

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	8003 Overhill Rd., Bethesda	Meeting Date:	6/25/2025
Resource:	Contributing Resource Greenwich Forest Historic District	Report Date:	6/18/2025
Applicant:	Michael and Lisa Dobbs	Public Notice:	6/11/2025
Review:	HAWP	Tax Credit:	Yes
Case Number:	1118844	Staff:	Devon Murtha
PROPOSAL:	Window Replacement		

STAFF RECOMMENDATION

Staff recommends that the HPC **approve with two (2) conditions** the HAWP application, with final approval authority delegated to staff:

1. New windows must be installed so that the following installation conditions are met:
 - a. They match the existing inset depth into the window openings
 - b. They replicate the existing relationship between the sash and frames. New sash should be installed so no added sub-framing is visible.
 - c. There is no capping of the window frames.
2. Shop drawings or other annotated drawings showing compliance with the above must be submitted prior to issuance of the HAWP.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Contributing Resource to the Greenwich Forest Historic District
STYLE: Colonial Revival
DATE: c. 1941

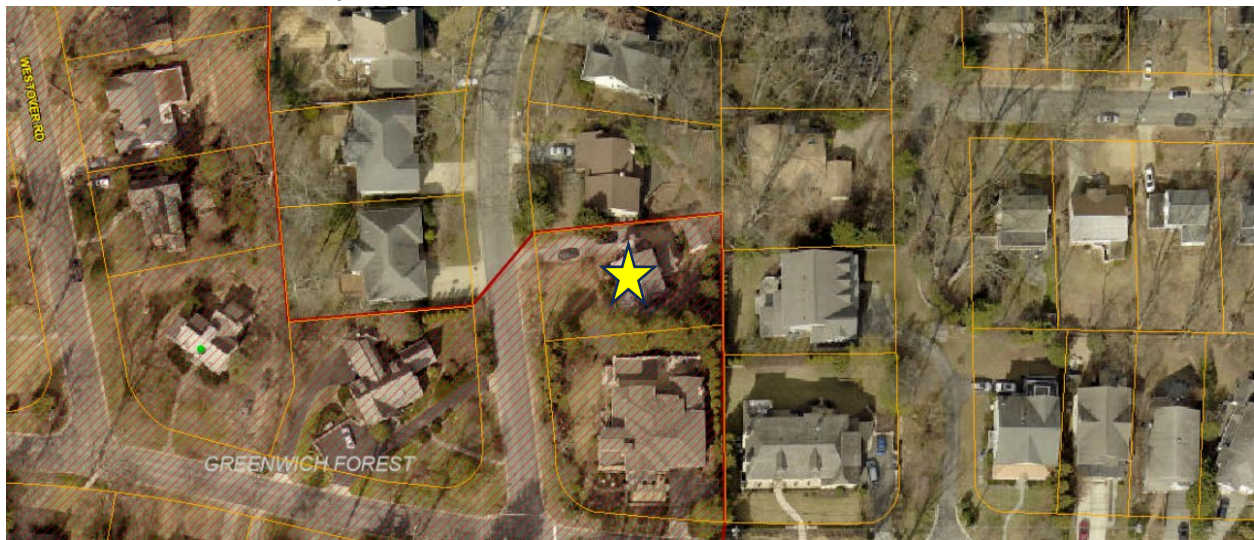


Figure 1: Subject property is annotated with a yellow star.

PROPOSAL

The subject property is a two-and-a-half-story, brick, Colonial Revival house with a side gable roof constructed in 1941. It has a combination of 6/6 and 8/8 wood double hung sash windows. It is a Contributing Resource to the Greenwich Forest Historic District.



Figure 2: View of subject property.

The applicant proposes to remove nine (9) wood windows. Seven (7) of the windows are on the front of the house, and the remaining two (2) are on the sides. These windows will be replaced with double-hung aluminum-clad wood windows. The proposed windows are the Lifestyle windows made by Pella, which include 7/8" putty simulated divided lites.



Figure 3: Photo of existing 8/8 double hung sash windows (left) and 6/6 double hung sash windows (right).

