



APPLICATION FOR
HISTORIC AREA WORK PERMIT
HISTORIC PRESERVATION COMMISSION
301.563.3400

FOR STAFF ONLY:
HAWP# _____
DATE ASSIGNED _____

APPLICANT:

Name: Mary Beth Rummel
Address: 7012 Carroll Avenue
Daytime Phone: 240-475-6393

E-mail: marybethrummel@cs.com
City: Takoma Park Zip: 21791
Tax Account No.: 01062246

AGENT/CONTACT (if applicable):

Name: Cedarbrook Inc.
Address: 2303 Back Acre Circle
Daytime Phone: 301-703-8729

E-mail: sams@cedarbrookinc.com
City: Mount Airy Zip: 21771
Contractor Registration No.: 131-359

LOCATION OF BUILDING/PREMISE: MIHP # of Historic Property 37-003

Is the Property Located within an Historic District? X Yes/District Name Takoma Park
 No/Individual Site Name _____

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.


Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: 7012 Street: Carroll Avenue
Town/City: Takoma Park Nearest Cross Street: Westmoreland Avenue
Lot: 30 Block: 6 Subdivision: 0025 Parcel: 0000

TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:

- | | | |
|---|--|--|
| <input type="checkbox"/> New Construction | <input checked="" type="checkbox"/> Deck/Porch | <input type="checkbox"/> Shed/Garage/Accessory Structure |
| <input type="checkbox"/> Addition | <input type="checkbox"/> Fence | <input type="checkbox"/> Solar |
| <input type="checkbox"/> Demolition | <input type="checkbox"/> Hardscape/Landscape | <input type="checkbox"/> Tree removal/planting |
| <input type="checkbox"/> Grading/Excavation | <input type="checkbox"/> Roof | <input type="checkbox"/> Window/Door |
| | | <input type="checkbox"/> Other: _____ |

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

Michael Areneson  05/05/25
Signature of owner or authorized agent Date

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address
250 Manor Cir Apt 2
Takoma Park, MD 20912

Owner's Agent's mailing address
2303 Back Acre Circle
Mount Airy, MD 21771

Adjacent and confronting Property Owners mailing addresses

7018 Carroll Avenue
Takoma Park, MD 20912

7009 Carroll Avenue
Takoma Park, MD 20912

7006 Carroll Avenue
Takoma Park, MD 20912

7005 Carroll Avenue
Takoma Park, MD 20912

7117 Willow Avenue
Takoma Park, MD 20912

7119 Willow Avenue
Takoma Park, MD 20912

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

The bulding is two appartment buildings connected by a porch (both owned by Rummel). Small grass area surrounding appartments.

Description of Work Proposed: Please give an overview of the work to be undertaken:

Cedarbrook will be replacing railing & support posts on front porch. Railing around porch baloncy will also be relaced. Porch ceiling & existing trim to be scraped and painted. The town requested these repairs due to pealing paint.

Work Item 1: Replacing Posts

Description of Current Condition:

Rotting existing wood posts with peeling paint

Proposed Work:

New wood posts

Work Item 2: Replacing Railings

Description of Current Condition:

Rotting existing wood posts with peeling paint

Proposed Work:

New wood railings & wood balusters

Work Item 3: Clean up celing & fascia

Description of Current Condition:

Peeling ceiling & fascia

Proposed Work:

Scrape existing peeling and repaint.

HISTORIC AREA WORK PERMIT CHECKLIST OF APPLICATION REQUIREMENTS

	Required Attachments						
Proposed Work	I. Written Description	2. Site Plan	3. Plans/ Elevations	4. Material Specifications	5. Photographs	6. Tree Survey	7. Property Owner Addresses
New Construction	*	*	*	*	*	*	*
Additions/ Alterations	*	*	*	*	*	*	*
Demolition	*	*	*		*		*
Deck/Porch	*	*	*	*	*	*	*
Fence/Wall	*	*	*	*	*	*	*
Driveway/ Parking Area	*	*		*	*	*	*
Grading/Exc avation/Land scaing	*	*		*	*	*	*
Tree Removal	*	*		*	*	*	*
Siding/ Roof Changes	*	*	*	*	*		*
Window/ Door Changes	*	*	*	*	*		*
Masonry Repair/ Repoint	*	*	*	*	*		*
Signs	*	*	*	*	*		*

