

**MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION**  
**STAFF REPORT**

<b>Address:</b>	10923 Montrose Avenue, Garrett Park	<b>Meeting Date:</b>	6/25/2025
<b>Resource:</b>	Outstanding Resource <b>Garrett Park Historic District</b>	<b>Report Date:</b>	6/18/2025
<b>Applicant:</b>	Jonathan Paul, Barbara Collier, and Carol Ballentine	<b>Public Notice:</b>	6/11/2025
<b>Review:</b>	RETROACTIVE HAWP	<b>Tax Credit:</b>	No
<b>Case No.:</b>	1119860	<b>Staff:</b>	Devon Murtha
<b>Proposal:</b>	Porch Decking Replacement		

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**STAFF RECOMMENDATION**

Staff recommends the HPC **deny** the HAWP application.

**ARCHITECTURAL DESCRIPTION**

SIGNIFICANCE: Outstanding Resource in the Garrett Park Historic District  
 DATE: 1892  
 STYLE: Queen Anne



*Figure 1: Location of 10923 Montrose Avenue in the Garrett Park Historic District.*





*Figure 2: Photo of the subject property (Montgomery County Planning, no date).*



*Figure 3: View of porch of subject property from right-of-way along Montrose Avenue (2025).*



## **PROPOSAL**

The applicant is seeking retroactive approval for the installation of composite decking boards on the front porch. The applicant removed the wood decking (*Figure 4*) in 2012 and replaced it with Timbertech decking boards from Azek (*Figure 5*). Staff identified this retroactive work as part of the site visit on May 29, 2025, associated with HAWP#1117964 that the applicant submitted for window replacements on the rear addition. Staff advised the applicant that a retroactive HAWP application for the unpermitted porch floor replacement would be necessary before the HPC could consider any additional HAWPs for new work at the property. The applicant submitted this application in a timely manner for the Commission's consideration.



***Figure 4: Wood porch in 2012 (Courtesy of the applicant).***



***Figure 5: New composite porch flooring boards (2025).***

## **APPLICABLE GUIDELINES**

When reviewing alterations and new construction within the Garrett Park Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the *Comprehensive Amendment to the North Bethesda-Garrett Park Master Plan (Sector Plan)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*, and *The Adopted Policy for the Appropriateness of Substitute Materials for Porch and Deck Flooring (Policy No. 24-01)*. The pertinent information in these documents is outlined below.

***Comprehensive Amendment to the North Bethesda-Garrett Park Master Plan (1992)***

*Outstanding Resource:* A resource which is of outstanding significance due to its architectural and/or historical features. An outstanding resource may date from any historical period and may be representative of any architectural style. However, it must have special features, architectural details, and/or historical associations that make the resource especially representative of an architectural style, it must be especially important to the history of the district, and/or it must be especially unique within the context of the district.

**Montgomery County Code Chapter 24A-8**

- (a) The commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate, inconsistent with or detrimental to the preservation, enhancement or ultimate protection of the historic site or historic resource within an historic district, and to the purposes of this chapter.
- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to ensure conformity with the purposes and requirements of this chapter, if it finds that:
  - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
  - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
  - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (*Ord. No. 9-4, § 1; Ord. No. 11-59.*)

***Secretary of Interior's Standards for Rehabilitation***

- 2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
- 6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.
- 9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

***The Adopted Policy for the Appropriateness of Substitute Materials for Porch and Deck Flooring (Policy No. 24-01).***

WHEREAS, if the HPC determines the porch flooring/decking has deteriorated beyond repair, it shall be the policy of the Historic Preservation Commission that:

Outstanding Resources/Primary – These resources have the highest level of architectural or historical significance in the historic district and the objective for Outstanding/Primary resources is to preserve the historic and architectural character to the greatest extent possible. Wood should be used on all porches and decks for Outstanding/Primary resources. The wood should be painted and installed in a historically appropriate method. Porches on building additions and new construction to Outstanding/Primary resources will be evaluated on a case-by-case basis. As with Master Plan Sites, the HPC does not evaluate wood species, and the applied finish needs to be appropriate for the material selected.

Compatible substitute materials for replacement porch flooring/decking – On buildings where a substitute material is acceptable under this policy, the material must satisfy the following criteria:

- It must match the dimensions and installation method (i.e.) of the existing material or a historically appropriate porch flooring, (e.g., boards must run perpendicular to the house for porches);
- It must be millable;
- It can be painted without voiding the product warranty; or, has a uniform appearance consistent with painted wood;
- It has a minimal (or no) stamped or embossed texture on the surface; and,
- It has a finished edge that appears as a cut solid board.

