



**APPLICATION FOR
HISTORIC AREA WORK PERMIT**
HISTORIC PRESERVATION COMMISSION
301.563.3400

FOR STAFF ONLY:
HAWP# _____
DATE ASSIGNED _____

APPLICANT:

Name: _____ E-mail: _____
Address: _____ City: _____ Zip: _____
Daytime Phone: _____ Tax Account No.: _____

AGENT/CONTACT (if applicable):

Name: _____ E-mail: _____
Address: _____ City: _____ Zip: _____
Daytime Phone: _____ Contractor Registration No.: _____

LOCATION OF BUILDING/PREMISE: MIHP # of Historic Property _____

Is the Property Located within an Historic District? Yes/District Name _____
 No/Individual Site Name _____

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: _____ Street: _____

Town/City: _____ Nearest Cross Street: _____

Lot: _____ Block: _____ Subdivision: _____ Parcel: _____

TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:

- | | | |
|---|--|--|
| <input type="checkbox"/> New Construction | <input type="checkbox"/> Deck/Porch | <input type="checkbox"/> Shed/Garage/Accessory Structure |
| <input type="checkbox"/> Addition | <input type="checkbox"/> Fence | <input type="checkbox"/> Solar |
| <input type="checkbox"/> Demolition | <input type="checkbox"/> Hardscape/Landscape | <input type="checkbox"/> Tree removal/planting |
| <input type="checkbox"/> Grading/Excavation | <input type="checkbox"/> Roof | <input type="checkbox"/> Window/Door |
| | | <input type="checkbox"/> Other: _____ |

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent

Date

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address	Owner's Agent's mailing address
Adjacent and confronting Property Owners mailing addresses	

7209 SPRUCE AVE
TAKOMA PARK MD 20912

7211 SPRUCE AVE
TAKOMA PARK MD 20912

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

Description of Work Proposed: Please give an overview of the work to be undertaken:

Work Item 1: _____	
Description of Current Condition:	Proposed Work:

Work Item 2: _____	
Description of Current Condition:	Proposed Work:

Work Item 3: _____	
Description of Current Condition:	Proposed Work:

**HISTORIC AREA WORK PERMIT
CHECKLIST OF
APPLICATION REQUIREMENTS**

	Required Attachments						
Proposed Work	I. Written Description	2. Site Plan	3. Plans/ Elevations	4. Material Specifications	5. Photographs	6. Tree Survey	7. Property Owner Addresses
New Construction	*	*	*	*	*	*	*
Additions/ Alterations	*	*	*	*	*	*	*
Demolition	*	*	*		*		*
Deck/Porch	*	*	*	*	*	*	*
Fence/Wall	*	*	*	*	*	*	*
Driveway/ Parking Area	*	*		*	*	*	*
Grading/Excavation/ Landscaping	*	*		*	*	*	*
Tree Removal	*	*		*	*	*	*
Siding/ Roof Changes	*	*	*	*	*		*
Window/ Door Changes	*	*	*	*	*		*
Masonry Repair/ Repoint	*	*	*	*	*		*
Signs	*	*	*	*	*		*

Holness Residence

7210 Spruce Avenue

Takoma Park, MD. 20912

CODE:

- Plans conform with IRC 2021
- All wood in contact with soil or masonry foundations will meet the ASTM standard A 153 and A653, class 105
- All framing lumber to be SPSF2 unless indicated otherwise.
- Design criteria used are as follows:
 - Roof load - 30lbs/sf.
 - Roof and floor dead load - 10lbs/sf.
 - Seismic design category B.
 - Termite damage subjectivity - moderate to heavy.
 - Winter design temperature - 15 degrees F, -4 degrees C.
 - Subj. to damage from weather - heavy.
 - Subj. to decay - moderate.
 - Floor live load in non-sleeping areas - 40lbs/sf.
 - Floor live load in sleeping areas - 30lbs/sf.
 - Wind speed - 90mph (3 sec. gust method) 40 mph 40 m/s.
 - Frost line depth - 24".
 - Flood hazard - Yes.
 - Subfloors - 3/4" APA subfloor/underlayment rated, tongue and groove, glued and nailed to joists.
 - Roof sheathing - 1/2" OSB with spacers.
 - Roofing - 2 1/2lb per square asphalt shingles over 1 1/2lb. felt.

SCOPE OF WORK:

- 1- DEMO EXISTING LANDING SECTION AND STAIRS.
- 2- CONSTRUCT NEW LANDING SECTION AND HANDICAP RAMP.

INDEX

COVER SHEET 001
 FLOOR PLANS A001
 ELEV, FRAMING, SECT. AND DETAILS A002

STRUCTURAL NOTES

SOIL BEARING AND WATER CONDITION: ASSUMED SOIL BEARING CAPACITY OF 1500 PSF (MIN.) WITH A LATERAL PRESSURE OF 60 PSF.

