

**MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION**  
**STAFF REPORT**

<b>Address:</b>	5419 Mohican Rd., Bethesda	<b>Meeting Date:</b>	4/23/2025
<b>Resource:</b>	Master Plan Site 35/29-2 <b>R.A. Charles Castle</b>	<b>Report Date:</b>	4/16/2025
		<b>Public Notice:</b>	4/9/2025
<b>Review:</b>	HAWP	<b>Tax Credit:</b>	n/a
<b>Case Number:</b>	1110102 and 1111619 RETROACTIVE	<b>Staff:</b>	Dan Bruechert
<b>Proposal:</b>	After the fact alterations to building details, fenestration, chimney, site grading, and other alterations		

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**STAFF RECOMMENDATION**

Staff recommends the HPC **approve** the HAWP application.

**ARCHITECTURAL DESCRIPTION**

**SIGNIFICANCE:** Individual Master Plan Site *R.A. Charles Castle* (35/29-2)  
**STYLE:** Contemporary  
**DATE:** 2023



*Figure 1: The subject house is within the environmental setting of the R.A. Charles Castle.*

From *Places from the Past*:

“This residence was built the same years as the more elaborate and larger scale Baltzley Castle, yet was also built of locally quarried stone, continuing the theme envisioned Rhineland on the Potomac. Both residences were built to take advantage of a dramatic view of the Potomac River. With its multi and diamond pane windows, hipped roof and polygonal wing, and turned porch posts, the Charles Castle is essentially a Queen Anne style house sheathed in stone. R.A. Charles, an employee of the Treasury Department, bought land from Edward Baltzley in February 1890 and built the house soon thereafter. The *Manufacture’s Record* of 1891 stated that Mindeleff designed a Glen Echo Heights house for Edwin Baltzley for \$7,000.”

## **BACKGROUND**

After several Preliminary Consultations, the HPC approved a HAWP at the subject property on June 26, 2020 to construct a single-family house, regrade a portion of the lot, and to remove several trees.<sup>1</sup>

As construction was nearing completion, an inspection for the sediment control permit revealed that the regrading on the site was not consistent with the plans submitted for permitting. Staff conducted a site visit to evaluate sediment control issue and identified several building features had not been constructed as approved by the HPC. Staff identified these changes to the new owners and requested a HAWP to provide consistent information regarding the site regrading and building alterations.

## **PROPOSAL**

The applicant seeks retroactive approval for alterations to building details, fenestration, chimney, site grading, and other alterations.

## **APPLICABLE GUIDELINES**

Proposed alterations to individual Master Plan Sites are reviewed under Montgomery County Code Chapter 24A (Chapter 24A) and the Secretary of the Interior’s Standards for Rehabilitation (*Standards*). Rehabilitation is defined as the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values. The pertinent information in these documents is outlined below.

### ***Montgomery County Code, Chapter 24A Historic Resources Preservation***

(a) The commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate, inconsistent with or detrimental to the preservation, enhancement or ultimate protection of the historic site or historic resource within a historic district, and to the purposes of this chapter.

(b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:

- (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
- (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic

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<sup>1</sup> The Staff Report and application for the approved 2020 HAWP is available here:

<https://montgomeryplanning.org/wp-content/uploads/2020/06/I.A-5419-Mohican-Road-Bethesda-1.pdf>.



resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or

(3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or

(4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or

(5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or

(6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.

(c) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style.

### **Secretary of the Interior's Standards for Rehabilitation**

2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, space, and spatial relationships that characterize a property will be avoided.
9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale, and proportions, and massing to protect the integrity of the property and its environment.
10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

### **STAFF DISCUSSION**

The new single family house construction was largely completed by the second half of 2024. The house generally conforms to the design reviewed and approved by the HPC on June 26, 2020. In early 2025, Department of Permitting Services (DPS) contacted HP Staff to discuss a site inspection and the revelation that grading on the site was not entirely consistent with the submitted and stamped permit documents. Staff conducted its own site visit to evaluate where and how the grading had been altered and identified several elements in the new house that deviated from the stamped approved plans. The applicant submits this HAWP for HPC review to ensure that the HAWP approval is consistent with the building as constructed. Staff notes, the applicants are new purchasers of the property and were not involved in the original HAWP submission or the construction of the subject property.

For the sake of clarity, Staff will present and evaluate the house alterations elevation by elevation rather than wholistically. Staff will address the sediment control issue in a separate section.

### **Building Alterations**

#### **North (front) Elevation**

- Grade drops off to expose much more foundation than proposed.
- The foundation is stamped brick pattern concrete, not stone veneer.
- The first floor is covered in horizontal fiber cement siding, not the proposed fiber cement shingles.
- The columns are square wood, not the battered design proposed.
- The fenestration on the porch changed by changing the door configuration and

eliminating one door from the proposal.

- A window was added to the right of the door.
- The windows in the right-most bay were changed from two casements to a sash window with a four-light square casement above.
- The porch includes decorative horizontal brackets.
- All of the roof pitches are steeper than what was originally approved.
- The cornice includes decorative brackets.
- Lanterns were installed on the porch and hanging from the brackets.
- There are two front-facing skylights.



Figure 2: Approved North Elevation.



*Figure 3: As-built North Elevation*

#### **West Elevation**

- Steeper pitched rooflines;
- Selections of fiber cement siding replaced with fiber cement clapboards;
- Stone veneer foundation removed and replaced with fiber cement siding;
- Columns eliminated and bracketed porch overhang installed;
- Dormer enlarged and located to align with wall plane.

#### **West Elevation (ground floor)**

- Ground floor window converted to a door;
- Central ground floor window assembly size reduced;
- Ground floor window to the right of the central window assembly removed;
- Single sash window replaced with a tripled sash window assembly; and
- Enlarged window in projecting bay.

#### **West Elevation (second floor)**

- All window sizes revised;
- Casement windows on right side converted from casements to sash windows; and



- Casement window in projecting bay revised to a single-light picture window.



Figure 4: Approved West Elevation.

