## $\frac{\text{MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION}}{\text{STAFF REPORT}}$

Address: 5419 Mohican Rd., Bethesda Meeting Date: 4/23/2025

**Resource:** Master Plan Site 35/29-2 **Report Date:** 4/16/2025

**R.A.** Charles Castle

**Public Notice:** 4/9/2025

**Review:** HAWP **Tax Credit:** n/a

Case Number: 1110102 and 1111619 RETROACTIVE Staff: Dan Bruechert

**Proposal:** After the fact alterations to building details, fenestration, chimney, site grading, and

other alterations

### **STAFF RECOMMENDATION**

Staff recommends the HPC **approve** the HAWP application.

### **ARCHITECTURAL DESCRIPTION**

SIGNIFICANCE: Individual Master Plan Site R.A. Charles Castle (35/29-2)

STYLE: Contemporary

DATE: 2023



Figure 1: The subject house is within the environmental setting of the R.A. Charles Castle.

From *Places from the Past:* 

"This residence was built the same years as the more elaborate and larger scale Baltzley Castle, yet was also built of locally quarried stone, continuing the theme envisioned Rhineland on the Potomac. Both residences were built to take advantage of a dramatic view of the Potomac River. With its multi and diamond pane windows, hipped roof and polygonal wing, and turned porch posts, the Charles Castle is essentially a Queen Anne style house sheathed in stone. R.A. Charles, an employee of the Treasury Department, bought land from Edward Baltzley in February 1890 and built the house soon thereafter. The *Manufacture's Record* of 1891 stated that Mindeleff designed a Glen Echo Heights house for Edwin Baltzley for \$7,000."

### **BACKGROUND**

After several Preliminary Consultations, the HPC approved a HAWP at the subject property on June 26, 2020 to construct a single-family house, regrade a portion of the lot, and to remove several trees.<sup>1</sup>

As construction was nearing completion, an inspection for the sediment control permit revealed that the regrading on the site was not consistent with the plans submitted for permitting. Staff conducted a site visit to evaluate sediment control issue and identified several building features had not been constructed as approved by the HPC. Staff identified these changes to the new owners and requested a HAWP to provide consistent information regarding the site regrading and building alterations.

#### **PROPOSAL**

The applicant seeks retroactive approval for alterations to building details, fenestration, chimney, site grading, and other alterations.

#### APPLICABLE GUIDELINES

Proposed alterations to individual Master Plan Sites are reviewed under Montgomery County Code Chapter 24A (Chapter 24A) and the Secretary of the Interior's Standards for Rehabilitation (*Standards*). Rehabilitation is defined as the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values. The pertinent information in these documents is outlined below.

### Montgomery County Code, Chapter 24A Historic Resources Preservation

- (a) The commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate, inconsistent with or detrimental to the preservation, enhancement or ultimate protection of the historic site or historic resource within a historic district, and to the purposes of this chapter.
- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
  - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
  - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic

<sup>&</sup>lt;sup>1</sup> The Staff Report and application for the approved 2020 HAWP is available here: https://montgomeryplanning.org/wp-content/uploads/2020/06/I.A-5419-Mohican-Road-Bethesda-1.pdf.

resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or

- (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
- (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
- (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
- (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style.

### Secretary of the Interior's Standards for Rehabilitation

- 2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, space, and spatial relationships that characterize a property will be avoided.
- 9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale, and proportions, and massing to protect the integrity of the property and its environment.
- 10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

#### STAFF DISCUSSION

The new single family house construction was largely completed by the second half of 2024. The house generally conforms to the design reviewed and approved by the HPC on June 26, 2020. In early 2025, Department of Permitting Services (DPS) contacted HP Staff to discuss a site inspection and the revelation that grading on the site was not entirely consistent with the submitted and stamped permit documents. Staff conducted its own site visit to evaluate where and how the grading had been altered and identified several elements in the new house that deviated from the stamped approved plans. The applicant submits this HAWP for HPC review to ensure that the HAWP approval is consistent with the building as constructed. Staff notes, the applicants are new purchasers of the property and were not involved in the original HAWP submission or the construction of the subject property.

For the sake of clarity, Staff will present and evaluate the house alterations elevation by elevation rather than wholistically. Staff will address the sediment control issue in a separate section.

#### **Building Alterations**

#### North (front) Elevation

- Grade drops off to expose much more foundation than proposed.
- The foundation is stamped brick pattern concrete, not stone veneer.
- The first floor is covered in horizontal fiber cement siding, not the proposed fiber cement shingles.
- The columns are square wood, not the battered design proposed.
- The fenestration on the porch changed by changing the door configuration and

- eliminating one door from the proposal.
- A window was added to the right of the door.
- The windows in the right-most bay were changed from two casements to a sash window with a four-light square casement above.
- The porch includes decorative horizontal brackets.
- All of the roof pitches are steeper than what was originally approved.
- The cornice includes decorative brackets.
- Lanterns were installed on the porch and hanging from the brackets.
- There are two front-facing skylights.



Figure 2: Approved North Elevation.



Figure 3: As-built North Elevation

#### **West Elevation**

- Steeper pitched rooflines;
- Selections of fiber cement siding replaced with fiber cement clapboards;
- Stone veneer foundation removed and replaced with fiber cement siding;
- Columns eliminated and bracketed porch overhang installed;
- Dormer enlarged and located to align with wall plane.

### **West Elevation (ground floor)**

- Ground floor window converted to a door;
- Central ground floor window assembly size reduced;
- Ground floor window to the right of the central window assembly removed;
- Single sash window replaced with a tripled sash window assembly; and
- Enlarged window in projecting bay.

#### **West Elevation (second floor)**

- All window sizes revised;
- Casement windows on right side converted from casements to sash windows; and

Casement window in projecting bay revised to a single-light picture window.

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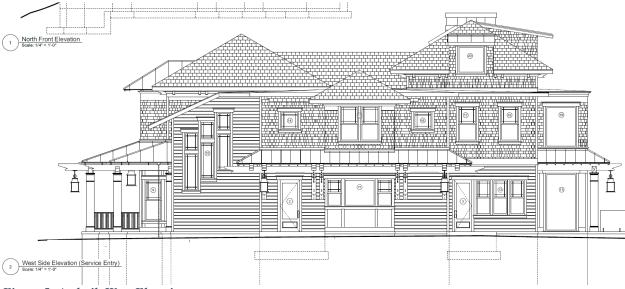


Figure 5: As-built West Elevation.

### **South Elevation**

- Roof pitches altered;
- The bandboard and cornice were simplified;
- The dormer was enlarged and it was moved closer to the south wall plane;
- The dormer window was converted from a rectangular three-light casement to a square picture window;
- A patio with a glass railing was installed in front of the projecting bay; and
- Grade drops off to east, exposing more of the foundation.

### **South Elevation (ground floor)**

- The window assembly on the left removed the Craftsman grilles and installed a one-over-one sash window in the central window;
- The window in the middle bay was eliminated and the opening was converted to a full-light door;
- The Chicago window assembly in the projecting bay was eliminated in the opening was converted into full-light accordion doors.

### **South Elevation (second floor)**

- The paired window on the left side was converted into a tripled window assembly;
- The Chicago window in the projecting bay was converted into a large square picture window;
- The hipped roof over the projecting bay was lowered and covered with a membrane roof instead of the approved metal roof.

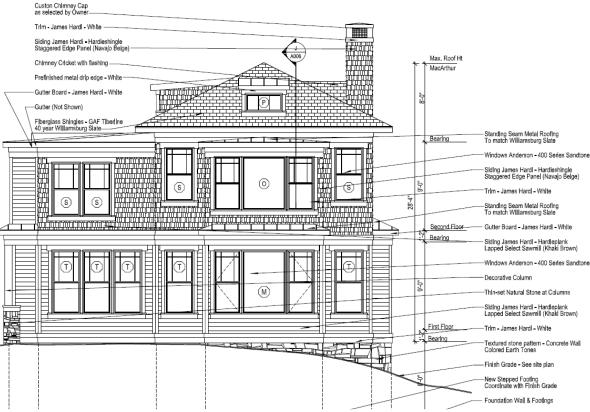


Figure 6: South Elevation (approved design).



Figure 7: South Elevation (as built).

#### **East Elevation**

- Roof pitches altered;
- The central roof section material was changed from standing seam metal to architectural shingles;
- Chimney relocated to stand proud east wall plane;
- Foundation material changed from stone veneer to stamped concrete pattern;
- Grade much lower than the approved design;
- Simplified bandboard and cornice;

#### **East Elevation (basement level)**

- The siding on the basement level is fiber cement panels with the stamped concrete foundation below;
- A window was added on the left side of the elevation;
- The central French Doors were converted to sliding glass doors that are several feet above grade;
- The two openings to the right of the central doors were relocated;
- The right-most window was converted to a door with a railing across to create a Juliette balcony.

### **East Elevation (ground floor)**

- The window in the projecting bay was enlarged and converted into a single-light;
- The two windows flanking the chimney were eliminated;
- The central Chicago window assembly was enlarged;
- The four-light casement window was eliminated

#### **East Elevation (second floor)**

• Grilles removed from the picture window in the projecting bay;

- Windows flanking the chimney were reduced in size; and
- The spacing of the windows on the right side was altered.