### **STAFF DISCUSSION**

The subject property is a Queen Anne house with a one-story partial wrap-around porch. In 2012, the applicant removed the tongue and groove wood porch and the front stairs and replaced with TimberTech by Azek cellular PVC tongue and groove flooring. Photos submitted by the applicant from 2012 show that the wood had deteriorated. The HPC should review the retroactive request as if the work has not already occurred.

Staff does not support the installation of Azek porch deck flooring on the front porch of an Outstanding Resource in the Garrett Park Historic District and recommends denial. Staff finds the proposed and installed composite material on the front porch is an inappropriate alteration for the historic resource, and does not support the preservation, enhancement, and ultimate protection of the historic resource, per 24A-8(a). In accordance with *Policy No. 24-01*, Chapter 24A, and the *Standards*, wood is the only appropriate material for porches on Outstanding Resources in the District.

The installation of composite decking substantially alters the exterior features of the resource, contravening Chapter 24A-8(b) and *Standard 2*. The one-story wrap-around porch is a character-defining feature of the Queen Anne style, which contributes to the district. In accordance with *Standard 6*, all new features should match the old in design, color, texture, and other visual qualities and, where possible, materials. The proposed and installed TimberTech flooring is not wood, and the exaggerated faux wood grain texture does not successfully mimic its texture or overall appearance (*Figure 6*). Additionally, the porch decking was installed without a board to conceal the edges. The edges do not appear as a solid cut board (*Figure 7*) and are currently exposed, further highlighting the materials differences in texture and overall appearance.

Staff notes that although the composite flooring is not an appropriate substitute material for wood, the applicant installed it in a manner that replicated the historic installation. The new boards were installed



perpendicular to the front wall plane and generally match the width of the historic wood boards, in keeping with the installation guidance detailed in *Policy No. 24-01*.



**Figure 6: Exaggerated wood grain texture of installed Timbertech flooring (left) does not replicate actual wood texture (example of wood texture on the right)**



**Figure 7: Installed boards on the subject property (left) and wood boards (right). The tongue and groove joinery appears to have a manufactured, rather than milled, appearance. Additionally, the edges do not replicate the appearance of actual wood grain.**

Staff does not find the proposal is compatible in character with wood (24A-8(b)(2)), or that allowing the porch replacement would enhance the preservation of the historic house (24A-8(b)(3)), or that the proposal is necessary to remedy an unsafe or hazardous condition (24A-8(b)(4)), or that the owner will suffer and undue hardship (24A-8(b)(5)), or that the general public is better served by approving the HAWP (24A-8(b)(6)). In 2023, the HPC denied a retroactive application to install Timbertech on a Primary Resource in the Kensington Historic District, at 3927 Prospect Street.<sup>1</sup> In June of 2025, the HPC also denied an application to install any non-wood substitute material on the front porch of 10300 Fawcett

<sup>1</sup> See HAWP No. 1025925 here: <https://montgomeryplanning.org/wp-content/uploads/2023/06/I.E.-3927-Prospect-Street-Kensington-1025925.pdf>.

Street in Kensington, also a Primary Resource within that District.<sup>2</sup>

Although Staff recommends denial, the HPC could find that due to the advanced age of installation, the applicant may retain the existing decking with conditions that it may not be replaced in kind in the future and must be replaced with wood. The HPC has, in limited circumstances, allowed an applicant to retain non-compatible substitute materials with the understanding that they cannot be replaced in the future. Earlier this year, the HPC allowed the applicant at 5 Philadelphia Avenue, Takoma Park to retain some of the vinyl windows on the secondary elevations of their house. These windows had been installed without a HAWP a decade prior. The applicant proposed to replace the vinyl windows with appropriate wood windows on the façade immediately, and that matching wood replacement windows would be installed as needed on the secondary elevations when the vinyl windows failed in the future. In that instance, the Commission found that the hierarchy of the windows, as well as the advanced and limited lifespan of the vinyl windows, was of some importance to the decision and so allowed for a phased replacement of the architectural feature over time. Staff can find no instances of such a decision for an incompatible porch floor replacement.

If the HPC were to issue a conditional approval of the retroactive porch deck flooring, Staff recommends that they include conditions for mitigation. These porch flooring should be replaced with wood when the composite boards begin to fail. Additionally, the HPC may require the applicant to conceal the exposed edges with an edge board installed parallel to the façade.