LIVE LOADS: ROOF..... 30 PSF 15 PSF DEAD LOAD
 FLOOR..... 40 PSF 15 PSF
 STAIRWAY..... 100 PSF 15 PSF
 BALCONIES..... 60 PSF 15 PSF
 FLOOR AT BEDROOM LEV..... 30 PSF 15 PSF
 WIND LOAD..... 17 PSF

BACKFILL: SHALL NOT BE PLACED AGAINST WALLS UNTIL SLABS ON GRADE

FOUNDATIONS: BOTTOMS OF THE ALL EXTERIOR FOOTINGS SHALL BE A MINIMUM OF 2'-6" BELOW FINISH GRADE. ALL FOOTINGS SHALL BE AS SHOWN ON FOOTING PLANS AND PROJECT 12" INTO UNDISTURBED EXG. NATURAL GROUND HAVING ALLOWABLE BEARING CAPACITY AS PER SOIL CONSULTANT'S RECOMMENDATIONS. DEPTHS AND SIZES OF ALL FOOTINGS SHALL BE VERIFIED IN THE FIELD. DEPTHS SHALL BE SUBJECT TO CHANGE IF SOIL CONDITIONS ARE OTHER THAN ASSUMED.

CONCRETE: ALL CONCRETE CONSTRUCTION SHALL CONFORM TO THE LATEST A.C.I. CODE 318. 28-DAY CONCRETE STRENGTH SHALL BE AS FOLLOWS:
 F'c - 2,500 PSI FOR FOOTINGS, INTERIOR SLABS ON GRADE AND FILL IN CONCRETE BLOCKS.
 F'c - 3,000 PSI FOR EXTERIOR SLABS ON GRADE.
 F'c - 4,000 PSI FOR PRECAST CONCRETE UNITS.

ALL ROOFING MATERIALS TO HAVE ICE DAMMING PROTECTION.

WOOD SPECIES AND GRADE: HEM-FIR (SURFACED DRY OR SURFACED GREEN USED AT 14% MAX. NO. 2 OR BETTER WITH THE FOLLOWING DESIGN VALUES:
 Fb = 1,150 PSI (SINGLE MEMBER)
 Fv = 75 PSI
 Fc = 825 PSI
 E = 1,400,000 PSI

LAMINATED VENEER LUMBER: MICRO-LAM LUMBER OR BETTER WITH THE FOLLOWING DESIGN PROPERTIES:
 Fb = 2,500 PSI
 Fv = 295 PSI
 Fc = 2,700 PSI
 E = 2,000,000 PSI

VERTICAL LOAD TRANSFER: ALL STRUCTURAL POSTS MUST BE VERTICALLY ALIGNED AND BLOCKED TO PROVIDE CONTINUOUS BEARING TO FOUNDATION.

Description Date

Holness Residence
 7210 Spruce Avenue
 Takoma Park, MD. 20912

Date: 3/19/25
 Drawn By: A+LK LOML
 Scale: 1/4"=1'-0"
 Sheet Number:
 001
 Cover Page

