



APPLICATION FOR
HISTORIC AREA WORK PERMIT
HISTORIC PRESERVATION COMMISSION
301.563.3400

FOR STAFF ONLY:
HAWP# 1111550
DATE ASSIGNED _____

APPLICANT:

Name: Lauren Wilk
Address: 509 Philadelphia Ave.
Daytime Phone: 913-244-2796

E-mail: laurenwilk@gmail.com
City: Takoma Park Zip: 20912
Tax Account No.: 01059215

AGENT/CONTACT (if applicable):

Name: _____
Address: _____
Daytime Phone: _____

E-mail: _____
City: _____ Zip: _____
Contractor Registration No.: _____

LOCATION OF BUILDING/PREMISE: MIHP # of Historic Property _____

Is the Property Located within an Historic District? Yes/District Name Takoma Park
No/Individual Site Name _____

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: 509 Street: Philadelphia Ave.
Town/City: Takoma Park Nearest Cross Street: Piney Branch/Takoma Ave
Lot: 38 Block: 72A Subdivision: 025 Parcel: _____

TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:

- | | | |
|---|--|---|
| <input type="checkbox"/> New Construction | <input checked="" type="checkbox"/> Deck/Porch | <input type="checkbox"/> Shed/Garage /Accessory Structure |
| <input type="checkbox"/> Addition | <input type="checkbox"/> Fence | <input type="checkbox"/> Solar |
| <input type="checkbox"/> Demolition | <input type="checkbox"/> Hardscape/Landscape | <input type="checkbox"/> Tree removal/planting |
| <input type="checkbox"/> Grading/Excavation | <input type="checkbox"/> Roof | <input type="checkbox"/> Window/Door |
| | | <input type="checkbox"/> Other: _____ |

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

Lauren Wilk
Signature of owner or authorized agent

3/31/25
Date

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address

509 Philadelphia Ave.
Takoma Park, MD 20912

Owner's Agent's mailing address

Adjacent and confronting Property Owners mailing addresses

511 Philadelphia Ave.
Takoma Park, MD 20912

507 Philadelphia Ave.
Takoma Park, MD 20912

510 Philadelphia Avenue
Takoma Park MD 20912

418 Boston Avenue
Takoma Park MD 20912

420 Boston Avenue
Takoma Park MD

514 Philadelphia Avenue
Takoma Park MD 20912

502 Boston Avenue
Takoma Park MD

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

House with front porch, driveway,
walkway and yard

Description of Work Proposed: Please give an overview of the work to be undertaken:

Replace front porch floor and step

Work Item 1: Replace Deck w/ Composite material

Description of Current Condition:

Concrete porch

Proposed Work:

Replace with decking

Work Item 2: _____

Description of Current Condition:

Proposed Work:

Work Item 3: _____

Description of Current Condition:

Proposed Work:

THIS DOCUMENT IS CERTIFIED TO:



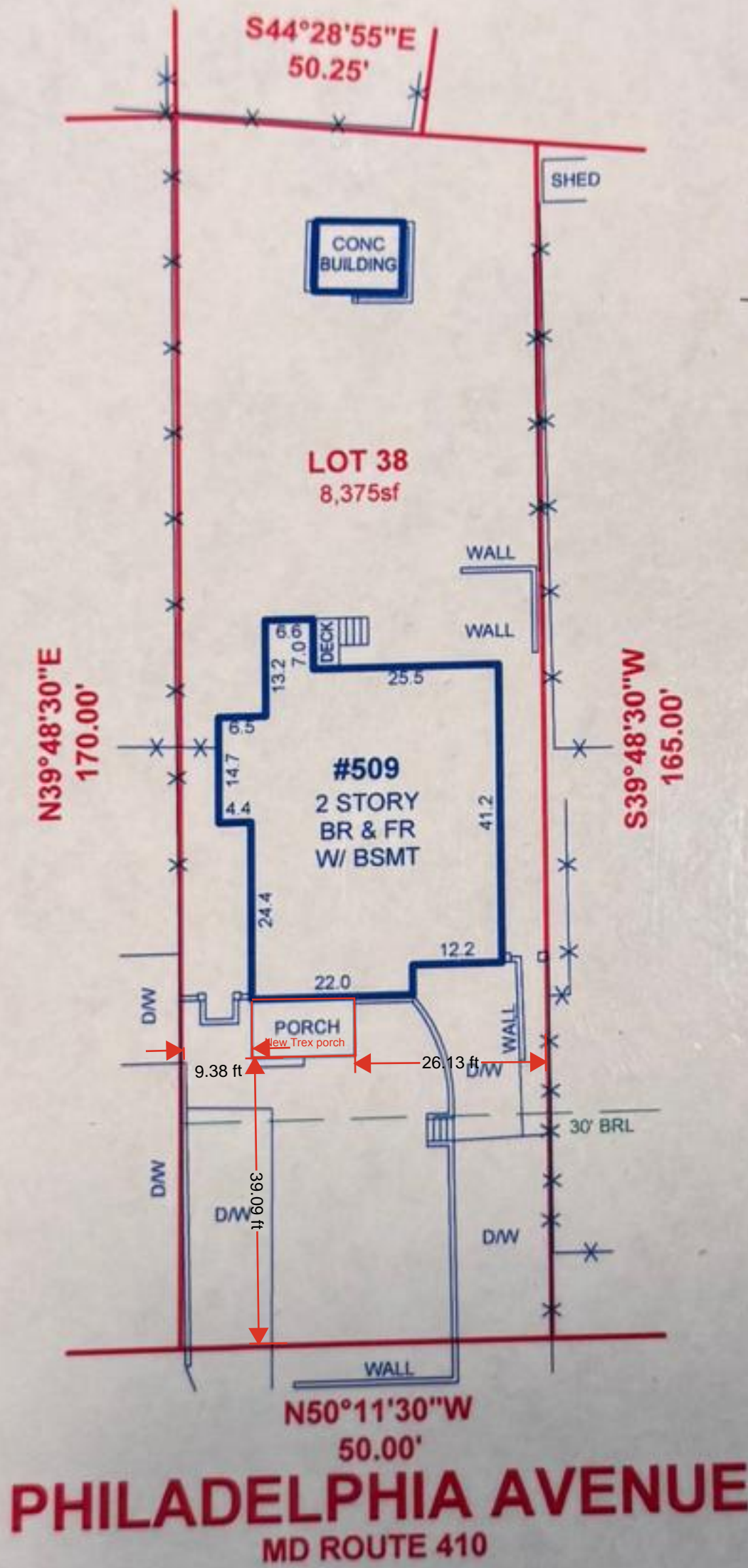
DISTRICT TITLE

CASE #: 16-0111SMS



DISTRICT TITLE

NOTE:
ENCROACHMENTS
MAY EXIST



LOCATION DRAWING OF:

#509 PHILADELPHIA AVENUE
LOT 38 BLOCK 72-A
PHILADELPHIA AVENUE EXTENSION
TAKOMA PARK

PLAT BOOK 4, PLAT 315

MONTGOMERY COUNTY, MARYLAND

SCALE: 1"=30' DATE: 2-8-16

DRAWN BY: AP FILE #: 160592-404

LEGEND:

- X- FENCE
- B/E BASEMENT ENTRANCE
- B/W BAY WINDOW
- BR BRICK
- BRL BLDG. RESTRICTION LINE
- BSMT BASEMENT
- C/S CONCRETE STOOP
- CONC CONCRETE
- D/W DRIVEWAY
- FR FRAME
- MAC MACADAM
- O/H OVERHANG
- PUE PUBLIC UTILITY ESMT.

COLOR KEY:

- (RED) RECORD INFORMATION
- (BLUE) IMPROVEMENTS
- (GREEN) ESMTS & RESTRICTION LINES

A Land Surveying Company



DULEY

and
Associates, Inc.

Serving D.C. and MD.

