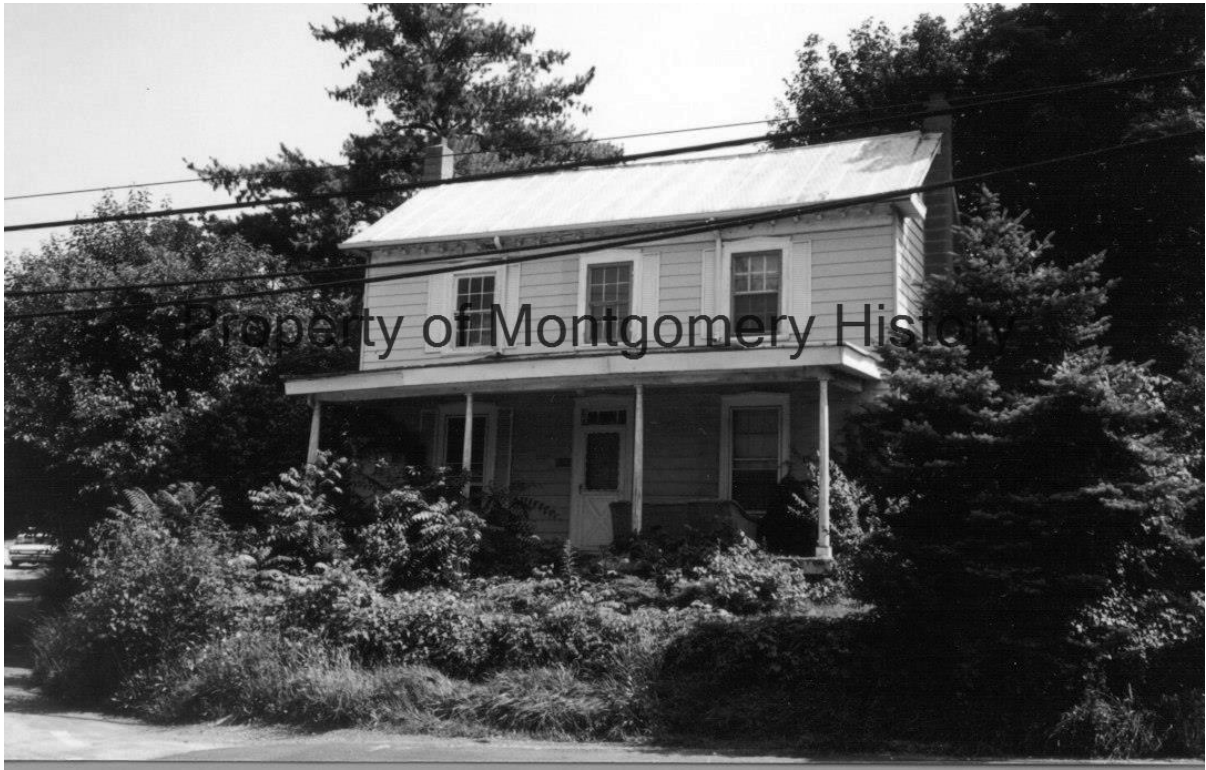
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23346 Frederick Road (Built 1797)
N.T.S.



23345 Frederick Road
N.T.S.



23345 Frederick Road
N.T.S.



View of Clarksburg, Looking West, Parsonage SE Side (Date Unknown)
N.T.S.



Clarksburg Streetscape (Circa 1974)
N.T.S.



View of Frederick Road - Parsonage SE Side (Circa 1913)
N.T.S.

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Historic Photographs
Old Parsonage Renovation

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Historic Work Area Permit Set

Scale: 1:2.95, 1:

Date: 5/20/25

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23340 Frederick Road
N.T.S.



23330 Frederick Road
N.T.S.



23330 Frederick Road
N.T.S.



23340 Frederick Road
N.T.S.



23340 Frederick Road
N.T.S.



23330 Frederick Road
N.T.S.

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Existing Neighboring Structures
Old Parsonage Renovation

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Historic Work Area Permit Set

A-2

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23335 Frederick Road
N.T.S.



23346 Frederick Road
N.T.S.



23315 Frederick Road
N.T.S.



23315 Frederick Road
N.T.S.



23343 Frederick Road
N.T.S.



23341 Frederick Road
N.T.S.



23315 Frederick Road
N.T.S.

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Existing Neighboring Structures
Old Parsonage Renovation

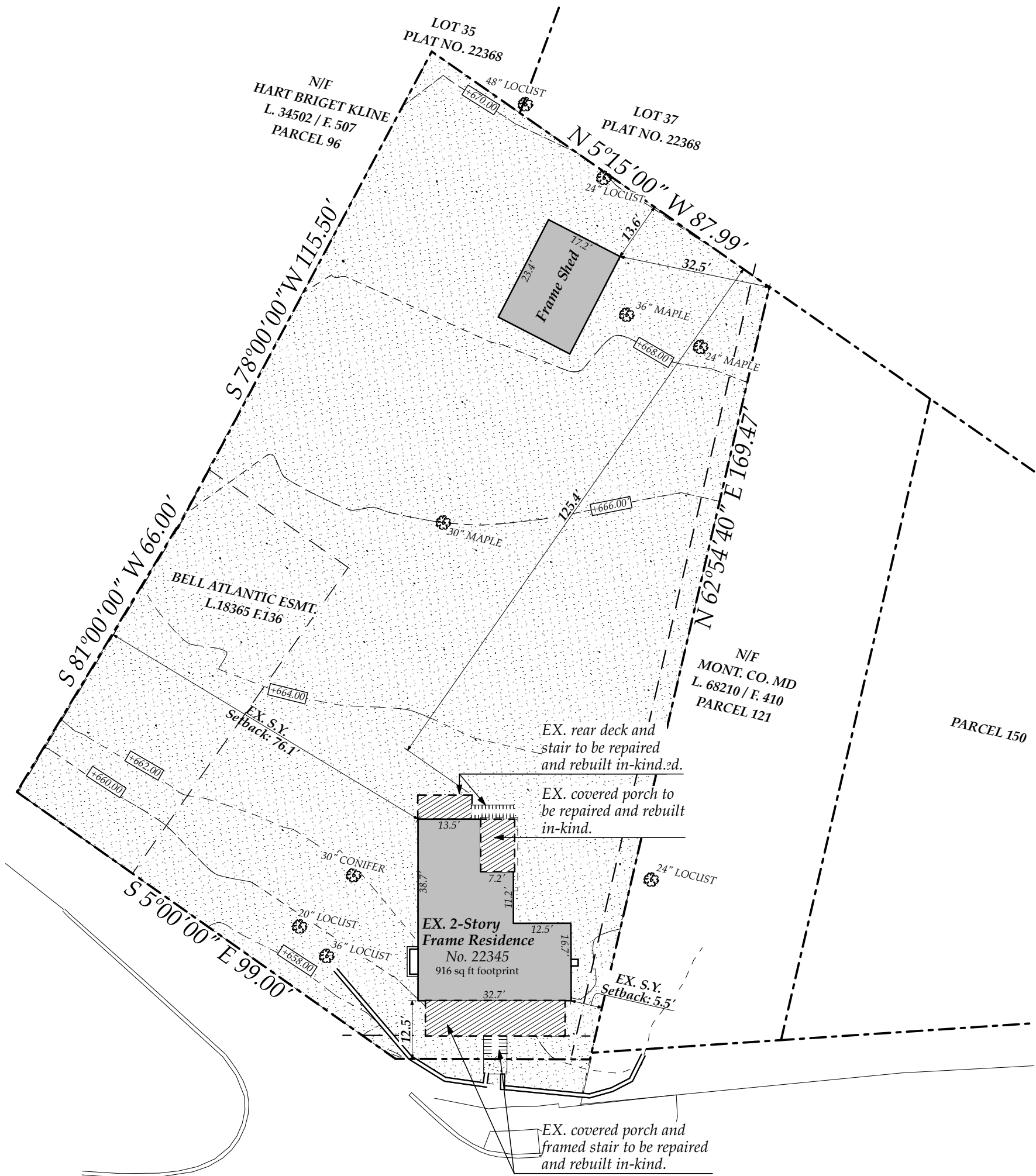
23345 Frederick Rd. • Clarksburg, MD 20871

Historic Work Area Permit Set

A-3

Date: 5/20/25

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A-4

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Existing Site Plan

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Old Parsonage Renovation
23345 Frederick Rd. • Clarksburg, MD 20871

Scale: 1:288
Date: 5/20/25



EX. Southwest (Frederick Rd.) Elevation
N.T.S.



EX. Northwest (Side) Elevation
N.T.S.



EX. Northeast (Rear) Elevation
N.T.S.



EX. Southeast (Side) Elevation
N.T.S.



EX. Southwest (Frederick Rd.) Elevation
N.T.S.



EX. Northwest (Side) Elevation
N.T.S.



EX. Northeast (Rear) Elevation
N.T.S.



EX. Southeast (Side) Elevation
N.T.S.