LEGEND

— EXISTING CONSTRUCTION TO REMAIN

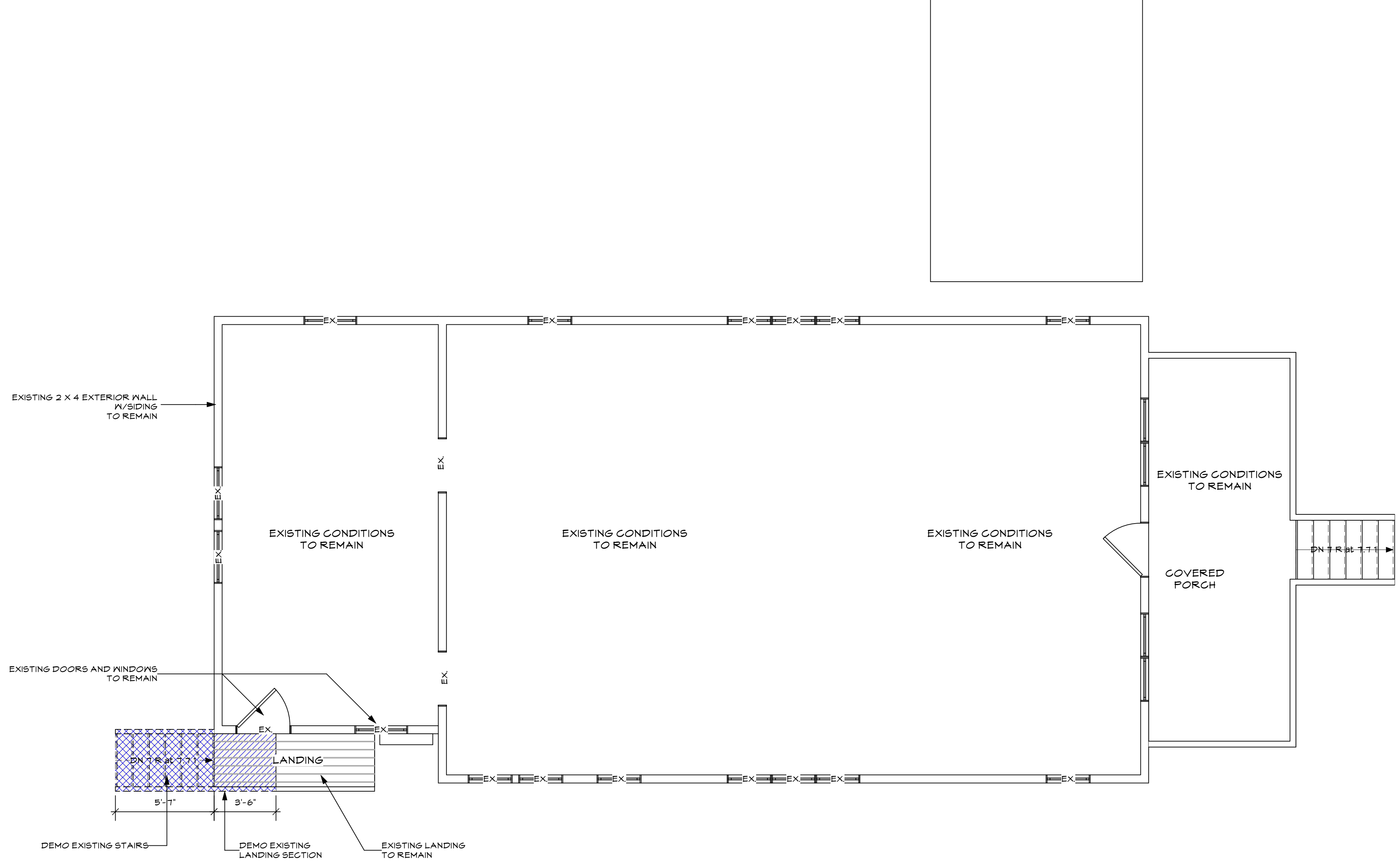
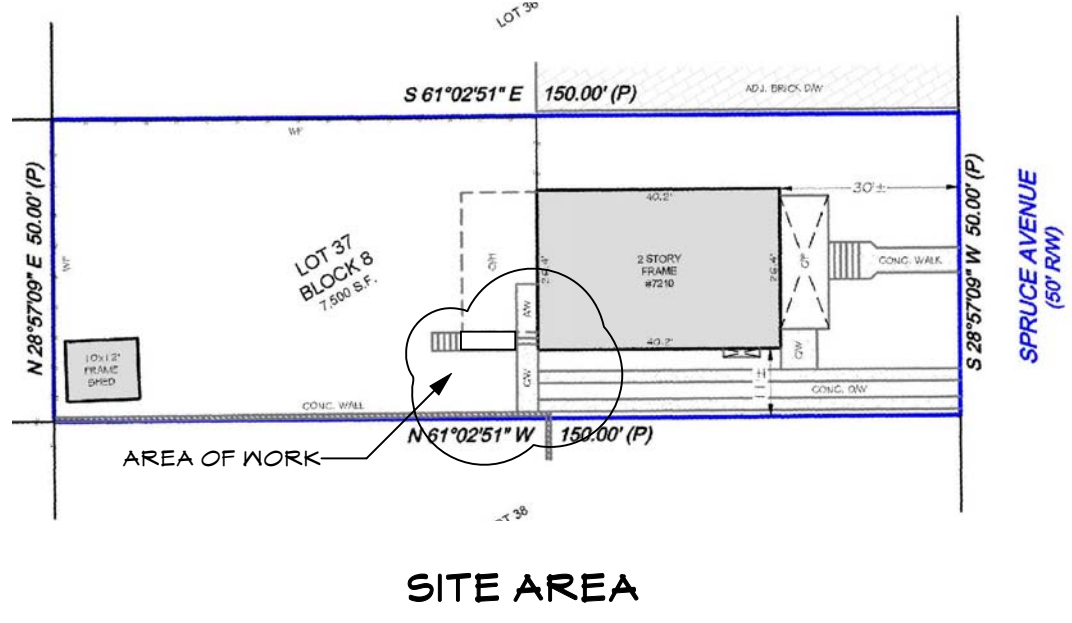
▨ EXISTING CONSTRUCTION TO BE REMOVED