Figure 8: East Elevation (approved design).



Figure 9: East Elevation (as built).

#### **Staff Findings**

Staff finds that the house is generally consistent with the overall concept reviewed and approved by the HPC in 2020. The house's overall size appears to match the HPC's approval and, aside from several of the roof pitches, the massing is also generally consistent with the approval. Though the siding in select locations was altered from one form of fiber cement to another, Staff does not find this to be a significant deviation from the approval.

Staff finds the fenestration alterations do not substantially impact the character of the new house or surrounding environmental setting. Because the house design is drawing from a contemporary vocabulary (or a modern Craftsman interpretation), a variety of window designs and configurations are compatible without detracting from the character of the house.

Staff generally finds the locations where the siding was not installed as approved are generally de minimis alterations and does not impact the overall character of the constructed house. Staff would like to take an opportunity to discuss the overall compatibility of the Hardie fiber cement shakes. Fiber cement shakes by the James Hardie company are available in a variety of widths, but all of the shakes are only ¼" (one-quarter inch) thick. Staff finds these shingles are too narrow and create too small of a shadow line to be an adequate substitute natural wood shake.<sup>2</sup> Staff encourages the commission to review the photos of the house or pay particular attention to the wall profiles at their site visits to the subject property. Several manufactures make fiber cement shakes that are ½" (one-half inch) thick. Staff recommends that the HPC consider this material application for future applications and Staff will continue to recommend a condition for the approval of those HAWP applications.

Staff finds the changes in grade on the eastern side of the house negatively impact the character of the site. This is especially the case on the east elevation that suspends two doors several feet above the finished grade. In informal discussions with Staff, the applicants have indicated that they would like to construct exterior stairs at some point in the future, however, because of the narrow building envelop any stairs will require a variance to encroach into the side setback. Staff would support installing appropriately detailed stairs in this location as a future HAWP. Because this elevation faces away from the R.A. Charles Castle, this elevation has a minimal impact on the Master Plan Site's overall character and Staff encourages the applicant to return to the HPC with plans to install exterior stairs when they are developed. Staff does not recommend the HPC add a condition to the approval of this HAWP to require that this change be required in any specific timeframe.

While Staff found the design approved by the HPC to be more consistent with 24A than the house constructed—particularly as it relates to the fenestration on the south and west elevations—Staff supports the approval of the construction under 24A-8(b)(5). While that provision of code is typically used for work that could be overly burdensome financially for some homeowners, in this instance Staff focuses on the term 'undue' as it relates to the hardship. The current owners purchased the property with the understanding that it had undergone all necessary permitting requirements and though Staff finds that the previously approved design was more compatible, Staff does not find that requiring remedial work by the owners will improve the historic character of the Master Plan Site.

Lastly, Staff feels it is appropriate to address something the HPC tends to avoid: paint color. The approved HAWP (see *Fig. 10*, below) proposed two colors of siding, Navajo Beige for the shakes and

<sup>2</sup> Staff typically recommends the HPC add a condition to most HAWP approvals that propose Hardie Shake to either use wood or to use a fiber cement shake that is at least ½" (one-half inch) thick. Staff recommended the HPC deny the HAWP application for the subject property and the HPC did not add a condition regarding the siding in its approval motion.

Kaki Brown for the clapboards. The approved permit documents identified the same colors for the siding. Staff found these earthtones would better blend in with the stone construction of the R.A. Charles Castle and its neighboring Master Plan Site, the Baltzley Castle.

The HPC tends to avoid any regulation of paint color except where it is integral to the historic character of the site. This policy helps to avoid any conflation of determinations of compatibility with purely aesthetic decisions. Staff notes, there is no support for or prohibition on color within Chapter 24A. Staff finds this policy has generally steered the HPC away from many potential conflicts.



Figure 10: West elevation submitted in the 2020 HAWP application.



Figure 11: The subject property (left), the approved infill garage (circled right), and the R.A. Charles Castle (right rear).

However, based on the results of this HAWP Staff encourages the HPC's reconsideration of this practice. The subject house was constructed with white siding and black windows and doors. As of this Staff Report this palette is very popular. The R.A. Charles Castle was constructed using rusticated granite with a red slate roof. These natural colors have the effect of blending in with the surrounding landscape. As shown in *Figure 11*, the white house stands apart rather then blends into the background. Staff finds the infill garage,<sup>3</sup> constructed in the colors approved for the subject property, does a better job of being a compatible piece of the overall character of the site while still being differentiated from the stone castle.



Figure 12: The R.A. Charles Castle (front) and Baltzley Castle (rear).

As with the other deviation from the approval documents, Staff does not find repainting warranted under 24A-8(b)(5) but brings up this issue for the HPC's consideration in future decision making.

#### **Sediment Control/Grading**

During home construction a substantial amount of soil was moved to the south. The slope of this area exceeds the maximum allowable under the County's stormwater management and sediment control requirements. The applicant is seeking approval to reduce the slope on the south side of the house, to install two drywells, and to install permeable pavers to the north of the house. The applicant also proposes to install two water barrels on the east side of the house; however, Staff does not consider these

<sup>&</sup>lt;sup>3</sup> In 2015, the HPC approved a HAWP to construct a detached garage behind the R.A. Charles Castle. In 2019, the HPC approve a revision to that HAWP (<a href="https://montgomeryplanning.org/wp-content/uploads/2019/06/I.O-5417-Mohican-Road-Bethesda.pdf">https://montgomeryplanning.org/wp-content/uploads/2019/06/I.O-5417-Mohican-Road-Bethesda.pdf</a>) to relocate the garage. No changes were proposed to the size, design, or materials.

to be permanent features in the built environment and does not find they should be subject to HAWP approval. The applicant will also plant 15 (fifteen) White Oak trees on site.

To the south of the house, the applicant proposes to soften the grade to satisfy the 3:1 requirement for the sediment control permit. The current grade is a result of moving the excavated ground to the south (see *Figure 13*, below). Staff finds the current condition is much steeper than the natural grade on the neighboring Master Plan Sites and that regrading the subject property will only improve its compatibility. Staff additionally finds that with the addition of the trees on the site and the heavily planted condition of the Master Plan Site, the grade alteration will likely have no significant visual impact on the character of the site. Furthermore, the change to the grade will reduce soil erosion and reduce water runoff from the subject property, reducing the impact to the county's stormwater system. Staff recommends the HPC approve the regrading under 24A-8(b)(2) and (6).



Figure 13: The existing site conditions with the section of grade that must be reduced in slope.

The second proposed change is the installation of two drywells to the southwest of the house (see *Figure 14*, below). The dry wills are below ground and are fed directly from the downspouts on the north side of the house. Staff finds these drywells will have no material effect on the character of the property once they are installed and covered with grass. Staff recommends the HPC approve the drywells under 24A-8(b)(1), (2), and (6); and *Standard #2*.

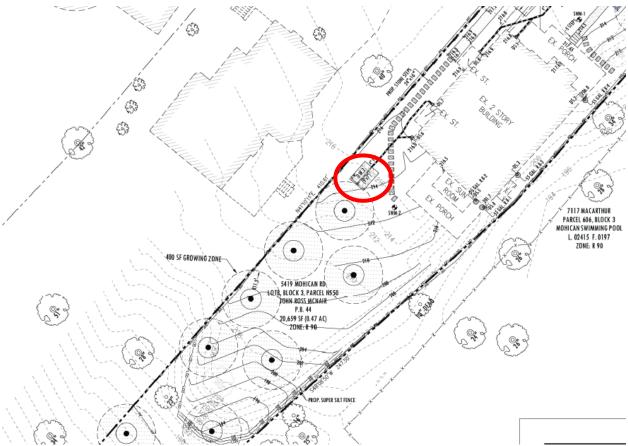


Figure 14: Revised site plan showing the re-grading to the south of the house and the proposed drywells (circled).

The final proposed change is the installation of a permeable paver parking area to the north of the house. The parking area will be approximately  $40^{\circ} \times 25^{\circ}$  (forty feet deep by twenty-five feet wide) and will be installed on a sand and stone base. The approved plans called for the construction of a gravel drive with a cobblestone edge. The approved garage has been abandoned and will not be constructed on the site.

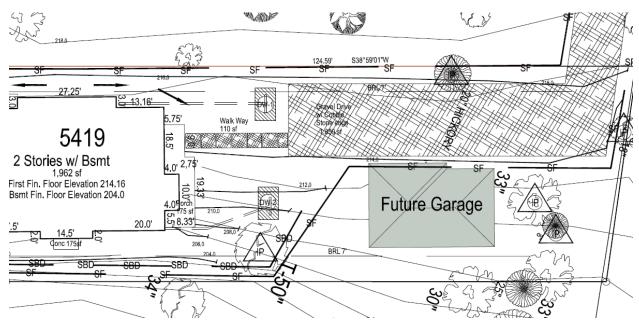


Figure 15: Approved site plan.