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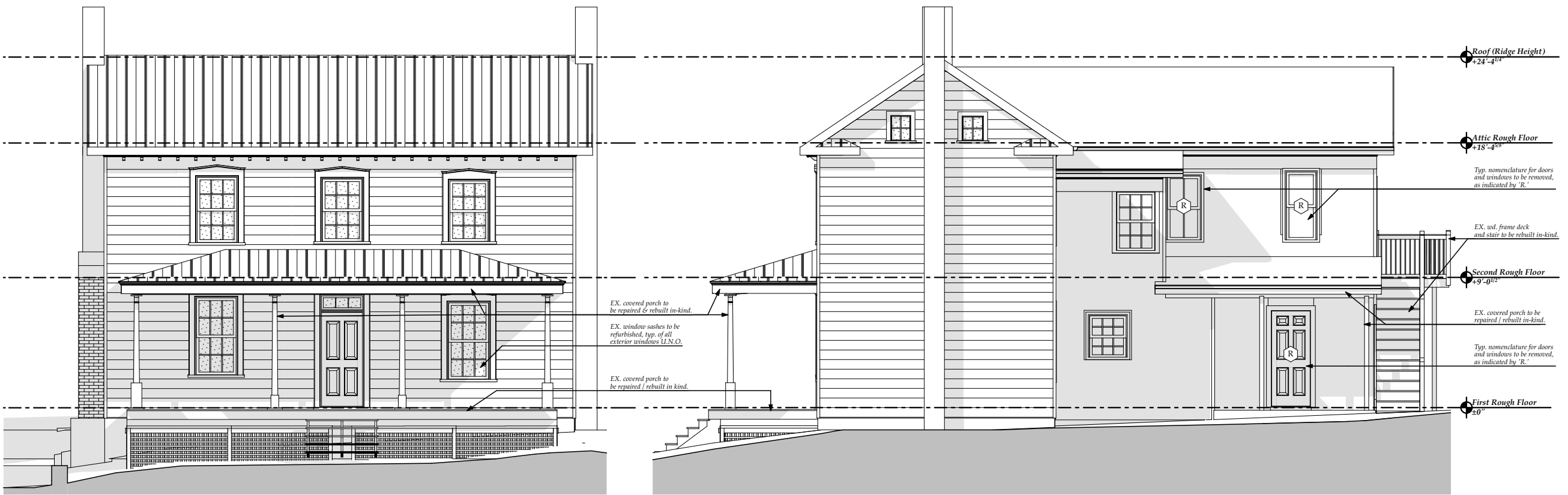
Existing Site Photos
Old Parsonage Renovation

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Historic Work Area Permit Set

Scale: 1:7.11
Date: 5/20/25

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Existing Elevations
Old Parsonage Renovation

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A-6

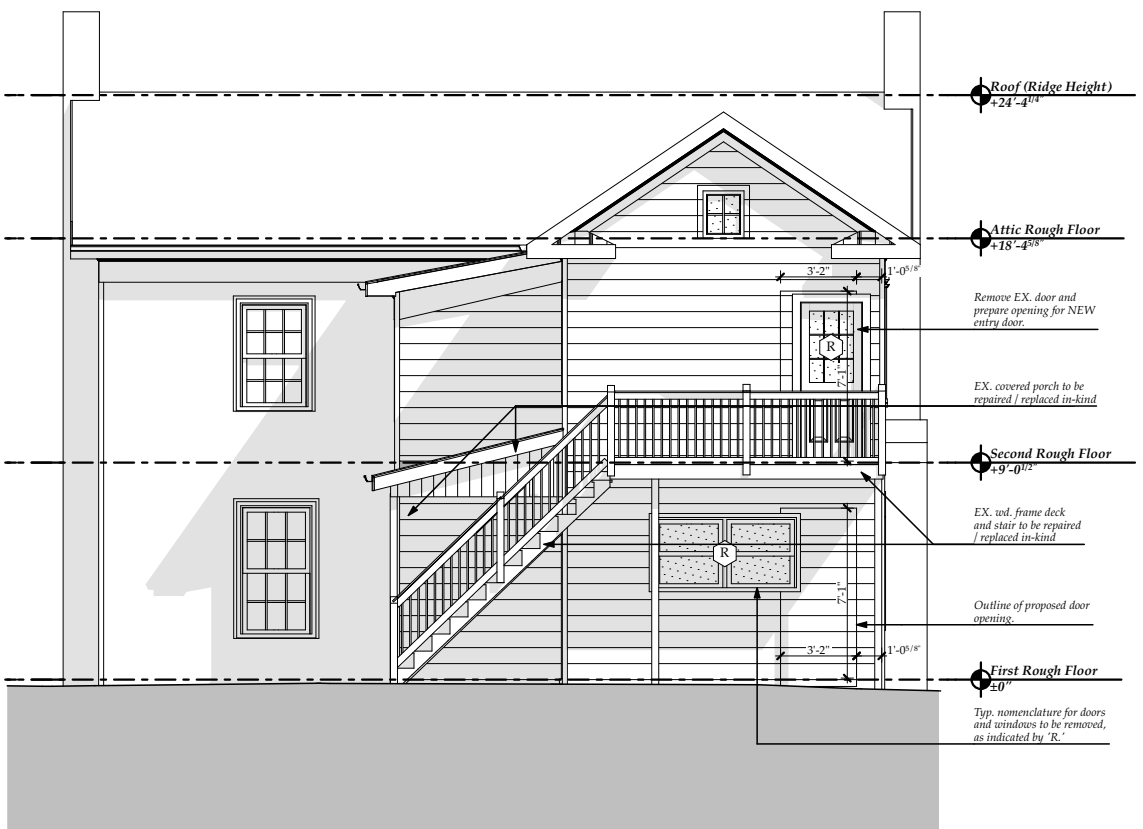
Historic Work Area Permit Set

Scale: 1/8" = 1'-0"
Date: 5/20/25

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EX. Northwest (Side) Elevation
Scale: 1/8" = 1'-0"



EX. Northeast (Rear) Elevation
Scale: 1/8" = 1'-0"

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Existing Elevations

Old Parsonage Renovation

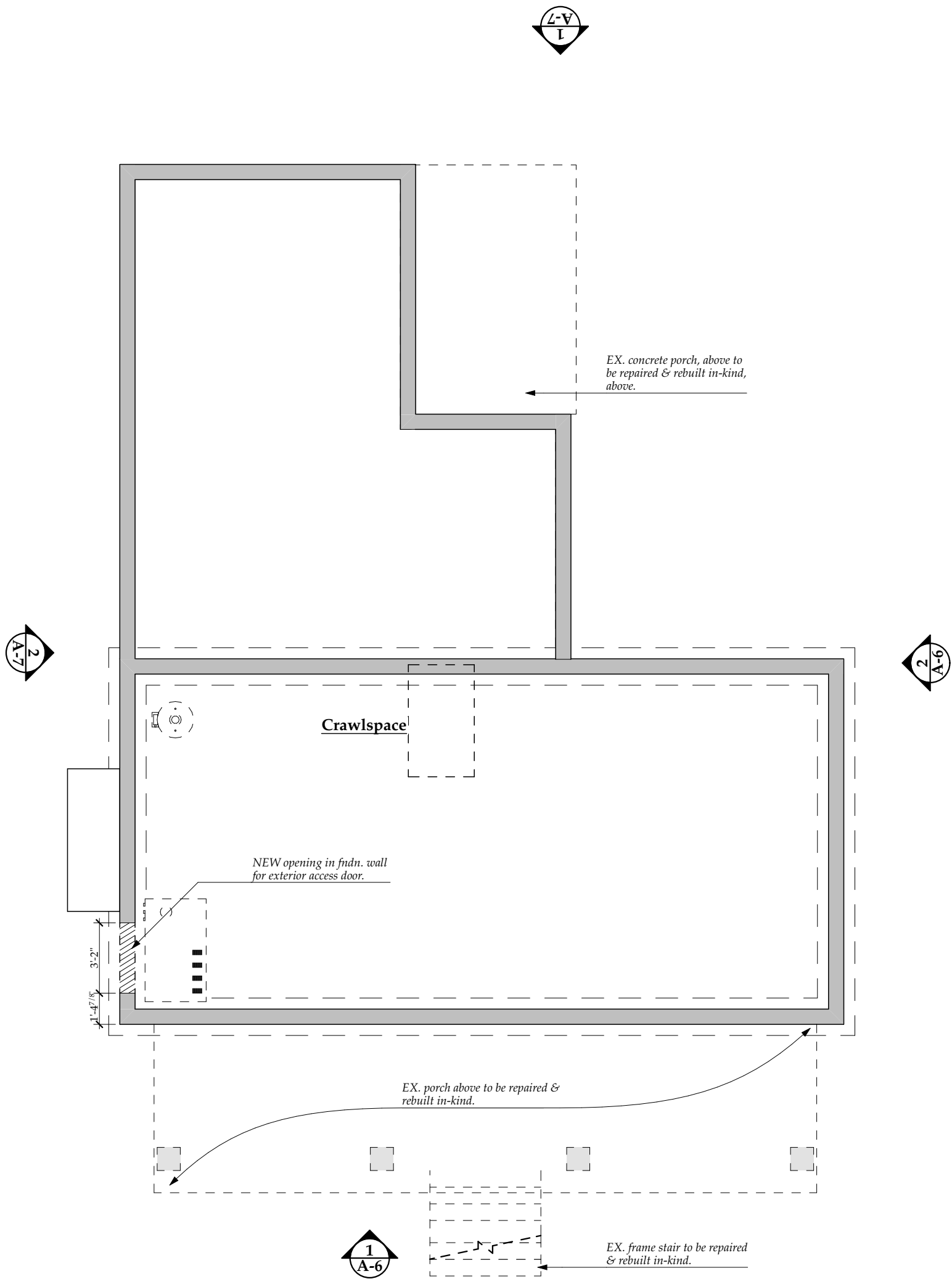
23345 Frederick Rd. • Clarksburg, MD 20871

