



FOR STAFF ONLY:

HAWP# _____

DATE ASSIGNED _____

**APPLICATION FOR
HISTORIC AREA WORK PERMIT**
HISTORIC PRESERVATION COMMISSION
301.563.3400

APPLICANT:

Name: _____

E-mail: _____

Address: _____

City: _____ Zip: _____

Daytime Phone: _____

Tax Account No.: _____

AGENT/CONTACT (if applicable):

Name: _____

E-mail: _____

Address: _____

City: _____ Zip: _____

Daytime Phone: _____

Contractor Registration No.: _____

LOCATION OF BUILDING/PREMISE: MIHP # of Historic Property _____

Is the Property Located within an Historic District? ☒ Yes/District Name _____
_____ No/Individual Site Name _____

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: _____ Street: _____

Town/City: _____ Nearest Cross Street: _____

Lot: _____ Block: _____ Subdivision: _____ Parcel: _____

TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:

☐ New Construction

☒ Deck/Porch

☐ Shed/Garage/Accessory Structure

☐ Addition

☐ Fence

☐ Solar

☐ Demolition

☒ Hardscape/Landscape

☐ Tree removal/planting

☐ Grading/Excavation

☐ Roof

☐ Window/Door

☐ Other: _____

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

(Owner's Agent)

Signature of owner or authorized agent

Date

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address

Owner's Agent's mailing address

Adjacent and confronting Property Owners mailing addresses

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

Description of Work Proposed: Please give an overview of the work to be undertaken:

Work Item 1: _____

Description of Current Condition:

Proposed Work:

Work Item 2: _____

Description of Current Condition:

Proposed Work:

Work Item 3: _____

Description of Current Condition:

Proposed Work:

HISTORIC AREA WORK PERMIT CHECKLIST OF APPLICATION REQUIREMENTS

	Required Attachments						
Proposed Work	I. Written Description	2. Site Plan	3. Plans/ Elevations	4. Material Specifications	5. Photographs	6. Tree Survey	7. Property Owner Addresses
New Construction	*	*	*	*	*	*	*
Additions/ Alterations	*	*	*	*	*	*	*
Demolition	*	*	*		*		*
Deck/Porch	*	*	*	*	*	*	*
Fence/Wall	*	*	*	*	*	*	*
Driveway/ Parking Area	*	*		*	*	*	*
Grading/Excavation/ Landscaping	*	*		*	*	*	*
Tree Removal	*	*		*	*	*	*
Siding/ Roof Changes	*	*	*	*	*		*
Window/ Door Changes	*	*	*	*	*		*
Masonry Repair/ Repoint	*	*	*	*	*		*
Signs	*	*	*	*	*		*

WILLIAMS MOORE RESIDENCE - PHASE 2

ABBREVIATIONS

ALUM.	ALUMINIUM	IN.	INCH
AC.	ACRES	INLET	INLET
ADD'L	ADDITIONAL	INV.	INVERT
APPROX.	APPROXIMATE	J.B.	JUNCTION BOX
@	AT	LAT.	LATITUDE
AVG.	AVERAGE	LINEAR	LINEAR
B&B	BALLED AND BURLAPPED	L.F.	LINEAR FOOT
BSMT.	BASEMENT	L.L.	LIVE LOAD
B.C.	BOTTOM OF CURB	L.P.	LOW POINT
BIT.	BITUMINOUS	MAINT.	MAINTENANCE
BLDG.	BUILDING	M.H.	MANHOLE
B.M.	BENCHMARK	MFR.	MANUFACTURER
BOT. or B.	BOTTOM	MAS.	MASONRY
B.S.	BOTTOM OF SLOPE	MATL.	MATERIAL
B.W.	BOTH WAYS	MAX	MAXIMUM
CAL.	CALIPER	MECH.	MECHANICAL
C.B.	CATCHBASIN	MTL.	METAL
C.I.	CAST IRON	MIN.	MINIMUM
CIR.	CIRCULAR	MISC.	MISCELLANEOUS
CAP.	CAPACITY	MON.	MONUMENT
CTR.	CENTER	N.	NORTH
CL.	CENTERLINE	NOM.	NOMINAL DIMENSION
COL.	COLUMN	N.T.S.	NOT TO SCALE
C.L.F.	CHAIN LINK FENCE	NO. or #	NUMBER
C.O.	CLEANOUT	N.I.C.	NOT IN CONTRACT
CONC.	CONCRETE	N.O.T.	NOT TO SCALE
CMU	CONCRETE MASONRY UNIT	O.C.	ON CENTER
CONST.	CONSTRUCTION	ORIG.	ORIGINAL
CONT.	CONTINUOUS	O.A.	OUTSIDE DIAMETER
CU.	CUBIC	OVHD.	OVERHEAD
C.F.	CUBIC FEET	PTD.	PAINTED
C.Y.	CUBIC YARD	PASS.	PASSENGER
C/S	CROSS SLOPE	PT.	POINT
DEG.	DEGREE	P.V.C.	POLYVINYL CHLORIDE
DEP.	DEPARTMENT	PSF	POUND PER SQUARE FOOT
DEPT.	DEPARTMENT	PSI	POUND PER SQUARE INCH
DTL.	DETAIL	P.L.	PROPERTY LINE
D.I.	DRAIN INLET	PVMT.	PAVEMENT
DIA.	DIAMETER	R.	RADIUS
DIM.	DIMENSION	REF.	REFERENCE
DN.	DOWN	REIN.F.	REINFORCE, REINFORCING
D.F.	DRINKING FOUNTAIN	REQ'D.	REQUIRED
DWGS.	DRAWINGS	REV.	REVISED, REVISION(S)
	DOWNSPOUT	R.O.W.	RIGHT OF WAY
E	EAST	R.D.	ROOF DRAIN
EAG.	EAVE	Ø	ROUND DIAMETER
EQ.	EQUAL	R.O.	ROUGH OPENING
ELEC.	ELECTRICAL	SAN.	SANITARY
ELEV.	ELEVATION	SECT.	SECTION
EQUIV.	EQUIVALENT	SH.T.	SHEET
EQUIP.	EQUIPMENT	S.M.	SHEET METAL
EXIST.	EXISTING	S.W.K.	SIDEWALK
EXP. JT.	EXPANSION JOINT	SIM.	SIMILAR
EXT.	EXTERIOR	S.	SOUTH
E.W.	END WALL	SPEC.	SPECIFICATIONS
F.B.	FACE BRICK	STD.	STANDARD
F.O.C.	FACE OF CONCRETE	STA.	STATION
	FEET	ST.M.	STORM INLET
	FINISHED	—ST—	STORM SEWER
F.A.	FIRE ALARM	—SAN—	SANITARY SEWER
FLR.	FLOOR	SPEC.	SPECIFICATIONS OR SPECIFIED
F.D.	FLOOR DRAIN	STL.	STEEL
F.G.	FINISHED GRADE	SQ	SQUARE
F.H.	FIRE HYDRANT	S.F.	SQUARE FOOT
F.F.	FINISHED FLOOR	S.Y.	SQUARE YARD
F.L.	FLOW LINE	S/S	STAINLESS STEEL
F.T.	FOOT	STA.	TANGENT
FUT.	FUTURE	TEL.	TELEPHONE
—G—	GAS	T.C.	TOP OF CURB
GA.	GAUGE	T.E.	TAPERED END
GAL.	GALLON	T&G	TONGUE AND GROOVE
GALV.	GALVANIZED	T.S.	TOP OF SLOPE
G.R.	GUARD RAIL	T.W.	TOP OF WALL
G.R.	GRADE	TYP.	TYPICAL
G.V.	GAS VALVE	U.D.	UNDERDRAIN
HVAC.	HEATING, VENTILATION, AIR CONDITIONING	U.S.G.S.	US GEOLOGICAL SURVEY
HT.	HEIGHT	U.L.	UNDERWRITERS LABORATORY
H.P.	HIGH POINT	VAR.	VARIES, VARIABLE
H.B.	HOSE BIB	V.I.F.	VERIFY IN FIELD
HOR.	HORIZONTAL	VERT.	VERTICAL
	HOUR	—W—	WATER
	HEIGHT	W.	WEST
HW.	HEAD WALL	W.	WITH
HTY.	HIGHWAY	W.M.	WATER METER
IN.	INCH	W/O	WITHOUT
"	INCHES	U.W.M.	WELDED WIRE MESH
	INCLUDED, INCLUDING	U.Y.	WATER VALVE
INCL.	INSIDE DIAMETER	Y.D.	YARD DRAIN