Staff finds the proposed permeable paving will have less of an impact on the character of the site than the approved garage. The addition of the two oak trees will obscure the parking area to the east and will reinforce the wooded character of the site. Staff finds the permeable pavers provide a varied texture and color that avoids the uniform appearance of a paving material like concrete or asphalt. Staff supports the proposed permeable paving under 24A-8(b)(2) and *Standard* 2.

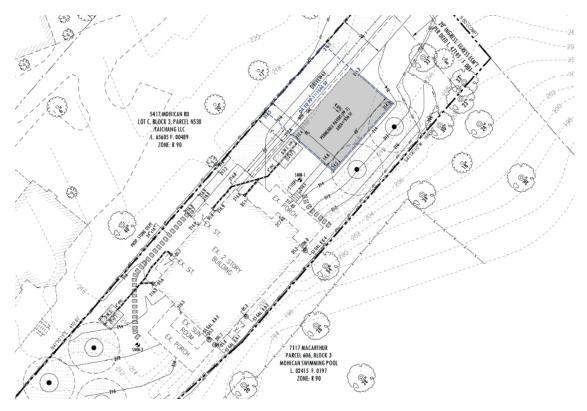


Figure 16: Revised site plan showing the paved area to the north.

### **STAFF RECOMMENDATION**

Staff recommends that the Commission <u>approve</u> the HAWP application; under the Criteria for Issuance in Chapter 24A-8(b)(2), (3), (5), and (6) having found that the proposal will not substantially alter the exterior features of the historic resource and is compatible in character with the district and the purposes of Chapter 24A;

and with the Secretary of the Interior's Standards for Rehabilitation #2, #9;

and with the general condition that the applicant shall present an electronic set of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make any alterations to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or email to: <a href="mailto:dan.bruechert@montgomeryplanning.org">dan.bruechert@montgomeryplanning.org</a> to schedule a follow-up site visit.

| FOR STAFF ONLY: |
|-----------------|
| HAWP#           |
| DATE ASSIGNED   |



# APPLICATION FOR HISTORIC AREA WORK PERMIT HISTORIC PRESERVATION COMMISSION 301.563.3400

| APF |  | CA | N | Τ: |
|-----|--|----|---|----|
|-----|--|----|---|----|

| APPLICANT:  |   |
|---|---|
| Name: Michael and Carey Sherman   | E-mail:   |
| Name:   | E-mail: mikesherman7@gmail.com  city: Bethesda Zip: 20816   |
| Daytime Phone: 504.250.2257   | Tax Account No.: <u>0368み311</u>  |
| AGENT/CONTACT (if applicable):  |   |
| Name:   | E-mail:   |
| Address:  | City: Zip:  |
| Daytime Phone:  | Contractor Registration No.:  |
| LOCATION OF BUILDING/PREMISE: MIHP # of His   | 5419 Mohican Rd (next to Master Plan Site 35/29-2) Storic Property  |
| map of the easement, and documentation from the Are other Planning and/or Hearing Examiner Appro (Conditional Use, Variance, Record Plat, etc.?) If YEsupplemental information. | ovals /Reviews Required as part of this Application?  |
|   | Cross Street: MacArthur Blvd (this is a through lot)  |
| Lot: B Block: 3 Subdivisi   | ion: <u>0029</u> Parcel: <u>N550</u>  |
| and accurate and that the construction will compl   | Shed/Garage/Accessory Structure Solar Tree removal/planting andscape Window/Door Other: permitting as-built home the foregoing application, that the application is correctly with plans reviewed and approved by all necessary is to be a condition for the issuance of this permit. |
| V   | Date  |

Signature of owner or authorized agent

Date

|  | ILING ADDRESSES FOR NOTIFING cent and Confronting Property Owners]                               |
|--|--|
| Owner's mailing address<br>Michael G. Sherman<br>Carey N. Sherman<br>5419 Mohican Road<br>Bethesda, MD 20816 | Owner's Agent's mailing address<br>Michael G. Sherman<br>5419 Mohican Road<br>Bethesda, MD 20816 |
| Adjacent and confronting   | Property Owners mailing addresses  |
| Taichang, LLC<br>5417 Mohican Road<br>Bethesda, MD 20816   | Patrick Gates & Susan Silverstein<br>5421 Mohican Road<br>Bethesda, MD 20816                     |
| Mohican Swimming Pool<br>7117 MacArthur Boulevard<br>Bethesda, MD 20816                                      |  |
| Mohican Swimming Pool<br>PO Box 666<br>Glen Echo, MD 20812   |  |
| •  |  |
|  |  |

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

The structure is a new construction, single-family home at 5419 Mohican Road. It was completed in 2024. Our family resides in the home. It is adjacent to the R.A Charles Castle. It is not in a historic district but is adjacent to a historic resource.

Description of Work Proposed: Please give an overview of the work to be undertaken:

No work is proposed under this historic area work permit. Our family moved into this new construction home in 2024. In updating the sediment control permit relative to grading, we met with historic area staff relative to updating the HAWP approval to reflect the as-built condition. The original permits were applied for and approved under prior ownership. This application is made by the current homeowner.

| Work Item 1: As-built approve                       | al   |
|---|--|
| Description of Current Condition:<br>Occupied home. | Proposed Work:  None. Request, per elevations and attached pictures of existing home, is to align the HAWP permit set with the as-built. |
| Work Item 2:  |  |
| Description of Current Condition:                   | Proposed Work:   |
| Work Item 3:  |  |
| Description of Current Condition:                   | Proposed Work:   |

### HISTORIC AREA WORK PERMIT CHECKLIST OF APPLICATION REQUIREMENTS

|                                       | Required<br>Attachments   |              | 2 8) /                  | A Material                    | 5. Photographs  | 6. Tree Survey | 7. Property        |
|---------------------------------------|---------------------------|--------------|-------------------------|-------------------------------|-----------------|----------------|--------------------|
| Proposed<br>Work                      | I. Written<br>Description | 2. Site Plan | 3. Plans/<br>Elevations | 4. Material<br>Specifications | 5. Photographis | b. Hee Survey  | Owner<br>Addresses |
| New<br>Construction                   | *                         | *            | *                       | *                             | *               | *              | *                  |
| Additions/<br>Alterations             | *                         | *            | *                       | *                             | *               | *              | *                  |
| Demolition                            | *                         | *            | *                       |                               | *               | *              | *                  |
| Deck/Porch                            | *                         | *            | *                       | *                             | *               | *              | *                  |
| Fence/Wall                            | *                         | *            | *                       | *                             | *               | *              | *                  |
| Driveway/<br>Parking Area             | *                         | *            |                         | *                             | *               | *              | *                  |
| Grading/Exc<br>avation/Land<br>scaing | *                         | *            |                         | *                             | *               | *              | *                  |
| Tree Removal                          | *                         | *            |                         | *                             | *               | *              | *                  |
| Siding/ Roof<br>Changes               | *                         | *            | *                       | *                             | *               |                | *                  |
| Window/<br>Door Changes               | *                         | *            | *                       | *                             | *               |                | *                  |
| Masonry<br>Repair/<br>Repoint         | *                         | *            | *                       | *                             | *               |                | *                  |
| Signs                                 | *                         | *            | *                       | *                             | *               |                | *                  |



# Sherman Residence

5419 Mohican Road Bethesda, MD 20816

Owner

Michael and Carey Sherman 5419 Mohican Road Bethesda, MD 20816

April 2, 2025

North and West Elevation

A.100



# Sherman Residence

5419 Mohican Road Bethesda, MD 20816

Owner

Michael and Carey Sherman 5419 Mohican Road Bethesda, MD 20816

April 2, 2025

South and East Elevation

A.101

















## **Elevation General Modification Notes**

### A.100 North and West Elevation:

Modification Notes (North):

1. North side door and window adjustments:

Door #1- Front door sidelight replaced by Window #1
Window #8 - Attic storage room skylights (2) added

### Modification Notes (West):

West side door and window adjustments:
 Door #2- Service door replaced Window Type A
 Window #9 - Front bay window added
 Window # 12- Breakfast Room (enlarged) window replace Window Type A
 Window #17,#18- Master Bathroom windows (enlarged) replace Window Type C
 Window #13,#19- River View South Bay windows no divisions (enlarged)
 Window #20- Attic window (enlarged) replace Window Type P

### A.101 South and East Elevation:

### **Modification Notes (South)**

South side door and window adjustments:
 Door #4- Terrace Service Door replaces Window Type T
 Door #5- River Bay Terrace Sliding Door replaces Window Type M
 Window #23 - Center Picture Window Added
 Window #26- Single Picture Window at Window Type 0
 Window #27- Enlarged Attic Window at Window Type P

### **Modification Notes (East)**

West side door and window adjustments:
 Door #6- Possible future basement service door replaced Window Type D
 Window #9 - Front bay window added
 Window # 29- Play Room picture window (2) replace Door Type B01
 Window #17,#18- Master Bathroom windows (enlarged) replace Window Type C
 Window #31,#36- River View South Bay windows no divisions (enlarged)
 Window #35- Front Porch Bay Window added

# Sherman Residence

5419 Mohican Road Bethesda, MD 20816

Owner

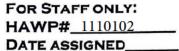
Michael and Carey Sherman 5419 Mohican Road Bethesda, MD 20816