### **STAFF RECOMMENDATION**

Staff recommends that the Commission **deny the HAWP application** under the Criteria for Issuance in Chapter 24A-8(a), having found that the proposal would be inappropriate, inconsistent with, and detrimental to the preservation, enhancement, and ultimate protection of the historic resource and is incompatible in character with the historic resource and the purposes of Chapter 24A; and with the *Secretary of the Interior's Standards for Rehabilitation* #2, #6, and #9.

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<sup>2</sup> The Staff Report for HAWP #1118349 is available here: <https://montgomeryplanning.org/wp-content/uploads/2025/06/II.J-10300-Fawcett-Street-Kensington-1118349.pdf>.





APPLICATION FOR  
HISTORIC AREA WORK PERMIT  
HISTORIC PRESERVATION COMMISSION  
301.563.3400

FOR STAFF ONLY:

HAWP# \_\_\_\_\_

DATE ASSIGNED \_\_\_\_\_

**APPLICANT:**

Name: Jonathan Paul, Barbara Collier, Carol Ballentine

Address: 10923 Montrose Avenue

Daytime Phone: 301-942-3526

E-mail: 301-942-3526

City: Garrett Park Zip: 20896

Tax Account No.: 00056592

**AGENT/CONTACT (if applicable):**

Name: \_\_\_\_\_

E-mail: \_\_\_\_\_

Address: \_\_\_\_\_

City: \_\_\_\_\_ Zip: \_\_\_\_\_

Daytime Phone: \_\_\_\_\_

Contractor Registration No.: \_\_\_\_\_

**LOCATION OF BUILDING/PREMISE:** MIHP # of Historic Property M: 30-13

Is the Property Located within an Historic District? X Yes/District Name Garrett Park  
\_\_\_\_ No/Individual Site Name \_\_\_\_\_

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: \_\_\_\_\_ Street: \_\_\_\_\_

Town/City: \_\_\_\_\_ Nearest Cross Street: \_\_\_\_\_

Lot: \_\_\_\_\_ Block: \_\_\_\_\_ Subdivision: \_\_\_\_\_ Parcel: \_\_\_\_\_

**TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:**

☐ New Construction

☒ Deck/Porch

☐ Shed/Garage/Accessory Structure

☐ Addition

☐ Fence

☐ Solar

☐ Demolition

☐ Hardscape/Landscape

☐ Tree removal/planting

☐ Grading/Excavation

☐ Roof

☐ Window/Door

☐ Other: \_\_\_\_\_

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

Barbara Collier  
Signature of owner or authorized agent

6/2/2025

Date



**HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING**  
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

**Owner's mailing address**

Jonathan Paul, Barbara Collier, and Carol  
Ballentine  
10923 Montrose Avenue Box 191  
Garrett Park MD 20896

**Owner's Agent's mailing address**

**Adjacent and confronting Property Owners mailing addresses**

See attachment 1.

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

This 1891 Queen Anne style Victorian house has a wrap-around front porch. Around August 2012, we arranged with Dan Himmelfarb Co. to make a number of repairs to the house, including the front porch, which required repairs to the railing, pillars, and floor. (See photos from April 2012 showing the condition of the wood floor at that time.) We did not get a work permit for this work, as it was all repairs and maintenance.

Our recollection is that when only the floor repairs remained, the contractors informed us that so much of the wood needed removal that they suggested replacing the whole floor with a composite material, which would be longer lasting and require less maintenance. We agreed.

It was only later that we learned that this went against the historic preservation rules. We are now seeking HPC approval through a retroactive HAWP application for the work performed.

Description of Work Proposed: Please give an overview of the work to be undertaken:

We do not still have the paperwork on this effort, but we do have electronic financial records documenting when it occurred. Attachment 2 is a screen shot from our financial software, showing a payment on 7/26/2012 to Dan Himmelfarb Co., with the note "porch, etc." Attachment 3 is a page from a credit card statement for August 2012, showing a number of payments to Dan Himmelfarb Co. From all our records, it appears that the porch floor work would have happened between 7/25/2012 and about 9/2/2012.

From markings on the flooring (see photo 1), we determined that the material used was AZEK Porch Boards (see attachment 4).

We recently learned about HPC Policy No. 24-01 on substitute materials for porch and deck flooring. It appears to us as laymen that the materials that were used for our porch floor fall within the guidelines for compatible substitute materials for porches on "Contributing Resources," which we believe would describe our house. See Photos 2 and 3.