■ NEW CONSTRUCTION

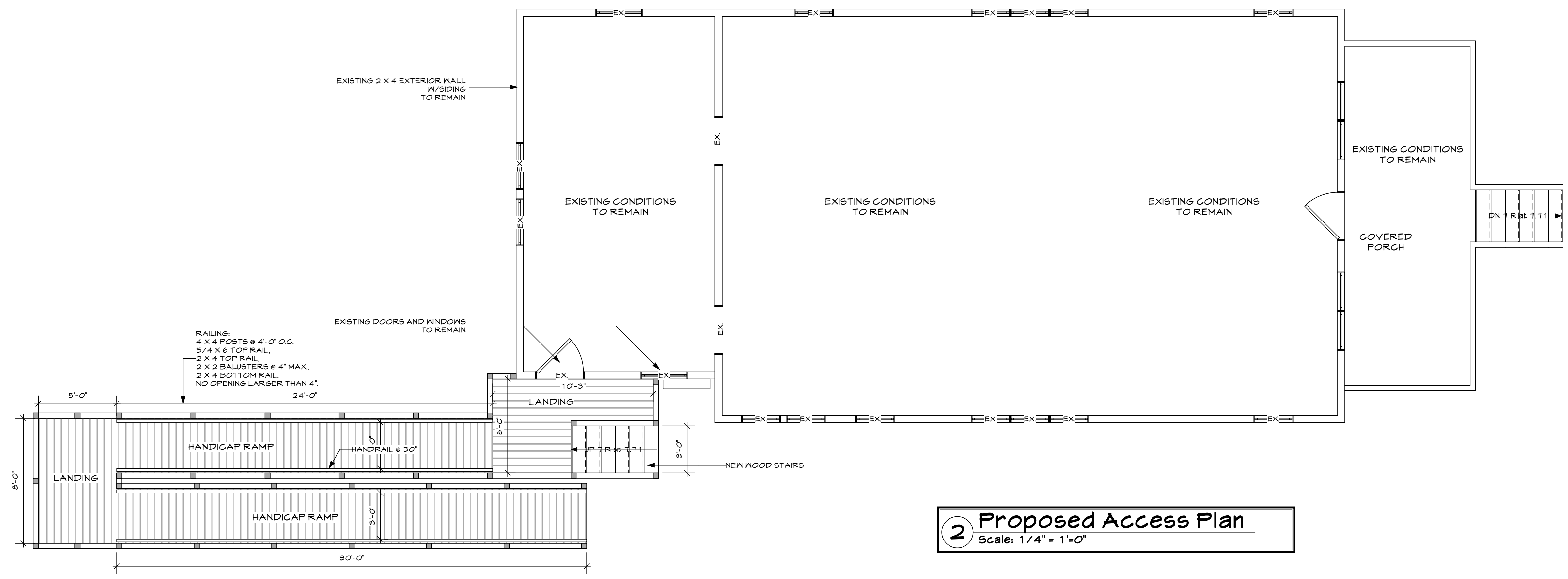
SCOPE OF WORK:

1- DEMO EXISTING LANDING SECTION AND STAIRS.

2- CONSTRUCT NEW LANDING SECTION AND HANDICAP RAMP.



1 Existing Access Plan
Scale: 1/4" = 1'-0"



2 Proposed Access Plan
Scale: 1/4" = 1'-0"

Description Date

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7210 Spruce Avenue
Takoma Park, MD. 20912

Date: 3/19/25
Drawn By: A+LK LOML
Scale: 1/4"=1'-0"
Sheet Number:

A001
Ex. Floor Plans

LEGEND

— EXISTING CONSTRUCTION TO REMAIN

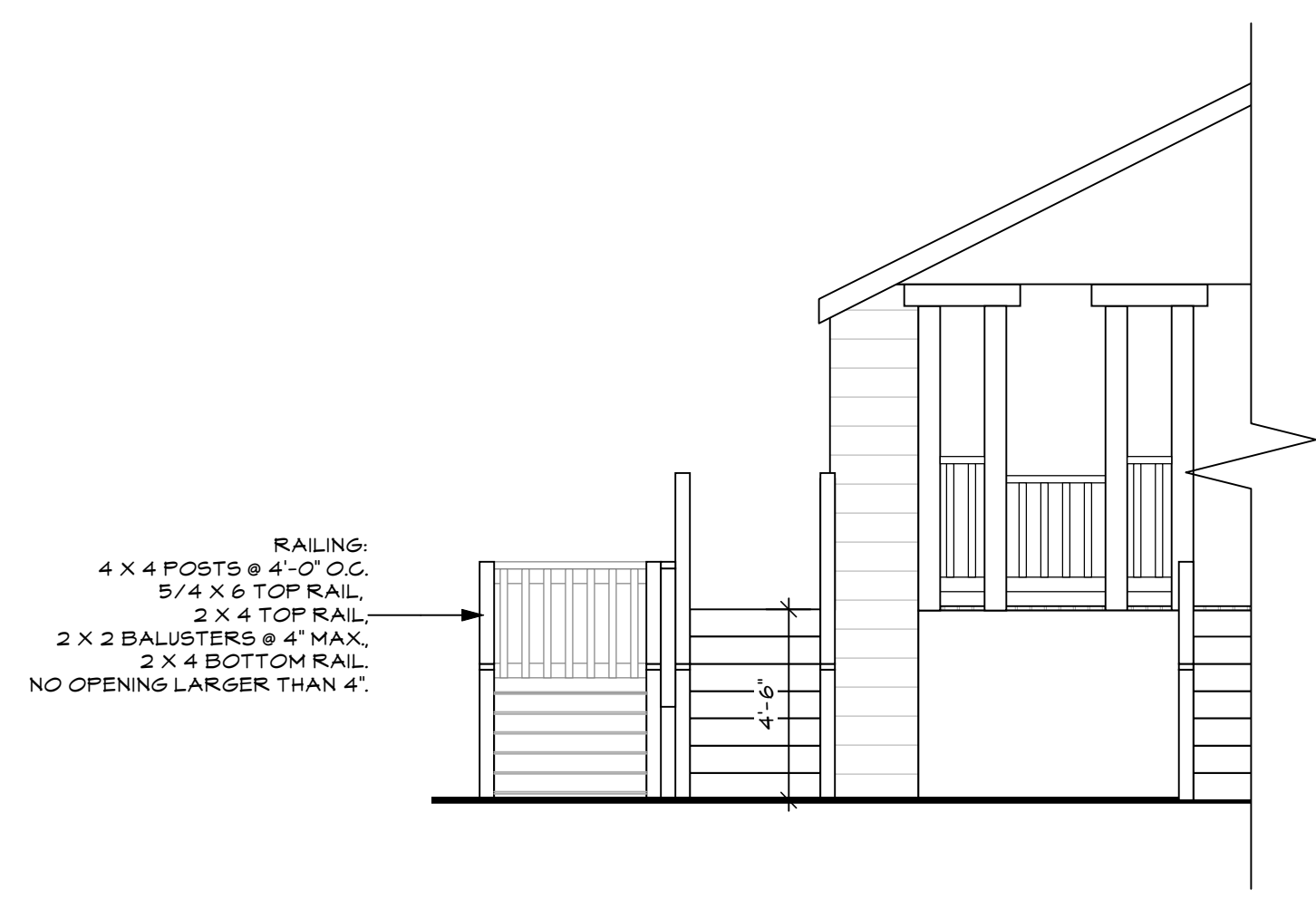
▨ EXISTING CONSTRUCTION TO BE REMOVED

■ NEW CONSTRUCTION

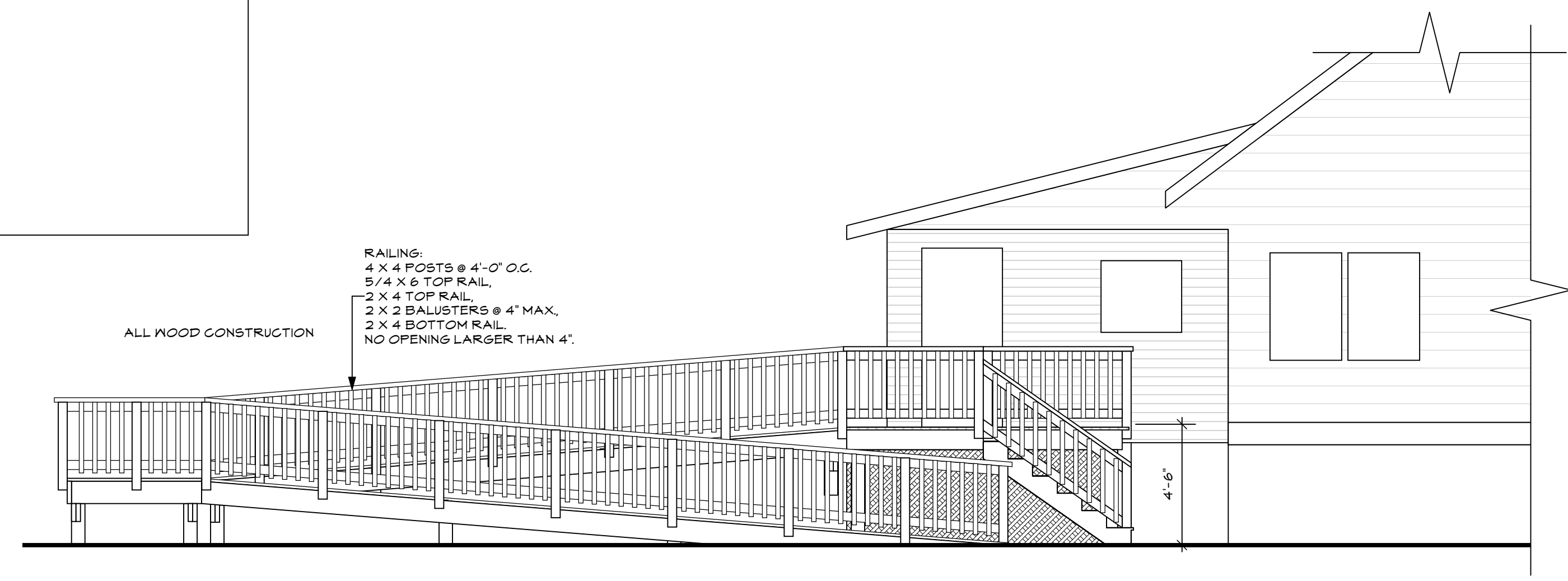
SCOPE OF WORK:

1- DEMO EXISTING LANDING SECTION AND STAIRS.

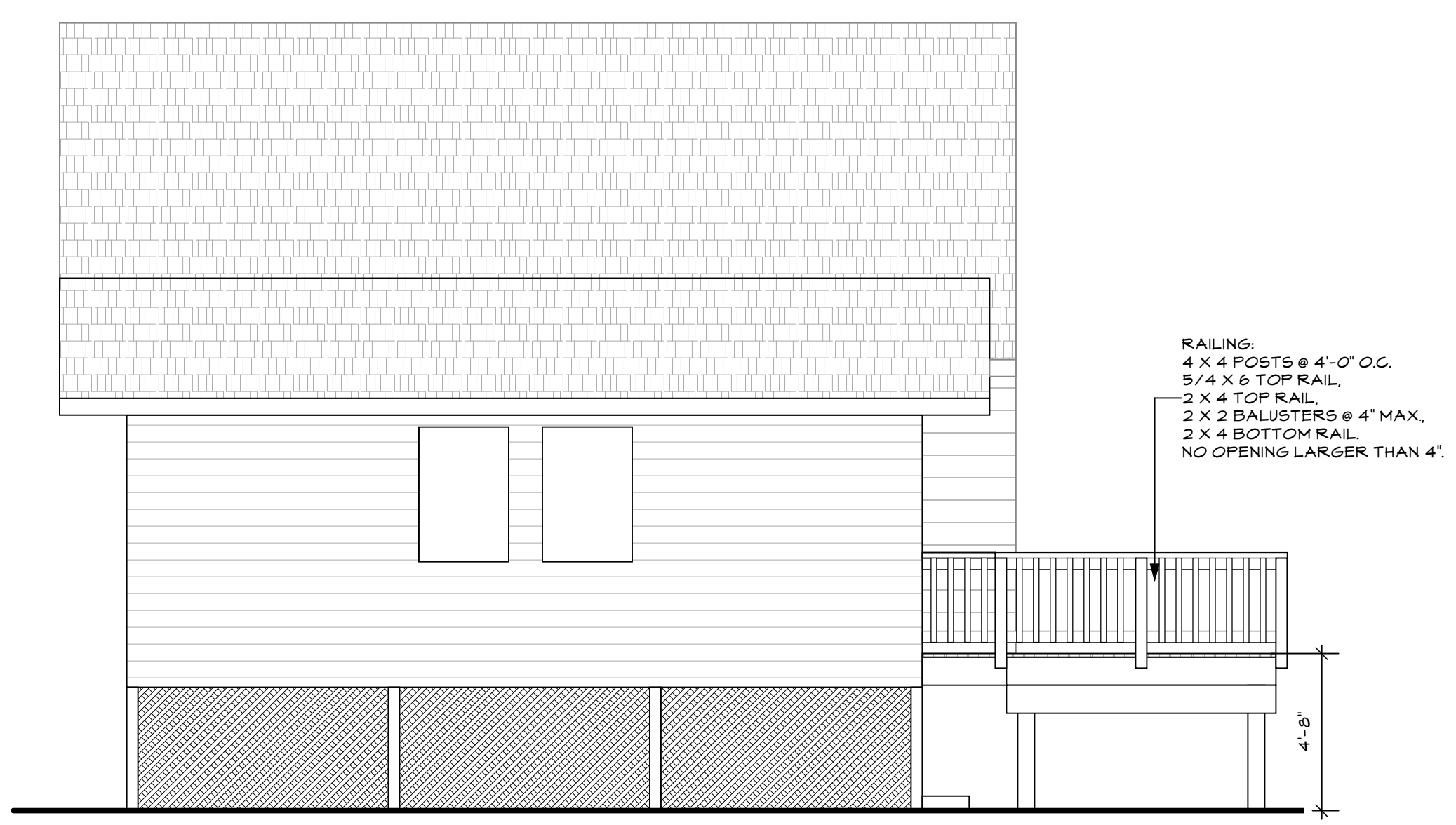
2- CONSTRUCT NEW LANDING SECTION AND HANDICAP RAMP.