April 2, 2025

**Elevation Notes** 

A.102

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# **APPLICATION FOR** HISTORIC AREA WORK PERMIT HISTORIC PRESERVATION COMMISSION 301.563.3400

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|---|---|---|--|-----|----|----|----|
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| Name: Michael and Carey Sherman   | E-mail:  |
|---|--|
| Address: 5419 Mohican Road  | E-mail: mikesherman7@gmail.com  City: Bethesda zip: 20816  |
| Daytime Phone: 504.250.2257   | Tax Account No.:   |
| AGENT/CONTACT (if applicable):  |  |
| Name:   | E-mail:  |
| Address:  | City: Zip:   |
| Daytime Phone:  | Contractor Registration No.:   |
| LOCATION OF BUILDING/PREMISE: MIHP # of H   | istoric Property Master Plan Site 35/29-2  |
| map of the easement, and documentation from the Are other Planning and/or Hearing Examiner Appr | XNo/Individual Site NameR.A. Charles onmental Easement on the Property? If YES, include a ne Easement Holder supporting this application. rovals / Reviews Required as part of this Application?   |
| (Conditional Use, Variance, Record Plat, etc.?) If You supplemental information.                | ES, include information on these reviews as  |
| Building Number: 5417 Street:   | Mohican Road   |
|   | t Cross Street: MacArthur Blvd (this is a through lot)   |
| Lot: B Block: 3 Subdivis  | sion: 0029 Parcel: N550  |
| and accurate and that the construction will comp  | Shed/Garage/Accessory Structure Solar Tree removal/planting Landscape Window/Door Other: the foregoing application, that the application is correctly with plans reviewed and approved by all necessary its to be a condition for the issuance of this permit.  03/23/2025 |
| Signature of owner or authorized age  | prt Date   |

33

## HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFING [Owner, Owner's Agent, Adjacent and Confronting Property Owners] Owner's mailing address Michael G. Sherman Owner's Agent's mailing address Michael G. Sherman Carey N. Sherman 5419 Mohican Road Bethesda, MD 20816 5419 Mohican Road Bethesda, MD 20816 Adjacent and confronting Property Owners mailing addresses 5421 Mohican Road 5417 Mohican Road Bethesda, MD 20816 Bethesda, MD 20816 5407 Mohican Road 7117 MacArthur Boulevard Bethesda, MD 20816 Bethesda, MD 20816 5415 Mohican Road Bethesda, MD 2086

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

The structure is a new construction, single-family home. It is adjacent to the R.A Charles Castle. It is not in a historic district but is adjacent to a historic resource.

Description of Work Proposed: Please give an overview of the work to be undertaken:

A modified sediment control permit was necessary to correct (a) grading issues in the rear yard left by a prior contractor who built the house, (b) install storwater managaement features to comply with code, and (c) add pavers in the front of the house for the parking area. We are the current homeowners and the applicant for this approval. We have received approval from Montgomery County for this plan modification which will allow us to complete the site work in accordance with Montgomery County requirements.

### Work Item 1: Grading

### Description of Current Condition:

Field deviations are present from work under the prior sediment control permit in the rear of the house which required submittal of an amended sediment control permit and associated grading plan. The new grading plan has been approved by the county which will result in the property being brought into conformity with applicable Montgomery County rules and restoration of the site to a condition that is closer to the prior historic condition of the land.

### Proposed Work:

Regrading of the rear of the property, primarily to reduce the slopes to the county's required 3:1 ratio from the current condition which exceeds that slope (i.e. too steep).

# Work Item 2: Stormwater Management

### Description of Current Condition:

Stormwater management features have not yet been installed. To comply with the Montgomery County stormwater requirements, we have a revised sediment control plan which includes a stormwater management plan.

### Proposed Work:

Two underground pits to manage storm water, rain barrels (on the side of the property nearest Mohican Swimming Club, not the historic resource), and gravel/sand beneath pavers in the parking area.

# Work Item 3: Pavers - front yard

#### Description of Current Condition:

There is presently an incomplete gravel/rock driveway and gravel/rock parking area used during construction. The site work is incomplete with a sediment control fence still in place.

### Proposed Work:

Installation of permeable pavers in the parking area and walkways. Beneath the permeable pavers is sand and stone per engineering requirements.

### HISTORIC AREA WORK PERMIT CHECKLIST OF APPLICATION REQUIREMENTS

|                                       | Required<br>Attachments   |              |                         |                               |                |                |                                   |
|---------------------------------------|---------------------------|--------------|-------------------------|-------------------------------|----------------|----------------|-----------------------------------|
| Proposed<br>Work                      | I. Written<br>Description | 2. Site Plan | 3. Plans/<br>Elevations | 4. Material<br>Specifications | 5. Photographs | 6. Tree Survey | 7. Property<br>Owner<br>Addresses |
| New<br>Construction                   | *                         | *            | *                       | *                             | *              | *              | *                                 |
| Additions/<br>Alterations             | *                         | *            | *                       | *                             | *              | •              | *                                 |
| Demolition                            | *                         | *            |                         |                               | *              |                | *                                 |
| Deck/Porch                            | *                         | •            | *                       | *                             | *              | •              | *                                 |
| Fence/Wall                            | *                         | *            | *                       | *                             | *              | *              | *                                 |
| Driveway/<br>Parking Area             | *                         | *            |                         | *                             | *              |                | *                                 |
| Grading/Exc<br>avation/Land<br>scaing | *                         | *            |                         | *                             | *              | *              | *                                 |
| Tree Removal                          | *                         | *            |                         | *                             | *              | *              |                                   |
| Siding/ Roof<br>Changes               | *                         |              | *                       | *                             | *              |                | *                                 |
| Window/<br>Door Changes               | *                         | *            | *                       | *                             | *              |                | *                                 |
| Masonry<br>Repair/<br>Repoint         | *                         |              | *                       | *                             | *              |                | *                                 |
| Signs                                 |                           | *            | *                       |                               | *              |                | *                                 |

### **Erosion and Sediment Control Notes**

- 1. The permittee shall notify the Department of Permitting Services (DPS) forty eight (48) hours before commencing any land disturbing activity and, unless waived by the Department, shall be required to hold a pre construction meeting between them or their representative, their engineer and an authorized representative of the Department.
- The permittee must obtain inspection and approval by DPS at the following points:
- A. At the required pre construction meeting. B. Following installation of sediment control measures and prior to any other land disturbing activity.
- C. During the installation of a sediment basin or stormwater management structure at the required inspection points (see Inspection Checklist on plan). Notification prior to commencing construction is D. Prior to removal or modification of any sediment control structure(s).
- E. Prior to final acceptance. The permittee shall construct all erosion and sediment control measures per the approved plan and
- construction sequence, shall have them inspected and approved by the Department prior to beginning any other land disturbances, shall ensure that all runoff from disturbed areas is directed to the sediment control devices, and shall not remove any erosion or sediment control measure without prior permission from the The permittee shall protect all points of construction ingress and egress to prevent the deposition of
- materials onto traversed public thoroughfare(s). All materials deposited onto public thoroughfare(s) shall be removed immediately.
- The permittee shall inspect periodically and maintain continuously in effective operating condition, all erosion and sediment control measures until such time as they are removed with prior permission from the Department. The permittee is responsible for immediately repairing or replacing any sediment control measures which have been damaged or removed by the permittee or any other person.
- \*Following initial soil disturbance or re disturbance, permanent or temporary stabilization must be
- a. Three (3) calendar days as to the surface of all perimeter dikes, swales, ditches, perimeter slopes and all slopes steeper than 3 horizontal to 1 vertical (3:1); and b. Seven (7) calendar days as to all other disturbed or graded areas on the project site not under active

All areas disturbed outside of the perimeter sediment control system must be minimized and stabilized

immediately. Maintenance must be performed as necessary to ensure continued stabilization. The permittee shall apply \*sod, seed, and anchored straw mulch, or other approved stabilization measures to all disturbed areas within seven (7) calendar days after stripping and grading activities have ceased on that area. Maintenance shall be performed as necessary to ensure continued stabilization. Active construction areas such as borrow or stockpile areas, roadway improvements, and areas within fifty (50) feet of a building under construction may be exempt from this requirement, provided that erosion and

sediment control measures are installed and maintained to protect those areas.