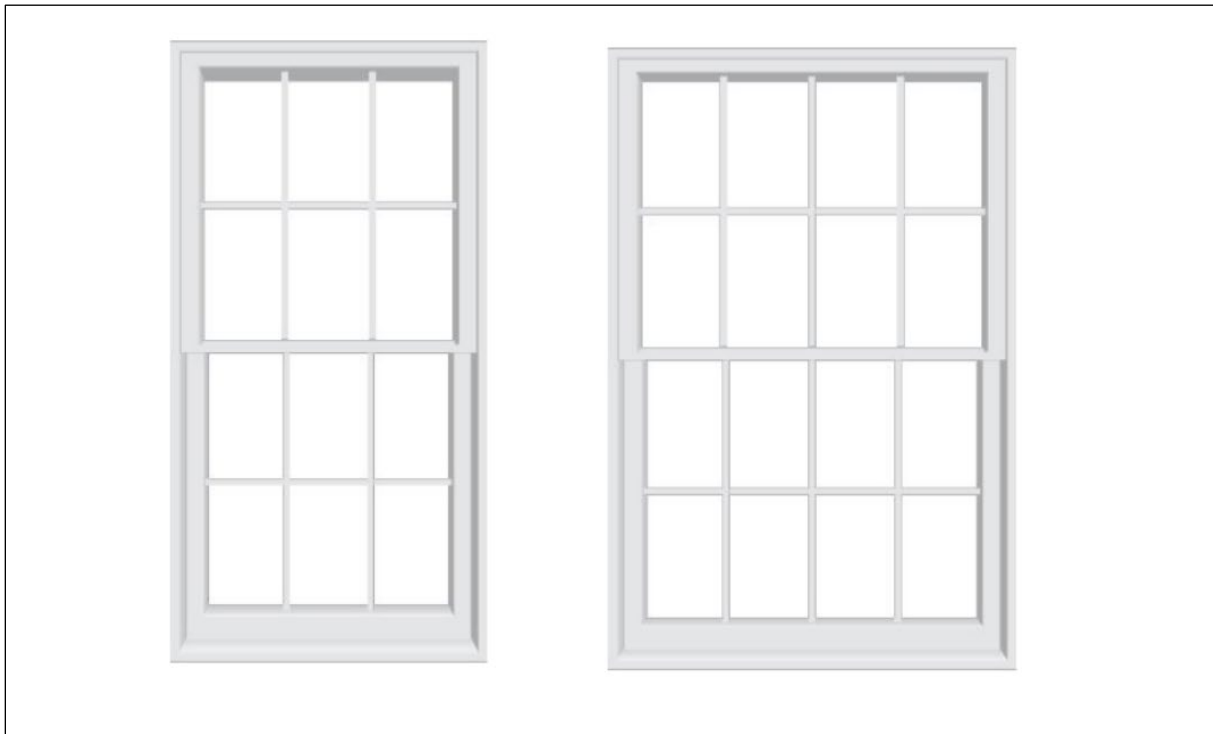


Figure 4: Proposed Pella Lifestyle windows to be installed on subject property.

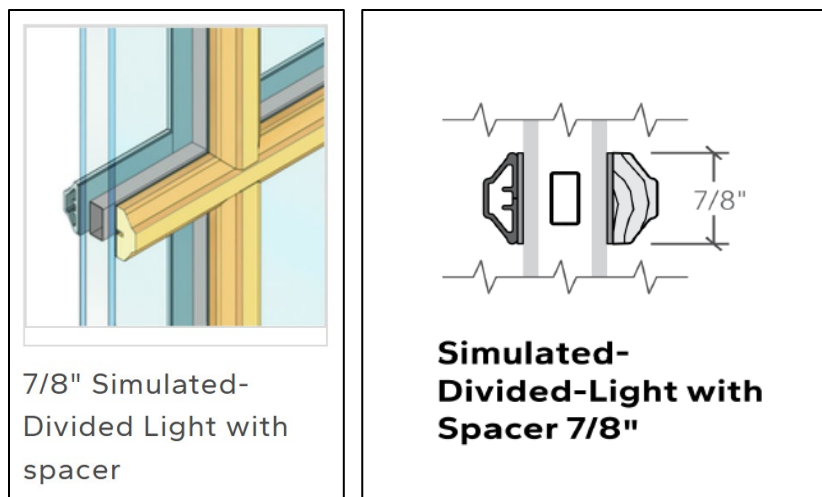


Figure 5: Detail of proposed simulated divided lite profile with interior spacer bar.

APPLICABLE GUIDELINES

When reviewing alterations and additions for new construction to Contributing Resources within the Greenwich Forest Historic District, decisions are guided by the Greenwich Forest Historic District Design Guidelines (*Design Guidelines*) and Montgomery County Code Chapter 24A (*Chapter 24A*) and the Secretary of the Interior's Standards for Rehabilitation (*The Standards*).