Work Item 1: _____	
Description of Current Condition:	Proposed Work:

Work Item 2: _____	
Description of Current Condition:	Proposed Work:

Work Item 3: _____	
Description of Current Condition:	Proposed Work:

# HISTORIC AREA WORK PERMIT CHECKLIST OF APPLICATION REQUIREMENTS

	Required Attachments						
Proposed Work	I. Written Description	2. Site Plan	3. Plans/ Elevations	4. Material Specifications	5. Photographs	6. Tree Survey	7. Property Owner Addresses
New Construction	*	*	*	*	*	*	*
Additions/ Alterations	*	*	*	*	*	*	*
Demolition	*	*	*		*		*
Deck/Porch	*	*	*	*	*	*	*
Fence/Wall	*	*	*	*	*	*	*
Driveway/ Parking Area	*	*		*	*	*	*
Grading/Excavation/ Landscaping	*	*		*	*	*	*
Tree Removal	*	*		*	*	*	*
Siding/ Roof Changes	*	*	*	*	*		*
Window/ Door Changes	*	*	*	*	*		*
Masonry Repair/ Repoint	*	*	*	*	*		*
Signs	*	*	*	*	*		*



Attachment 1: Adjacent and confronting property owners

10919 Montrose Avenue Box 573  
Garrett Park MD 20896

10918 Montrose Avenue Box 250  
Garrett Park MD 20896

10922 Montrose Avenue Box 378  
Garrett Park MD 20896

10926 Montrose Avenue Box 69  
Garrett Park, MD 20896

10938 Clermont Avenue Box 194  
Garrett Park MD 20896

10934 Clermont Avenue Box 175  
Garrett Park MD 20896

10930 Clermont Avenue Box 324  
Garrett Park MD 20896

10926 Clermont Avenue Box 152  
Garrett Park MD 20896

10924 Clermont Avenue Box 171  
Garrett Park MD 20896

Attachment 1: Adjacent and confronting property owners

Victor and Gabriela Vergara  
10919 Montrose Avenue Box 573  
Garrett Park MD 20896

Susan Brocato  
10918 Montrose Avenue Box 250  
Garrett Park MD 20896

Barbara Jackson  
10922 Montrose Avenue Box 378  
Garrett Park MD 20896

Martha Seigel and Robert LeMar  
10926 Montrose Avenue Box 69  
Garrett Park, MD 20896

Jeremy Lichtenstein  
10938 Clermont Avenue Box 194  
Garrett Park MD 20896

Suzanne and Frank Grefsheim  
10934 Clermont Avenue Box 175  
Garrett Park MD 20896

John and Alexandra O'Sick  
10930 Clermont Avenue Box 324  
Garrett Park MD 20896

Lori and Sean Conlon  
10926 Clermont Avenue Box 152  
Garrett Park MD 20896

Paul Sullivan  
10924 Clermont Avenue Box 171  
Garrett Park MD 20896



### Ameriprise MasterCard Rewards Summary

Ameriprise Rewards points earned on your card	+	15,137
Bonus or Promotional Ameriprise Rewards points earned on your card	+	0
Adjustments	+	0

Rewards points reflected on this statement are for only those earned this period. To get your most up-to-date rewards balances visit [ameriprise.com](http://ameriprise.com) and log into My Financial Accounts or call Ameriprise Rewards at (877) 264-3044.