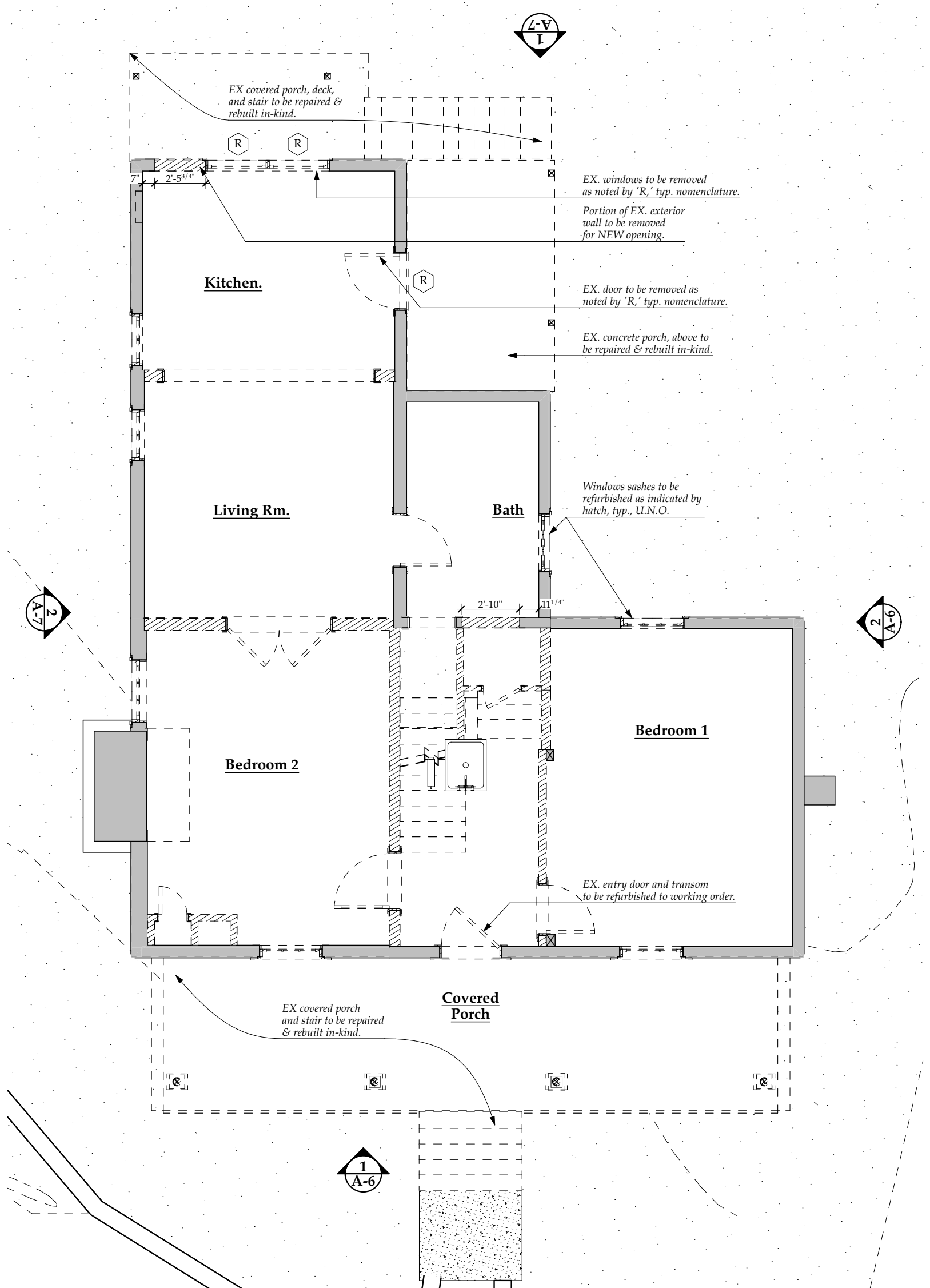
A-7

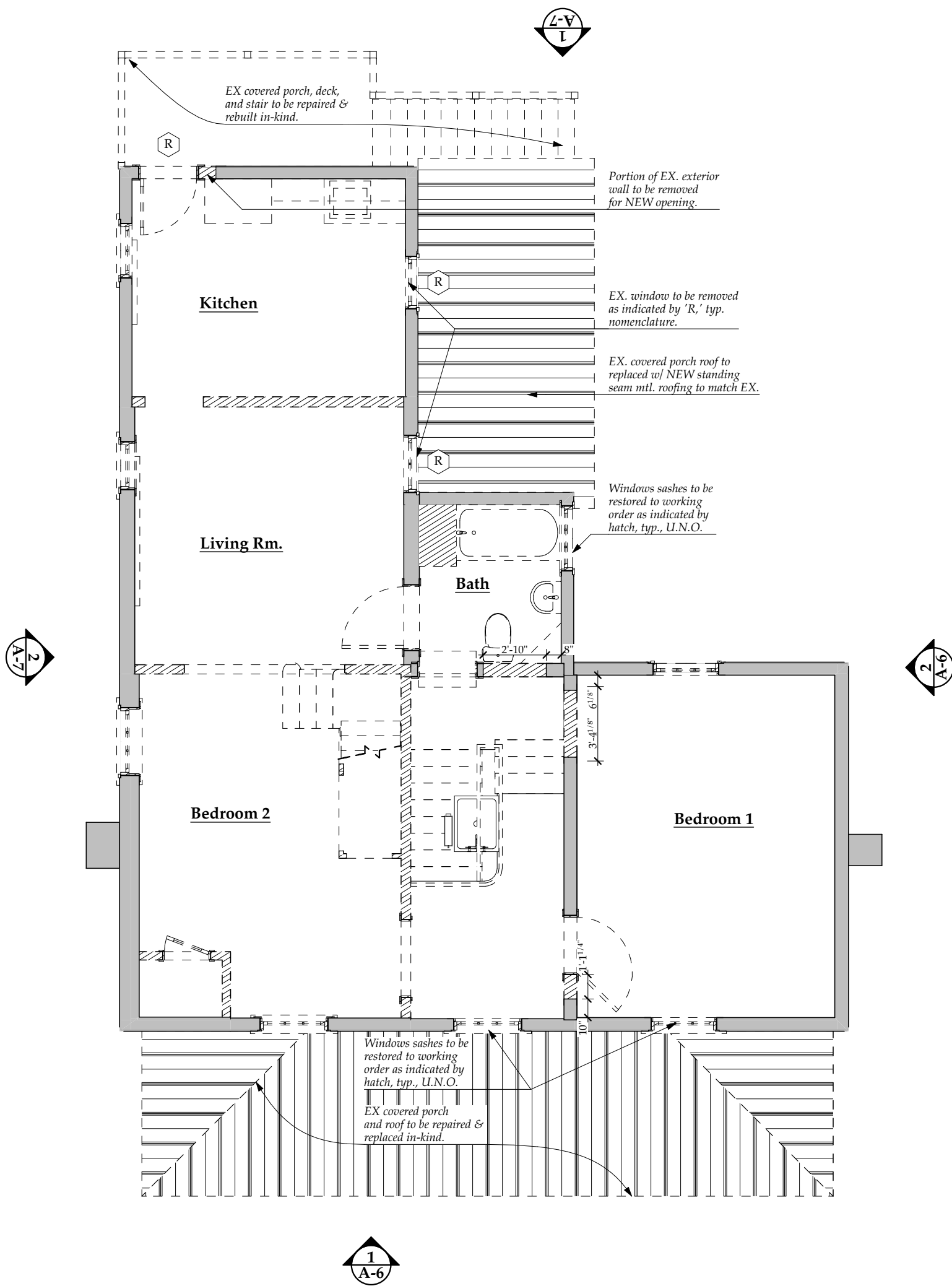
Historic Work Area Permit Set

Scale: 1/8" = 1'-0"
Date: 5/20/25

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Existing Second Floorplan

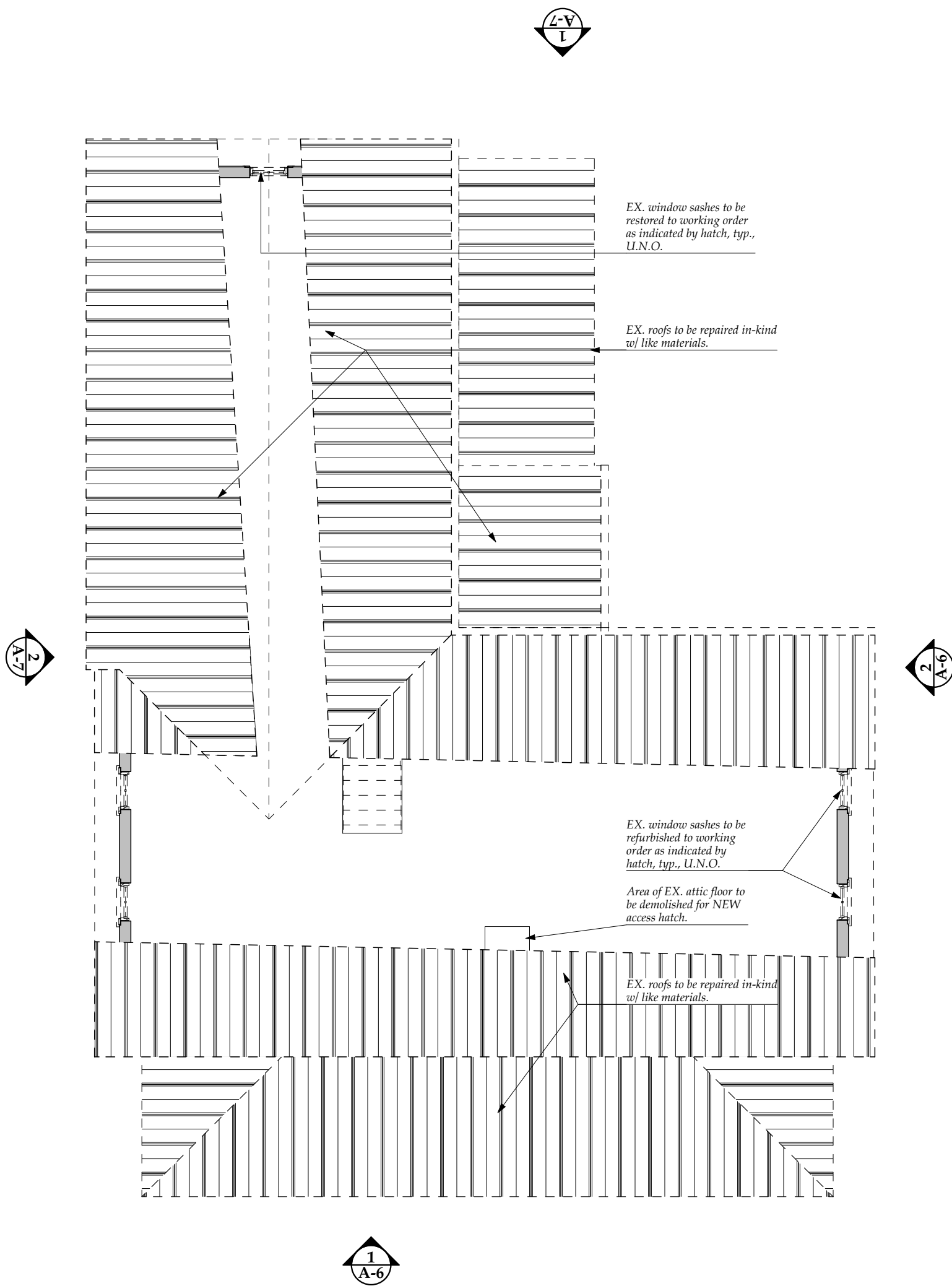
Historic Work Area Permit Set