Greenwich Forest Historic District Design Guidelines

The following Principles and Guidelines concern additions, renovations, replacement of houses, and more specific elements of the Greenwich Forest Streetscape. These Principles and Guidelines provide specific direction to the Historic Preservation Commission (hereafter, the decision-making body) for reviewing work permits with the Greenwich Forest Historic District. (Italicized terms are defined in Section B.) Permits that conform to these Principles and Guidelines are compatible in character with the district and the purposes of the Montgomery County Historic Resources Preservation Law. Any work permit sought for any situation not specifically covered by these Principles and Guidelines shall be deemed to have an insignificant effect on the historic resource and must be approved by the decision-making body.

The residents of the Greenwich Forest Historic District may submit to the County Council requests for amendments to these guidelines, if two-thirds of the households in the district approve the amendment, with each household casting one vote approve the amendment.

A. Principles

The preservation of the following essential elements of Greenwich Forest is the highest priority in making decisions concerning applications for *work permits*. These Principles are not meant to stop or create unreasonable obstacles to normal maintenance, reasonable modifications, and the evolving needs of residents.

A2. The houses in Greenwich Forest create an integrated fabric well-suited to its forest setting. These Guidelines are intended to preserve this environment by ensuring that approved *work permits* include appropriate safeguards that protect the following three essential elements of this fabric.

c. High quality building materials and high level of craftsmanship.

B. Balancing Preservation and Flexibility

Greenwich Forest represents a period in the evolution of Montgomery County worthy of preservation, but it has also changed in response to the needs of residents since it was created in the 1930s. These

Guidelines seek a reasonable compromise between preservation and the needs of residents in several ways.

- B1. Most of the houses in the Greenwich Forest Historic District are designated “*contributing*” because they contribute to the architectural and historic nature of the district. *Contributing structures* are shown in the map of the districts. These Guidelines are more specific for *contributing structures*.
- B2. Other houses in the district are designated *non-contributing* either because (1) they were built more recently than *contributing houses* with other *architectural styles* (see Appendix 3) or (2) their original features have been significantly altered by subsequent modifications. *Non-contributing structures* are shown on the map of the District. The Guidelines provide greater flexibility for owners of *non-contributing houses*.
- B3. These Guidelines reflect the reality that nearly all houses in Greenwich Forest have been modified since their construction. Owners are not expected to return their houses to their original configurations. The modifications they are permitted to make under these Guidelines are based on the current reality in the neighborhood, provided that those modifications are consistent with the Principles in these Guidelines.
- B4. Property owners have additional flexibility under these Guidelines to make more extensive changes to the parts of their houses that are less *visible from the public rights-of-way* in front of their houses. The Guidelines accomplish this by stipulating different levels of review for specific elements on different parts of houses.

Levels of review means the nature of review applicable to a proposed modification. The three levels of review are:

- *Limited scrutiny* is the least rigorous level of review. With this level, the scope or criteria used in the review of applications for work permits is more limited and emphasizes the overall structure rather than materials and architectural details. The decision-making body should base its review on maintaining compatibility with the design, texture, *scale, spacing, and placement* of surrounding houses and the impact of the proposed change on the streetscape.
- *Moderate scrutiny* is a higher level of review than *limited scrutiny* and adds consideration of the preservation of the property to the requirements of *limited scrutiny*. Alterations should be designed so the altered structure does not detract from the fabric of Greenwich Forest while affording homeowners reasonable flexibility. Use of compatible new materials or materials that replicate the original, rather than original building materials, should be permitted. Planned changes should be compatible with the structure’s existing architectural designs.
- *Strict Scrutiny* is the highest level of review. It adds consideration of the integrity and preservation of significant architectural or landscape features and details to the requirements of the limited and moderate scrutiny levels. Changes may be permitted if, after careful review, they do not significantly compromise the original features of the structure or landscape.

D. Major Guidelines

- D7. Building materials: Replacement of roofs, siding, and trim with original materials is strongly recommended and is considered maintenance that will not require an application for a work permit. Use of non-original “like materials” such as architectural asphalt shingles requires a work permit to ensure that they match the scale, texture, and detail of the original materials and are consistent with the overall design of the existing house. For example, homeowners wishing to replace slate or tile roofs may use alternative materials that match the scale, texture, and detail of the roof being replaced. If an original slate or tile roof had been replaced with non-original material before July 1, 2011, the homeowner may replace the existing roof in kind or with another material consistent with the architectural style of that house.