### Activity for JONATHAN RICHARD PAUL - Card ending in 8997

Payments				
Trans Date	Posting Date	Transaction Description		Amount
08/23	08/23	Payment Received	AMERIPRISEBA	-\$1,322.73
Total Payment Activity				-\$1,322.73
Purchases				
07/26	07/27	Amazon *Mktplce EU-UK	AMAZON.CO.UK WA	\$9.85
07/29	07/31	SHELLOIL 57543576409	ROCKVILLE MD	\$31.68
07/30	07/31	AMAZON MKTPLCE PMTS	AMZN.COM/BILLWA	\$5.62
07/30	08/01	DAN HIMMELFARB CO	301-7744004 MD	\$1,256.50
08/01	08/01	AMAZON MKTPLCE PMTS	AMZN.COM/BILLWA	-\$7.46
08/05	08/06	MOM'S ORGANIC MARKET	ROCKVILLE MD	\$14.94
08/06	08/07	RODMAN'S DISCOUNT GO	ROCKVILLE MD	\$32.67
08/08	08/09	AMAZON MKTPLCE PMTS	AMZN.COM/BILLWA	\$4.95
08/08	08/10	DAN HIMMELFARB CO	301-7744004 MD	\$1,218.00
08/09	08/10	Amazon.com	AMZN.COM/BILLWA	\$8.50
08/09	08/13	DAN HIMMELFARB CO	301-7744004 MD	\$1,399.95
08/10	08/13	AMAZON MKTPLCE PMTS	AMZN.COM/BILLWA	\$18.98
08/11	08/13	GLEN ECHO PARK INTERNE	301-634-2225 MD	\$307.00
08/10	08/13	CARLOS AUTO SERVICE	KENSINGTON MD	\$297.85
08/12	08/13	MOM'S ORGANIC MARKET	ROCKVILLE MD	\$7.28
08/15	08/16	PLAZA ARTISTMATER	ROCKVILLE MD	\$13.79
08/15	08/16	HARDWARE CITY, INC	KENSINGTON MD	\$17.86
08/15	08/17	DAN HIMMELFARB CO	301-7744004 MD	\$2,336.05
08/15	08/17	MCG DLC 21228 MONTROSE	ROCKVILLE MD	\$45.81
08/15	08/17	AUDUBON NAT BK75500017	CHEVYCHASE MD	\$46.64
08/17	08/20	DAN HIMMELFARB CO	301-7744004 MD	\$1,197.70
08/19	08/20	GIANT FOOD INC #125	ROCKVILLE MD	\$79.18
08/21	08/21	DBC*BLICK ART MATERIAL	800-447-1892 IL	\$52.23
08/21	08/21	NETFLIX.COM	NETFLIX.COM CA	\$16.46
08/20	08/22	USAIRWAY 03724825562920800-428-4322 AZ	PAUL/JONATHANRICHARD 09/05/2012 DCA PVD DCA Agency: #03724825562920	\$189.60
08/20	08/22	USAIRWAY 03724825562931800-428-4322 AZ	COLLIER/BARBARASUZAN 09/05/2012 DCA PVD DCA Agency: #03724825562931	\$189.60
08/21	08/22	RODMAN'S DISCOUNT GO	ROCKVILLE MD	\$65.33
08/23	08/24	AMAZON MKTPLCE PMTS	AMZN.COM/BILLWA	\$4.61
Total Purchase Activity				\$8,861.17

### Activity for BARBARA SUZANNE COLLIER - Card ending in 9003

Purchases				
07/29	07/30	GIANT FOOD INC #125	ROCKVILLE MD	\$18.86
07/29	07/31	BARNES & NOBLE #2764	ROCKVILLE MD	\$13.36
07/28	07/31	GODIVA CHOCOLATES#257	BETHESDA MD	\$9.22
07/31	08/01	WASHPOS*SUBSCRIPTION	202-334-5975 DC	\$55.97
07/31	08/02	DAN HIMMELFARB CO	301-7744004 MD	\$4,264.00
07/31	08/02	DAN HIMMELFARB CO	301-7744004 MD	\$1,193.00
08/03	08/06	ACCENTS BEADS	ROCKVILLE MD	\$67.57
08/05	08/06	GIANT FOOD INC #125	ROCKVILLE MD	\$18.11
08/12	08/13	GIANT FOOD INC #125	ROCKVILLE MD	\$17.43
08/15	08/16	DAVIS AGNOR RAPAPORT A	COLUMBIA MD	\$350.00
08/20	08/22	ALLIANCE FRANCAISE WA	02022347911 DC	\$265.00



**AZEK Building Products**  
**801 East Corey Street**  
**Scranton, Pennsylvania 18505**  
**(877)275-2935**

[www.azek.com](http://www.azek.com)

## 1.0 Subject

*AZEK Deck Boards (1 x 3½ and 1 x 5½) and  
AZEK Porch Boards (1x 3¼)*

## 2.0 Research Scope

### 2.1 Building Codes:

2006 International Building Code (IBC)

2006 International Residential Code (IRC)

### 2.2 Properties:

Structural Performance

Durability

Surface Burning

## 3.0 Description

3.1 General - *AZEK Decking* (Deck and Porch Boards) are intended for use as a walking surface on exterior decks, balconies, porches, and walkways, including stairs.

3.2 Materials and Processes - *AZEK Decking* is a solid extruded thermoplastic composite utilizing Poly Vinyl Chloride (PVC) and Agrifibre filler. The walking surface is embossed with a simulated wood grain.

3.3 *AZEK 1x3½ and 1x5½ Deck Boards* have a rectangular profile 1" thick and either 3.5" or 5.5" wide respectively and are manufactured in five colors: Ivory, Brownstone, Slate Gray, Clay and White. Edges are rounded with a 1/8" radius. See Figure 1.