GENERAL NOTES

1. The proposed plans are derived from a survey generated by Sallbox dated 11.01.2018.
2. All works shall conform to requirements of the local soil conservation district and all applicable federal, state, county and/or local statutes, ordinances, regulations, laws and codes. The Contractor shall take all necessary steps to ensure such compliance at no additional cost to the Owner.
3. The Contractor is responsible for licensing, bonding, and insurance as required by applicable regulatory agencies.
4. Prior to commencing any work, the contractor shall schedule a pre-construction meeting with the Landscape Architect.
5. Prior to commencing any work, contractor shall test existing lighting and/or irrigation systems to determine functionality and notify the client & architect of any poorly or non-functioning systems that are intended to remain. Systems will be assumed to be fully operational unless determined otherwise by the contractor.
6. The Contractor shall obtain Owner's approval for times of day during which construction operations may occur. All construction operations shall occur within times specified by local ordinances.
7. The Contractor shall fully acquaint himself with the conditions of the site. The Contractor shall thoroughly examine and be familiar with the drawings and specifications. Should the Contractor find, after visiting the site or during construction, any discrepancies, omissions, ambiguities, or conflicts in or among the Contract Documents or be in doubt as to their meaning, they shall bring these items to the attention of the Landscape Architect for direction prior to commencing work.
8. The Contractor shall identify all staging and stockpile areas for approval by the Landscape Architect prior to commencing work. This plan should be reviewed with the Landscape Architect and Owner at the Pre-Construction meeting.
9. The Contractor shall distribute materials and equipment and spread any stockpiles in such a manner as to protect existing conditions, such as utilities, paving, vegetation, etc. Do not stockpile soil or construction materials, or drive vehicles within the drip line of existing trees to remain.
10. The Contractor is responsible for contacting the local utility agency a minimum of 72 hours prior to commencing work and shall be fully responsible for any damages which may occur as a result of the Contractor's failure to preserve any and all marked utilities.
11. The Contractor is responsible for any construction inspections required.
12. The Contractor shall provide erosion control materials around the Limit of Work as required by local codes. Such materials shall be in place prior to any demolition work and shall remain in place until work is completed. Protective fencing shall be erected at the dipline of existing trees that are to remain (as indicated on the plans). Refer to TREE CARE NOTES on sheet L003
13. The Contractor shall preserve and protect all existing conditions unless otherwise noted. The Contractor shall promptly repair any damage to existing pavement, driveways, and adjacent facilities caused by construction operations. Any damages, or necessary alterations other than those indicated on the drawings must be repaired and are the responsibility of the Contractor.
14. The Contractor is responsible for keeping all work and related activities within the property line or the designated Limit of Work. At no time is access, storage, or movement of materials, machinery, or debris to take place outside of the project Limit of Work line or through neighboring sites. Construction access shall be maintained in a condition which will prevent tracking or flowing of sediment onto public rights-of-way. Any streets, sidewalks, alleys, or driveways disturbed during construction must be cleared of debris, swept, and washed on a daily basis during construction. The Contractor shall keep the site clean and free of trash at all times during construction.
15. The Contractor shall minimize construction operations in the root zones of existing trees to remain. The Landscape Architect shall approve all trenching or other disturbance required within the root zones of trees. The Contractor is responsible for consulting an Arbotrist prior to major excavation. Do not shred or tear tree roots with excavation equipment. Refer to TREE CARE NOTES.
16. The Contractor shall provide mock-ups in the field of all vertical and horizontal surfaces for approval by Owner and Landscape Architect prior to construction. All mock-ups shall be preserved to be used for reference during construction. Do not remove mock-ups until construction is complete.
17. Substitutions in products and materials are not permitted without prior approval by the Landscape Architect.
18. The Contractor is responsible for coordinating with all other trades on the site.
19. The Contractor, or a contractor's representative shall be on site at the time of all materials deliveries. If someone is not available to accept the delivery the contractor shall be fully responsible for any loss or damage to the materials or adjacent property.
20. Upon completion of the project, all excess soil, temporary fencing, erosion control measures, stabilization materials, and other debris shall be removed from the site and disposed of legally. All paved areas, walls, etc. shall be thoroughly washed and cleaned.
21. Where applicable the contractor is responsible for ensuring that all elements are constructed in accordance with the design documents and contract conditions including the current ADA standards for accessible design and updates. If the contractor observes that any part of the project is non-compliant with the ADA, they shall notify the landscape architect immediately so that an adjustment can be made to ensure compliance. Any landscape components that are built without complying with the above code must be corrected by the contractor at no additional expense.
22. Refer to individual drawings for further notes.