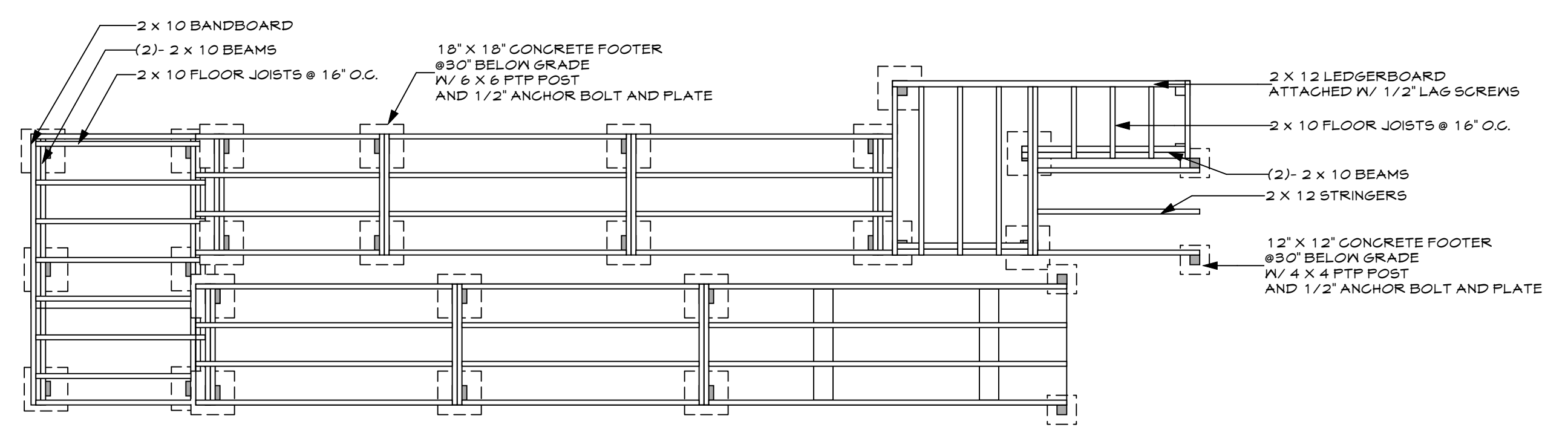
4 Front Elevation
Scale: 1/4" = 1'-0"



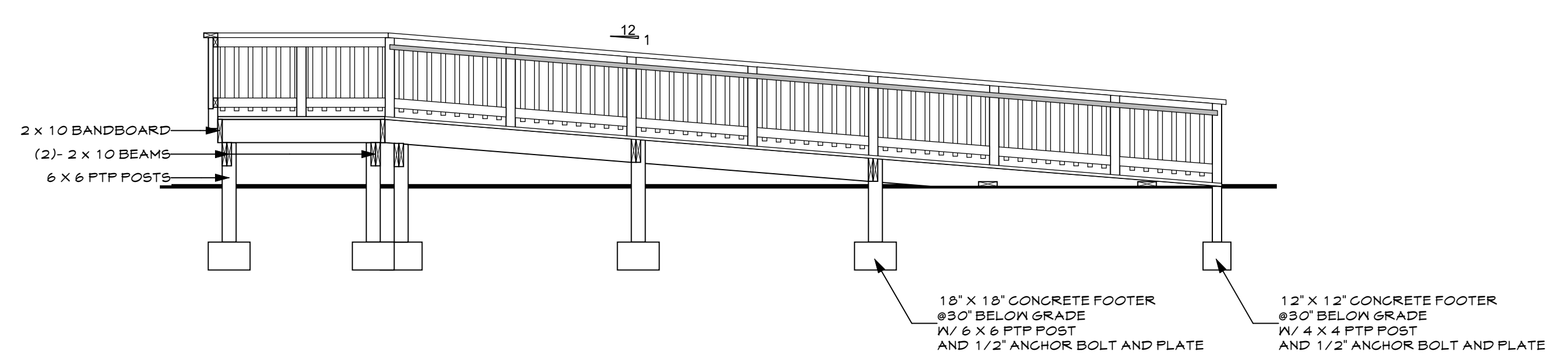
5 Left Elevation
Scale: 1/4" = 1'-0"