3.4 *AZEK 1x3¼ Porch Boards* measure 1" thick and 3¼" exposure width (3¾" overall width) and are manufactured in two colors: Brownstone and Slate Gray. The edges are machined with a tongue and groove pattern. See Figure 1.

## 4.0 Performance Characteristics

4.1 *AZEK Decking* is rated for a uniform live load of 100 lbs/ft<sup>2</sup> when installed on support framing spaced at 16" on center.

4.2 *AZEK 1x5½ Deck Boards* used as stair treads shall be installed on a minimum of a two-span condition and are rated for the code-prescribed concentrated load equal to 300 lbs when installed in accordance with Figures 2, 3 or 4.

4.3 The use of *AZEK 1x3½ Deck Boards* as a stair tread is not within the scope of this report.

4.4 *AZEK 1x3¼ Porch Boards* used as stair treads shall be installed on a minimum of a two-span condition and are rated for the code-prescribed concentrated load equal to 300 lbs when installed at a maximum of 11 inches on center in accordance with Figure 2.

4.5 *AZEK Decking* has a wind uplift resistance rating equal to 160 lbs/ft.<sup>2</sup> when installed on support framing spaced at 16 inches on center.

4.6 *AZEK Decking* has a flame spread index of 40 when tested according to ASTM E 84. The referenced criterion, AC174, requires a flame spread index not exceeding 200.

4.7 *AZEK Decking* is deemed equivalent to preservative treated or naturally durable wood for resistance to weathering effects, attack from termites and fungus decay

4.8 *AZEK Decking* structural performance has been demonstrated for a temperature range of -20° F to 125° F.

## 5.0 Installation

Installation shall be in accordance with the manufacturer's installation instructions and this report. Where differences occur between this report and the manufacturer's installation instructions, this report shall govern.

5.1 *AZEK 1x5½ and 1x3½ Deck Boards* shall be installed with two screws driven through the face of the board at each support. Minimum screw size shall be # 7 x 2-1/4". Screws shall be stainless steel.



5.2 Tongue and Groove AZEK 1x3½ Porch Boards shall be installed with one screw at an angle of between 30° to 45° through the root of the tongue at each support. Screws shall be # 7 x 2", 305 stainless steel trim head screw with a #17 drill point. The starting board shall have an additional screw driven through the face towards the grooved edge at each support.

5.3 AZEK 1x3½ Porch Boards used as stair treads shall be installed as shown in Figure 2.

5.4 AZEK 1x5½ Deck Boards used as stair treads shall be installed as shown in Figures 2, 3 and 4.

5.5 AZEK 1x3½ Deck Boards shall not be used as a stair tread.

## 6.0 Supporting Evidence

6.1 Manufacturer's drawings and installation instructions.

6.2 Reports of testing demonstrating compliance with ICC-ES Acceptance Criteria for Deck Board Span Ratings and Guardrail Systems (Guards and Handrails), AC174 effective March 1, 2007.

6.3 Quality control manual in accordance with ICC-ES Acceptance Criteria for Quality Control Documents AC10, revised July 2008.

## 7.0 Conditions of Use

The AZEK Decking applications identified in this report are deemed to comply with the intent of the provisions of the referenced building codes subject to the following conditions.

7.1 AZEK Decking is limited to use in Type V-B (5B) construction.

7.2 The wind uplift resistance rating recognized in this report is based on attachment to treated Southern Pine framing (specific gravity, G=0.55). Installation on wood framing with a lesser specific gravity may result in a lower wind uplift rating.

7.3 AZEK Decking shall be fastened directly to supporting construction. Conventional wood supporting structure is not within the scope of this report and is subject to the evaluation and approval by the building official. Design and construction of supporting structure must satisfy the design load requirements of Chapter 16 of the IBC.

7.4 Where required by the building official, engineering calculations and details shall be provided. The calculations shall verify that the anchorage complies with the building code for the type of framing and condition of the supporting construction.

7.5 The compatibility of all fasteners with supporting structure, including chemically treated wood, is not within the scope of this report.

7.6 AZEK Deck Boards and Porch Boards are manufactured in Foley, AL and Moosic, PA in accordance with the manufacturer's approved quality control system with inspections by Architectural Testing, Inc. (AA-676).