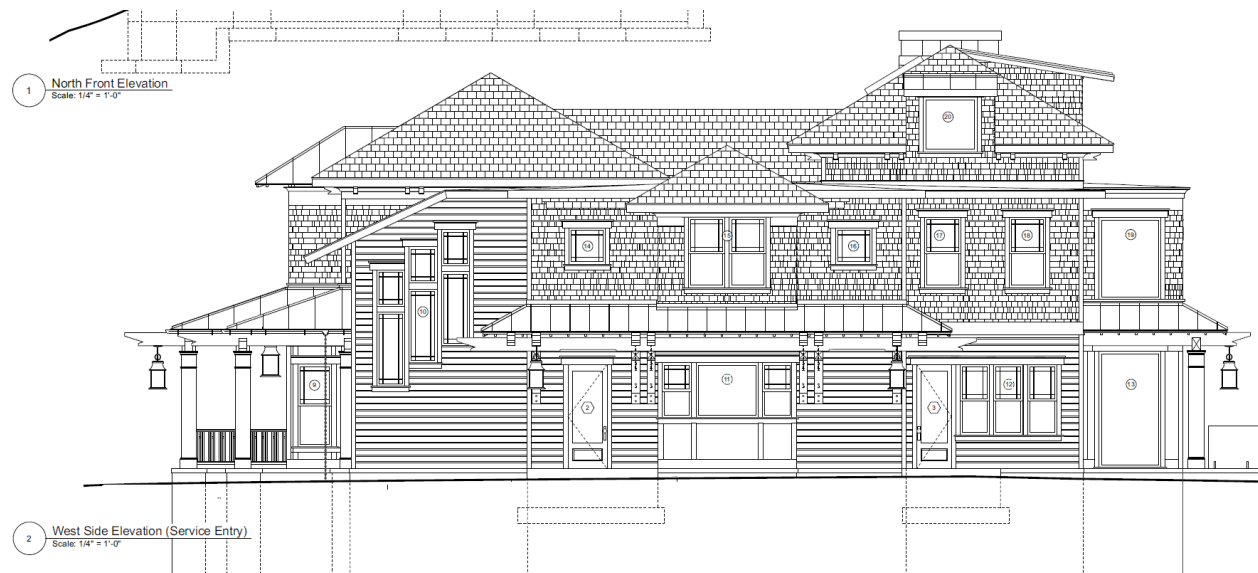


Figure 5: As-built West Elevation.

### South Elevation

- Roof pitches altered;
- The bandboard and cornice were simplified;
- The dormer was enlarged and it was moved closer to the south wall plane;
- The dormer window was converted from a rectangular three-light casement to a square picture window;
- A patio with a glass railing was installed in front of the projecting bay; and
- Grade drops off to east, exposing more of the foundation.

### South Elevation (ground floor)

- The window assembly on the left removed the Craftsman grilles and installed a one-over-one sash window in the central window;
- The window in the middle bay was eliminated and the opening was converted to a full-light door;
- The Chicago window assembly in the projecting bay was eliminated in the opening was converted into full-light accordion doors.

#### South Elevation (second floor)

- The paired window on the left side was converted into a tripled window assembly;
- The Chicago window in the projecting bay was converted into a large square picture window;
- The hipped roof over the projecting bay was lowered and covered with a membrane roof instead of the approved metal roof.