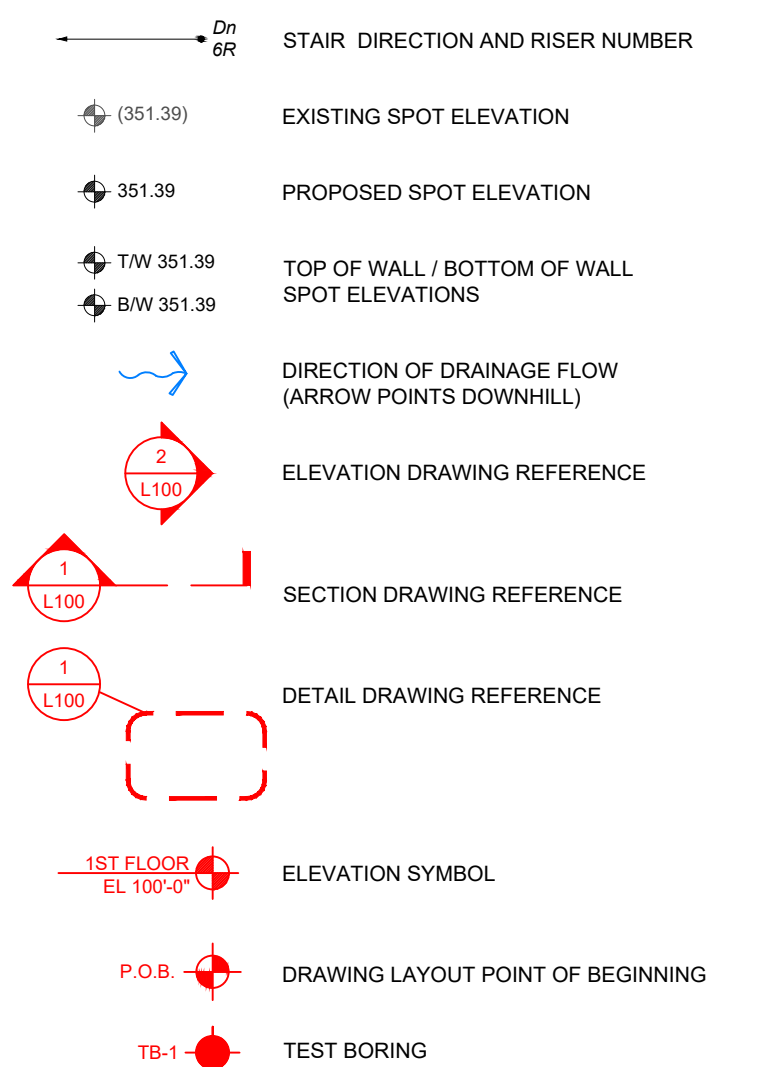
DRAWING LIST

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PLANTING SYMBOLS



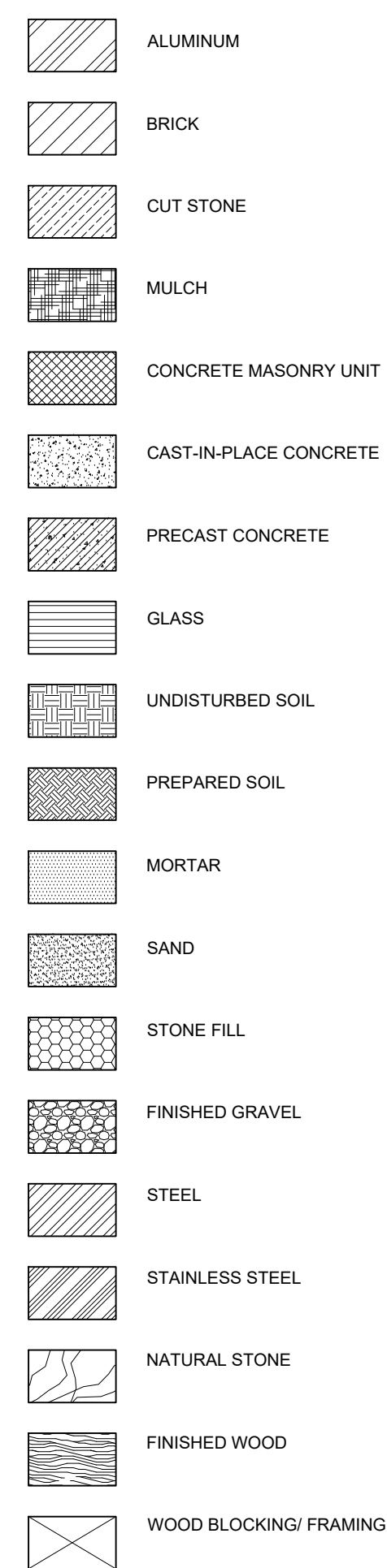
DRAWING SYMBOLS



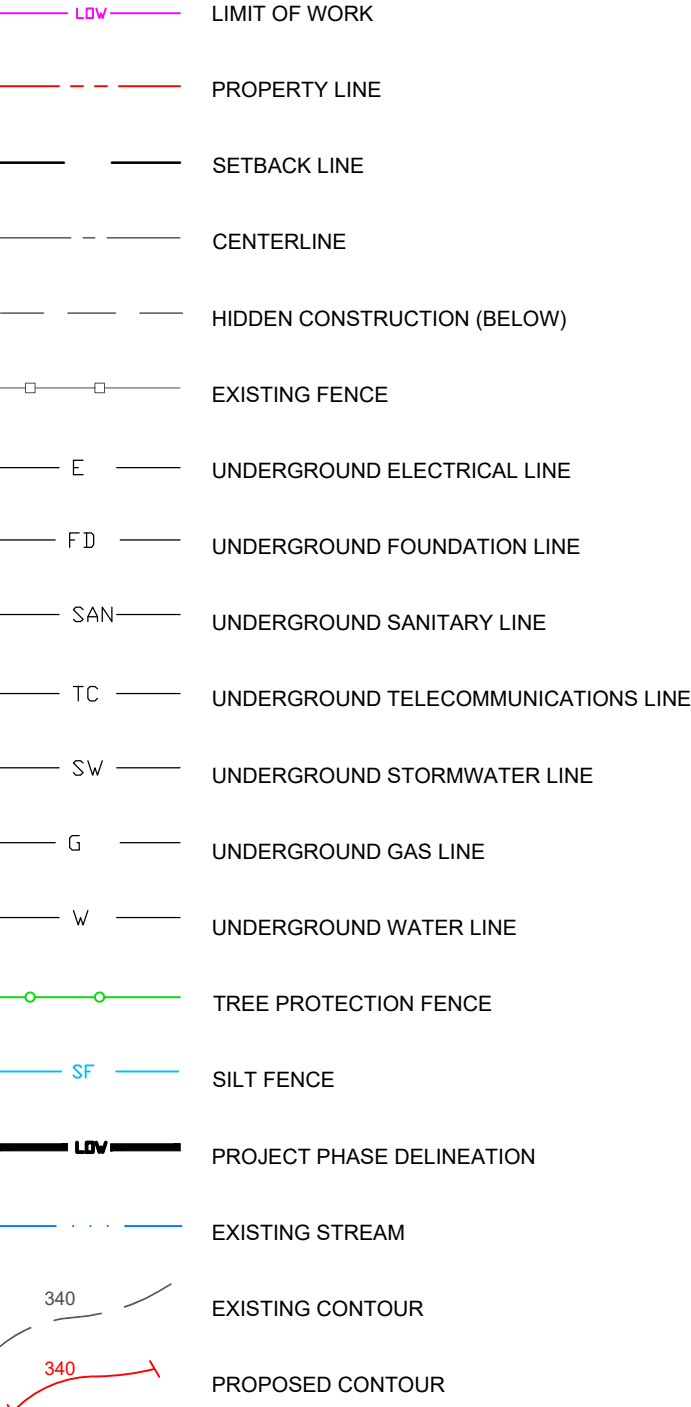
ELECTRICAL SYMBOLS



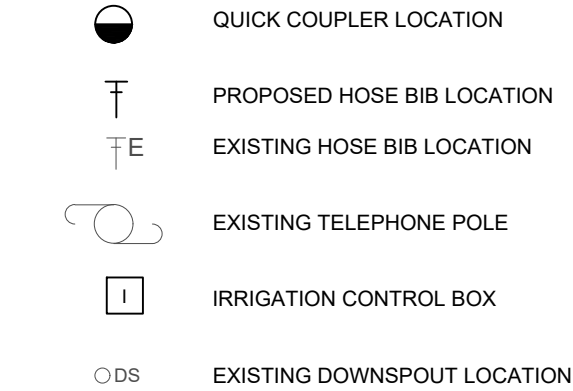
MATERIALS SYMBOLS



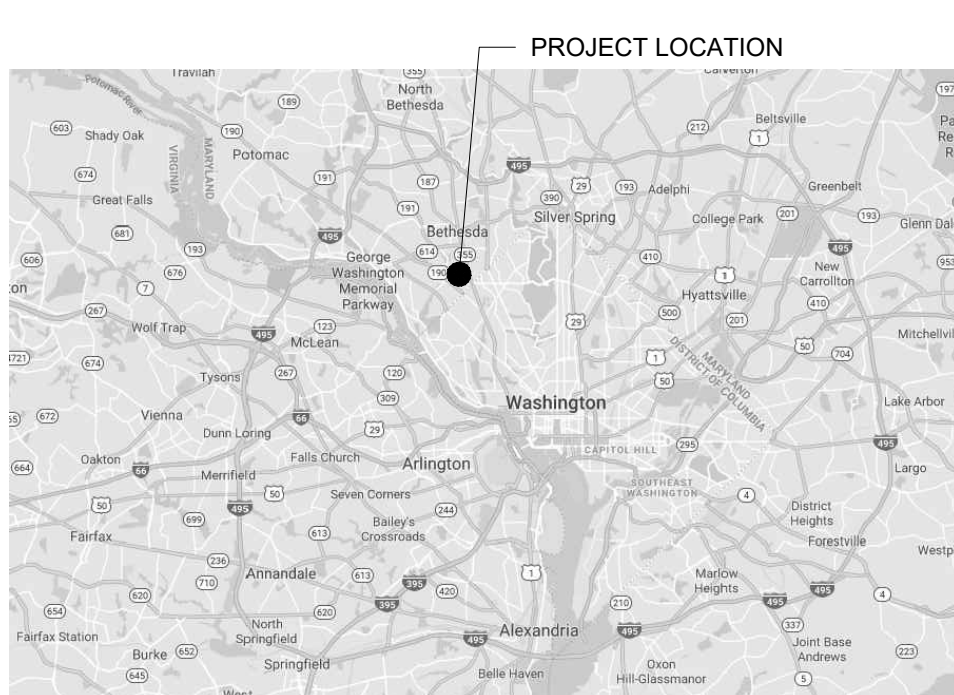
LINETYPES



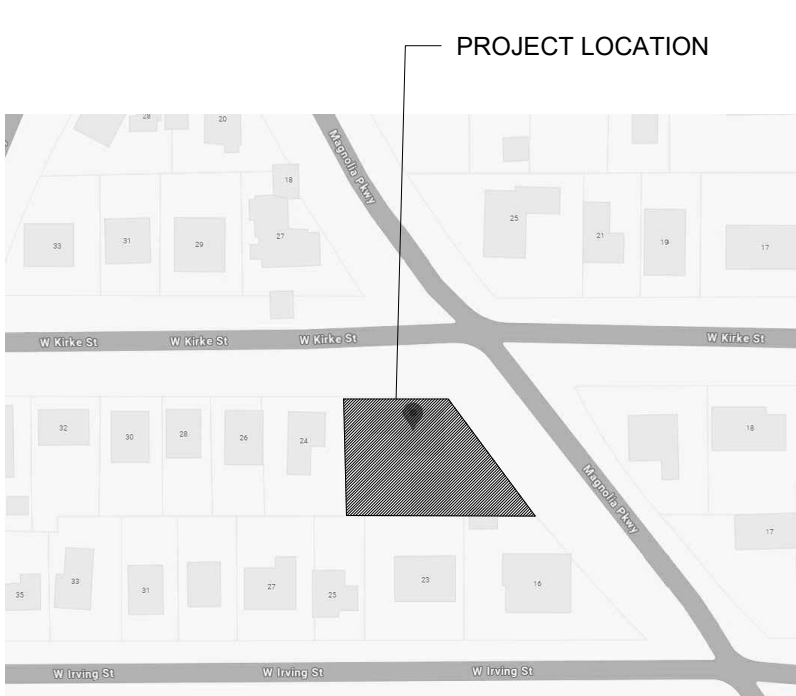
IRRIGATION/UTILITY SYMBOLS



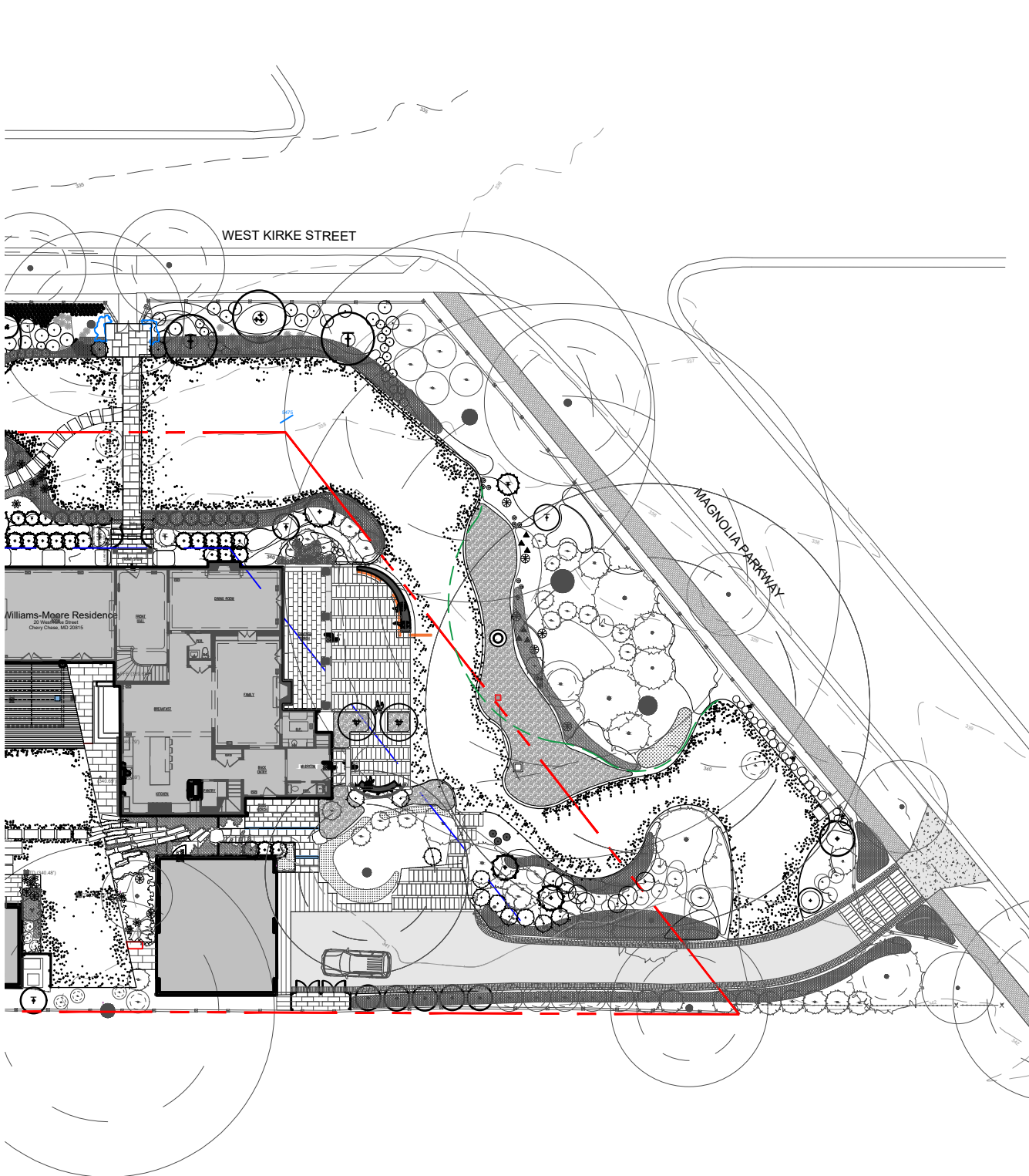
REGIONAL MAP - NTS



VICINITY PLAN - NTS



SITE PLAN 1/32"=1'-0"

Project Name / ClientWILLIAMS MOORE
PHASE 2

20 West Kirke St.
Chevy Chase, MD
20815

Client Emergency Contact Number:
(111) 111-1111



609 H Street NE, Suite 600
Washington, DC 20002
(202) 543-1286
www.moodygraham.com

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Note

Scope of work noted below has been
already approved by HPC under
HAWP # 1109308

Restoration/ reconstruction of side porch and interior renovations to (2) second floor bedroom suites, including bathrooms. Adding stone patio, seat walls, and new planting.

[illegible]