## 8.0 Identification

AZEK Decking produced in accordance with this report shall be identified with labeling on the individual deck boards that includes the following information:

8.1 The mark of the independent inspection agency, Architectural Testing, Inc. (AA-676)

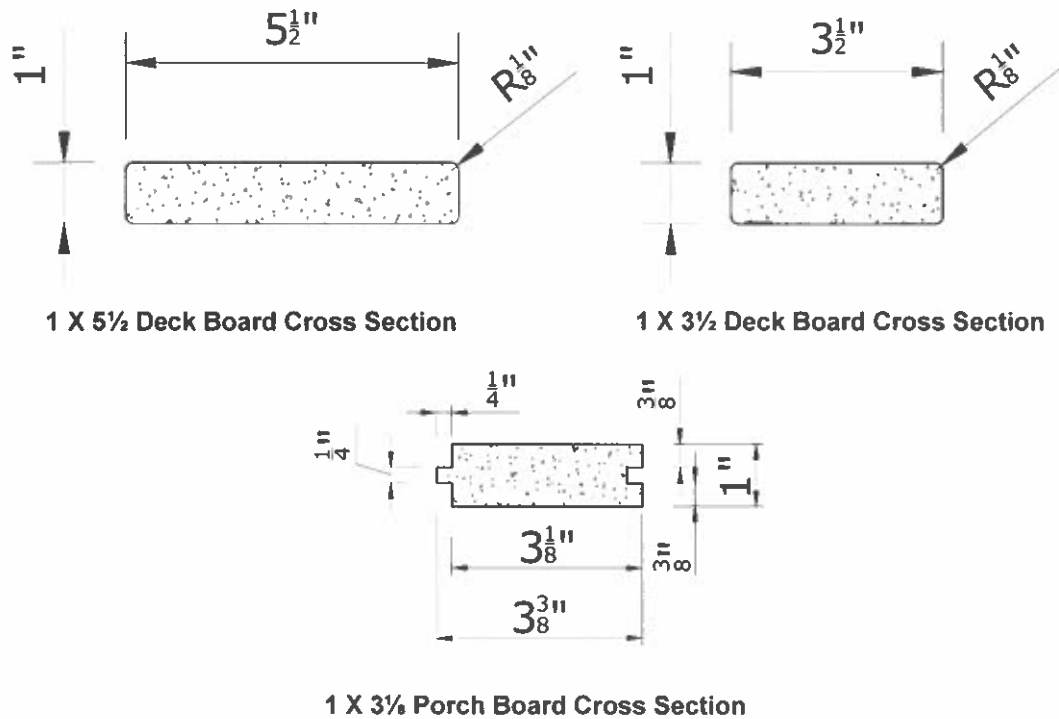
8.2 The ATI Code Compliance Research Report Number (CCRR-0101)

## 9.0 Code Compliance Research Report Use

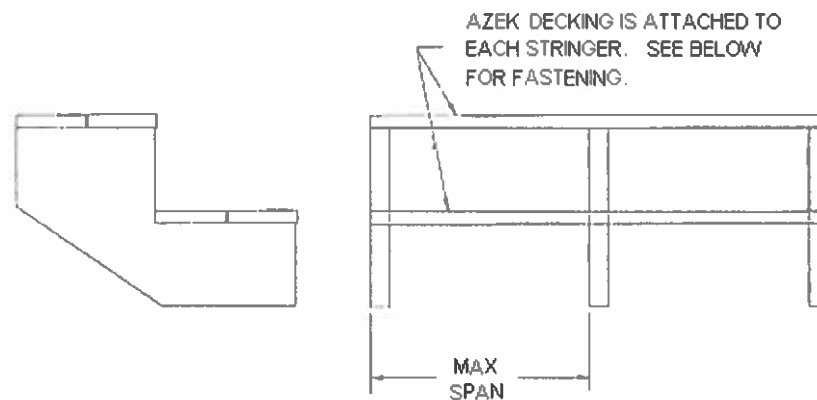
9.1 Approval of building products and/or materials can only be granted by a building official having legal authority in the specific jurisdiction where approval is sought.

9.2 Code Compliance Research Reports shall not be used in any manner that implies an endorsement of the product or manufacturer by ATI.

9.3 Reference to the Architectural Testing internet web site address at [www.archtest.com](http://www.archtest.com) is recommended to ascertain the current version and status of this report.