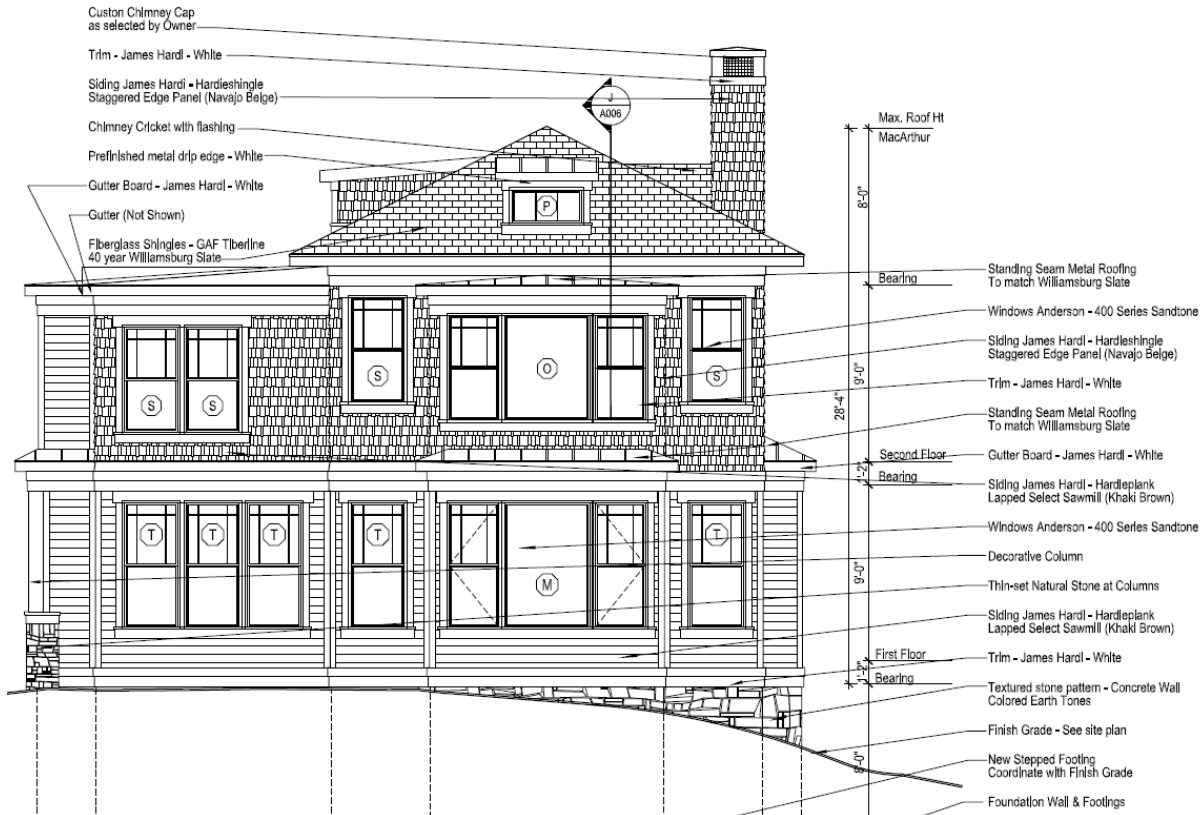
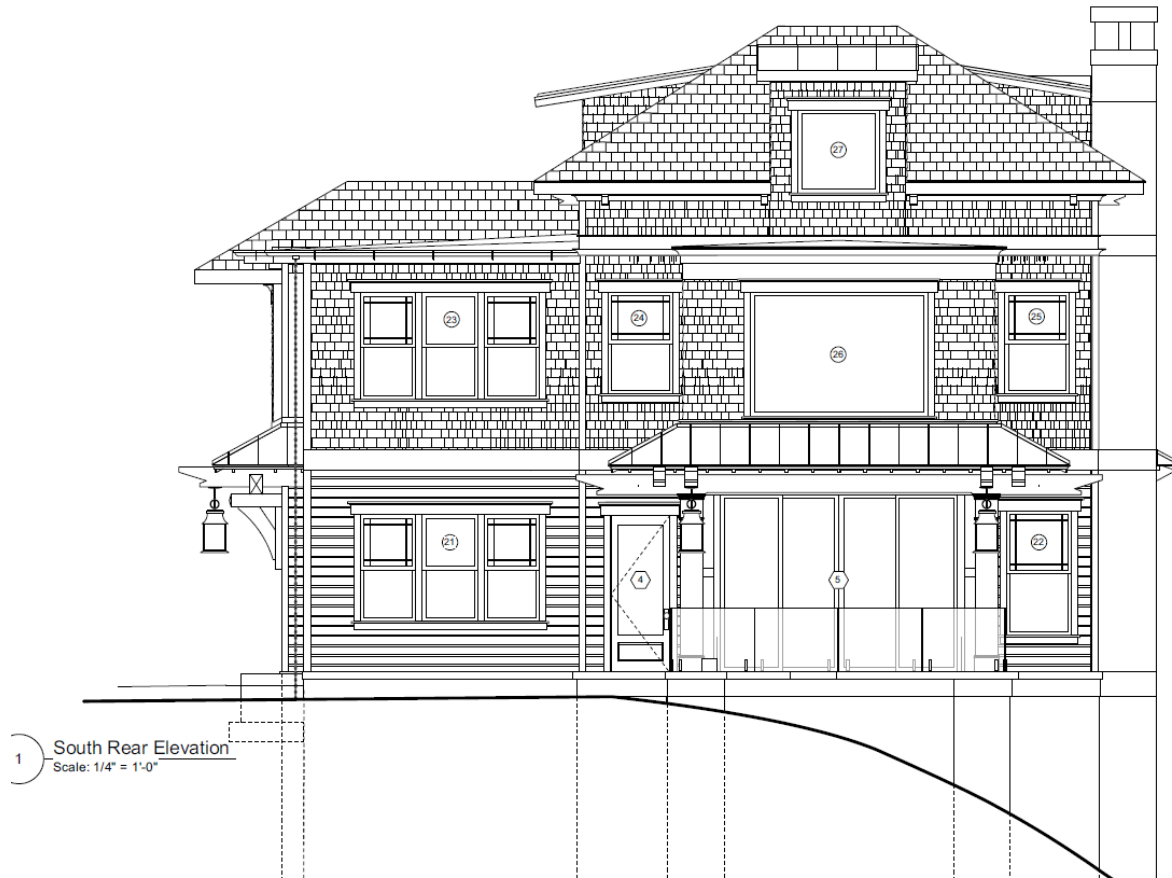


Figure 6: South Elevation (approved design).



*Figure 7: South Elevation (as built).*

#### **East Elevation**

- Roof pitches altered;
- The central roof section material was changed from standing seam metal to architectural shingles;
- Chimney relocated to stand proud east wall plane;
- Foundation material changed from stone veneer to stamped concrete pattern;
- Grade much lower than the approved design;
- Simplified bandboard and cornice;

#### **East Elevation (basement level)**

- The siding on the basement level is fiber cement panels with the stamped concrete foundation below;
- A window was added on the left side of the elevation;
- The central French Doors were converted to sliding glass doors that are several feet above grade;
- The two openings to the right of the central doors were relocated;
- The right-most window was converted to a door with a railing across to create a Juliette balcony.

#### **East Elevation (ground floor)**

- The window in the projecting bay was enlarged and converted into a single-light;
- The two windows flanking the chimney were eliminated;
- The central Chicago window assembly was enlarged;
- The four-light casement window was eliminated

#### **East Elevation (second floor)**

- Grilles removed from the picture window in the projecting bay;



- Windows flanking the chimney were reduced in size; and
- The spacing of the windows on the right side was altered.



*Figure 8: East Elevation (approved design).*



*Figure 9: East Elevation (as built).*

### Staff Findings

Staff finds that the house is generally consistent with the overall concept reviewed and approved by the HPC in 2020. The house's overall size appears to match the HPC's approval and, aside from several of the roof pitches, the massing is also generally consistent with the approval. Though the siding in select locations was altered from one form of fiber cement to another, Staff does not find this to be a significant deviation from the approval.

Staff finds the fenestration alterations do not substantially impact the character of the new house or surrounding environmental setting. Because the house design is drawing from a contemporary vocabulary (or a modern Craftsman interpretation), a variety of window designs and configurations are compatible without detracting from the character of the house.

Staff generally finds the locations where the siding was not installed as approved are generally de minimis alterations and does not impact the overall character of the constructed house. Staff would like to take an opportunity to discuss the overall compatibility of the Hardie fiber cement shakes. Fiber cement shakes by the James Hardie company are available in a variety of widths, but all of the shakes are only ¼" (one-quarter inch) thick. Staff finds these shingles are too narrow and create too small of a shadow line to be an adequate substitute natural wood shake.<sup>2</sup> Staff encourages the commission to review the photos of the house or pay particular attention to the wall profiles at their site visits to the subject property. Several manufactures make fiber cement shakes that are ½" (one-half inch) thick. Staff recommends that the HPC consider this material application for future applications and Staff will continue to recommend a condition for the approval of those HAWP applications.