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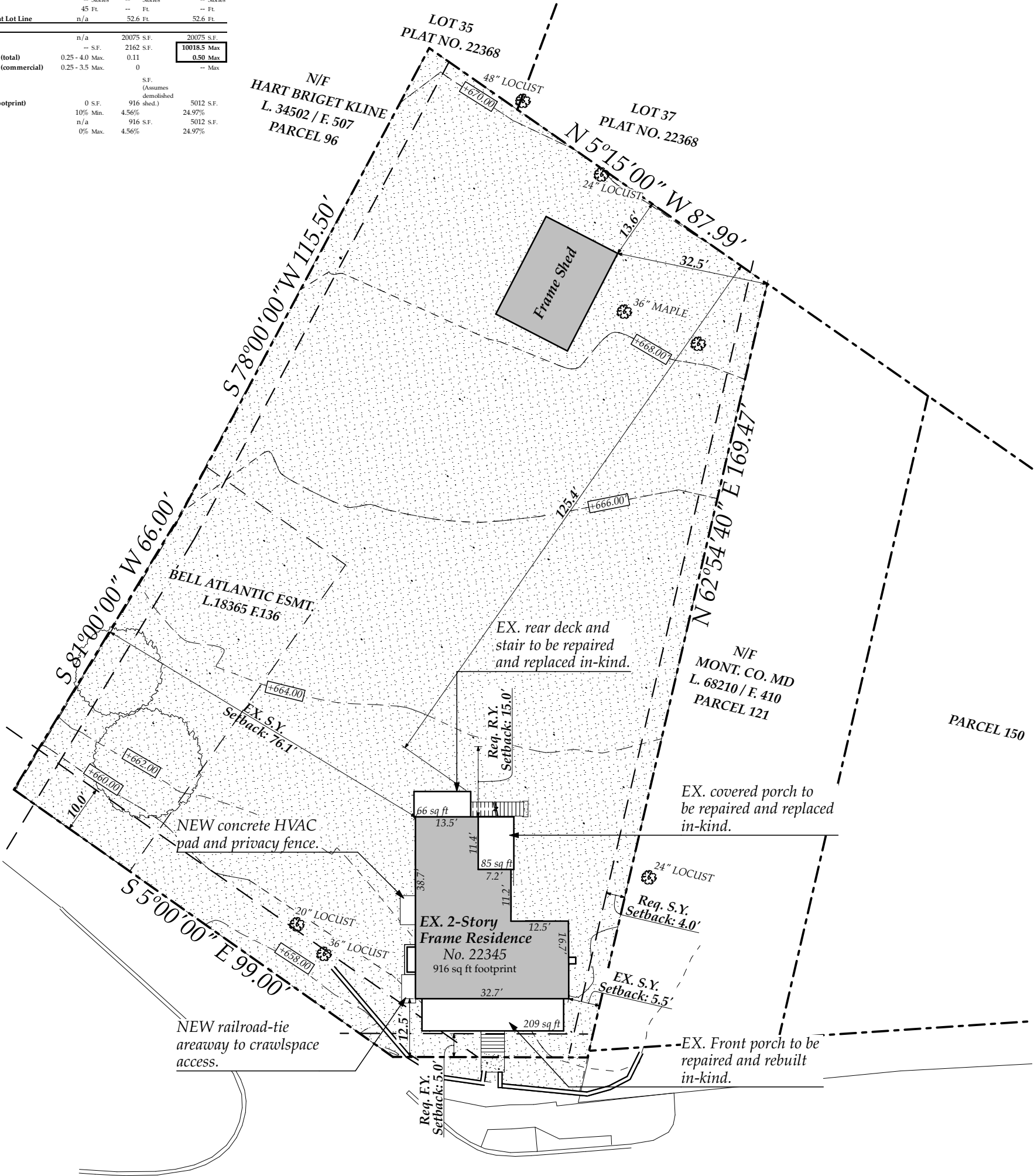
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Date: 5/20/25

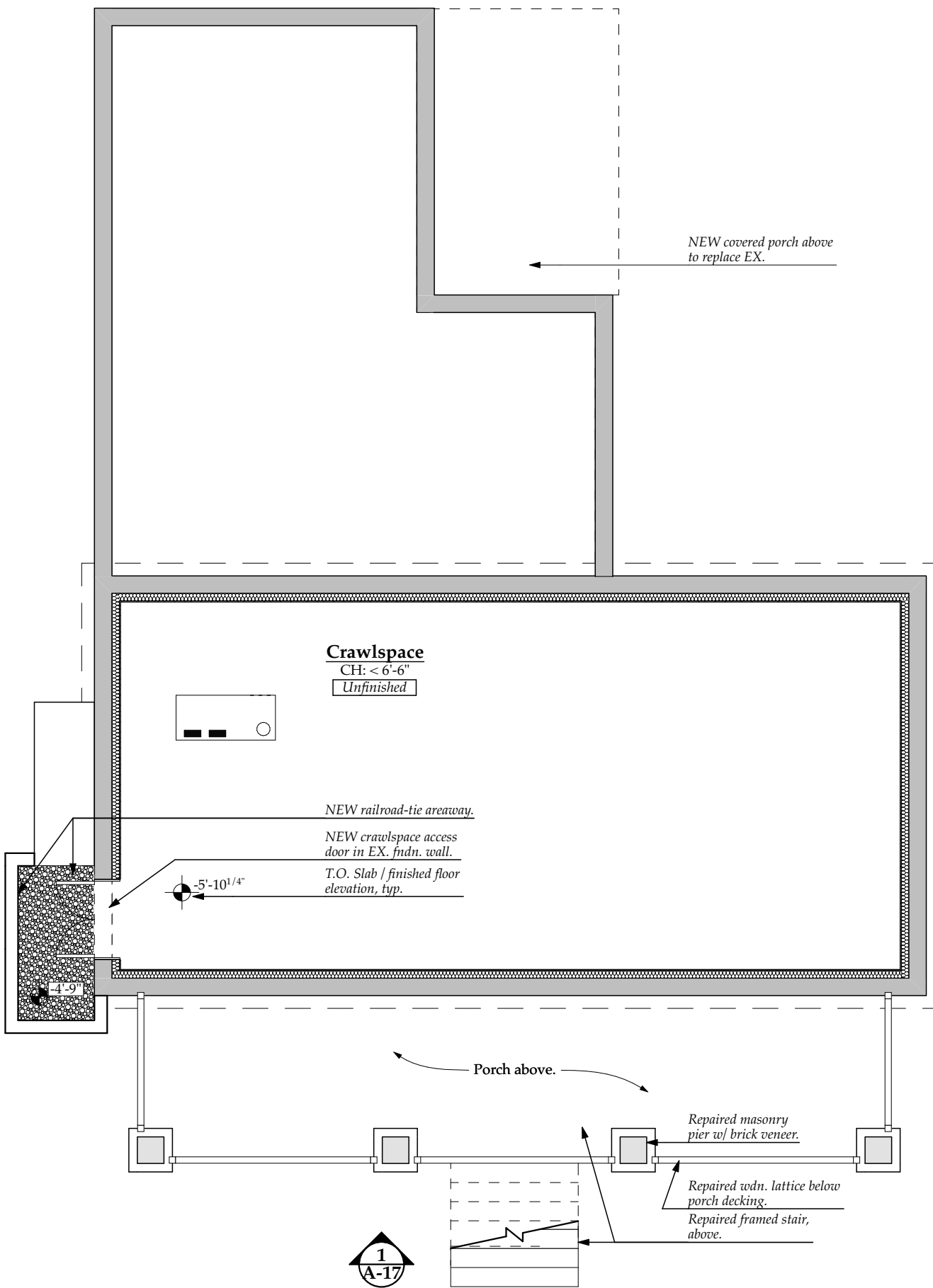
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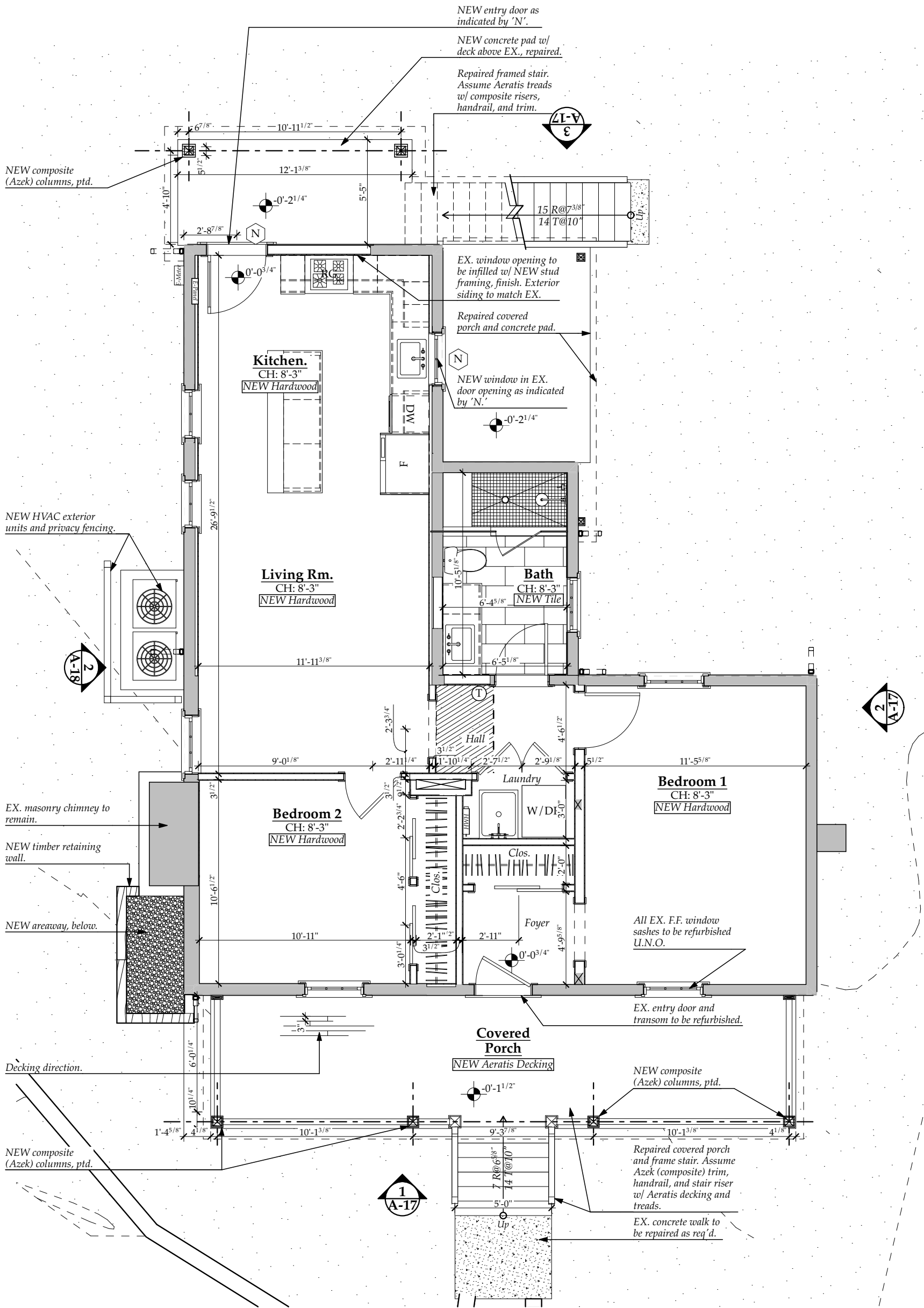