Professional Seal

Project Number: 25618-01

Drawn By: NW

Checked By: AC

Sheet Name

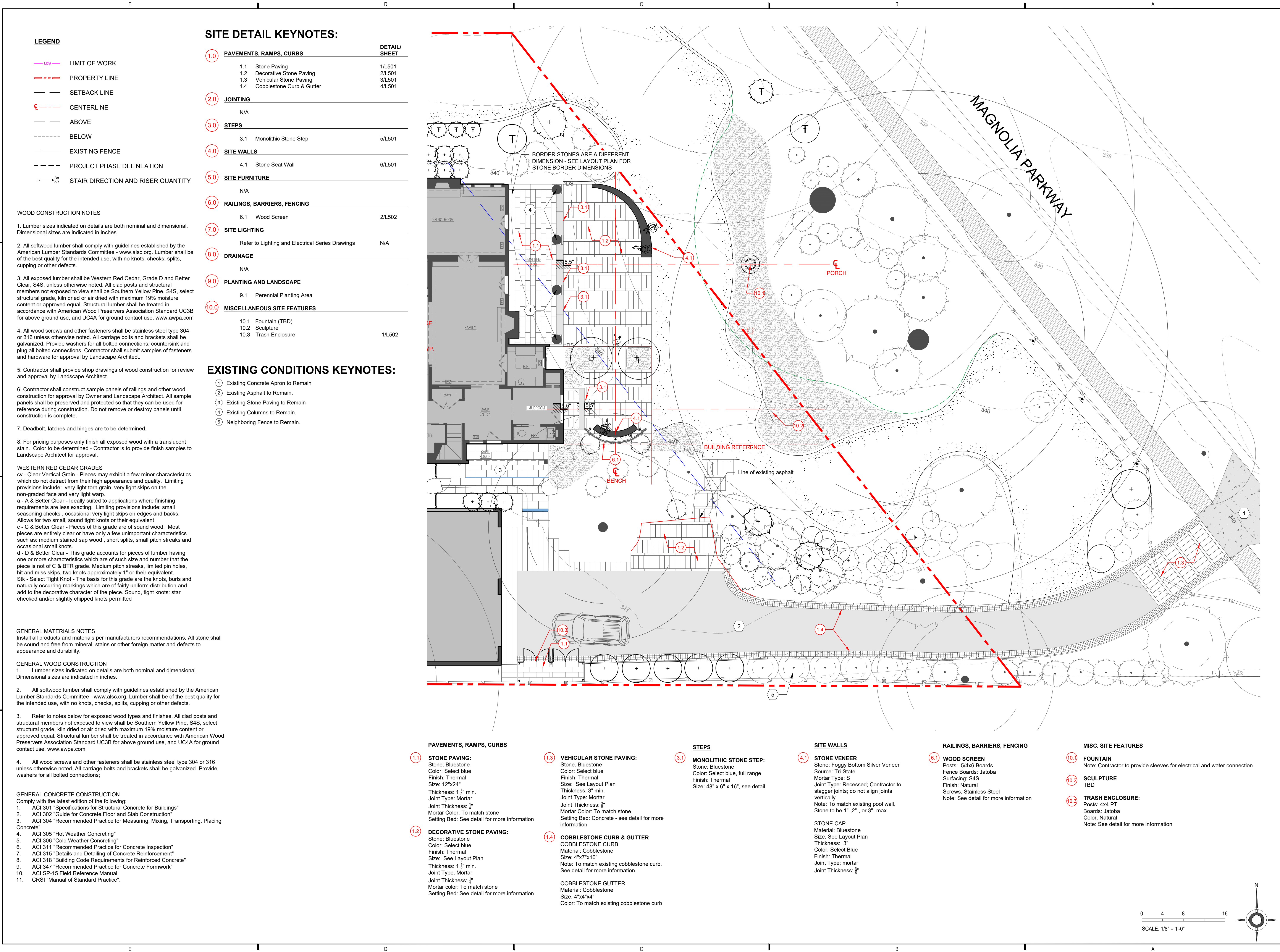
COVER SHEET & GENERAL NOTES

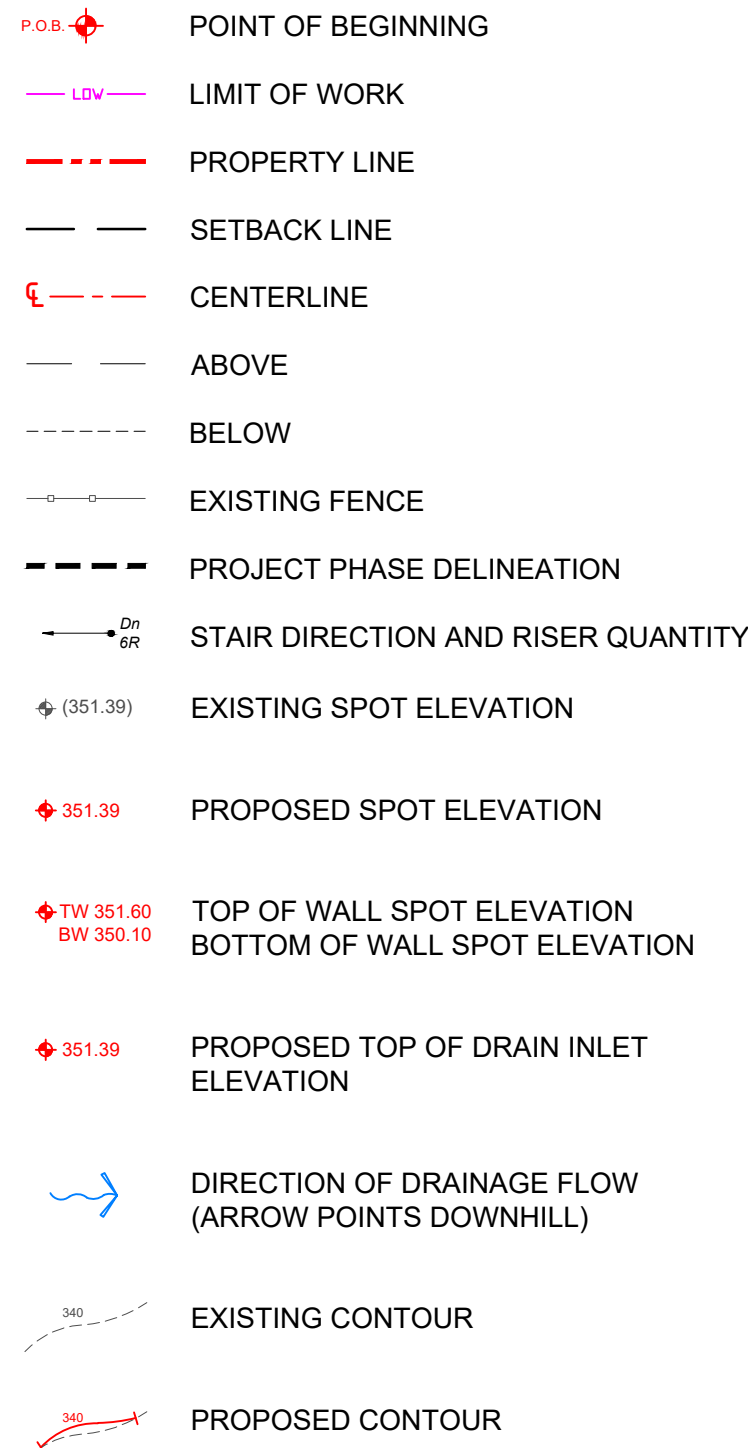
AS SHOWN

Drawing No.