- Prior to removal of sediment control measures, the permittee shall stabilize all contributory disturbed areas with required soil amendments and topsoil, using sod or an approved permanent seed mixture and an approved anchored mulch. Wood fiber mulch may only be used in seeding season when the slope does not exceed 10% and grading has been done to promote sheet flow drainage. Areas brought to finished grade during the seeding season shall be permanently stabilized within seven (7) calendar days of establishment. When property is brought to finished grade during the months of November through February, and permanent stabilization is found to be impractical, an approved temporary seed and straw anchored mulch shall be applied to disturbed areas. The final permanent stabilization of such property
- shall be completed prior to the following April 15. The site permit, work, materials, approved SC/SM plans, and test reports shall be available at the site for
- inspection by duly authorized officials of Montgomery County. 10. Surface drainage flows over unstabilized cut and fill slopes shall be controlled by either preventing drainage flows from traversing the slopes or by installing mechanical devices to lower the water down slope without causing erosion. Dikes shall be installed and maintained at the top of cut or fill slopes until the slope and drainage area to it carefully stabilized, at which time they must be removed and final grading done to promote sheet flow drainage. Mechanical devices must be provided at points of concentrated flow
- where erosion is likely to occur. . Permanent swales or other points of concentrated water flow shall be stabilized within 3 calendar days of establishment with sod or seed with approved erosion control matting or by other approved stabilization
- 12. Sediment control devices shall be removed, with permission of the Department, within thirty (30) calendar days following establishment of permanent stabilization in all contributory drainage areas. Stormwater management structures used temporarily for sediment control shall be converted to the permanent configuration within this time period as well.
- \*No permanent cut or fill slope with a gradient steeper than 3:1 will be permitted in lawn maintenance areas or on residential lots. A slope gradient of up to 2:1 will be permitted in non maintenance areas provided that those areas are indicated on the erosion and sediment control plan with a low maintenance ground cover specified for permanent stabilization. Slope gradient steeper than 2:1 will not be permitted with vegetative stabilization.
- 14. The permittee shall install a splashblock at the bottom of each downspout unless the downspout is connected by a drain line to an acceptable outlet.

15. For finished grading, the permittee shall provide adequate gradients so as to prevent water from standing

on the surface of lawns more than twenty four (24) hours after the end of a rainfall, except in designated

CONSTRUCTION INSPECTION

nspector OR the Owner/Developer.

Excavation for Dry Well conforms to approved plans

CONSTRUCTION INSPECTION

CONSTRUCTION INSPECTION

nspector OR the Owner/Developer.

Excavation to subgrade conforms to approved plans

CHECK-OFF LIST FOR DRY WELL/RECHARGE CHAMBER

at these points prior to proceeding with construction. The permittee is required to give he MCDPS Inspector twenty-four (24) hours notice (DPS telephone 240-777-0311

The DPS inspector may waive an inspection, and allow the owner/developer to make

the required inspection per a prior scheduled arrangement which has been confirmed

completion of the project, a formal Stormwater Management As-Built must be

submitted to MCDPS unless a Record Drawing Certification has been allowed

Placement of backfill, perforated inlet pipe and observation well conforms to

Placement of geotextiles and filter media conforms to approved plans

5. Final grading and permanent stabilization conforms to approved plans

. Connecting pipes, including connection to downspout, constructedper the

TOTAL NUMBER OF DRY WELLS INSTALLED PER THIS PERMIT: APPROVED

RAINWATER HARVESTING (CISTERNS AND RAIN BARRELS)

MANDATORY NOTIFICATION: Inspection and approval of each practice is required | INITIALS/DATE

unless a Record Drawing Certification has been allowed instead.

**CHECK-OFF LIST FOR PERMEABLE PAVEMENTS** 

at these points prior to proceeding with construction. The permittee is required to give

the MCDPS Inspector twenty-four (24) hours notice (DPS telephone 240-777-0311)

The DPS inspector may waive an inspection, and allow the owner/developer to make

the required inspection per a prior scheduled arrangement which has been confirmed with the DPS inspector in writing. Work completed without MCDPS approval may

result in the permittee having to remove and reconstruct the unapproved work. Upon

completion of the project, a formal Stormwater Management As-Built must be

submitted to MCDPS unless a Record Drawing Certification has been allowed instead. Each of the steps listed below must be verified by either the MCDPS

Placement of backfill, perforated inlet pipe and observation well conforms to

Placement of crushed stone subbase conforms to approved plans

5. Final grading and permanent stabilization conforms to approved plans

Placement of surface material conforms to approved plans

instead. Each of the steps listed below must be verified by either the MCDPS

with the DPS inspector in writing. Work completed without MCDPS approval may result in the permittee having to remove and reconstruct the unapproved work. Upor

MANDATORY NOTIFICATION: Inspection and approval of each practice is required INITIALS/DATE

- drainage courses and swale flow areas, which may drain as long as forty eight (48) hours after the end of 16. Sediment traps or basins are not permitted within 20 feet of a building which is existing or under
- construction. No building may be constructed within 20 feet of a sediment trap or basin.
- All inlets in non sump areas shall have asphalt berms installed at the time of base paving establishmen 18. The sediment control inspector has the option of requiring additional sediment control measures, as
- 19. All trap elevations are relative to the outlet elevation, which must be on existing undisturbed ground. 20. \*Vegetative stabilization shall be performed in accordance with the Standards and Specifications for Soil Erosion and Sediment Control.
- 21. Sediment trap(s)/basin(s) shall be cleaned out and restored to the original dimensions when sediment has accumulated to the point of one half (1/2) the wet storage depth of the trap/basin (1/4) the wet storage
- depth for ST III) or when required by the sediment control inspector. 22. Sediment removed from traps/basins shall be placed and stabilized in approved areas, but not within a
- 23. All sediment basins and traps must be surrounded with a welded wire safety fence. The fence must be at least 42 inches high, have posts spaced no farther apart than 8 feet, have mesh openings no greater the two inches in width and four inches in height, with a minimum of 14 gauge wire. Safety fence must be
- maintained in good condition at all times 24. No excavation in the areas of existing utilities is permitted unless their location has been deter mined. Call "Miss Utility" at 1 800 257 7777, 48 hours prior to the start of work. 25. Off site spoil or borrow areas must have prior approval by DPS.
- 26. Sediment trap/basin dewatering for cleanout or repair may only be done with the DPS inspector's permission. The inspector must approve the dewatering method for each application. The following
- A. Pump discharge may be directed to another on site sediment trap or basin, provided it is of sufficient volume and the pump intake is floated to prevent agitation or suction of deposited sediments; or
- B. the pump intake may utilize a Removable Pumping Station and must discharge into an undisturbed area through a non erosive outlet; or C. the pump intake may be floated and discharge into a Dirt Bag (12 oz. non woven fabric), or approved equivalent, located in an undisturbed buffer area. Remember: Dewatering operation and method must
- have prior approval by the DPS inspector. Remember: Dewatering operation and method must have prior approval by the DPS inspector.
- 27. The permittee must notify the Department of all utility construction activities within the permitted limits of disturbance prior to the commencement of those activities. 28. \*Topsoil must be applied to all pervious areas within the limits of disturbance prior to permanent
- stabilization in accordance with MDE "Standards and Specifications for Soil Preparation, Topsoiling, and
- \* Class of turfgrass sod must be Maryland State Certified. Sod labels must be made available to the job foreman and the Sediment Control Inspector.

### SEQUENCE OF CONSTRUCTION

- Prior to clearing trees, installing sediment control measures, or grading, a preconstruction meeting must be conducted on site with the Montgomery County Department of Permitting Services (MCDPS) Sediment Control inspector (240) 777 0311 (48 hours notice) and the MNCPPC, Planning Department, Plans Enforcement inspector (301)495 4550 (48 hours notice), the Owners representative, and the site Engineer. In order for the meeting to occur, the applicant must provide one paper set of approved sediment control plans to the MCDPS sediment control inspector at the preconstruction meeting. If no plans are provided, the meeting shall not occur and will need to be rescheduled prior to commencing any work. (1 Day)
- The limits of disturbance must be field marked prior to clearing of trees, installation of sediment control measures, construction, or other land disturbing activities. (1 Day)

The permittee must obtain written approval form the MNCPPC inspector, certifying that the limits of

- disturbance and tree protection measures are correctly marked and installed prior to commencing any clearing. (1 Day) Clear and grade for installation of sediment control devices. (2 Days)
- Install Stabilized Construction Entrance (SCE), Diversion Fences and Super Silt Fences, as shown on
- Once the sediment control devices are installed, the permittee must obtain written approval from the MCDPS inspector before proceeding with any additional clearing, grubbing or grading. (1 Day)
- Begin installation of water & sewer utilities. (1 Week)
- Begin installation of roof leaders. Roof leaders, as shown on the plan are to be blocked until Drywells and Rain Barrels are installed. (1 Week)
- Begin grading and construction of permeable driveway. (2 Weeks)
- 10. Once completion grading, stabilized all disturbed areas. (1 Day) 11. Stabilize all disturbed areas within the allowed time frame, per the specifications specified on the
- approved Sediment Control Plans. (1 Day) 12. Once all construction activities related to driveway and utilities completed, install Drywells and
- Concrete Permeable Pavement. (2 Weeks) 13. Adjustments are allowed in the field to complete this installation, and as allowed by Montgomery
- County DPS Site inspector. (1 Day) 14. Stabilize all disturbed areas. (1 Day)
- 15. Once construction completed, with the permission of sediment control inspector, remove all sediment 16. Submit executed record drawing certification to the sediment control inspector. (1 Day)

# 17. Submit SWM as built to MCDPS for review and approval as final step. (1 Day)

A record set of approved Sediment Control/Stormwater Management plans must be maintained on-site at all times. In addition to stormwater management items, these plans must include the number and location of all trees proposed to be planted to comply with the Tree Canopy Law. Any approved modifications or deletions of stormwater practices or tree canopy plantings or information must be shown on this record set of plans and on the Tree Canopy Requirements table. Upon completion of the project, this record set of plans, including hereon this signed Record Drawing Certification, must be submitted to the MCDPS inspector. In addition to this Record Drawing Certification, a formal Stormwater Management As-Built submission [ ] is required [x] is not required for this project. If this project is subject to a Stormwater Management Right of Entry and Maintenance Agreement, that document is recorded

RECORD DRAWING CERTIFICATION

Liber 66586 Folio 441 . This Record Drawing will serve as referenced in the recorded document.