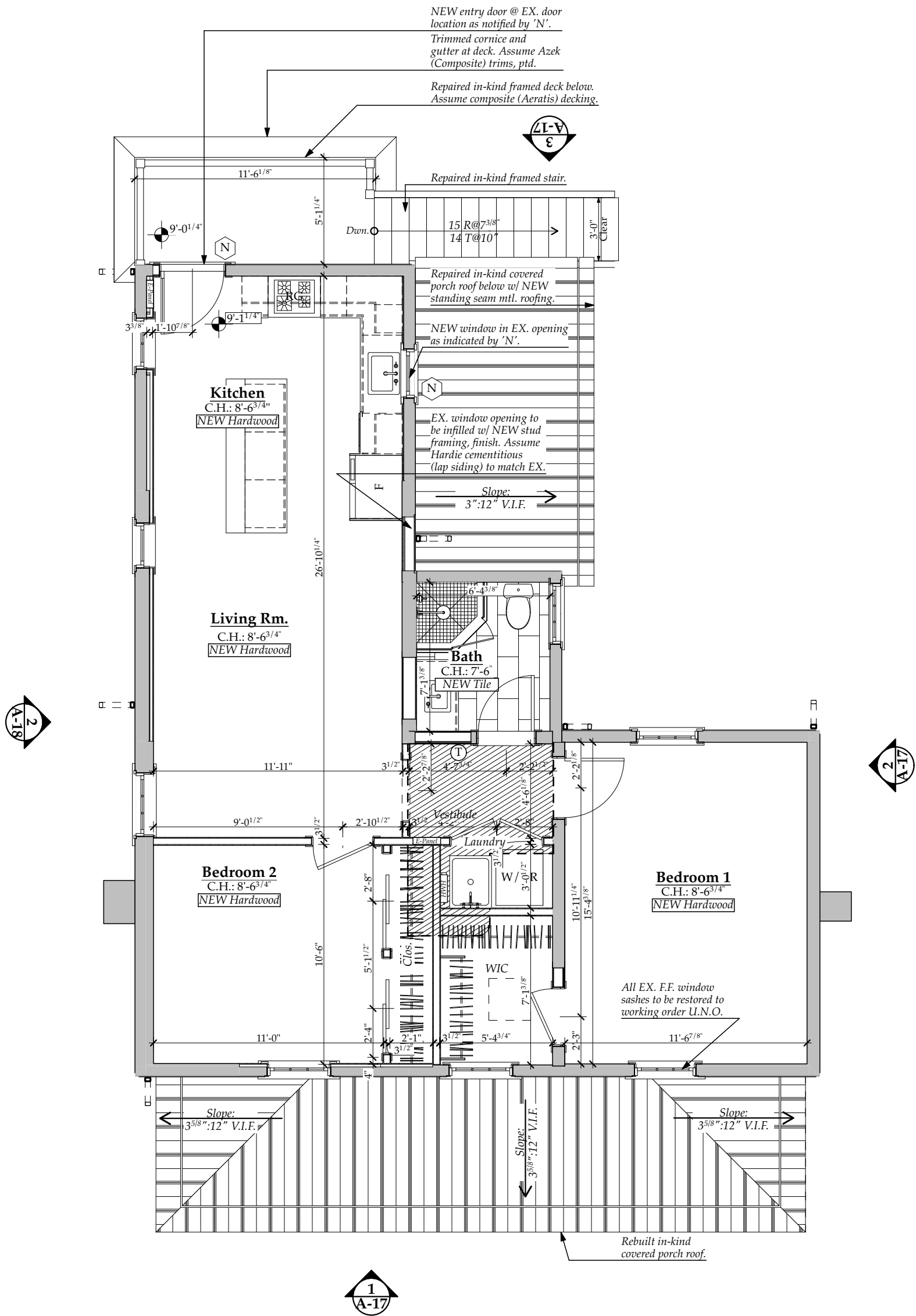
Zoning Review		
23345 Frederick Road Clarksburg, MD 20871	Parcel: P120	Lot: -- Block: --
Jurisdiction: Montgomery County, MD		
Zoning: CRT-0.5 C-05, R-0.5 H-45		
Lot Area: 20037 S.F.		
Overlay District: N/A		
Historic District: Clarksburg Historical District		
Attached Dwelling: Yes		
Existing Use: Single-Family Residence		
Proposed Use: <i>Change of Occupancy</i> - Office, Storage		

	Required	Existing	Proposed
Units & Parking Spaces			
Number of Parking Spaces - Residential Use	2 Spaces	0 Spaces	2 Spaces
Number of Parking Spaces - Business Use	3.5/1000 SF of GFA Spaces	0 Spaces	15 Spaces
Number of Parking Spaces - Storage Use	1.5/1000 SF of GFA Spaces	0 Spaces	2 Spaces
Setbacks & Building Heights			
Front Yard Setback	0 L.F.	5.7 L.F.	-- L.F.
Side Street Setback	0 L.F.	15.10 L.F.	-- L.F.
Side Yard Setback (Southeast)	0 L.F.	14.20	-- L.F.
Side Yard Setback (Northwest)	0 L.F.	90.80 L.F.	-- L.F.
Rear yard depth (min.)	0 L.F.	127.80 L.F.	-- L.F.
Building Height	-- Stories	-- Stories	-- Stories
Lot Width @ Front Lot Line	n/a	52.6 Ft.	52.6 Ft.
Areas			
Lot Area	n/a	20075 S.F.	20075 S.F.
Gross Floor Area	-- S.F.	2162 S.F.	10018.5 Max
Floor Area Ratio (total)	0.25 - 4.0 Max.	0.11	0.50 Max
Floor Area Ratio (commercial)	0.25 - 3.5 Max.	0	-- Max
Building Area (footprint)	0 S.F.	S.F. (Assumes demolished shed.) 916 S.F.	5012 S.F.
Open Space	10% Min.	4.56%	24.97%
Lot Coverage	n/a	916 S.F.	5012 S.F.
Lot Occupancy	0% Max.	4.56%	24.97%