D17. Windows, dormers, and doors: Door and window replacements are acceptable, as long as the replacements are compatible with the architectural style of the house. Replacement windows with true or simulated divided lights are acceptable, but removable ('snap-in') muntins are not permitted on front-facing windows of contributing houses. Front-facing dormer additions to third floors are permitted on non-contributing houses and on contributing houses, if such additions do not involve raising the main roof ridge line (as specified in D5) and if the addition is compatible in scale, proportion, and architectural style of the original house.

Montgomery County Code, Chapter 24A Historic Resources Preservation

(b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to ensure conformity with the purposes and requirements of this chapter, if it finds that:

- (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
- (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or

(d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district.

STAFF DISCUSSION

The applicant proposes to replace nine (9) double-hung wood wash windows with nine (9) double-hung aluminum-clad wood windows to match the existing profiles. The applicant proposes to install the new windows into the existing wood frames. Staff finds that the replacement windows are compatible with Chapter 24A and the *Greenwich Forest Design Guidelines*.

The *Design Guidelines* in Greenwich Forest are specifically lenient in regard to replacement windows. Although Guideline D7 states that retention of "original materials is strongly recommended," Guideline D17 specifically notes that "window replacements are acceptable, as long as the replacements are compatible with the architectural style of the house. Replacement windows with true or simulated divided lights are acceptable, but removable ('snap-in') muntins are not permitted on front facing windows of contributing houses." The *Guidelines* do not require applicants to replace original windows with in-kind materials. Instead, Guideline A2(C) emphasizes that alterations to houses should be completed with "high quality building materials."

In considering the appropriateness of the proposed replacement windows, Staff looks to Guideline D17 and A2(C). The proposed double hung sash window replacements are generally compatible the overall character of the Colonial Revival revival style, satisfying this requirement. The muntin pattern matches the configuration of the existing windows, although Staff notes that the bottom rail of the Pella Lifestyle Series is slightly shorter than that of a typical early twentieth century wood window. The HPC has consistently interpreted Guidelines D17 to allow for a change of material in the Greenwich Forest

Historic District, including approving the replacement of historic windows with aluminum clad windows.¹

The applicant is proposing to install the replacement windows in the existing frames. In installing the new windows, the applicant must be careful to retain the relationship between the existing frame elements and the new windows. Any subframing elements should not be visible, as exposed subframing could create an additional “tiered” or overengineered appearance that would be incompatible with the historic character of the windows.

Chapter 24A-8(b) emphasizes that proposals must not substantially alter the exterior features of a historic resource within a historic district. The proposed windows are generally in keeping with the character of the Greenwich Forest Historic District, and have little impact on the resource from the public right-of-way. Staff finds that the windows are acceptable replacements under the 24A-8 and the Guidelines.

STAFF RECOMMENDATION

Staff recommends that the HPC **approve with two (2) conditions** the HAWP application, with final approval authority delegated to staff:

1. New windows must be installed so that that the following installation conditions are met:
 - a. They match the existing inset depth into the window openings
 - b. They replicate the existing relationship between the sash and frames. New sash should be installed so no added sub-framing is visible.
 - c. There is no capping of the window frames.
2. Shop drawings or other annotated drawings showing compliance with the above must be submitted prior to issuance of the HAWP.

under the Criteria for Issuance in Chapter 24A-8(b)(1), (2), and (d), having found that the proposal is consistent with the *Greenwich Forest Historic District Guidelines* identified above, and therefore will not substantially alter the exterior features of the historic resource and is compatible in character with the district and the purposes of Chapter 24A;

and with the *Secretary of the Interior’s Standards for Rehabilitation* #2, #9, and #10;

and with the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff’s discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-495-1328 or devon.murtha@montgomeryplanning.org to schedule a follow-up site visit.

¹ See case examples at 7835 Hampden Lane and 8000 Overhill Road: <https://montgomeryplanning.org/wp-content/uploads/2024/04/I.F-7835-Hampden-Lane-Bethesda-1061294.pdf> and [I.G-8000-Overhill-Road-Bethesda.pdf](#).