This record drawing accurately and completely represents the stormwater management practices and tree canopy plantings as they were constructed or planted. All stormwater management practices were constructed per the approved Sediment Control / Stormwater Management plans or subsequent approved revisions."

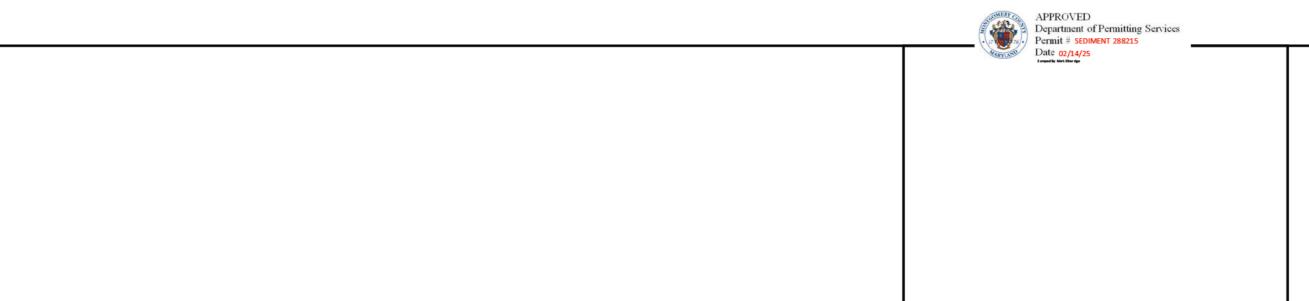
Owner/ Developer Signature

in Montgomery County Land Records at:

FIELD CHECK OF RECORD DRAWING BY MCDPS INSPECTOR: INITIALS:

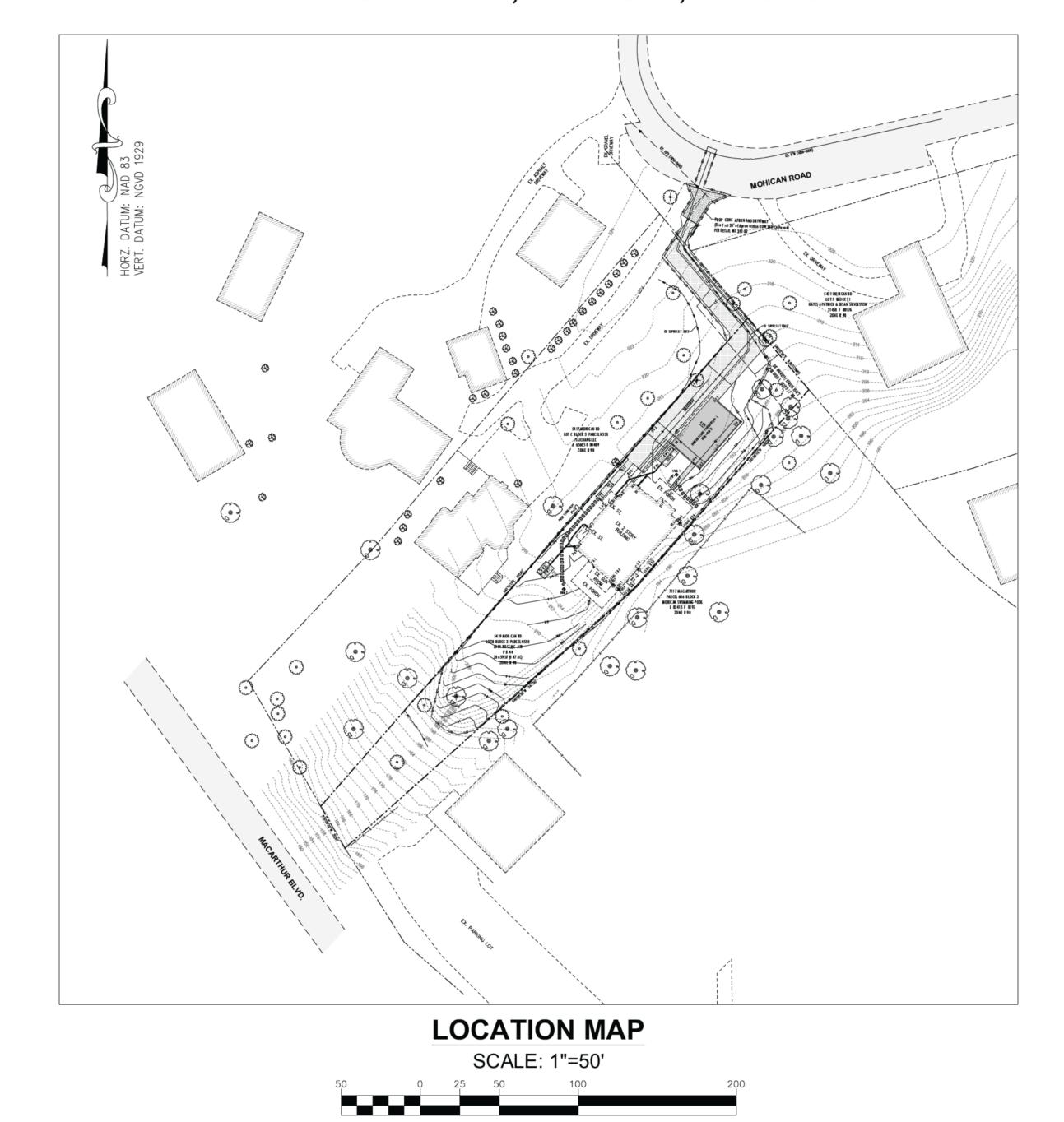
Effective for sediment control permit applications made on or after January 1, 2016.

| REV# | DATE |  |
|------|------|--|
|      |      |  |
|      |      |  |
|      |      |  |
|      |      |  |
|      |      |  |



# STORMWATER MANAGEMENT PLAN & EROSION AND SEDIMENT CONTROL PLAN

5419 MOHICAN RD, BETHESDA, MD 20816



1 inch =50 ft

#### LEGEND SITE DATA SYMBOL SYMBOL Address: 5419 Mohican Road, Bethesda, MD 20816 **EXISTING STRUCTURES** EXISTING WATER LINE Owner Name: John Ross Mcnair Glen Echo Heights Legal Description: PROPOSED STRUCTURES EXISTING SEWER LINE — - - — EXISTING SANITARY SEWER MANHOLE PROPERTY BOUNDARY LINE Block: LIBER / FOLIO: 40953 / 265 EXISTING TOPOGRAPHY PROPOSED WATER HOUSE CONNECTION Existing Use: Vacant Proposed Use: Residential (Single Family) 180——— PROPOSED SEWER HOUSE CONNECTION PROPOSED GRADING PROPOSED SPOT ELEVATION 10. Tax ID No.: 03682311 PROPOSED GRAVEL DRYWELL D.W.1 +200.2Election District Number: PROP. CONCRETE PERMEABLE PAVEMENT PROPOSED STORM DRAIN PIPE Gross Lot Area: 20.659 SF (0.47 Ac.) Dedication ROW Area: 0 SF (0 Ac.) EXISTING FENCE ——×——×—— PROPOSED DOWNSPOUT 20,659 SF (0.47 Ac.) 14. Net Lot Area: LIMIT OF DISTURBANCE SUPER SILT FENCE -----SSF -----15. Zoning: —\_LOD —\_LOD — 16. WSSC Grid: 207NE06 —**○**—PP PROPOSED RETAINING WALL Water Category: W 1 25' BRLN Sewer Category: PROP. STABILIZED CONSTRUCTION ENTRANCE BUILDING RESTRICTION LINE Historic Site: Special Protection Area: OBSERVATION WELL ○0.W Lower Rock Creek 21. Watershed: ROAD CENTERLINE R.B.-1 22. Zoning Regulations: Required/Allowed 20,659 SF (0.47 Ac) 9,000 SF Minimum Lot Area - ← ← ← SOIL BORING- INFILTRATION TEST HOLE SWM-1 DRAINAGE AREA LINE Maximum Lot Coverage 20% 9.70%\* TREE PROTECTION FENCE/ ROOT PRUNING → HA-1 SOIL BORING- HAND AUGER \*=(Building Footprint) / Lot Area = (2,003 SF / 20,659 SF) x 100 = 9.70% Minimum Front Setback 108.8' EXISTING SHRUB PROPOSED UNDERGROUND ELECTRIC LINE — E ——— E —— 12.0' ,8.4' Minimum Side Setback Minimum Rear Setback 223.3' PROPOSED PERMEABLE DRIVEWAY EXISTING TREE (TO BE SAVED) Minimum Lot Frontage (Building Line) 75' 59.39' CRITICAL ROOT ZONE (C.R.Z.) -PROPOSED CONCRETE PAVEMENT Minimum Lot Frontage (Street Line) 25' 60.07' Parking Space for Single Family Unit 2.00 EXISTING TREE (TO BE REMOVED) Maximum Building Height 33.48' PROPOSED TREE (PLANTING) CRITICAL ROOT ZONE (C.R.Z.) -400 SF GROWING ZONE -

DEVELOPER

INITIALS/DATE

INITIALS/DATE

INSPECTOR

CONSTRUCTED

Upon completion of the project, a formal Stormwater Management As Built must be submitted to MCDPS

"The constructed Rainwater Harvesting System meets the conditions specified on the approved plans.