Staff finds the changes in grade on the eastern side of the house negatively impact the character of the site. This is especially the case on the east elevation that suspends two doors several feet above the finished grade. In informal discussions with Staff, the applicants have indicated that they would like to construct exterior stairs at some point in the future, however, because of the narrow building envelop any stairs will require a variance to encroach into the side setback. Staff would support installing appropriately detailed stairs in this location as a future HAWP. Because this elevation faces away from the R.A. Charles Castle, this elevation has a minimal impact on the Master Plan Site's overall character and Staff encourages the applicant to return to the HPC with plans to install exterior stairs when they are developed. Staff does not recommend the HPC add a condition to the approval of this HAWP to require that this change be required in any specific timeframe.

While Staff found the design approved by the HPC to be more consistent with 24A than the house constructed—particularly as it relates to the fenestration on the south and west elevations—Staff supports the approval of the construction under 24A-8(b)(5). While that provision of code is typically used for work that could be overly burdensome financially for some homeowners, in this instance Staff focuses on the term 'undue' as it relates to the hardship. The current owners purchased the property with the understanding that it had undergone all necessary permitting requirements and though Staff finds that the previously approved design was more compatible, Staff does not find that requiring remedial work by the owners will improve the historic character of the Master Plan Site.

Lastly, Staff feels it is appropriate to address something the HPC tends to avoid: paint color. The approved HAWP (see *Fig. 10*, below) proposed two colors of siding, Navajo Beige for the shakes and

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<sup>2</sup> Staff typically recommends the HPC add a condition to most HAWP approvals that propose Hardie Shake to either use wood or to use a fiber cement shake that is at least ½" (one-half inch) thick. Staff recommended the HPC deny the HAWP application for the subject property and the HPC did not add a condition regarding the siding in its approval motion.

Kaki Brown for the clapboards. The approved permit documents identified the same colors for the siding. Staff found these earthtones would better blend in with the stone construction of the R.A. Charles Castle and its neighboring Master Plan Site, the Baltzley Castle.

The HPC tends to avoid any regulation of paint color except where it is integral to the historic character of the site. This policy helps to avoid any conflation of determinations of compatibility with purely aesthetic decisions. Staff notes, there is no support for or prohibition on color within Chapter 24A. Staff finds this policy has generally steered the HPC away from many potential conflicts.

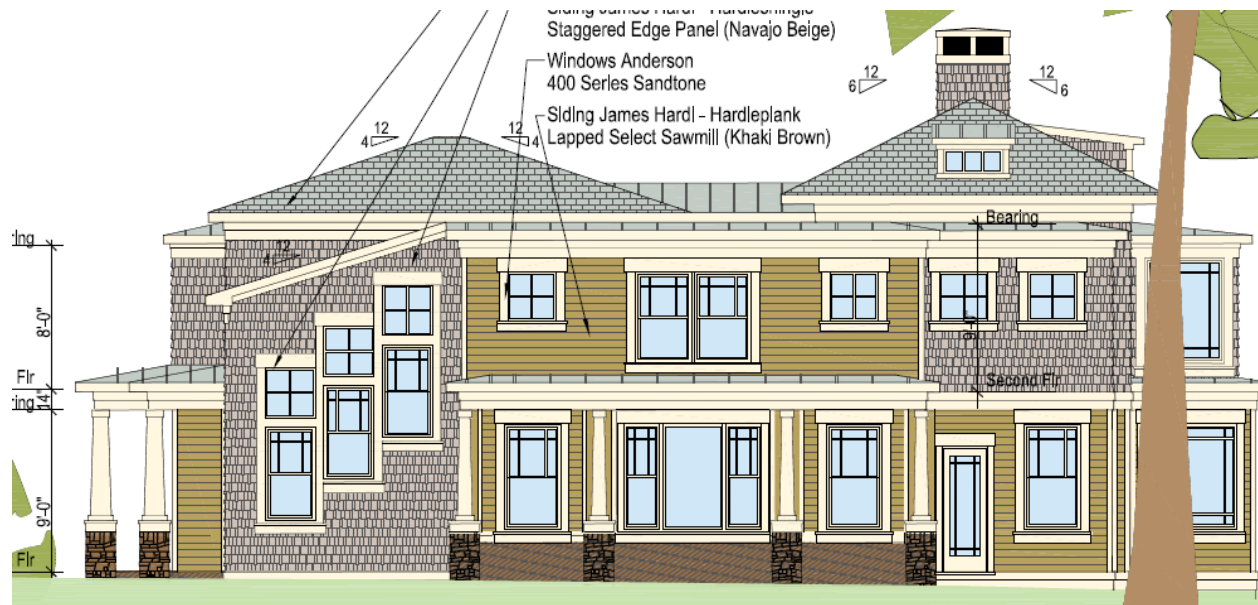


Figure 10: West elevation submitted in the 2020 HAWP application.



Figure 11: The subject property (left), the approved infill garage (circled right), and the R.A. Charles Castle (right rear).



However, based on the results of this HAWP Staff encourages the HPC's reconsideration of this practice. The subject house was constructed with white siding and black windows and doors. As of this Staff Report this palette is very popular. The R.A. Charles Castle was constructed using rusticated granite with a red slate roof. These natural colors have the effect of blending in with the surrounding landscape. As shown in *Figure 11*, the white house stands apart rather than blends into the background. Staff finds the infill garage,<sup>3</sup> constructed in the colors approved for the subject property, does a better job of being a compatible piece of the overall character of the site while still being differentiated from the stone castle.



*Figure 12: The R.A. Charles Castle (front) and Baltzley Castle (rear).*

As with the other deviation from the approval documents, Staff does not find repainting warranted under 24A-8(b)(5) but brings up this issue for the HPC's consideration in future decision making.

### **Sediment Control/Grading**

During home construction a substantial amount of soil was moved to the south. The slope of this area exceeds the maximum allowable under the County's stormwater management and sediment control requirements. The applicant is seeking approval to reduce the slope on the south side of the house, to install two drywells, and to install permeable pavers to the north of the house. The applicant also proposes to install two water barrels on the east side of the house; however, Staff does not consider these

<sup>3</sup> In 2015, the HPC approved a HAWP to construct a detached garage behind the R.A. Charles Castle. In 2019, the HPC approve a revision to that HAWP (<https://montgomeryplanning.org/wp-content/uploads/2019/06/I.O-5417-Mohican-Road-Bethesda.pdf>) to relocate the garage. No changes were proposed to the size, design, or materials.



to be permanent features in the built environment and does not find they should be subject to HAWP approval. The applicant will also plant 15 (fifteen) White Oak trees on site.