L001

L101

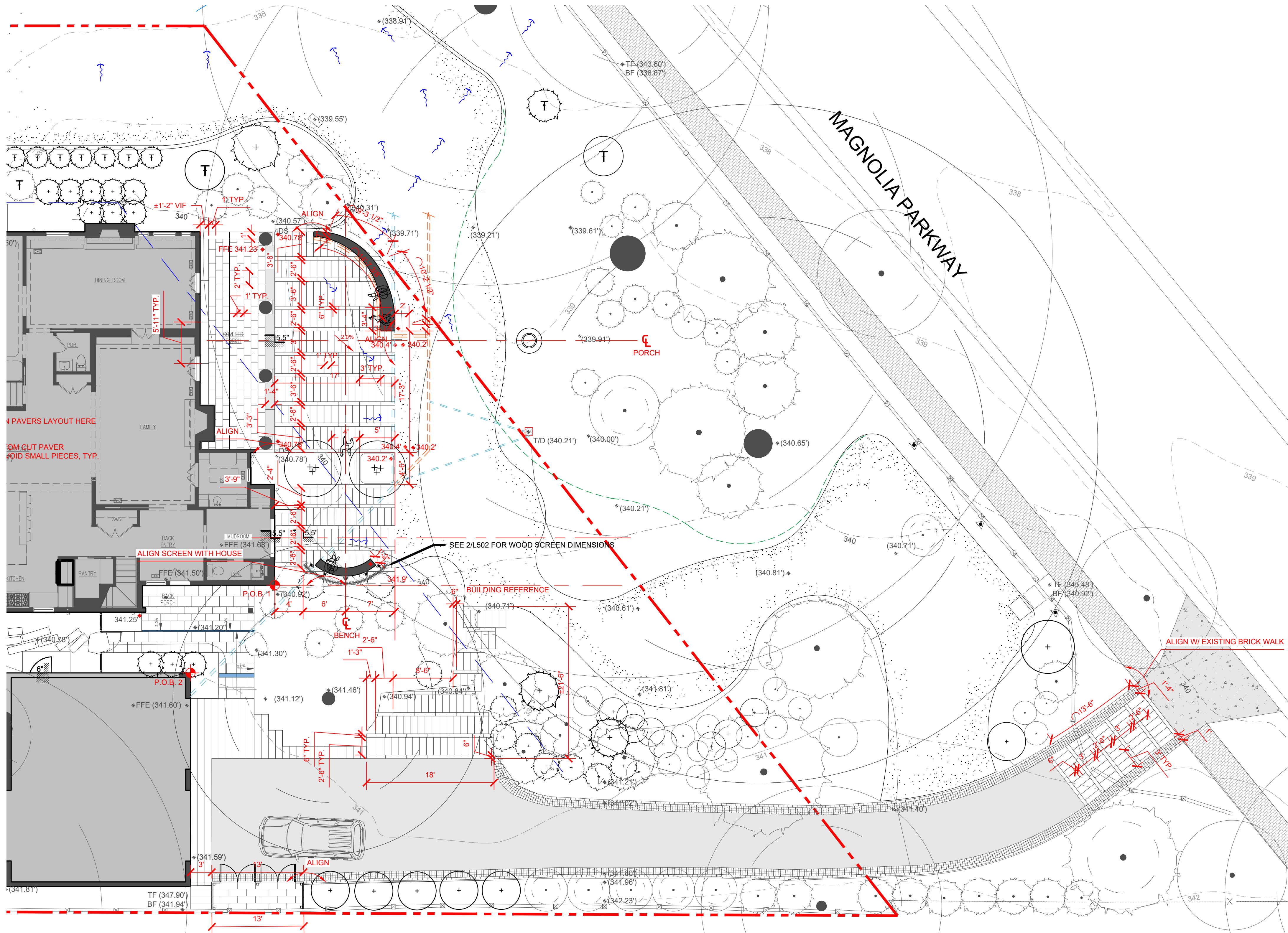




1. **DO NOT SCALE DRAWINGS.** Use figures given for dimensions. If dimensions or necessary information is missing contact Landscape Architect for clarification.
2. All angles are perpendicular unless otherwise noted. All lines that appear parallel are parallel unless otherwise noted.
3. The Contractor shall locate the location of hardscape features such as edge of paving, walls, stairs, curbs, drains, etc., per the layout plans for review and approval by LA before proceeding with work. Center lines of paths and drives shall be staked at 25' intervals, unless otherwise noted, for review and approval by LA.
4. The Contractor shall field verify all existing conditions and make necessary minor adjustments in the proposed work to meet the intent of the plans and to provide smooth transitions between existing conditions and new work. If there are discrepancies between the construction drawings and actual site conditions the contractor will immediately notify the Landscape Architect and secure written instruction prior to proceeding with any part of the work affected by omission or discrepancy.
5. New work shall meet and match alignment of existing features and finished grades at limits of work and at existing pavement or other facilities to remain.
6. All dimensions are to face of tread, face of brick edging, and face of walls, etc., unless otherwise noted. All dimensions to faces of buildings are to the face of foundation where the wall meets grade, unless otherwise noted.
7. All linear dimensions of pavers, treads, coping, curbs, etc. are to center of joint, unless otherwise noted.
8. Refer to Layout & Grading Plans for locations of drain inlets. Align drains with edges of paving unless otherwise noted. Contractor to field verify locations of existing drainage courses. Drain inlets not dimensioned, drainage swales, high points and low points shall be staked in the field for review and approval by the LA.