City of Takoma Park

Housing and Community Development Department

Main Office 301-891-7119
Fax 301-270-4568
www.takomaparkmd.gov



7500 Maple Avenue
Takoma Park, MD 20912

MUNICIPALITY LETTER

March 14, 2025

To: Mary Beth Rummel
7012 Carroll Avenue Takoma Park, MD 21791
marybethrummel@@cs.com 240-475-6398

To: Department of Permitting Services
2425 Reddie Drive, 7th floor
Wheaton, Maryland 20902

From: Planning and Development Services Division

THIS IS NOT A PERMIT – For Informational Purposes Only

VALID FOR ONE YEAR FROM DATE OF ISSUE

The property owner is responsible for obtaining all required permits from Montgomery County and the City of Takoma Park. If this property is in the **Takoma Park Historic District**, it is subject to Montgomery County Historic Preservation requirements.

Representative Name: Cedarbrook Inc (Michael Arneson) sams@cedarbrookinc.com 301-703-8728

Location of Project: 7012 Carroll Avenue Takoma Park, MD 21791

Proposed Scope of Work: Removing and replacing porch railings on both existing lower and upper level porches in front of house. (please email Municipality Letter to Cedarbrook and not customer)

The purpose of this municipality letter is to inform you that the City of Takoma Park has regulations and city permit requirements that may apply to your project. This municipality letter serves as notification that, in addition to all Montgomery County requirements, you are required to comply with all City permitting requirements, including:

- Tree Impact Assessment/Tree Protection Plan
- Stormwater management
- City Right of Way

Failure to comply with these requirements could result in the issuance of a Stop Work Order and other administrative actions within the provisions of the law. Details of Takoma Park's permit requirements are attached on page 2.

The issuance of this letter does not indicate approval of the project nor does it authorize the property owner to proceed with the project. The City retains the right to review and comment on project plans during the Montgomery County review process.

City Of Takoma Park

The City of Takoma Park permits for the following issues:

Tree Impact Assessment/Tree Protection Plan/Tree Removal Application:

Construction activities that occur within 50 feet of any urban forest tree (7 and 5/8" in trunk diameter or greater), located on the project property or on an adjacent property, may require a Tree Impact Assessment and possibly a Tree Protection Plan Permit. Make sure to submit a request for a Tree Impact Assessment and schedule a site visit with the City's Urban Forest Manager if any urban forest tree is in the vicinity of proposed construction activities. See the Tree Permits section of the City website for the specific conditions in which a Tree Impact Assessment is required. Depending on the Urban Forest Manager's conclusion following the Tree Impact Assessment, you may need to prepare a full Tree Protection Plan and apply for a Tree Protection Plan Permit as well. Separately, the removal of any urban forest tree will require a Tree Removal Permit application. The tree ordinance is detailed in the City Code, section 12.12. For permit information check: <https://takomaparkmd.gov/services/permits/tree-permits>. The City's Urban Forest Manager can be reached at 301-891-7612 or urbanforestmanager@takomaparkmd.gov.

Stormwater Management:

If you plan to develop or redevelop property, you may be required to provide appropriate stormwater management measures to control or manage runoff, as detailed in City Code section 16.04. All commercial or institutional development in the city must apply for a Stormwater Management Permit regardless of the size of the land disturbance. Additions or modifications to existing detached single-family residential properties do not require a Stormwater Management permit if the project does not disturb more than 5,000 square feet of land area. For more information visit: <https://takomaparkmd.gov/government/public-works/stormwater-management-program/>. The City Engineer should be contacted to determine if a City permit is required. The City Engineer can be reached at 301-891-7620.

City Right of Way:

- To place a **construction dumpster or storage container** temporarily on a City right of way (usually an adjacent road), you will need to obtain a permit. A permit is not required if the dumpster is placed in a privately-owned driveway or parking lot.
- If you plan to install a new **driveway apron**, or enlarge or replace an existing driveway apron, you need a Driveway Apron Permit.
- If you plan to construct a **fence** in the City right of way, you need to request a Fence Agreement. If approved, the Agreement will be recorded in the Land Records of Montgomery County.

For more information and applications for City permits, see: <https://takomaparkmd.gov/services/permits/> or contact the Department of Public Works at 301-891-7633.