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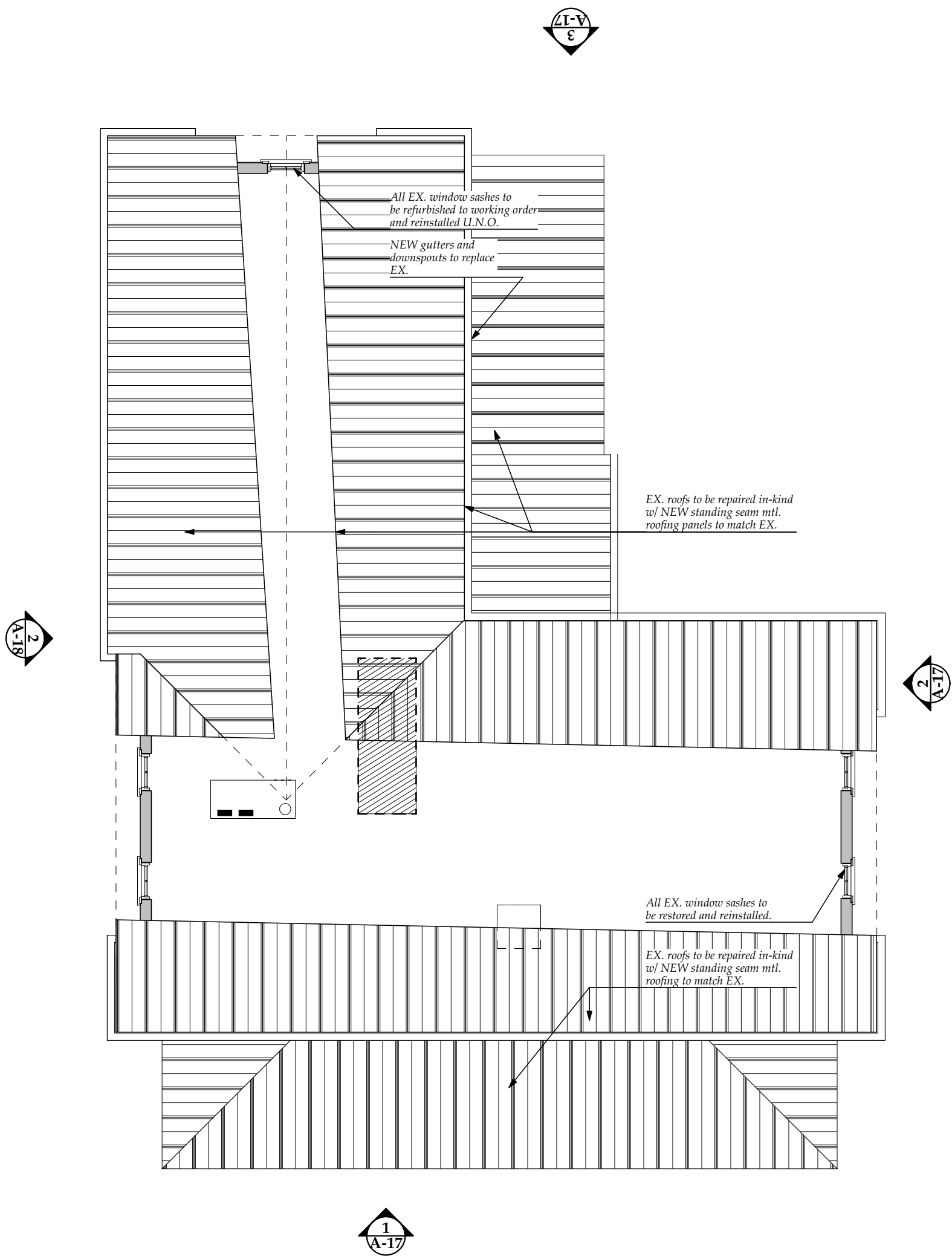
Proposed Second Floorplan

Historic Work Area Permit Set

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Scale: 3/16" = 1'-0"
Date: 5/20/25



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Proposed Attic Floorplan

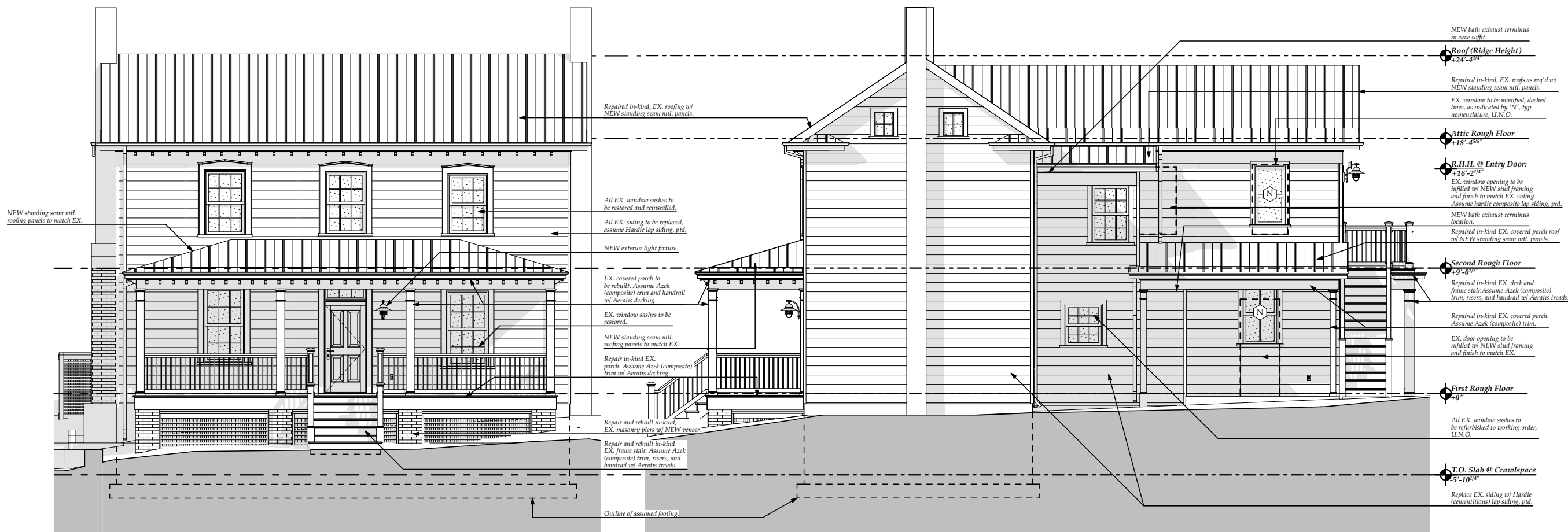
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Old Parsonage Renovation
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Scale: 3/16" = 1'-0"
Date: 5/20/25

General Note
Doors and window specification:
(All refurbished sashes and slabs):
Aluminum Clad wood w/ SDL.



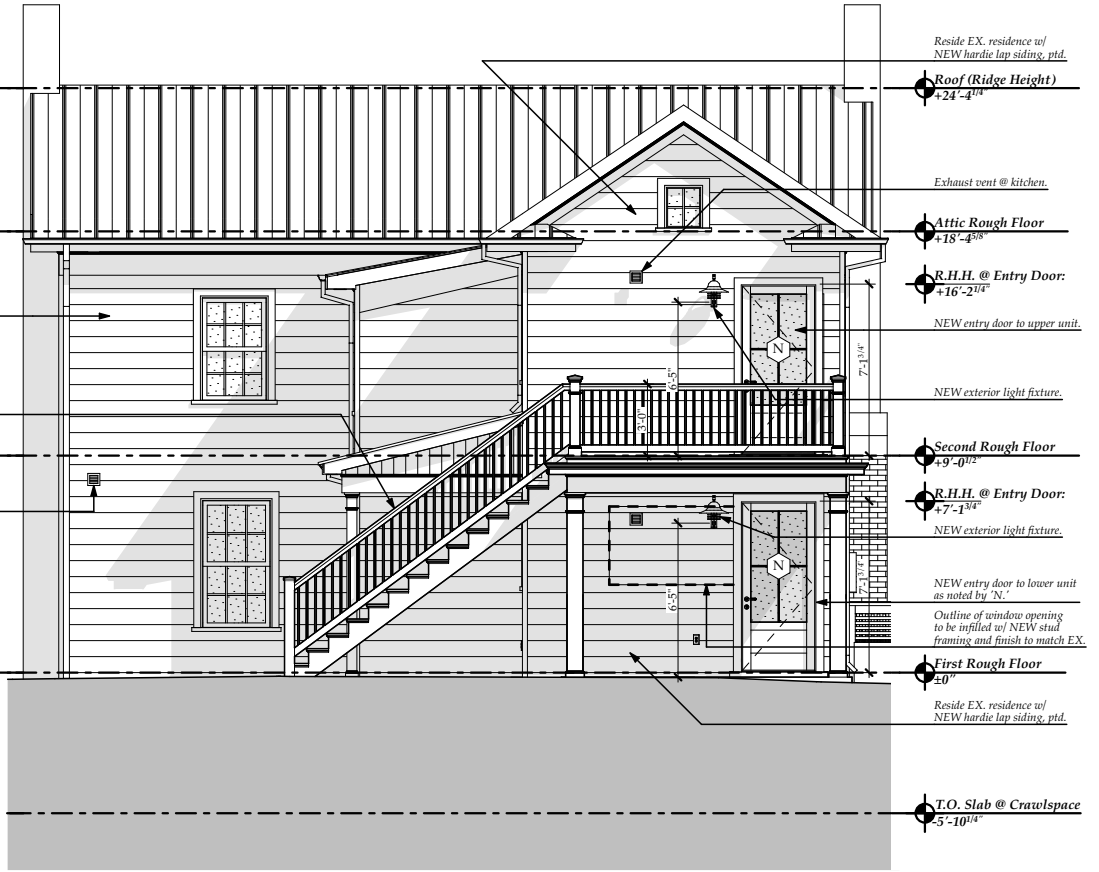
PROPOSED Southwest (Frederick Road) Elevation
Scale: 1/8" = 1'-0"

PROPOSED Southeast (Side) Elevation
Scale: 1/8" = 1'-0"

General Note
Doors and window specification:
(All refurbished sashes and slabs):
Aluminum Clad wood w/ SDL.