Finished Grade- Elevation of finished surface of planting soil.

- Submit test results to the Landscape Architect a minimum of 30 days prior to commencing soil preparation for instructions on soil amendments.



8. Slope all planting areas within 10 feet of the foundation away from the building at 5% minimum grade as indicated per code.

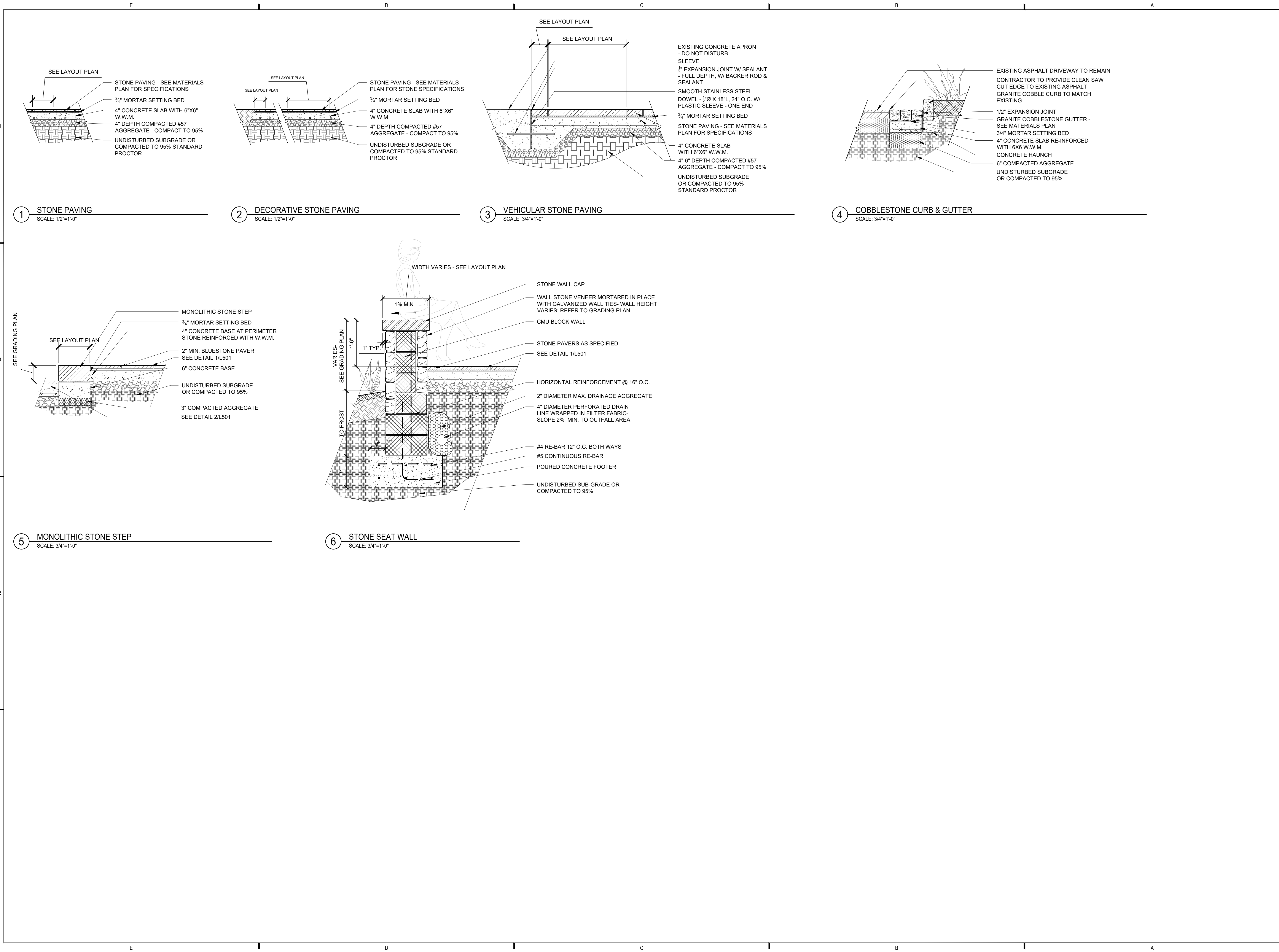
DRAINAGE NOTES

4. The Contractor shall install electrical and irrigation sleeving prior to the installation of hardscape. Refer to Lighting and Irrigation plans for additional requirements for electrical and irrigation lines and sleeves. Stake all installed sleeve locations in field. Stakes must remain visible until electrical and irrigation work is complete.

1. All storm drain inlets shall connect to storm drain system designed by the Civil Engineer. See Civil Engineer's drawings for materials and configuration of drainage system.
2. The Landscape Architect shall approve the location and layout of all drains.
3. Test all new utility and site drainage systems prior to installation of backfill materials. Install backfill materials with care to avoid damaging or displacing installed utilities
4. Surface drainage shall be diverted to a storm sewer conveyance or other approved point of collection so as to not create a hazard. Lots shall be graded to drain surface water away from foundation walls. The grade shall fall a minimum of "6" within the first ten feet. Exception: Where lot lines, walls slopes or other physical barriers prohibit "6" of fall with 10 feet, the final grade shall slope away from the foundation at a minimum slope of 5 percent and the water shall be directed to drains or swales to ensure drainage away from the structure. Swales located within 10 feet of the building foundation shall be sloped a minimum of 2 percent. Impervious surfaces within 10 feet of the building foundation shall be sloped a minimum 2 percent away from the building.

Drawing No.