Failure to comply with the City's permitting requirements could result in the issuance of a Stop Work Order and other administrative actions within the provisions of the law.

eSigned via SeamlessDocs.com
Michael Arneson
Key: 38bf2056822713c0b979ea7ee94776a

Michael Arneson

03-10-2025

eSigned via SeamlessDocs.com
Takoma Park Planning Division
Key: 19fe84f123e98a3ff4576219059d5fba

03-14-2025





7014

7014



THE LEVEL OF ACCURACY OF
DISTANCES TO APPARENT
PROPERTY LINES IS: **2±**



LEGEND:

- X— FENCE
- B/E BASEMENT ENTRANCE
- B/W BAY WINDOW
- BR BRICK
- BR/L BLDG. RESTRICTION LINE
- BSMT BASEMENT
- C/S CONCRETE STOOP
- CONC CONCRETE
- DW DRIVEWAY
- UP UTILITY POLE
- FR FRAME
- MAC MACADAM
- WW WINDOW WELL
- O/H OVERHANG
- PUE PUBLIC UTILITY ESMT.
- PIE PUBLIC IMPROVEMENT ESMT.

COLOR KEY:

- (RED) RECORD INFORMATION
- (BLUE) IMPROVEMENTS
- (GREEN) ESMTS & RESTRICTION LINES

LOCATION DRAWING OF:

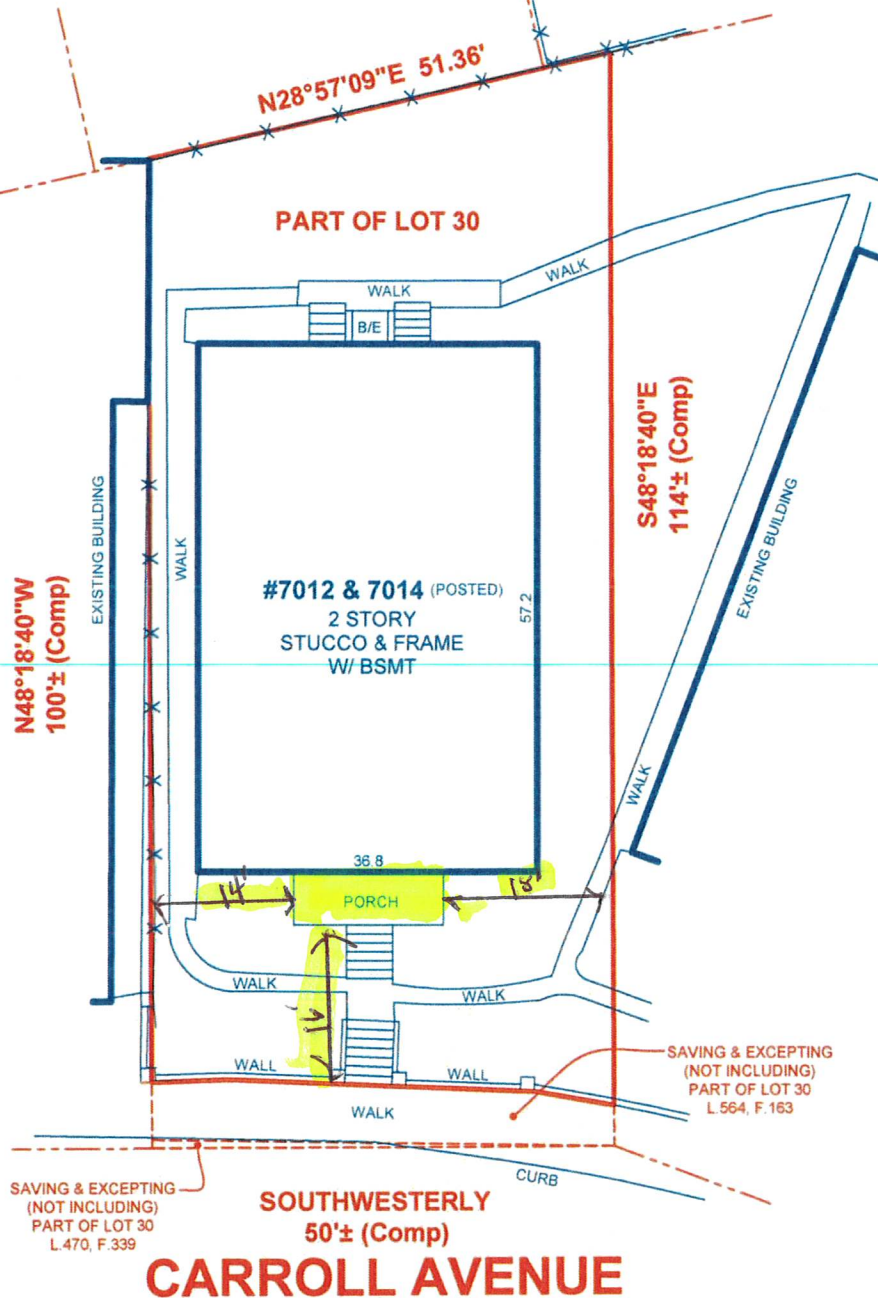
#7012 CARROLL AVENUE
PART OF LOT 30 BLOCK 6
LIPSCOMB & EARNEST TRUSTEES'
ADDITION TO TAKOMA PARK
PLAT NUMBER 46