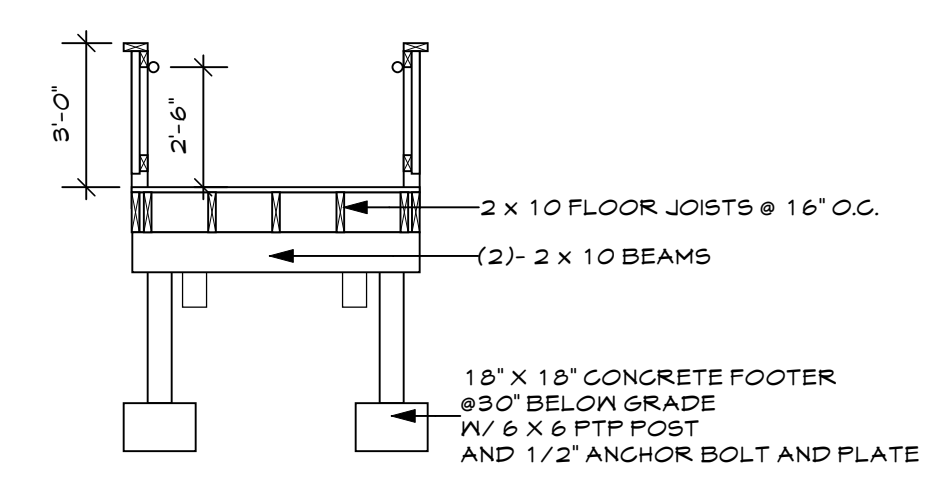
6 Rear Elevation
Scale: 1/4" = 1'-0"



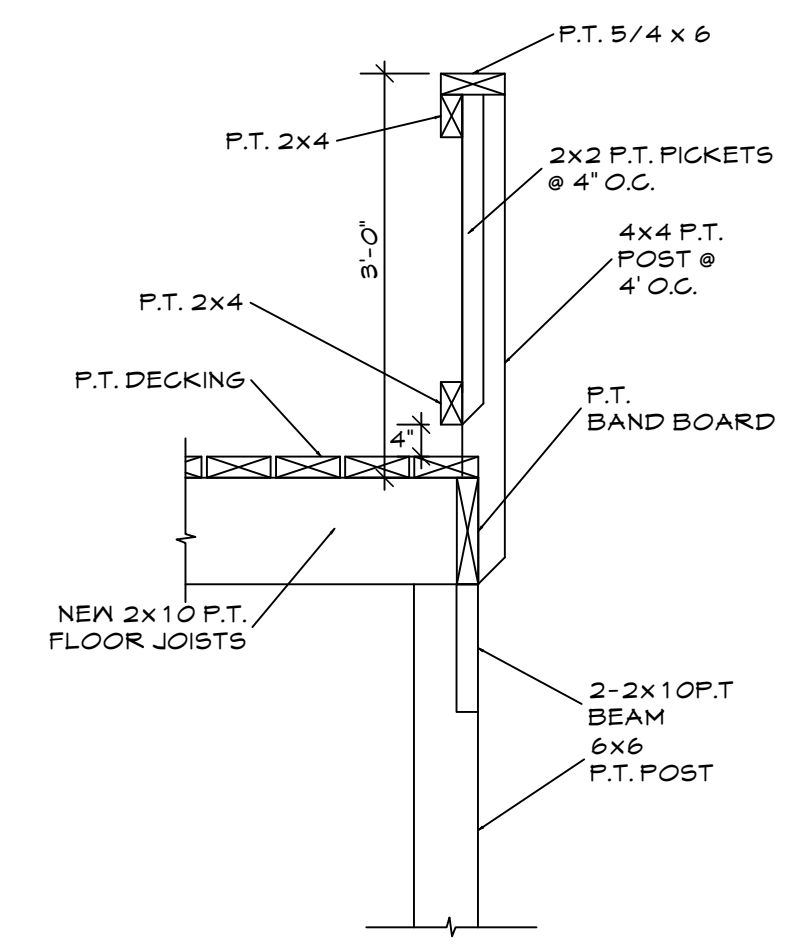
7 Ramp Framing Plan
Scale: 1/4" = 1'-0"



8 Ramp Section
Scale: 1/4" = 1'-0"



9 Landing Section
Scale: 1/4" = 1'-0"



10 Deck Rail Detail
Scale: N.T.S.

Description	Date
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Date:	3/19/25
Drawn By:	A&LK LOML
Scale:	1/4" = 1'-0"
Sheet Number:	A002
	Prop Basement Plan