APPLICATION FOR
HISTORIC AREA WORK PERMIT
HISTORIC PRESERVATION COMMISSION
301.563.3400

FOR STAFF ONLY:

HAWP# _____

DATE ASSIGNED _____

APPLICANT:

Name: _____

E-mail: _____

Address: _____

City: _____ Zip: _____

Daytime Phone: _____

Tax Account No.: _____

AGENT/CONTACT (if applicable):

Name: _____

E-mail: _____

Address: _____

City: _____ Zip: _____

Daytime Phone: _____

Contractor Registration No.: _____

LOCATION OF BUILDING/PREMISE: MIHP # of Historic Property _____

Is the Property Located within an Historic District? ☐ Yes/District Name _____

☐ No/Individual Site Name _____

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: _____ Street: _____

Town/City: _____ Nearest Cross Street: _____

Lot: _____ Block: _____ Subdivision: _____ Parcel: _____

TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:

☐ New Construction

☐ Deck/Porch

☐ Shed/Garage/Accessory Structure

☐ Addition

☐ Fence

☐ Solar

☐ Demolition

☐ Hardscape/Landscape

☐ Tree removal/planting

☐ Grading/Excavation

☐ Roof

☐ Window/Door

☐ Other: _____

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

Michael Jones

Signature of owner or authorized agent

Date

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address

Owner's Agent's mailing address

Adjacent and confronting Property Owners mailing addresses

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

Description of Work Proposed: Please give an overview of the work to be undertaken:

Work Item 1: _____	
Description of Current Condition:	Proposed Work:

Work Item 2: _____	
Description of Current Condition:	Proposed Work:

Work Item 3: _____	
Description of Current Condition:	Proposed Work:

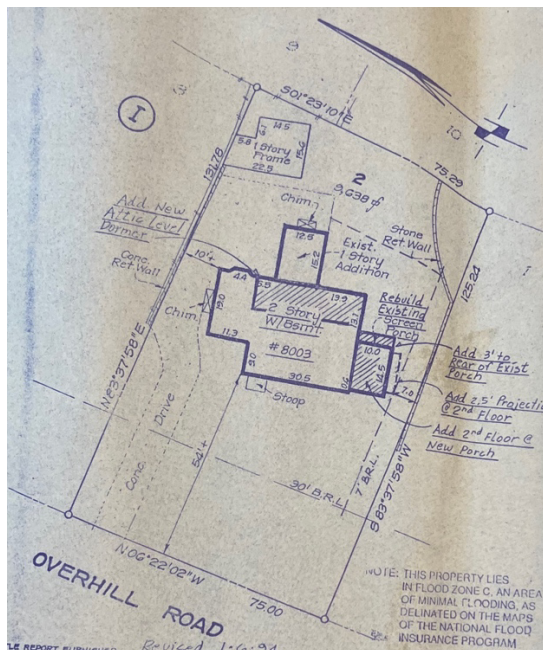
HISTORIC AREA WORK PERMIT CHECKLIST OF APPLICATION REQUIREMENTS

	Required Attachments						
Proposed Work	I. Written Description	2. Site Plan	3. Plans/ Elevations	4. Material Specifications	5. Photographs	6. Tree Survey	7. Property Owner Addresses
New Construction	*	*	*	*	*	*	*
Additions/ Alterations	*	*	*	*	*	*	*
Demolition	*	*	*		*		*
Deck/Porch	*	*	*	*	*	*	*
Fence/Wall	*	*	*	*	*	*	*
Driveway/ Parking Area	*	*		*	*	*	*
Grading/Excavation/ Landscaping	*	*		*	*	*	*
Tree Removal	*	*		*	*	*	*
Siding/ Roof Changes	*	*	*	*	*		*
Window/ Door Changes	*	*	*	*	*		*
Masonry Repair/ Repoint	*	*	*	*	*		*
Signs	*	*	*	*	*		*