EX. Northwest (Side) Elevation
Scale: 1/8" = 1'-0"



EX. Northeast (Rear) Elevation
Scale: 1/8" = 1'-0"

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Proposed Elevations
Old Parsonage Renovation

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Historic Work Area Permit Set

Scale: 1/8" = 1'-0"
Date: 5/20/25

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Project Views

Old Parsonage Renovation

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Historic Work Area Permit Set

Scale: 1:39.82
Date: 5/20/25

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Project Views

Old Parsonage Renovation

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Historic Work Area Permit Set

Scale: 1:44.59
Date: 5/20/25

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Project Views

Historic Work Area Permit Set

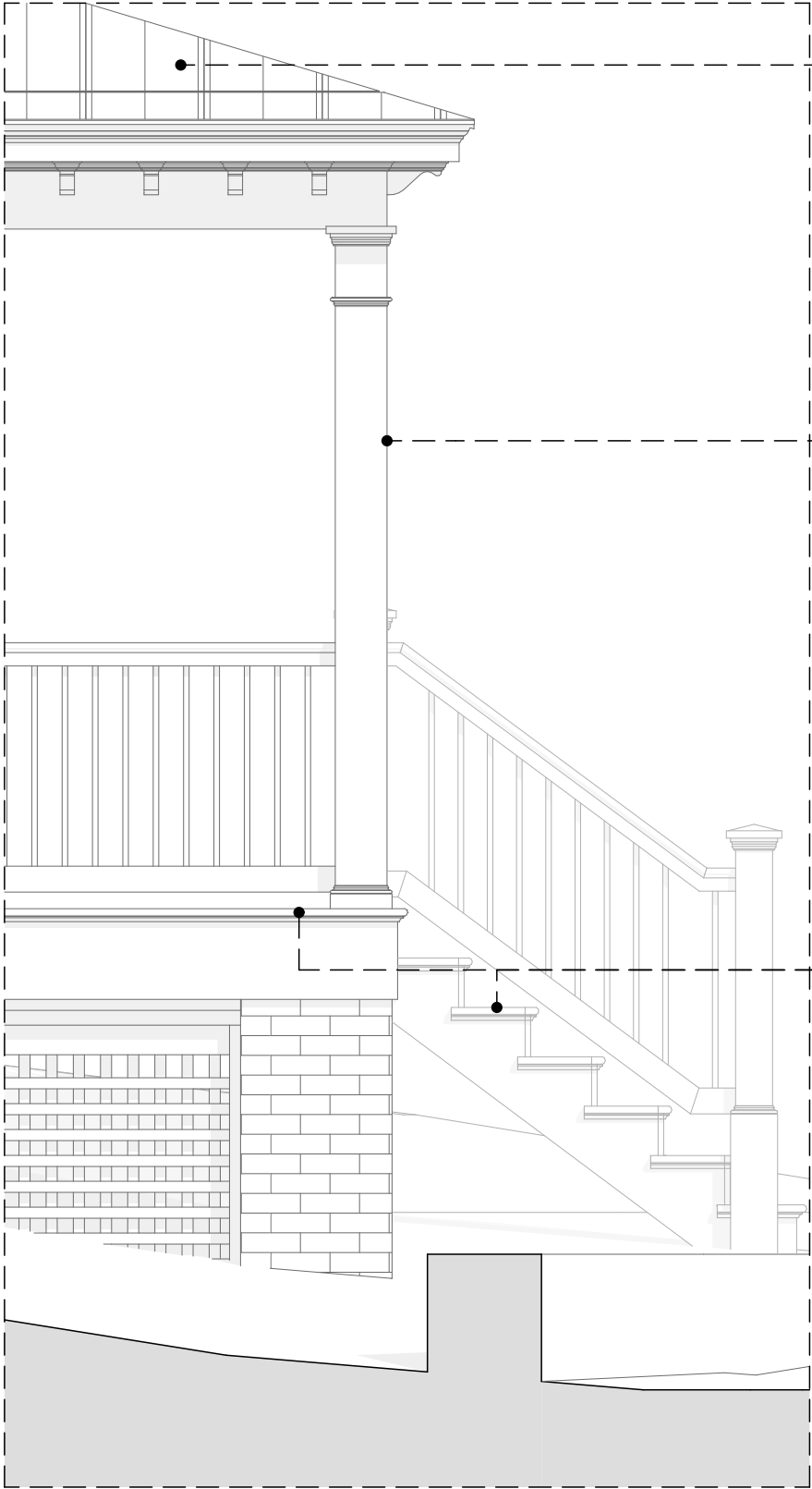
Old Parsonage Renovation

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Washington, DC 20011
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Scale: 1:41.97
Date: 5/20/25

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Porch Columns | Azek Exteriors Crown and Casing Profiles



Porch & Deck Flooring | Aeratis Traditions



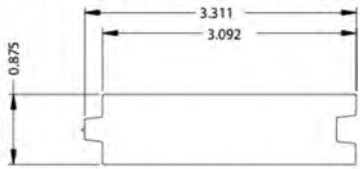
stain to maintain the warranty.

Aeratis Traditions tongue and groove porch flooring/ porch decking is a paint ready wood replacement product. Competitively priced compared to wood at the time of install, Aeratis Traditions T&G porch flooring offers an unsurpassed warranty, endless design capabilities, significantly lower maintenance than wood and an appearance that not even the most discerning historic official could tell it is not a wood porch when your project is complete.

Simply said, "Only a rich man can afford to install a wood porch floor today". This saying has a lot of truth. Not only is the life cycle of pine and fir significantly shorter than it was in years past, many consumers forget the actual annual cost of maintenance. On average many porch owners pay between \$4-\$9 per square foot annually on maintenance and upkeep.

Aeratis Traditions is an uncolored, paint-ready board that is designed specifically to replace wood tongue and groove products. Traditions can be painted or stained in any color. Unlike the Legacy or Heritage line which can also be painted, Traditions flooring requires paint or

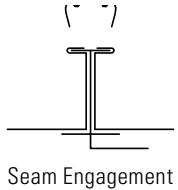
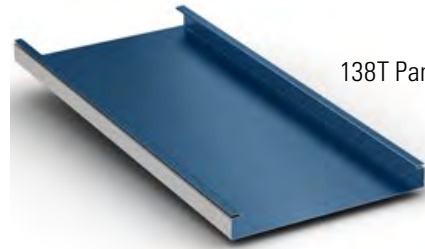
Aeratis Traditions T&G Porch Flooring Dimensions



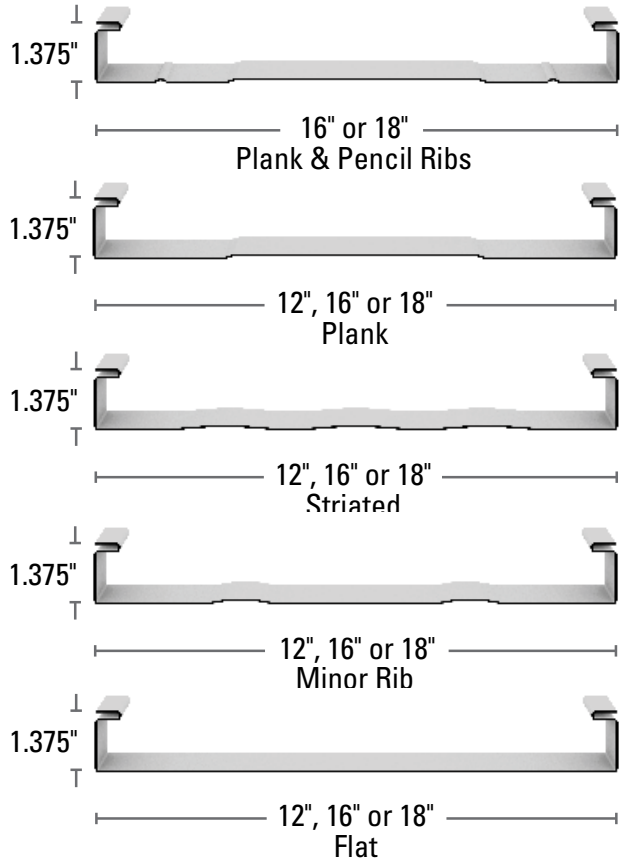
Lengths: 12', 16', or 20'
Width: 3-1/8" (3.092)
Thickness: 7/8"



Roofing | McElroy Metals 138T Galvalume Standing Seam 16" Exposure



138T Panel Options



- Ease of installation
- Available flat, curved, and tapered
- Individual panel replacement
- Watertight seam design
- Can be jobsite formed for longer lengths
- No laps equals greater watertightness

Exterior Siding | Allura CMAX Lap Smooth 8" Exposure - Pacific Blue

Smooth Lap

Allura's Smooth Lap siding is manufactured to look like smoothly sanded and freshly painted wood with a variety of exposures. Our authentic smooth matte finish gives the smoothest and the lowest gloss finish available for your home.

Product Variations

Traditional Lap

Smooth Lap

Spectrum Color Confidence

Provides beauty and durability giving your project Color Confidence.