Structures required to be water tight were tested after installation and were demonstrated to be water tight."

## OWNER'S/DEVELOPER'S CERTIFICATION

I/We hereby certify that all clearing, grading, construction, and or development will be done pursuant to this plan and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of Natural Resources approved training program for the control of sediment and erosion before beginning the project.

### **DESIGN CERTIFICATION** I hereby certify that this plan has been prepared in accordance with the "2011 Maryland Standards and

Specification for Soil Erosion and Sediment Control," Montgomery County Department of Permitting Services Executive Regulations 5 90, 7 02AM and 36 90, and Montgomery County Department of Public Works and Transportation "Storm Drain Design Criteria" dated August 1988. 2/14/2025 m Razavi

Design Engineer Signature Mike Razavi

Printed Name Registration Number

### CERTIFICATION OF THE QUANTITIES

I hereby certify that the estimated total amount of excavation and fill as shown on these plans has been computed to 395 cubic yards of excavation, 10 cubic yards of fill and the total area to be disturbed as shown on these plans has been determined to be 12,276 square feet.

2/14/2025 m Razavi Design Engineer Signature Mike Razavi 22742 Printed Name Registration Number

I understand that DPS approval of this sediment control/stormwater management plan is for demonstrated compliance with required environmental runoff treatment standards. This DPS sediment control/stormwater management plan approval does not relieve me of professional responsibility. I have analyzed the proposed design for sediment control permit no. 288215 and hereby certify that, based upon my background, training and experience, I have determined that the proposed improvements shown on this plan meet relevant laws and regulations. I further acknowledge that I have analyzed the post development runoff patterns for this project from the standpoint of my responsibilities under current Maryland Law and have determined that if permission is required from adjacent property owners, I have obtained it and have made copies of those permissions available to DPS.

**RUNOFF STATEMENT** 

m Razavi Engineer's Signature MOHAMMAD RAZAVI **Printed Name** 

### To be completed by the consultant and placed on the first sheet of the Sediment Control / Stormwater Management plan set for all projects. A fee in lieu of planting will be charged for any required canopy trees that are not planted. Exempt: Yes $\square$ No $\boxtimes$ If exempt under Section 55-5 of the Code, please check the applicable exemption category below.

TREE CANOPY REQUIREMENTS TABLE

**Total Disturbed Area Total Property Area** 20,659 square feet 17,856 square feet **Shade Trees Required** Shade Trees Proposed to be Planted Number of Trees Requiring Payment of Fee in Lieu (Trees Required - Trees Planted) **Required Number of Shade Trees** Area (sq. ft.) of the Limits of Disturbance Trees Required 6.001 8,000 12,000 8.001 14,000 12,001

14,001 40,000 If the square footage of the limits of disturbance is more than 40,000, then the number of shade trees required must be calculated using the following formula (Number of Square Feet in Limits of Disturbance + 40,000) × 15

### **EXEMPTION CATEGORIES CHECK AS APPLICABLE**

 $\Box$  55 5(a) any activity that is subject to Article II of ☐ 55 5(b) any commercial logging or timber harvesting operation with an approved exemption fro Article II of Chapter 22A; ☐ 55 5(f) any activity conducted by the County Parks ☐ 55 5(g) routine or emergency maintenance of an

existing stormwater management facility, including an

existing access road, if the person performing the

maintenance has obtained all required permits;

55 5(h) any stream restoration project if the person performing the work has obtained all necessary 55-5(i) cutting or clearing any tree to comply with

applicable provisions of any federal, state, or local law governing safety of dams; OTHER: Specify per Section 55 5 of the Code.

### **RELATED REQUIRED PERMITS** To be completed by the consultant and placed on the first sheet of the Sediment Control / Stormwater Management plan set for all projects

IT IS THE RESPONSIBILITY OF PERMITTEE/OWNER OF THIS SITE TO OBTAIN ALL

REQUIRED PERMITS PRIOR TO ISSUANCE OF THE APPROVED SEDIMENT CONTROL PERMIT

WORK RESTRICTION TYPE OF PERMIT MCDPS Floodplain District WATERWAYS/WETLAND(S) a. Corps of Engineers b. MDE . MDE Water Quality Certification MDE Dam Safety Approval Date DPS Roadside Trees Protection Plan 2/10/2023 \*\* N.P.D.E.S. NOTICE OF INTENT FEMA LOMR (Required Post Construction) OTHERS (Please List):

\* A copy of the approved Roadside Trees Protection Plan must be delivered to the sediment control inspector at the When a Notice of Intent is required, the sediment control permit may not be issued until confirmation of authorization under the

SHEET INDEX: COVER SHEET **EROSION AND SEDIMENT CONTROL** & STORMWATER MANAGEMENT PLAN

DRAINAGE AREAS / NOTES AND DETAILS

CALL "MISS UTILITIES" AT #811 OR LOG ON TO WWW.MISSUTILITIES.NET 48 Hours Before Start Of Construction

SCSF001

SCSF002

he excavator must notify all public utility companies with underground facilities in the area of proposed excavation and have those facilities located by the utility companies prior to commencing excavation. The excavator is responsible for compliance with requirements of Chapter 36A of the Montgomery County Code.

### PLAN REVISION NARRATIVE

THE APPROVED PLAN FOR THIS SITE IS BEING REVISED TO COMPLY WITH SITE CONDITIONS. THE FOLLOWING REVISIONS ARE BEING MADE BY THIS PLAN:

1. Correct site grading problems in the rear of the house, which resulted from field deviations from the approved plans. 2. Show additional parking space in the front of the house.

3. Adjust proposed stormwater management practices to comply with proposed revisions.

> Revision #1 Approved by DPS Patrick Fitzgerald 02/14/2025

Revision is in response to Notice of Violation to correct issues described in narrative

TECHNICAL REVIEW OF SEDIMENT CONTROL Jean Kapusnick TECHNICAL REVIEW OF STORMWATER MANAGEMENT

ADMINISTRATIVE REVIEW

2/25/2023

SMALL LOT DRAINAGE APPROVAL

Jean Kapusnick

Jean Kapusnick

NOTE: MCDPS APPROVAL DOES NOT NEGATE THE NEED FOR A MCDPS ACCESS PERMIT.

MCDPS APPROVAL OF THIS PLAN WILL EXPIRE TWO YEARS FROM THE DATE OF APPROVAL IF THE PROJECT HAS NOT STARTED. DPS approval of a sediment control or stormwater

management plan is for demonstrated compliance with minimum environmental runoff treatment standards and does not create or imply any right to divert or concentrate runoff onto any adjacent property without that property owner's permission. It does not relieve the design engineer or other responsible person of professional liability or ethical responsibility for the adequacy of the drainage design as it affects uphill or downhill properties.

SEDIMENT CONTROL PERMIT NO.

SM. FILE NO. ESD to MEP - Qn Waiver

5417 MOHICAN RD, BETHESDA, MD 20816

Email: mikesherman7@gmail.com

Phone: (504) 250 2257

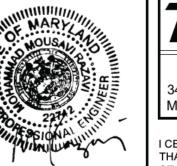
DISTRICT 7

**COVER SHEET** 

**5419 MOHICAN ROAD** PROJECT ADDRESS OWNER/ APPLICANT INFO 5419 MOHICAN RD, BETHESDA, MD 20816 MICHAEL GREGORY SHERMAN & CAREY NICOLE SHERMAN

WSSC GRID: 03682311 BLOCK: TAX MAP:

GM53 LOT: MONTGOMERY COUNTY, MARYLAND



**K**AZTEC ASSOCIATES, INC civil engineers & planners 3451 Emys Place, Monrovia, Tel: (301) 775 4394

Maryland 21770 Email: raztecengr@comcast.net PROFESSIONALS' REVIEW STATEMENT CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NUMBER: 22742 EXPIRES: JUNE 15, 2026