Window Replacement Project

8003 Overhill Road, Bethesda

1. Site Plan and View from Street

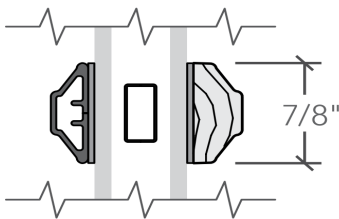
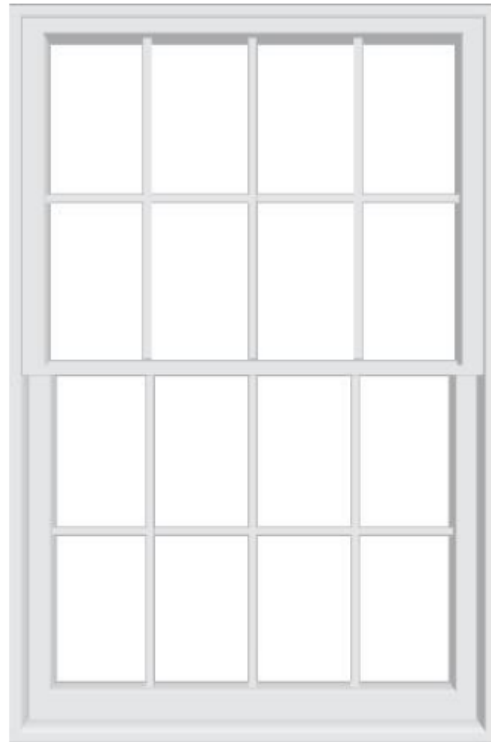


2. Existing Windows



3. Replacement windows

The replacement windows are Pella Lifestyle windows with simulated divided lites, made from wood with exterior aluminum cladding. The traditional double-hung windows will have the same number of lites as the windows they are replacing.



**Simulated-
Divided-Lite with
Spacer 7/8"**

Dobbs Window Project

Supplemental information



Illustration shows seven windows to be replaced at the front of the house.

1. Ground floor - Living Room (to the right of the red door). Two windows with identical dimensions (line item 10 in proposal attached below)
2. Ground floor - TV room (to left of red door). One window as described in line item 30.
3. First floor - Bedroom. Two windows immediately above Living room, described in line item 40.
4. First floor - Bathroom. One window above red door described in line item 45.
5. First floor - Office. One window above TV room, described in line item 35.



Illustration left shows side window on staircase (right), described in line item 25. Windows on left are TV room (see 2 above) and office (see 5 above).



Illustration left shows living room side window, described in line item 15.

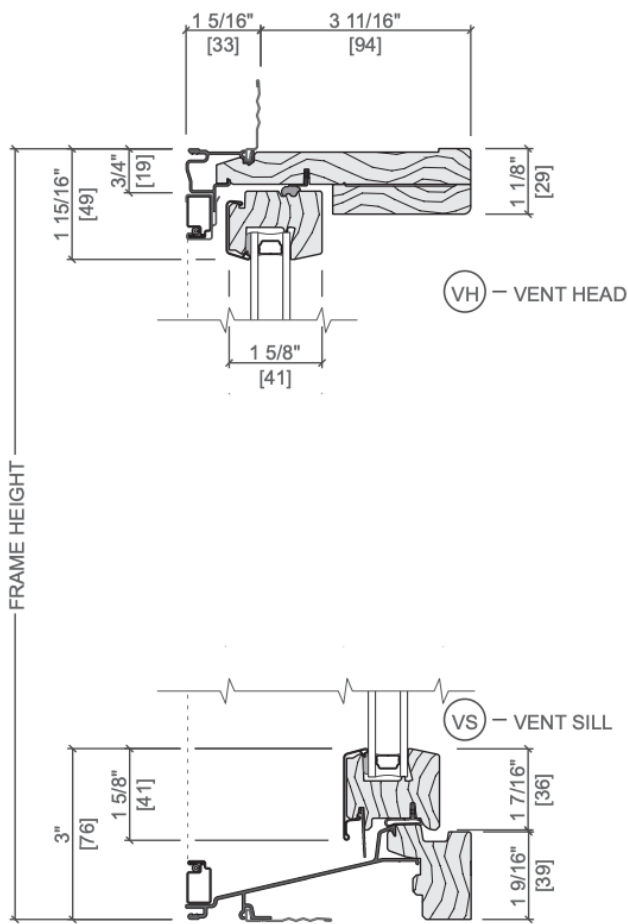


Illustration left shows dining room side window, described in line item 20.

Lifestyle Series Double-Hung

Unit Sections

Existing frame and trim
to stay



New windows to be
installed within existing
frames.