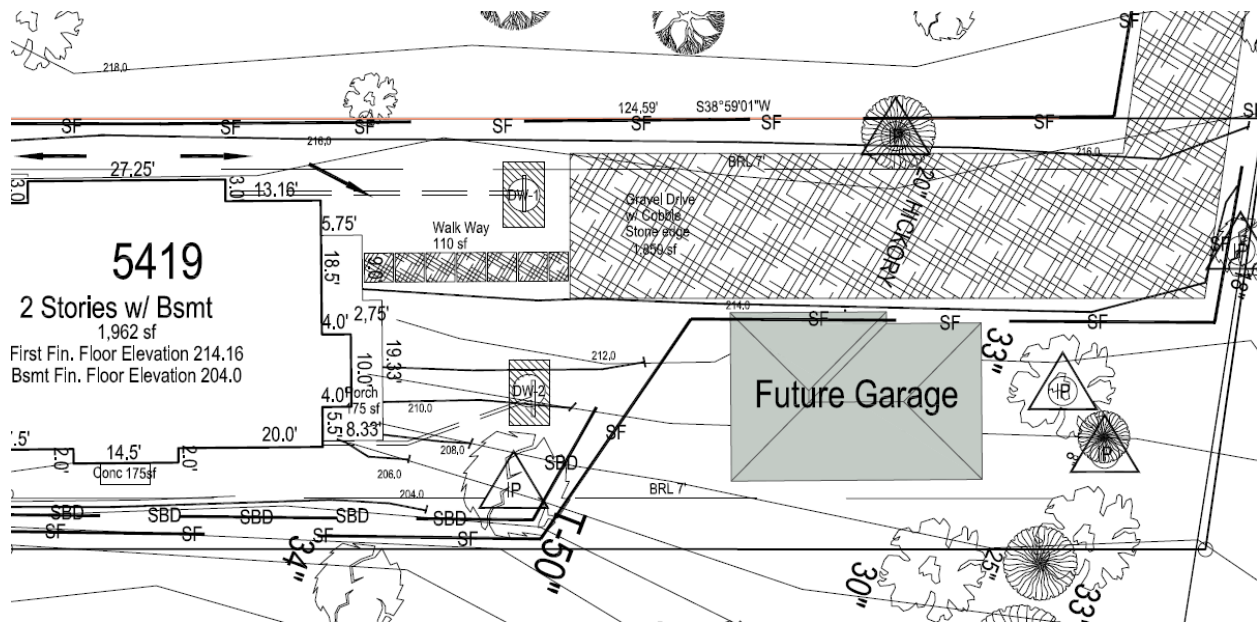
To the south of the house, the applicant proposes to soften the grade to satisfy the 3:1 requirement for the sediment control permit. The current grade is a result of moving the excavated ground to the south (see *Figure 13*, below). Staff finds the current condition is much steeper than the natural grade on the neighboring Master Plan Sites and that regrading the subject property will only improve its compatibility. Staff additionally finds that with the addition of the trees on the site and the heavily planted condition of the Master Plan Site, the grade alteration will likely have no significant visual impact on the character of the site. Furthermore, the change to the grade will reduce soil erosion and reduce water runoff from the subject property, reducing the impact to the county's stormwater system. Staff recommends the HPC approve the regrading under 24A-8(b)(2) and (6).



*Figure 13: The existing site conditions with the section of grade that must be reduced in slope.*







*Figure 15: Approved site plan.*

Staff finds the proposed permeable paving will have less of an impact on the character of the site than the approved garage. The addition of the two oak trees will obscure the parking area to the east and will reinforce the wooded character of the site. Staff finds the permeable pavers provide a varied texture and color that avoids the uniform appearance of a paving material like concrete or asphalt. Staff supports the proposed permeable paving under 24A-8(b)(2) and *Standard 2*.

### STAFF RECOMMENDATION

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make any alterations to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or email to: [dan.bruechert@montgomeryplanning.org](mailto:dan.bruechert@montgomeryplanning.org) to schedule a follow-up site visit.



APPLICATION FOR  
HISTORIC AREA WORK PERMIT  
HISTORIC PRESERVATION COMMISSION  
301.563.3400

FOR STAFF ONLY:

HAWP# \_\_\_\_\_

DATE ASSIGNED \_\_\_\_\_

**APPLICANT:**

Name: Michael and Carey Sherman

E-mail: mikesherman7@gmail.com

Address: 5419 Mohican Road

City: Bethesda Zip: 20816

Daytime Phone: 504.250.2257

Tax Account No.: 03682311

**AGENT/CONTACT (if applicable):**

Name: \_\_\_\_\_

E-mail: \_\_\_\_\_

Address: \_\_\_\_\_

City: \_\_\_\_\_ Zip: \_\_\_\_\_

Daytime Phone: \_\_\_\_\_

Contractor Registration No.: \_\_\_\_\_

5419 Mohican Rd (next to Master Plan Site 35/29-2)

**LOCATION OF BUILDING/PREMISE:** MIHP # of Historic Property \_\_\_\_\_

Is the Property Located within an Historic District? Yes/District Name \_\_\_\_\_  
X No/Individual Site Name R.A. Charles

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: 5419 Street: Mohican Road

Town/City: Bethesda Nearest Cross Street: MacArthur Blvd (this is a through lot)

Lot: B Block: 3 Subdivision: 0029 Parcel: N550

**TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:**

- |   |  |  |
|---|--|--|
| <input type="checkbox"/> New Construction   | <input type="checkbox"/> Deck/Porch          | <input type="checkbox"/> Shed/Garage/Accessory Structure                   |
| <input type="checkbox"/> Addition           | <input type="checkbox"/> Fence               | <input type="checkbox"/> Solar   |
| <input type="checkbox"/> Demolition         | <input type="checkbox"/> Hardscape/Landscape | <input type="checkbox"/> Tree removal/planting                             |
| <input type="checkbox"/> Grading/Excavation | <input type="checkbox"/> Roof                | <input type="checkbox"/> Window/Door                                       |
|   |  | <input checked="" type="checkbox"/> Other: <u>permitting as-built home</u> |