14604 Elm Street, Upper Marlboro, MD 20772

Phone: 301-888-1111

Email: orders@duley.biz

Fax: 301-888-1114

On the web: www.duley.biz

SURVEYOR'S CERTIFICATE

I HEREBY STATE THAT I WAS IN RESPONSIBLE CHARGE OVER THE PREPARATION OF THIS DRAWING AND THE SURVEY WORK REFLECTED HEREIN AND IT IS IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN REGULATION 12 CHAPTER 09.13.06 OF THE CODE OF MARYLAND ANNOTATED REGULATIONS. THIS SURVEY IS NOT TO BE USED OR RELIED UPON FOR THE ESTABLISHMENT OF FENCES, BUILDING, OR OTHER IMPROVEMENTS, THIS PLAT DOES NOT PROVIDE FOR THE ACCURATE IDENTIFICATION OF PROPERTY BOUNDARY LINES, BUT SUCH IDENTIFICATION MAY NOT BE REQUIRED FOR THE TRANSFER OF TITLE OR SECURING FINANCING OR REFINANCING. THIS PLAT IS OF BENEFIT TO A CONSUMER ONLY INsofar AS IT IS REQUIRED BY A LENDER OR A TITLE INSURANCE COMPANY OR ITS AGENTS IN CONNECTION WITH THE CONTEMPLATED TRANSFER, FINANCING OR REFINANCING. THE LEVEL OF ACCURACY FOR THIS DRAWING IS 1". NO TITLE REPORT WAS FURNISHED TO NOR DONE BY THIS COMPANY. SAID PROPERTY SUBJECT TO ALL NOTES, RESTRICTIONS AND EASEMENTS OF RECORD. BUILDING RESTRICTION LINES AND EASEMENTS MAY NOT BE SHOWN ON THIS SURVEY. IMPROVEMENTS WHICH IN THE SURVEYOR'S OPINION APPEAR TO BE IN A STATE OF DISREPAIR OR MAY BE CONSIDERED "TEMPORARY" MAY NOT BE SHOWN. IF IT APPEARS ENCROACHMENTS MAY EXIST, A BOUNDARY SURVEY IS RECOMMENDED.

DULEY & ASSOC.

WILL GIVE YOU A 100%
FULL CREDIT TO
UPGRADE THIS
SURVEY TO A
"BOUNDARY/STAKE"
SURVEY FOR ONE
YEAR FROM THE DATE
OF THIS SURVEY.

(EXCLUDING D.C. & BALT. CITY)

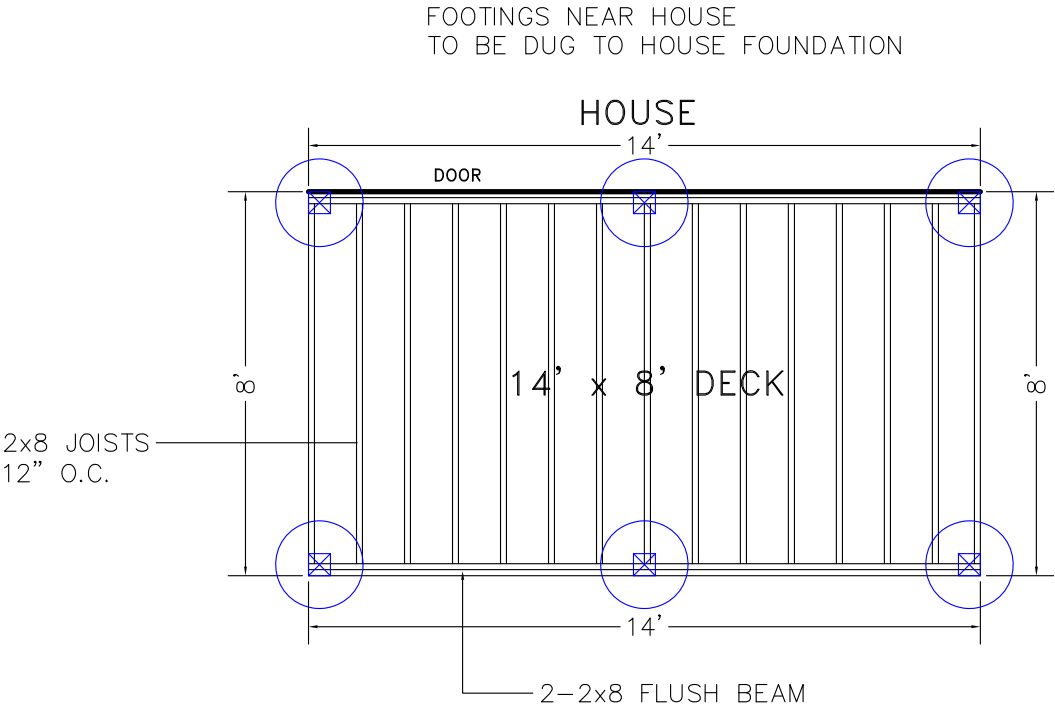


1/4" = 1' SCALE
8" ELEVATION
FREESTANDING DECK




EXISTING CONDITIONS

BASED ON THE 2021 INTERNATIONAL RESIDENTIAL CODE
MARYLAND EDITION



JOISTS TO BE 2x8 SYP TREATED INSTALLED 12" O.C.
BEAMS TO BE 2-2x8 TREATED NAILED
SUPPORT POSTS TO BE 6x6 SYP TREATED
DECKING TO BE 5/4 x 6
ALL DECK HARDWARE TO BE CORROSION RESISTANT AND INSTALLED
PER MANUFACTURERS INSTRUCTIONS