Existing sill to stay

Line #	Location:	Attributes			
10	LIVING	<div><div><div><div><div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div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Rough Opening: 41" X 62.25"

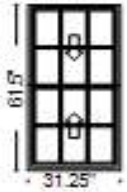
Customer Notes: 8/8 PATTERN

Line #	Location:	Attributes			
15	LIVING	<div><div><div><div><div><div></div><div></div><div></div><div></div><div></div><div></div></div><div><div></div><div></div><div></div><div></div><div></div><div></div></div></div><div><div></div><div></div><div></div><div></div><div></div><div></div></div><div><div></div><div></div><div></div><div></div><div></div><div></div></div></div><div><div></div><div></div><div></div><div></div><div></div><div></div></div><div><div></div><div></div><div></div><div></div><div></div><div></div></div></div><div><div></div><div></div><div></div><div></div><div></div><div></div></div><div><div></div><div></div><div></div><div></div><div></div><div></div></div></div> <div><div></div><div></div><div></div><div></div><div></div><div></div></div> <div><div></div><div></div><div></div><div></div><div></div><div></div></div> <div><div>61.5"</div><div>31.25"</div></div> <div>Viewed From Exterior</div> <div><div>PK #</div><div>2204</div></div> <div><div>Lifestyle, Double Hung, 31.25 X 61.5, Without HGP, White</div><div><div>Item Price</div><div>Qty</div><div>Ext'd Price</div></div><div><div>\$1,183.88</div><div>1</div><div>\$1,183.88</div></div></div> <div><div><div>1: Non-Standard SizeNon-Standard Size Double Hung, Equal</div><div>Frame Size: 31 1/4 X 61 1/2</div><div>Unit Type: No Program</div><div>General Information: No Package, Without Hinged Glass Panel, Clad, Pine, 5", 3 11/16", Jambliner Color: Gray</div><div>Exterior Color / Finish: Standard Enduraclad, White</div><div>Interior Color / Finish: Prefinished White Paint Interior</div><div>Glass: Insulated Low-E Advanced Low-E Insulating Glass Argon Non High Altitude</div><div>Hardware Options: Cam-Action Lock, 1 Lock, White, No Limited Opening Hardware, Order Sash Lift, 1 Lift, No Integrated Sensor</div><div>Screen: Full Screen, White, InView™</div><div>Performance Information: U-Factor 0.30, SHGC 0.27, VLT 0.50, CPD PEL-N-35-00516-00001, Performance Class LC, PG 35, Calculated Positive DP Rating 35, Calculated Negative DP Rating 35, FPA FL12952, STC 27, OITC 23, Clear Opening Width 28.062, Clear Opening Height 27.5, Clear Opening Area 5.359063, Egress Meets minimum clear opening and 5.0 sq.ft</div><div>Grille: SDL w/Spacer, No Custom Grille, 7/8", Traditional (3W2H / 3W2H)</div><div>Wrapping Information: No Attachment Method, No Exterior Trim, 3 11/16", 5", Factory Applied, Manufacturer Recommended Clearance, Perimeter Length = 186".</div></div></div>			

Rough Opening: 32" X 62.25"

Customer Notes: 6/6 PATTERN

Line #	Location:	Attributes	Item Price	Qty	Ext'd Price
20	DINING	Lifestyle, Double Hung, 31.25 X 61.5, Without HGP, White	\$1,183.88	1	\$1,183.88



PK #
2204

Viewed From Exterior

1: Non-Standard SizeNon-Standard Size Double Hung, Equal

Frame Size: 31 1/4 X 61 1/2

Unit Type: No Program

General Information: No Package, Without Hinged Glass Panel, Clad, Pine, 5", 3 11/16", Jambliner Color: Gray

Exterior Color / Finish: Standard Enduraclad, White

Interior Color / Finish: Prefinished White Paint Interior

Glass: Insulated Low-E Advanced Low-E Insulating Glass Argon Non High Altitude

Hardware Options: Cam-Action Lock, 1 Lock, White, No Limited Opening Hardware, Order Sash Lift, 1 Lift, No Integrated Sensor

Screen: Full Screen, White, InView™

Performance Information: U-Factor 0.30, SHGC 0.27, VLT 0.50, CPD PEL-N-35-00516-00001, Performance Class LC, PG 35, Calculated Positive DP

Rating 35, Calculated Negative DP Rating 35, FPA FL12952, STC 27, OITC 23, Clear Opening Width 28.062, Clear Opening Height 27.5, Clear

Opening Area 5.359063, Egress Meets minimum clear opening and 5.0 sq.ft

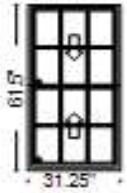
Grille: SDL w/Spacer, No Custom Grille, 7/8", Traditional (3W2H / 3W2H)

Wrapping Information: No Attachment Method, No Exterior Trim, 3 11/16", 5", Factory Applied, Manufacturer Recommended Clearance, Perimeter Length = 186".