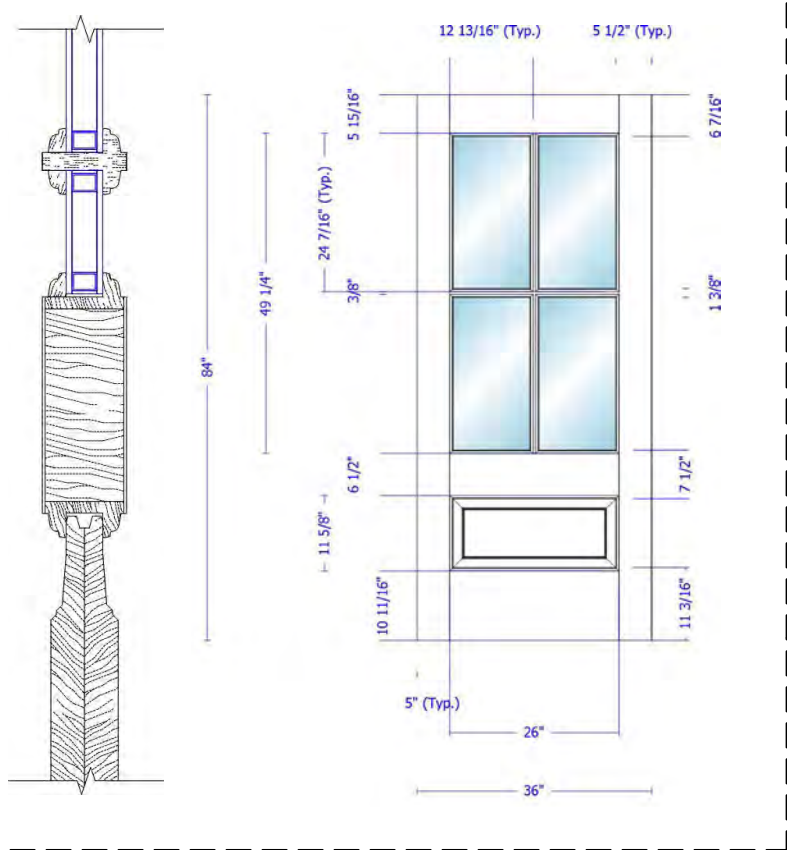
Beauty

Our best-selling product is chosen time and time again for its deep, realistic, wood grain, while the Smooth texture creates a cleaner, modern aesthetic.

Durability

Specially formulated Allura Lap Siding not only looks great but lasts considerably longer than traditional exterior wall cladding or vinyl siding.

Rear Doors | Simpson Leaf 7504 Thermal Sash



Porch & Stair Railings | Timbertech Composite RadianceRail

Premier Railing®
Color Options

WHITE

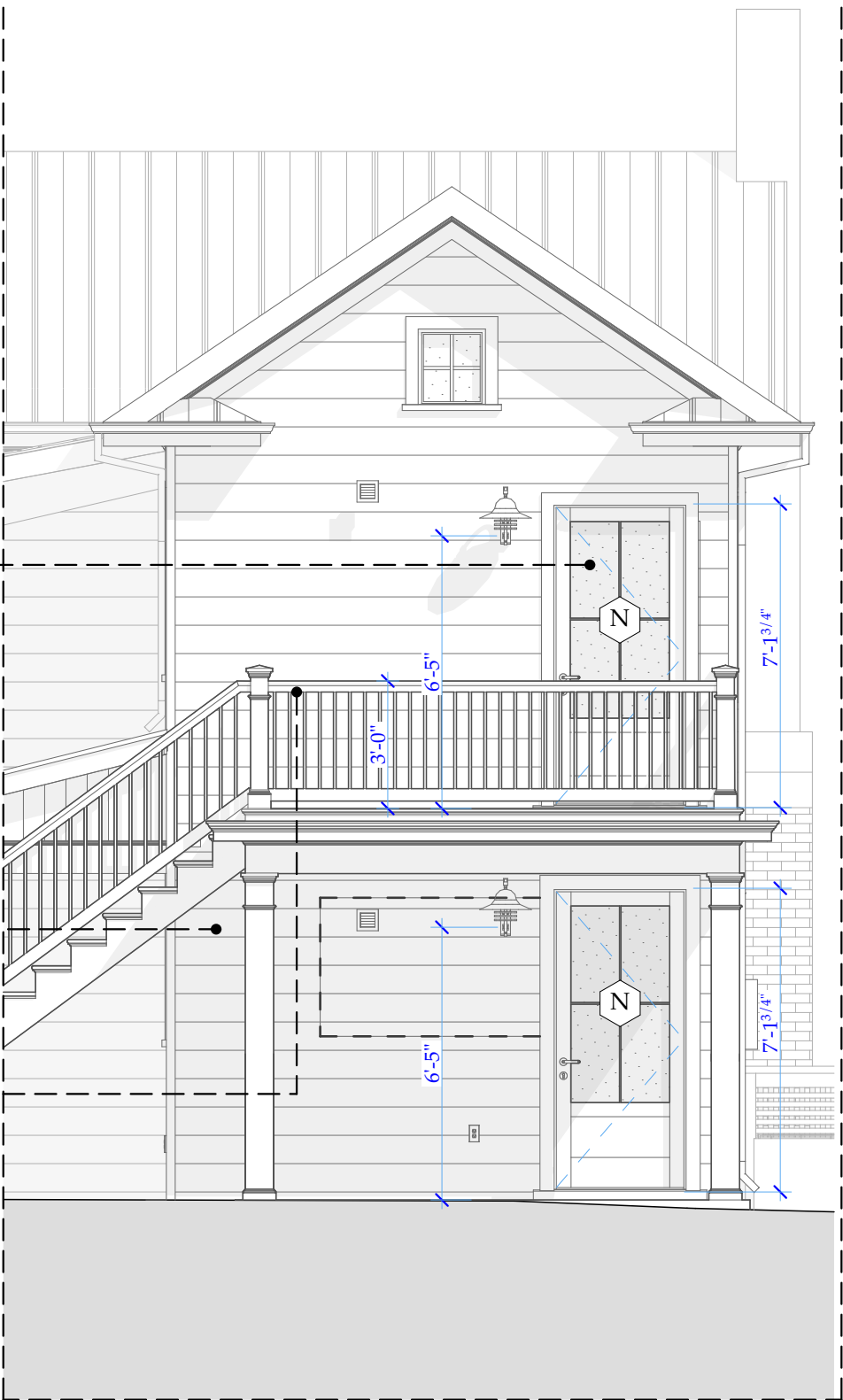
MATTE WHITE

MATTE ESPRESSO

MATTE BLACK

RadianceRail®

Trademark Rail™





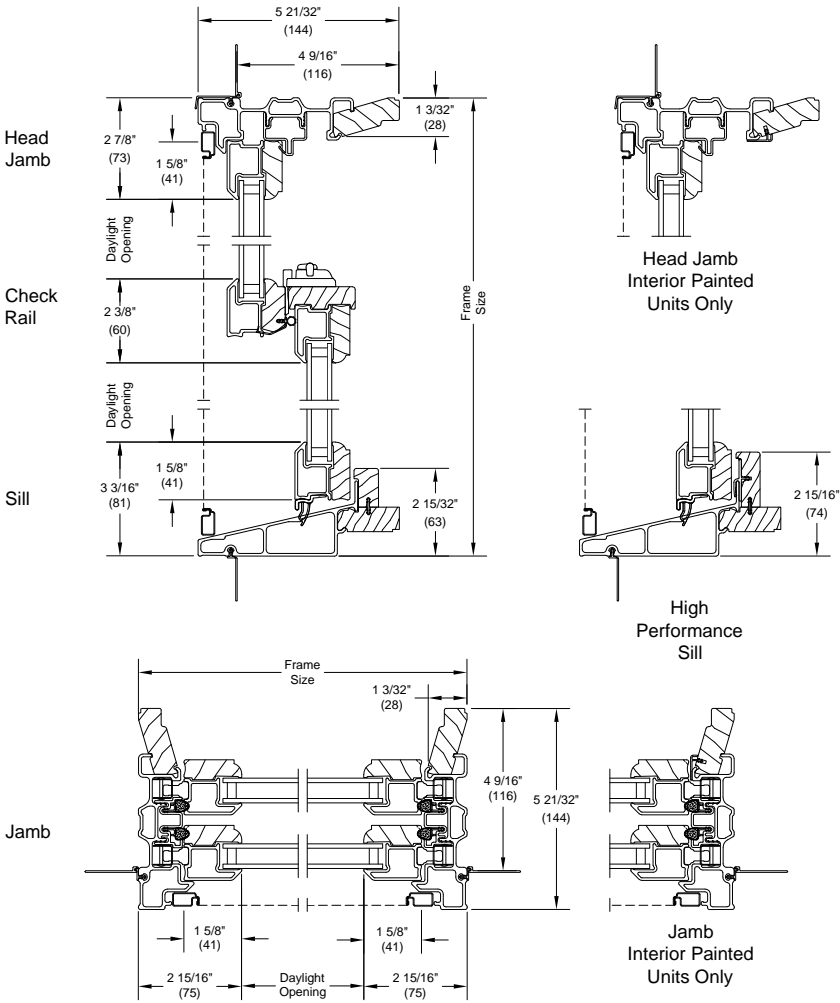
New Windows | Marvin Elevate Double Hung



Elevate Double Hung

Section Details: Operating - Double Hung (4 9/16" Jamb)

Scale: 3" = 1' 0"



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Proposed Materials

Old Parsonage Renovation

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Historic Work Area Permit Set

Scale: 1/4" = 1'-0", 1:1.35
Date: 5/21/25

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