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent

04/2/2025

Date

**HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING**  
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

<b>Owner's mailing address</b> Michael G. Sherman Carey N. Sherman 5419 Mohican Road Bethesda, MD 20816	<b>Owner's Agent's mailing address</b> Michael G. Sherman 5419 Mohican Road Bethesda, MD 20816
<b>Adjacent and confronting Property Owners mailing addresses</b>	
Taichang, LLC 5417 Mohican Road Bethesda, MD 20816	Patrick Gates & Susan Silverstein 5421 Mohican Road Bethesda, MD 20816
Mohican Swimming Pool 7117 MacArthur Boulevard Bethesda, MD 20816  Mohican Swimming Pool PO Box 666 Glen Echo, MD 20812	

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

The structure is a new construction, single-family home at 5419 Mohican Road. It was completed in 2024. Our family resides in the home. It is adjacent to the R.A Charles Castle. It is not in a historic district but is adjacent to a historic resource.

Description of Work Proposed: Please give an overview of the work to be undertaken:

No work is proposed under this historic area work permit. Our family moved into this new construction home in 2024. In updating the sediment control permit relative to grading, we met with historic area staff relative to updating the HAWP approval to reflect the as-built condition. The original permits were applied for and approved under prior ownership. This application is made by the current homeowner.

Work Item 1: As-built approval

Description of Current Condition: Occupied home.	Proposed Work: None. Request, per elevations and attached pictures of existing home, is to align the HAWP permit set with the as-built.
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Work Item 2: \_\_\_\_\_

Description of Current Condition:	Proposed Work:
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Work Item 3: \_\_\_\_\_

Description of Current Condition:	Proposed Work:
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# **HISTORIC AREA WORK PERMIT CHECKLIST OF APPLICATION REQUIREMENTS**

	Required Attachments						
Proposed Work	1. Written Description	2. Site Plan	3. Plans/ Elevations	4. Material Specifications	5. Photographs	6. Tree Survey	7. Property Owner Addresses
New Construction	*	*	*	*	*	*	*
Additions/ Alterations	*	*	*	*	*	*	*
Demolition	*	*	*		*		*
Deck/Porch	*	*	*	*	*	*	*
Fence/Wall	*	*	*	*	*	*	*
Driveway/ Parking Area	*	*		*	*	*	*
Grading/Excavation/Landscaping	*	*		*	*	*	*
Tree Removal	*	*		*	*	*	*
Siding/ Roof Changes	*	*	*	*	*		*
Window/ Door Changes	*	*	*	*	*		*
Masonry Repair/ Repoint	*	*	*	*	*		*
Signs	*	*	*	*	*		*

Sherman  
Residence

5419 Mohican Road  
Bethesda, MD 20816

Owner

Michael and Carey Sherman  
5419 Mohican Road  
Bethesda, MD 20816

April 2, 2025

North and West  
Elevation

A.100



1 North Front Elevation  
Scale: 1/4" = 1'-0"



2 West Side Elevation (Service Entry)  
Scale: 1/4" = 1'-0"

# Sherman Residence

5419 Mohican Road  
Bethesda, MD 20816

Owner

Michael and Carey Sherman  
5419 Mohican Road  
Bethesda, MD 20816

April 2, 2025

South and East  
Elevation

A.101



1 South Rear Elevation  
Scale: 1/4" = 1'-0"



2 East Side Elevation (Basement)  
Scale: 1/4" = 1'-0"





5419































Elevation General Modification Notes

A.100 North and West Elevation:

- Modification Notes (North):
- 1. North side door and window adjustments:
    - Door #1- Front door sidelight replaced by Window #1
    - Window #8 - Attic storage room skylights (2) added
- Modification Notes (West):
- 1. West side door and window adjustments:
    - Door #2- Service door replaced Window Type A
    - Window #9 - Front bay window added
    - Window # 12- Breakfast Room (enlarged) window replace Window Type A
    - Window #17,#18- Master Bathroom windows (enlarged) replace Window Type C
    - Window #13,#19- River View South Bay windows no divisions (enlarged)
    - Window #20- Attic window (enlarged) replace Window Type P

A.101 South and East Elevation:

- Modification Notes (South)
- 1. South side door and window adjustments:
    - Door #4- Terrace Service Door replaces Window Type T
    - Door #5- River Bay Terrace Sliding Door replaces Window Type M
    - Window #23 - Center Picture Window Added
    - Window #26- Single Picture Window at Window Type O
    - Window #27- Enlarged Attic Window at Window Type P
- Modification Notes (East)
- 1. West side door and window adjustments:
    - Door #6- Possible future basement service door replaced Window Type D
    - Window #9 - Front bay window added
    - Window # 29- Play Room picture window (2) replace Door Type B01
    - Window #17,#18- Master Bathroom windows (enlarged) replace Window Type C
    - Window #31,#36- River View South Bay windows no divisions (enlarged)
    - Window #35- Front Porch Bay Window added

Sherman Residence

5419 Mohican Road  
Bethesda, MD 20816

Owner

Michael and Carey Sherman  
5419 Mohican Road  
Bethesda, MD 20816

April 2, 2025

Elevation Notes

A.102



APPLICATION FOR  
HISTORIC AREA WORK PERMIT  
HISTORIC PRESERVATION COMMISSION  
301.563.3400

FOR STAFF ONLY:

HAWP# 1110102

DATE ASSIGNED \_\_\_\_\_

**APPLICANT:**

Name: Michael and Carey Sherman

E-mail: mikesherman7@gmail.com

Address: 5419 Mohican Road

City: Bethesda Zip: 20816

Daytime Phone: 504.250.2257

Tax Account No.: \_\_\_\_\_

**AGENT/CONTACT (if applicable):**

Name: \_\_\_\_\_

E-mail: \_\_\_\_\_

Address: \_\_\_\_\_

City: \_\_\_\_\_ Zip: \_\_\_\_\_

Daytime Phone: \_\_\_\_\_

Contractor Registration No.: \_\_\_\_\_

**LOCATION OF BUILDING/PREMISE:** MIHP # of Historic Property Master Plan Site 35/29-2

Is the Property Located within an Historic District? Yes/District Name \_\_\_\_\_