Rough Opening: 32" X 62.25"

Customer Notes: 6/6 PATTERN

Line #	Location:	Attributes	Item Price	Qty	Ext'd Price
25	STAIR TEMP	Lifestyle, Double Hung, 31.25 X 61.5, Without HGP, White	\$1,336.63	1	\$1,336.63



PK #
2204

Viewed From Exterior

1: Non-Standard SizeNon-Standard Size Double Hung, Equal

Frame Size: 31 1/4 X 61 1/2

Unit Type: No Program

General Information: No Package, Without Hinged Glass Panel, Clad, Pine, 5", 3 11/16", Jambliner Color: Gray

Exterior Color / Finish: Standard Enduraclad, White

Interior Color / Finish: Prefinished White Paint Interior

Glass: Insulated Tempered Low-E Advanced Low-E Insulating Glass Argon Non High Altitude

Hardware Options: Cam-Action Lock, 1 Lock, White, No Limited Opening Hardware, Order Sash Lift, 1 Lift, No Integrated Sensor

Screen: Full Screen, White, InView™

Performance Information: U-Factor 0.30, SHGC 0.27, VLT 0.50, CPD PEL-N-35-00519-00001, Performance Class LC, PG 35, Calculated Positive DP

Rating 35, Calculated Negative DP Rating 35, FPA FL12952, STC 27, OITC 23, Clear Opening Width 28.062, Clear Opening Height 27.5, Clear

Opening Area 5.359063, Egress Meets minimum clear opening and 5.0 sq.ft

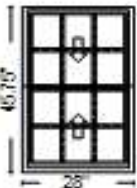
Grille: SDL w/Spacer, No Custom Grille, 7/8", Traditional (3W2H / 3W2H)

Wrapping Information: No Attachment Method, No Exterior Trim, 3 11/16", 5", Factory Applied, Manufacturer Recommended Clearance, Perimeter Length = 186".

Rough Opening: 32" X 62.25"

Customer Notes: 6/6 PATTERN

TEMPERED

Line #	Location:	Attributes			
30	TV	Lifestyle, Double Hung, 28 X 45.75, Without HGP, White	<u>Item Price</u>	<u>Qty</u>	<u>Ext'd Price</u>
			\$1,052.12	1	\$1,052.12
		PK # 2204	<p>1: Non-Standard SizeNon-Standard Size Double Hung, Equal Frame Size: 28 X 45 3/4 Unit Type: No Program General Information: No Package, Without Hinged Glass Panel, Clad, Pine, 5", 3 11/16", Jambliner Color: Gray Exterior Color / Finish: Standard Enduraclad, White Interior Color / Finish: Prefinished White Paint Interior Glass: Insulated Low-E Advanced Low-E Insulating Glass Argon Non High Altitude Hardware Options: Cam-Action Lock, 1 Lock, White, No Limited Opening Hardware, Order Sash Lift, 1 Lift, No Integrated Sensor Screen: Full Screen, White, InView™ Performance Information: U-Factor 0.30, SHGC 0.27, VLT 0.50, CPD PEL-N-35-00516-00001, Performance Class LC, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, FPA FL12952, STC 27, OITC 23, Clear Opening Width 24.812, Clear Opening Height 19.625, Clear Opening Area 3.381497, Egress Does not meet typical United States egress, but may comply with local code requirements Grille: SDL w/Spacer, No Custom Grille, 7/8", Traditional (3W2H / 3W2H) Wrapping Information: No Attachment Method, No Exterior Trim, 3 11/16", 5", Factory Applied, Manufacturer Recommended Clearance, Perimeter Length = 148".</p>		
	Viewed From Exterior				

Rough Opening: 28 - 3/4" X 46 - 1/2"

Customer Notes: 6/6 PATTERN

Line #	Location:	Attributes		
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Rough Opening: 28 - 3/4" X 46 - 1/2"

Customer Notes: 6/6 PATTERN

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Rough Opening: 41" X 54.25"

Customer Notes: 8/8 PATTERN

Line #	Location:	Attributes			
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Rough Opening: 41" X 54.25"

Customer Notes: 8/8 PATTERN

TEMPERED

For more information regarding the finishing, maintenance, service and warranty of all Pella® products, visit the Pella® website at www.pella.com