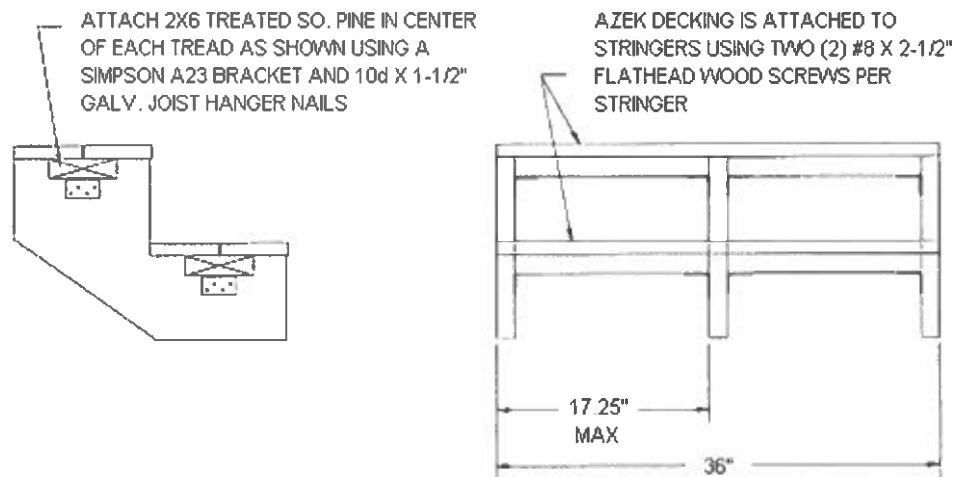
**Figure 1 - AZEK Decking Cross Sections (in inches)**



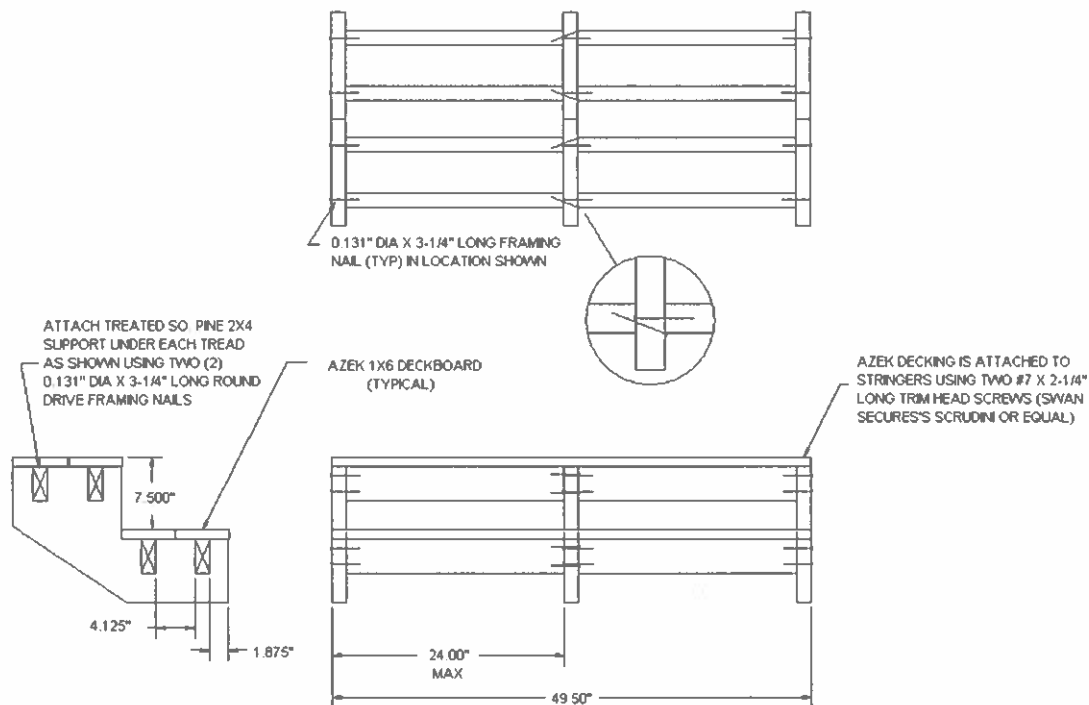
BOARD TYPE	MAX. SPAN	FASTENING
1X5 1/2 Deck Board	9 Inches	Two #7 x 2 1/4" deck screws
1x3 3/8 Porch Board	11 Inches	One #7 x 2" trim head screw through tongue. End boards receive an extra screw through face.

**Figure 2 - Stair Tread Installation with no additional support  
(Minimum tread length is 36")**





**Figure 3 – Alternate 1 X 5½ Stair Tread Installation  
(2X6 additional support – Max span = 17.25")**



**Figure 4 – Alternate 1 X 5½ Stair Tread Installation  
(2X4 additional supports – Max span = 24.0")**



