 22" DIAMETER FOOTING
30" DEEP
8" CONCRETE BASE

FROST FOOTINGS SIZES BASED
ON 55 LB PER SQUARE FOOT
TRIBUTARY LOADS APPLIED TO
1500 PSI SOIL COMPRESSION
CAPACITY

JOB NAME: LAUREN WILK

ADDRESS: 509 PHILADELPHIA AVE

TAKOMA PARK, MD 20912

DATE: 3-11-25

FRAMING PLAN

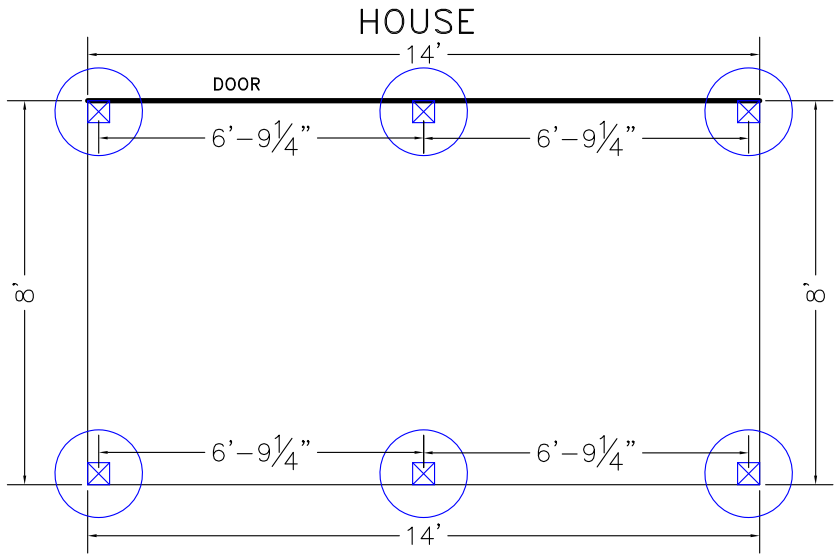
1



deckimpact@gmail.com
240-482-7445

1/4" = 1' SCALE
8" ELEVATION
FREESTANDING DECK

BASED ON THE 2021 INTERNATIONAL RESIDENTIAL CODE
MARYLAND EDITION



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CAPACITY



Professional Deck Restoration

deckimpact@gmail.com
240-482-7445

JOB NAME: LAUREN WILK

ADDRESS: 509 PHILADELPHIA AVE

TAKOMA PARK, MD 20912

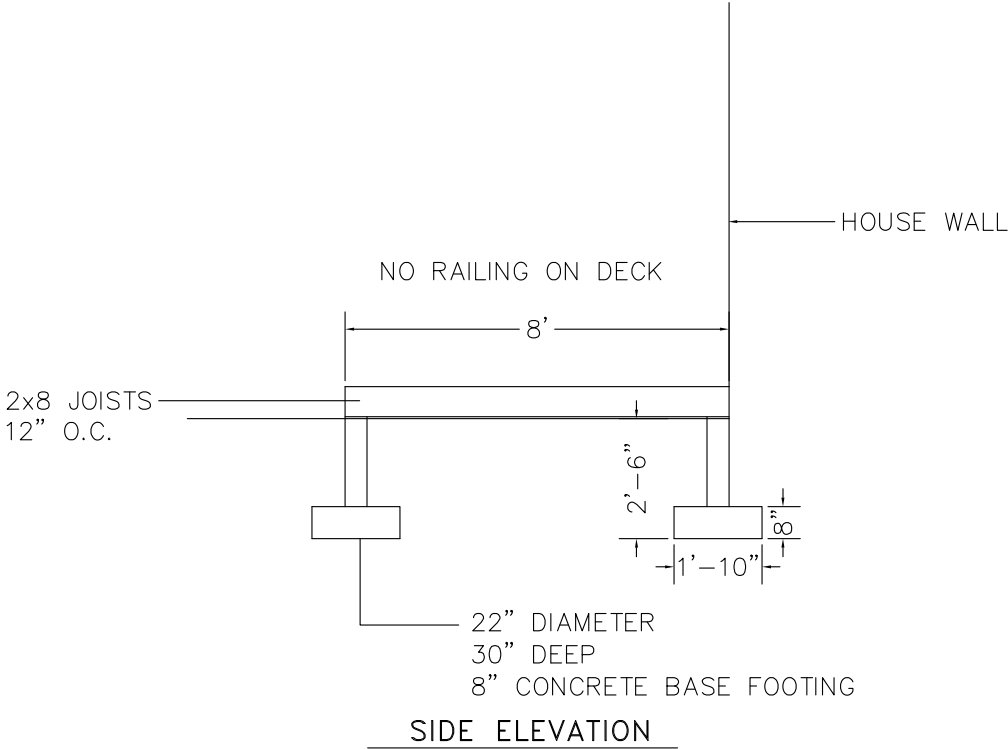
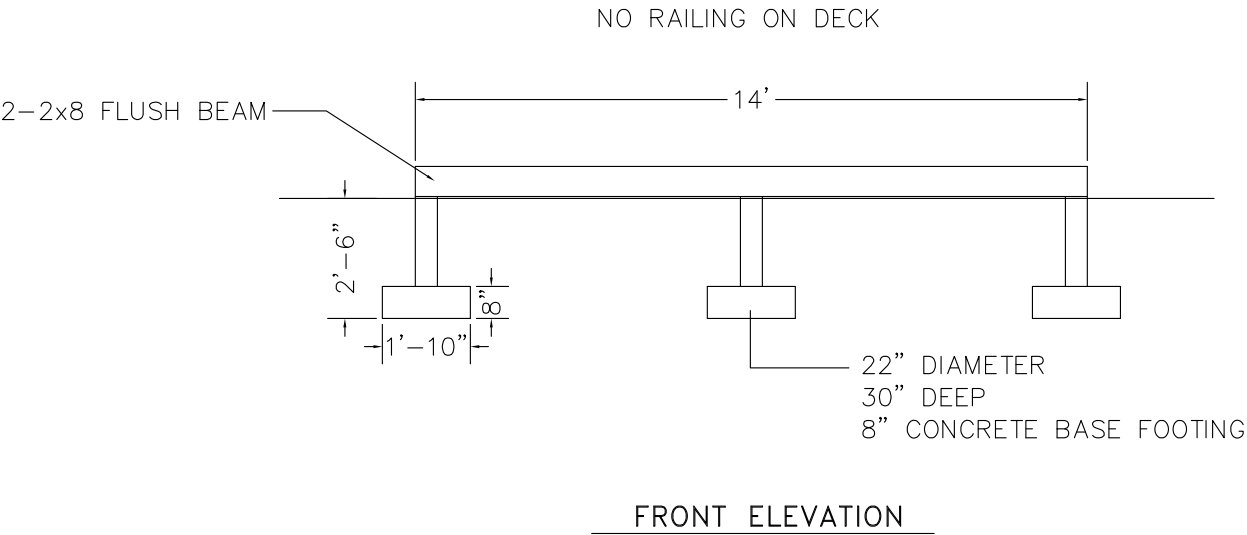
DATE: 3-11-25

2

FOOTING PLAN

1/4" = 1' SCALE
8" ELEVATION
FREESTANDING DECK

BASED ON THE 2021 INTERNATIONAL RESIDENTIAL CODE
MARYLAND EDITION



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CAPACITY





509



City of Takoma Park

Housing and Community Development Department

Main Office 301-891-7119
Fax 301-270-4568
www.takomaparkmd.gov



7500 Maple Avenue
Takoma Park, MD 20912

MUNICIPALITY LETTER

March 14, 2025

To: Lauren Wilk
509 Philadelphia Avenue
laurenwilk@gmail.com

9132442796

To: Department of Permitting Services
2425 Reddie Drive, 7th floor
Wheaton, Maryland 20902

From: Planning and Development Services Division

THIS IS NOT A PERMIT – For Informational Purposes Only

VALID FOR ONE YEAR FROM DATE OF ISSUE

The property owner is responsible for obtaining all required permits from Montgomery County and the City of Takoma Park. If this property is in the **Takoma Park Historic District**, it is subject to Montgomery County Historic Preservation requirements.

Representative Name: Deck Impact

info@deck-impact.com

2404827445

Location of Project: 509 Philadelphia Ave

Proposed Scope of Work: Remove the front concrete porch floor and build a new Trex porch. The front porch will be the same size same height. No railing, no structural or architectural changes to the house.