X No/Individual Site Name R.A. Charles

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Town/City: Bethesda Nearest Cross Street: MacArthur Blvd (this is a through lot)

Lot: B Block: 3 Subdivision: 0029 Parcel: N550

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| <input type="checkbox"/> Addition                      | <input type="checkbox"/> Fence                          | <input type="checkbox"/> Solar                           |
| <input type="checkbox"/> Demolition                    | <input checked="" type="checkbox"/> Hardscape/Landscape | <input type="checkbox"/> Tree removal/planting           |
| <input checked="" type="checkbox"/> Grading/Excavation | <input type="checkbox"/> Roof                           | <input type="checkbox"/> Window/Door                     |
|  |   | <input type="checkbox"/> Other: _____                    |

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

Carey Sherman  
Signature of owner or authorized agent

03/23/2025

Date



**HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING**  
**[Owner, Owner's Agent, Adjacent and Confronting Property Owners]**

<b>Owner's mailing address</b> Michael G. Sherman Carey N. Sherman 5419 Mohican Road Bethesda, MD 20816	<b>Owner's Agent's mailing address</b> Michael G. Sherman 5419 Mohican Road Bethesda, MD 20816
<b>Adjacent and confronting Property Owners mailing addresses</b>	
5417 Mohican Road Bethesda, MD 20816	5421 Mohican Road Bethesda, MD 20816
7117 MacArthur Boulevard Bethesda, MD 20816	5407 Mohican Road Bethesda, MD 20816
5415 Mohican Road Bethesda, MD 2086	

**Description of Property:** Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

**The structure is a new construction, single-family home. It is adjacent to the R.A Charles Castle. It is not in a historic district but is adjacent to a historic resource.**

**Description of Work Proposed:** Please give an overview of the work to be undertaken:

**A modified sediment control permit was necessary to correct (a) grading issues in the rear yard left by a prior contractor who built the house, (b) install stormwater management features to comply with code, and (c) add pavers in the front of the house for the parking area. We are the current homeowners and the applicant for this approval. We have received approval from Montgomery County for this plan modification which will allow us to complete the site work in accordance with Montgomery County requirements.**

Work Item 1: **Grading**

Description of Current Condition:

Field deviations are present from work under the prior sediment control permit in the rear of the house which required submittal of an amended sediment control permit and associated grading plan. The new grading plan has been approved by the county which will result in the property being brought into conformity with applicable Montgomery County rules and restoration of the site to a condition that is closer to the prior historic condition of the land.

Proposed Work:

Regrading of the rear of the property, primarily to reduce the slopes to the county's required 3:1 ratio from the current condition which exceeds that slope (i.e. too steep).

Work Item 2: **Stormwater Management**

Description of Current Condition:

Stormwater management features have not yet been installed. To comply with the Montgomery County stormwater requirements, we have a revised sediment control plan which includes a stormwater management plan.

Proposed Work:

Two underground pits to manage storm water, rain barrels (on the side of the property nearest Mohican Swimming Club, not the historic resource), and gravel/sand beneath pavers in the parking area.

Work Item 3: **Pavers - front yard**

Description of Current Condition:

There is presently an incomplete gravel/rock driveway and gravel/rock parking area used during construction. The site work is incomplete with a sediment control fence still in place.

Proposed Work:

Installation of permeable pavers in the parking area and walkways. Beneath the permeable pavers is sand and stone per engineering requirements.

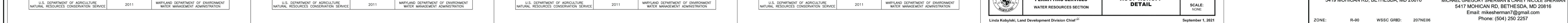
# **HISTORIC AREA WORK PERMIT CHECKLIST OF APPLICATION REQUIREMENTS**

	Required Attachments						
Proposed Work	1. Written Description	2. Site Plan	3. Plans/Elevations	4. Material Specifications	5. Photographs	6. Tree Survey	7. Property Owner Addresses
New Construction	*	*	*	*	*	*	*
Additions/Alterations	*	*	*	*	*	*	*
Demolition	*	*	*		*		*
Deck/Porch	*	*	*	*	*	*	*
Fence/Wall	*	*	*	*	*	*	*
Driveway/Parking Area	*	*		*	*	*	*
Grading/Excavation/Landscaping	*	*		*	*	*	*
Tree Removal	*	*		*	*	*	*
Siding/ Roof Changes	*	*	*	*	*		*
Window/ Door Changes	*	*	*	*	*		*
Masonry Repair/ Repoint	*	*	*	*	*		*
Signs	*	*	*	*	*		*