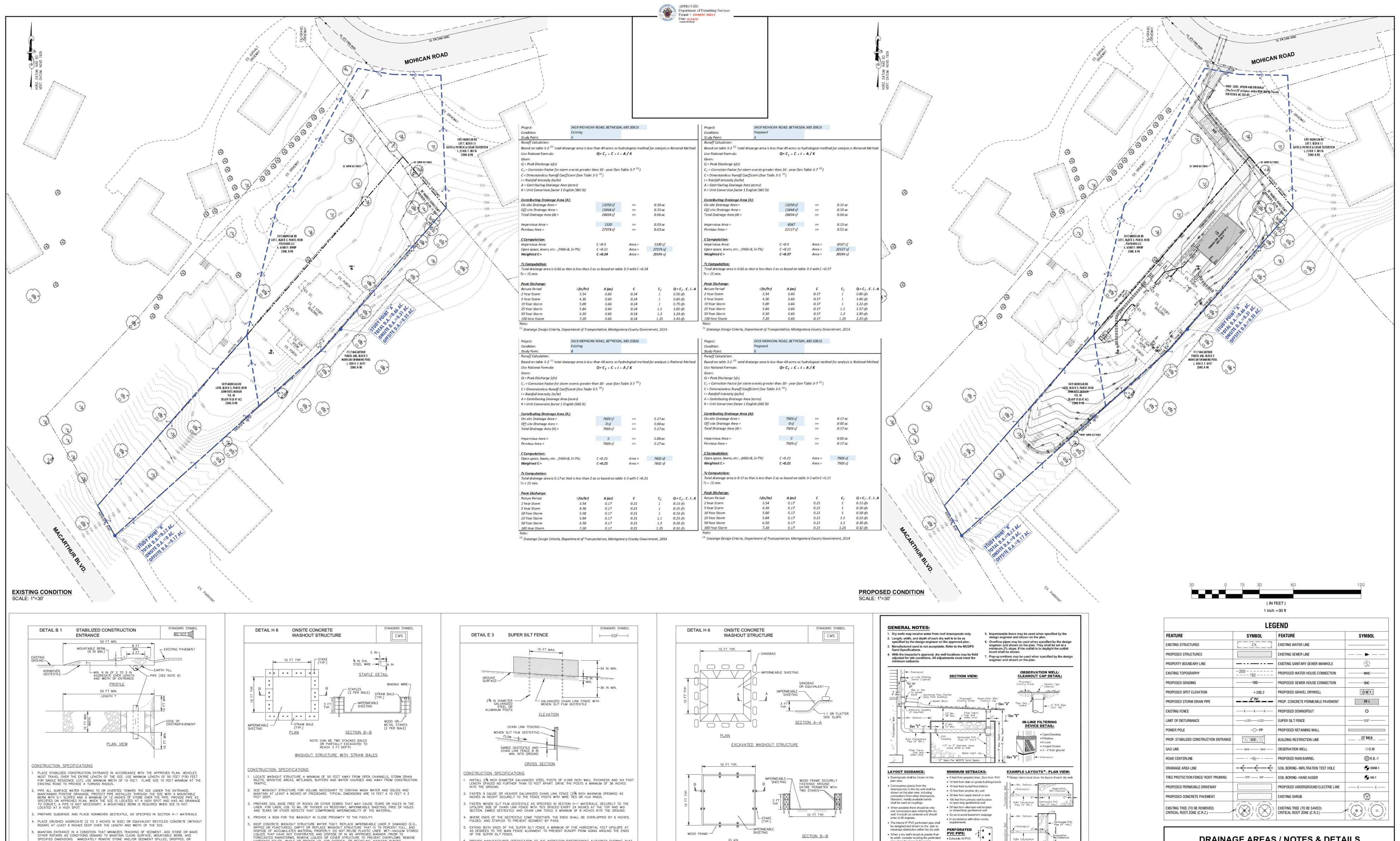
DATE DRAWN BY: PG CHECKED BY: MR FEB, 2025

1"=50'

SCALE

SHEET NUMBER

SCSF001



# DRY-WELL SPECIFICATIONS

TRACKED ONTO ADJACENT ROADWAY BY VACUUMING, SCRAPING, AND/OR SWEEPING. WASHING

DIRECTED TO AN APPROVED SEDIMENT CONTROL PRACTICE.

DATE

REV#

ROADWAY TO REMOVE MUD TRACKED ONTO PAVEMENT IS NOT ACCEPTABLE UNLESS WASH WATER IS

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL

1. Stone - Dry Wells shall be filled with clean 1.5 3.0 inch diameter clean stone meeting ASTM D448. Mirafi 140N or DPS approved equivalent filter fabric shall be placed on the top and sides of the facility as shown on the Dry Well Detail. Under no circumstances shall geotextile or filter fabric be allowed to be placed on the bottom of the facility or in any other location other than

HARDENED SOLIDS, WHOLE OR BROKEN UP, FOR DISPOSAL OR RECYCLING, MAINTAIN RUNOFF DIVERSION AROUND EXCAVATED WASHOUT STRUCTURE UNTIL STRUCTURE IS REMOVED.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL

- those specifically approved on the plan. 2. Sand Bed - A 12 inch layer of fine aggregate sand shall be provided at the bottom of the excavation. Clean ASTM C33 or AASHTO M6 Fine Aggregate Concrete Sand is required per

2 OF 2

DPS "Sand Specifications" which must be included on the plan. 3. Observation Well/Clean Out - The Dry Well must incorporate an Observation Well/Clean Out in accordance with the Dry Well Detail and the location must be as specified by the designer and shown on the plans.

# SAND SPECIFICATIONS:

or gray in color, it is probably not acceptable.

PROVIDE MANUFACTURER CERTIFICATION TO THE INSPECTION/ENFORCEMENT AUTHORITY SHOWING THAT GEOTEXTILE USED MEETS THE REQUIREMENTS IN SECTION H-1 MATERIALS.

. REMOVE ACCUMULATED SEDIMENT AND DEBRIS WHEN BULGES DEVELOP IN FENCE OR WHEN SEDIMENT REACHES 25% OF FENCE HEIGHT. REPLACE GEOTEXTILE IF TORN. IF UNDERMINING OCCURS, REINSTALL CHAIN LINK FENCING AND GEOTEXTILE.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL

- Washed ASTM C33 Fine Aggregate Concrete Sand is utilized for stormwater management applications in Montgomery County. In addition to the ASTM C33 specification, sand must meet ALL of the following conditions:
- 1. Sand must meet gradation requirements for ASTM C 33 Fine Aggregate Concrete Sand. AASHTO M 6 gradation is also acceptable. 2. Sand must be silica based ... no limestone based products may be used. If the material is white
- 3. Sand must be clean. Natural, unwashed sand deposits may not be used. Likewise, sand that has become contaminated by improper storage or installation practices will be rejected. 4. Manufactured sand or stone dust is not acceptable under any circumstance.

### HYDROLOGY ANALYSIS NOTES:

1. There are two study points "A" & "B" drainage area on the site. 2. For study point "B" drainage area, there is no impervious area for both conditions. So, weighted C and Q<sub>10</sub> for pre development condition is equal with post development condition

WASHOUT STRUCTURE WITH WOOD PLANKS

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL

SECTION B-B

(Q<sub>10</sub>=0.18 cfs). 3. For study point "A" drainage area, there is a increase in impervious area after development (0.12 Ac.). So, weighted C will be increased from C=0.24 to C=0.34. Due to these changes,  $Q_{10}$  will be increased from  $Q_{10}$ =0.79 cfs (pre development condition) to  $Q_{10}$ =1.22 cfs (post development condition)

### **DRAINAGE NARRATIVE:**

MONTGOMERY COUNTY DEPARTMENT OF PERMITTING SERVICES

WATER RESOURCES SECTION

its width, consider locating the perforated • Schedule 40 PVC

The observation well with cleanout cap shall be shown on the plan view.
 \* 4" on center \* 90° around pipe\*

Linda Kobylski, Land Development Division Chief

The drainage conditions on this site are divided into two separate study points. The runoff to study point A is impacted, since there is an increase of 0.43 cfs for the 10 year storm. However, this increase in runoff has no effect on any residential properties, because the flow path travels through the Mohican Swimming Pool Club to the easterly boundary of the subject property, where runoff is collected in a natural channel, and conveyed through an existing culvert. The runoff to study point B is not impacted, since the runoff for both the existing condition and proposed condition are the same with no increase in runoff, draining to right of way of McArthur Boulevard.

Solid Conveyance Pipe (4" Min.)

SCALE: NONE

September 1, 2021

DRY WELL FOR

**ROOF RUNOFF** 

# **DRAINAGE AREAS / NOTES & DETAILS**

### **5419 MOHICAN ROAD**

PROJECT ADDRESS OWNER/ APPLICANT INFO 5419 MOHICAN RD, BETHESDA, MD 20816 MICHAEL GREGORY SHERMAN & CAREY NICOLE SHERMAN 5417 MOHICAN RD, BETHESDA, MD 20816 Email: mikesherman7@gmail.com Phone: (504) 250 2257 R-90 WSSC GRID: 03682311 BLOCK: DISTRICT 7



GM53

LOT:

TAX MAP:

CHECKED BY: MR

### RAZTEC ASSOCIATES, INC. civil engineers & planners 3451 Emys Place, Monrovia, Tel: (301) 775 4394

MONTGOMERY COUNTY, MARYLAND

Maryland 21770 Email: raztecengr@comcast.net PROFESSIONALS' REVIEW STATEMENT: I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME , AND

| Town Const   |  | THAT I AM A DULY L | ICENSED PROFESSIONAL ENGINE<br>AND LICENSE NUMBER: 22742 | ER UNDER THE LAWS OF THE |
|--------------|--|--------------------|--|--------------------------|
| DRAWN BY: PG |  | DATE               | SCALE  | SHEET NUMBER             |

SHEET NUMBER SCALE 1"=30' SCSF003 DEC, 2024