MONTGOMERY COUNTY, MARYLAND

SCALE: 1"=20' DATE: 03-12-2025

DRAWN BY: AP FILE #: 251806-200

NOTE:
ENCROACHMENTS
MAY EXIST



SURVEYOR'S CERTIFICATE

I HEREBY STATE THAT I WAS IN RESPONSIBLE CHARGE OVER THE PREPARATION OF THIS DRAWING AND THE SURVEY WORK REFLECTED HEREIN AND IT IS IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN REGULATION 12 CHAPTER 09.13.06 OF THE CODE OF MARYLAND ANNOTATED REGULATIONS. THIS SURVEY IS NOT TO BE USED OR RELIED UPON FOR THE ESTABLISHMENT OF FENCES, BUILDING, OR OTHER IMPROVEMENTS. THIS PLAT DOES NOT PROVIDE FOR THE ACCURATE IDENTIFICATION OF PROPERTY BOUNDARY LINES, BUT SUCH IDENTIFICATION MAY NOT BE REQUIRED FOR THE TRANSFER OF TITLE OR SECURING FINANCING OR REFINANCING. THIS PLAT IS OF BENEFIT TO A CONSUMER ONLY INsofar AS IT IS REQUIRED BY A LENDER OR A TITLE INSURANCE COMPANY OR ITS AGENTS IN CONNECTION WITH THE CONTEMPLATED TRANSFER, FINANCING OR REFINANCING. THE LEVEL OF ACCURACY FOR THIS DRAWING IS 2±. NO TITLE REPORT WAS FURNISHED TO NOR DONE BY THIS COMPANY. SAID PROPERTY SUBJECT TO ALL NOTES, RESTRICTIONS AND EASEMENTS OF RECORD. BUILDING RESTRICTION LINES AND EASEMENTS MAY NOT BE SHOWN ON THIS SURVEY. IMPROVEMENTS WHICH IN THE SURVEYOR'S OPINION APPEAR TO BE IN A STATE OF DISREPAIR OR MAY BE CONSIDERED "TEMPORARY" MAY NOT BE SHOWN. IF IT APPEARS ENCROACHMENTS MAY EXIST, A BOUNDARY SURVEY IS RECOMMENDED.

A Land Surveying Company

DULEY
and
Associates, Inc.

Serving D.C. and MD.

14604 Elm Street, Upper Marlboro, MD 20772

Phone: 301-888-1111

Fax: 301-888-1114

Email: orders@duley.biz

On the web: www.duley.biz



View Map

View GroundRent Redemption

View GroundRent Registration

Special Tax Recapture: None

Account Number:District - 13 Account Identifier - 01062246

Owner Information

Owner Name:RUMMEL MARY E TRUSTEE

Use:APARTMENTS

Mailing Address:250 MANOR CIR APT 2
TAKOMA PARK MD 20912-4559

Principal Residence:NO

Deed Reference:/26878/ 00801

Location & Structure Information

Premises Address:7012 CARROLL AVE
TAKOMA PARK 20912-0000

Legal Description:L & E ADD TAKOMA PARK

Map:Grid:Parcel:Neighborhood:Subdivision:Section:Block:Lot:Assessment Year:Plat No:46

JN410000000010000.1600256302025Plat Ref:

Town: TAKOMA PARK

Primary Structure Built

Above Grade Living Area

Finished Basement Area

Property Land Area

County Use

5,651 SF

113

StoriesBasementTypeExteriorQualityFull/Half BathGarageLast Notice of Major Improvements

/

Value Information

Base ValueValuePhase-in Assessments

As ofAs ofAs of

01/01/202507/01/202407/01/2025

Land:300,200336,200

Improvements292,700328,800

Total:592,900665,000592,900616,933

Preferential Land:00

Transfer Information

Seller: DAUGHARTHY, ALAN L ET AL TR

Date: 03/03/2004

Price: \$0

Type: ARMS LENGTH MULTIPLE

Deed1: /26878/ 00801

Deed2:

Seller:

Date:

Price:

Type:

Deed1:

Deed2:

Seller:

Date:

Price:

Type:

Deed1:

Deed2:

Exemption Information

Partial Exempt Assessments:Class

07/01/202407/01/2025

County:0000.00

State:0000.00

Municipal:0000.00|0.000.00|0.00

Special Tax Recapture: None

Homestead Application Information

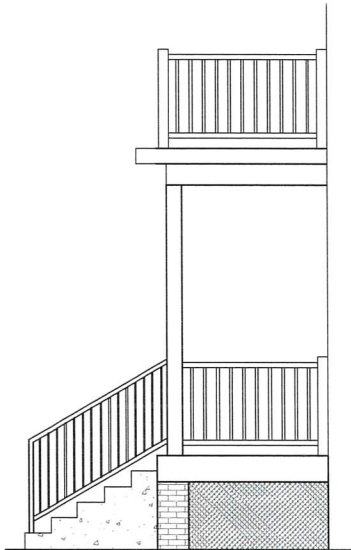
Homestead Application Status: No Application

Homeowners' Tax Credit Application Information

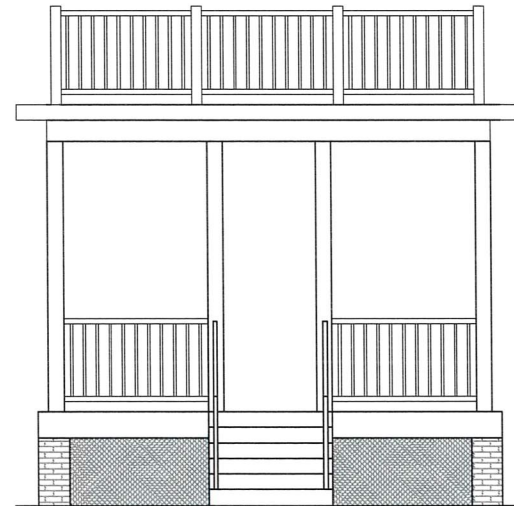
Homeowners' Tax Credit Application Status: No Application

Date:

DRAWINGS:
1) REAR & SIDE ELEVATION
2) LAYOUT PLAN
3) DETAILS PAGE

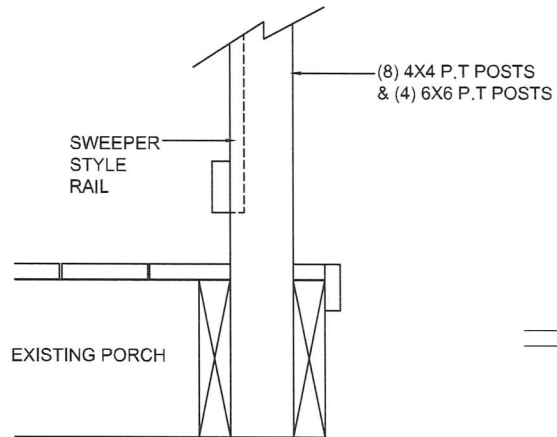


RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



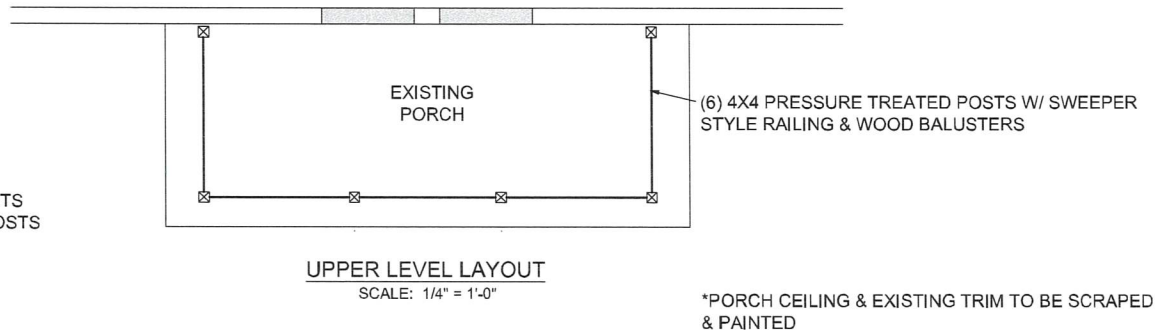
REAR ELEVATION
SCALE: 1/4" = 1'-0"

WOOD DECK TRIM DETAIL
IN-SET POST MOUNT TRIM DETAIL



UPPER LEVEL LAYOUT

SCALE: 1/4" = 1'-0"



LOWER LEVEL LAYOUT

SCALE: 1/4" = 1'-0"