L104



Project Name / Client

**WILLIAMS MOORE
PHASE 2**

20 West Kirke St.
Chevy Chase, MD
20815

Client Emergency Contact Number:
(111) 111-1111

Landscape Architect



609 H Street NE, Suite 600
Washington, DC 20002
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Note:

Scope of work noted below has been
already approved by HPC under
HAWP # 1109308

Restoration/ reconstruction of side
porch and interior renovations to (2)
second floor bedroom suites, including
bathrooms. Adding stone patio, seat
walls, and new planting.

Drawing Release Record

No. Date Revisions

05/12/25 BID SET

Professional Seal

Project Number: 2816-01

Drawn By: HW

Checked By: AD

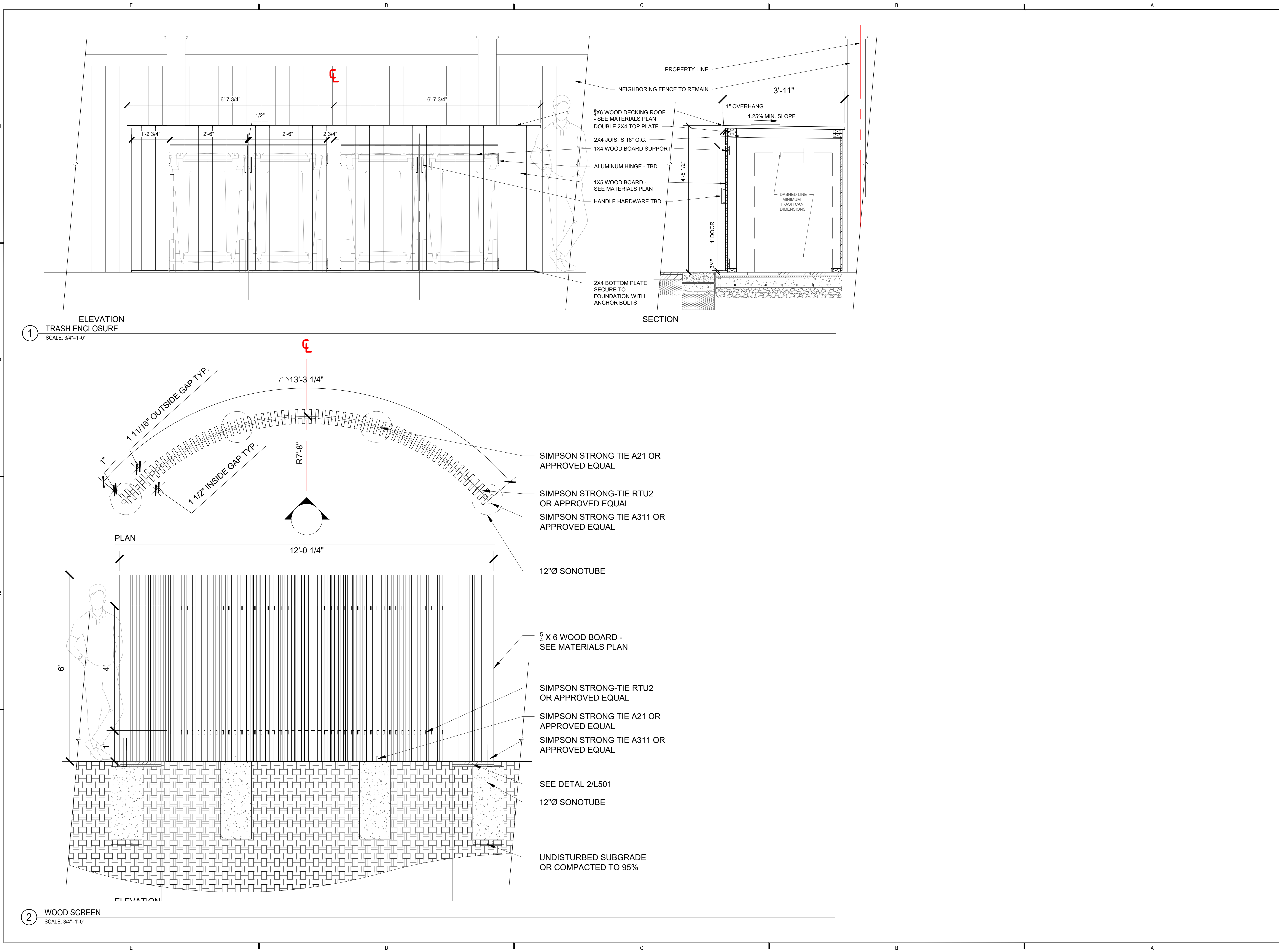
Sheet Name

HARDSCAPE DETAILS

AS SHOWN

Drawing No.

L501



Project Name / Client

**WILLIAMS MOORE
PHASE 2**

20 West Kirke St.
Chevy Chase, MD
20815

Client Emergency Contact Number:
(111) 111-1111

Landscape Architect



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Project Team

Architect
Firm Name
Street Address
City, State ZIP
(xxx) xxx-xxxx

Drawing Release Record

No. Date Revisions

1 05/12/25 BID SET

Professional Seal

Project Number: 2816-01

Drawn By: HW

Checked By: AD

Sheet Name

CARPENTRY DETAILS

AS SHOWN

Drawing No.

L502



**Municipality Letter for
Proposed Construction Project**

Subject Property: 20 West Kirke Street, Chevy Chase, MD 20815
Property Owner: Elizabeth Williams
Project Manager/Contractor: Avantika Dalal /Moody Graham Landscape Architecture
Proposed Work: Driveway work to include curbs, gutters and install new fence

5/14/2025

Rabbiah Sabbakhan, Director
Department of Permitting Services of Montgomery County
255 Rockville Pike, 2nd floor
Rockville, MD 20850

Dear Mr. Sabbakhan,

This letter is to inform your department that the above homeowner/contractor has notified Chevy Chase Village that he or she plans to apply for both county and municipal permits for the above summarized construction project. Chevy Chase Village will not issue any municipal building permit(s) for this proposed project until Montgomery County has issued all necessary county permits and the applicant has provided Chevy Chase Village with copies of county-approved and stamped plans. We have advised the homeowner/contractor that a permit from Montgomery County does not guarantee a permit from this municipality unless the project complies with all our municipal rules and regulations.

If this homeowner/contractor later applies for an amended county permit, please do not approve that application until you have received a Municipality Letter from us indicating that the homeowner/contractor has notified us of that proposed amendment to the permit.

If you have any questions about this proposed project and the municipal regulation of it by Chevy Chase Village, do not hesitate to have your staff contact my office. The Village Permitting Coordinator can be reached by phone at 301-654-7300 or by e-mail at ccvpermitting@montgomerycountymd.gov.

Sincerely,

Shana R. Davis-Cook
Chevy Chase Village Manager

CHEVY CHASE VILLAGE

5906 Connecticut Avenue
Chevy Chase, Maryland 20815

Phone (301) 654-7300

Fax (301) 907-9721

ccv@montgomerycountymd.gov

www.chevychasevillagemd.gov

BOARD OF MANAGERS

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LEGAL COUNSEL
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