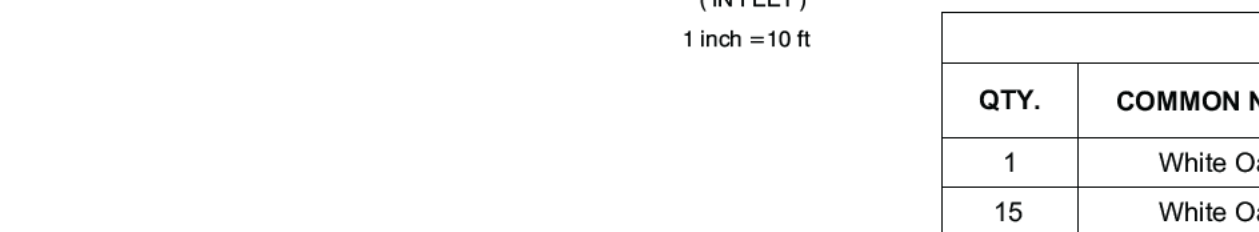
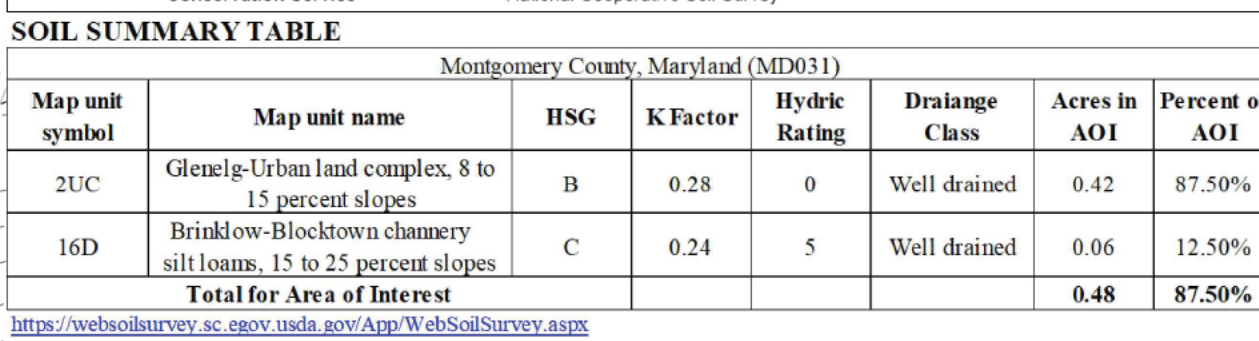
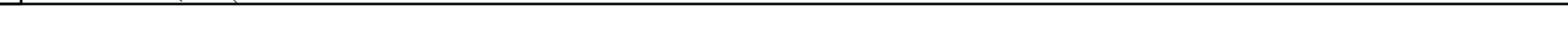
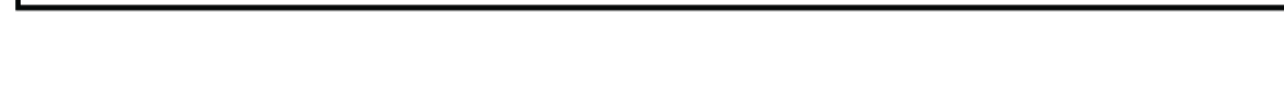
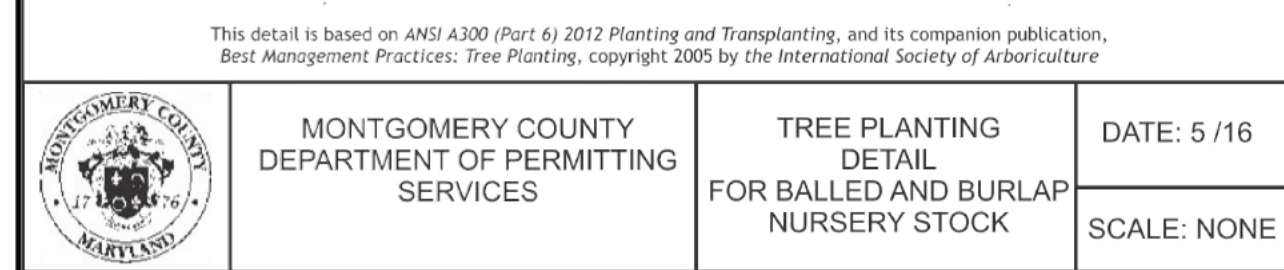




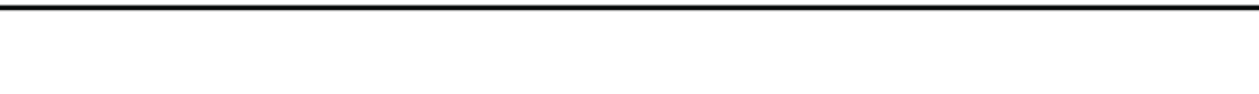


[illegible]





	<p><b>STANDARD TREE C</b></p> <p>Any shade tree planted to</p> <ol style="list-style-type: none"> <li>1. Each shade tree must</li> <li>2. Each shade tree must</li> <li>3. Installation of each s</li> <li>4. At the time of plantin</li> </ol>
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[illegible]

**RAIN BARREL DETAIL**

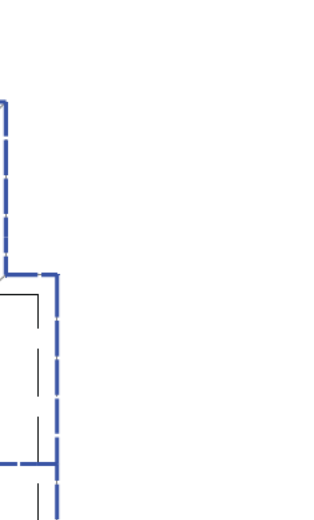


**Manufacturer: FCMF OUTDOOR RAINCATCHER**

rain barrels are repurposed or upcycled. High quality 100-gallon drums that were destined for a landfill. We repurpose these drums into rain barrels using socially and environmentally conscious labor and manufacturing processes.

**Specifications:**

- Black color
- 50 gallon capacity
- Polyethylene
- Locking cap
- Overflow/linking ports
- Also available in Terra-cotta

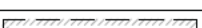

				
PROPOSED TREE TABLE				
NAME	BOTANICAL NAME	MAIN HEIGHT	CALIPER	REMARKS
ak	<i>Quercus alba</i>	15' 20"	2"	ROW
ak	<i>Quercus alba</i>	15' 20"	2"	Onsite
<b>ANOPY NOTE</b> comply with Chapter 55 of the County Code must conform to the following:				

not meet the requirements for plant material in ANSI Z60.1;  
 shall be a minimum of 2" caliper;  
 shade trees must meet all requirements of ANSI A300;  
 protect trees from deer rubbing, mowers, weed eaters, other equipment and large  
 stalled on all shade trees;  
 supplied;  
 must be applied to aid in proper planting.  
 be installed between October 15th and May 15th as long as the ground is not frozen,  
 with snow such that a suitable hole cannot be dug;  
 be installed between May 15th and October 14th of each year. If installation  
 on October 15th and May 15th for any reason, or if proposed trees are not planted  
 the permittee must pay the required fee in lieu  
 stalled prior to final stabilization of the land disturbing activity then no additional  
 on within five feet of the stem of the tree. Protective fencing must be installed at the

the same time the tree is installed and must remain in place until final stabilization of the site at all times.

Planting zones and planting areas must be clearly marked in the field prior to installation of the sediment control plan showing all approved growing zones and planting areas on the site at all times.

Monitoring must occur after all construction activities are completed to determine the level that tree planting requirements.

LEGEND		
SYMBOL	FEATURE	SYMBOL
	EXISTING WATER LINE	

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