The purpose of this municipality letter is to inform you that the City of Takoma Park has regulations and city permit requirements that may apply to your project. This municipality letter serves as notification that, in addition to all Montgomery County requirements, you are required to comply with all City permitting requirements, including:

- Tree Impact Assessment/Tree Protection Plan
- Stormwater management
- City Right of Way

Failure to comply with these requirements could result in the issuance of a Stop Work Order and other administrative actions within the provisions of the law. Details of Takoma Park's permit requirements are attached on page 2.

The issuance of this letter does not indicate approval of the project nor does it authorize the property owner to proceed with the project. The City retains the right to review and comment on project plans during the Montgomery County review process.

City Of Takoma Park

The City of Takoma Park permits for the following issues:

Tree Impact Assessment/Tree Protection Plan/Tree Removal Application:

Construction activities that occur within 50 feet of any urban forest tree (7 and 5/8" in trunk diameter or greater), located on the project property or on an adjacent property, may require a Tree Impact Assessment and possibly a Tree Protection Plan Permit. Make sure to submit a request for a Tree Impact Assessment and schedule a site visit with the City's Urban Forest Manager if any urban forest tree is in the vicinity of proposed construction activities. See the Tree Permits section of the City website for the specific conditions in which a Tree Impact Assessment is required. Depending on the Urban Forest Manager's conclusion following the Tree Impact Assessment, you may need to prepare a full Tree Protection Plan and apply for a Tree Protection Plan Permit as well. Separately, the removal of any urban forest tree will require a Tree Removal Permit application. The tree ordinance is detailed in the City Code, section 12.12. For permit information check: <https://takomaparkmd.gov/services/permits/tree-permits>. The City's Urban Forest Manager can be reached at 301-891-7612 or urbanforestmanager@takomaparkmd.gov.

Stormwater Management:

If you plan to develop or redevelop property, you may be required to provide appropriate stormwater management measures to control or manage runoff, as detailed in City Code section 16.04. All commercial or institutional development in the city must apply for a Stormwater Management Permit regardless of the size of the land disturbance. Additions or modifications to existing detached single-family residential properties do not require a Stormwater Management permit if the project does not disturb more than 5,000 square feet of land area. For more information visit: <https://takomaparkmd.gov/government/public-works/stormwater-management-program/>. The City Engineer should be contacted to determine if a City permit is required. The City Engineer can be reached at 301-891-7620.

City Right of Way:

- To place a **construction dumpster or storage container** temporarily on a City right of way (usually an adjacent road), you will need to obtain a permit. A permit is not required if the dumpster is placed in a privately-owned driveway or parking lot.
- If you plan to install a new **driveway apron**, or enlarge or replace an existing driveway apron, you need a Driveway Apron Permit.
- If you plan to construct a **fence** in the City right of way, you need to request a Fence Agreement. If approved, the Agreement will be recorded in the Land Records of Montgomery County.

For more information and applications for City permits, see: <https://takomaparkmd.gov/services/permits/> or contact the Department of Public Works at 301-891-7633.

Failure to comply with the City's permitting requirements could result in the issuance of a Stop Work Order and other administrative actions within the provisions of the law.

eSigned via SeamlessDocs.com
Antonio Longueira
Key: 38bf2056822713c0b979ea7ee94776a

Antonio Longueira

03-14-2025

eSigned via SeamlessDocs.com
Takoma Park Planning Division
Key: 19fe84f123e98a3ff4576219059d5fba

03-14-2025



DEPARTMENT OF PERMITTING SERVICES

Marc Elrich
County Executive

Rabbiah Sabbakhan
Director

BUILDING RESIDENTIAL PERMIT APPLICATION

Application Date: 3/10/2025

Application No: 1108449
AP Type: BUILDING
Customer No: 1374527

Affidavit Acknowledgement

The Homeowner is the Primary applicant
This application is in compliance with the Montgomery County Residential Deck Details
This application does not violate any covenants and deed restrictions; and
This application does not involve any roadside tree(s).

Primary Applicant Information

Address 509 PHILADELPHIA AVE
TAKOMA PARK, MD 20912
MHIC Contractor Diaz (Primary)

Building Residential Permit Details

New Deck	Y
Work Area	112
Estimated Cost \$	7000
Use Group	Residential, one- and two-family
Construction Type	VB
Use Group Value	R-3
Construction Type Value	VB
Scope of Work	Build new trex deck, no rail
MHIC License #	143341
MHIC License Expiration Date	04/02/2025
Disturbed Area	112
Use Code	DECK