



**APPLICATION FOR  
HISTORIC AREA WORK PERMIT**  
HISTORIC PRESERVATION COMMISSION  
301.563.3400

FOR STAFF ONLY:  
HAWP# 1060765  
DATE ASSIGNED \_\_\_\_\_

**APPLICANT:**

Name: Jeff and Gloria Capron E-mail: gcidesign@gloriacapron.com  
jeffcapron5504@gmail.com  
Address: 10304 Montgomery Ave City: Kensington Zip: 20895  
Daytime Phone: \_\_\_\_\_ Tax Account No.: 01018853

**AGENT/CONTACT (if applicable):**

Name: LUKE OLSON E-mail: LOLSON@GTMARCHITECTS.COM  
Address: 7735 OLD GEORGETOWN RD STE 700 City: BETHESDA Zip: 20814  
Daytime Phone: 240-333-2021 Contractor Registration No.: \_\_\_\_\_

**LOCATION OF BUILDING/PREMISE:** MIHP # of Historic Property \_\_\_\_\_

Is the Property Located within an Historic District?  Yes/District Name Kensington  
 No/Individual Site Name \_\_\_\_\_

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: 10304 Street: Montgomery Ave  
Town/City: Kensington Nearest Cross Street: Kensington Pkwy  
Lot: 12 Block: 2 Subdivision: 0015 Parcel: \_\_\_\_\_

**TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:**

- |  |   |   |
|--|---|---|
| <input type="checkbox"/> New Construction              | <input checked="" type="checkbox"/> Deck/Porch          | <input checked="" type="checkbox"/> Shed/Garage/Accessory Structure     |
| <input checked="" type="checkbox"/> Addition           | <input checked="" type="checkbox"/> Fence               | <input type="checkbox"/> Solar  |
| <input type="checkbox"/> Demolition                    | <input checked="" type="checkbox"/> Hardscape/Landscape | <input type="checkbox"/> Tree removal/planting                          |
| <input checked="" type="checkbox"/> Grading/Excavation | <input type="checkbox"/> Roof                           | <input type="checkbox"/> Window/Door                                    |
|  |   | <input checked="" type="checkbox"/> Other: <u>DRIVEWAY MODIFICATION</u> |

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

3/18/25

Signature of owner or authorized agent

Date

**HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING**  
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

**Owner's mailing address**

JEFF & GLORIA CAPRON  
10304 MONTGOMERY AVE  
KENSINGTON, MD 20895

**Owner's Agent's mailing address**

Luke Olson  
7735 Old Georgetown Rd Ste 700  
Bethesda, MD 20814

**Adjacent and confronting Property Owners mailing addresses**

10226 CARROLL PL  
KENSINGTON MD 20895

10313 FAWCETT ST  
KENSINGTON MD 20895

10234 CARROLL PL  
KENSINGTON MD 20895

10308 MONTGOMERY AVE  
KENSINGTON MD 20895

10303 MONTGOMERY AVE  
KENSINGTON MD 20895

10312 MONTGOMERY AVE  
KENSINGTON MD 20895

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

**EXISTING 2-STORY COLONIAL REVIVAL HOUSE WITH CLAPBOARD SIDING AND ASPHALT SHINGLE ROOF CIRCA 1893 WITH 2-STORY DETACHED ACCESSORY STRUCTURE IN REAR YARD.**

Description of Work Proposed: Please give an overview of the work to be undertaken:

We have previously received approval for our Historic Area Work Permit application. As part of this revision, we have modified the rear elevation design. The originally approved double-hung windows, which were relocated from their original positions, have been replaced with operable awning windows positioned in the location of the existing windows on the prior addition. The existing windows were not historic. Additionally, the rear French doors to the new sun room have been revised from full-height glass to a 3/4 lite glass division.

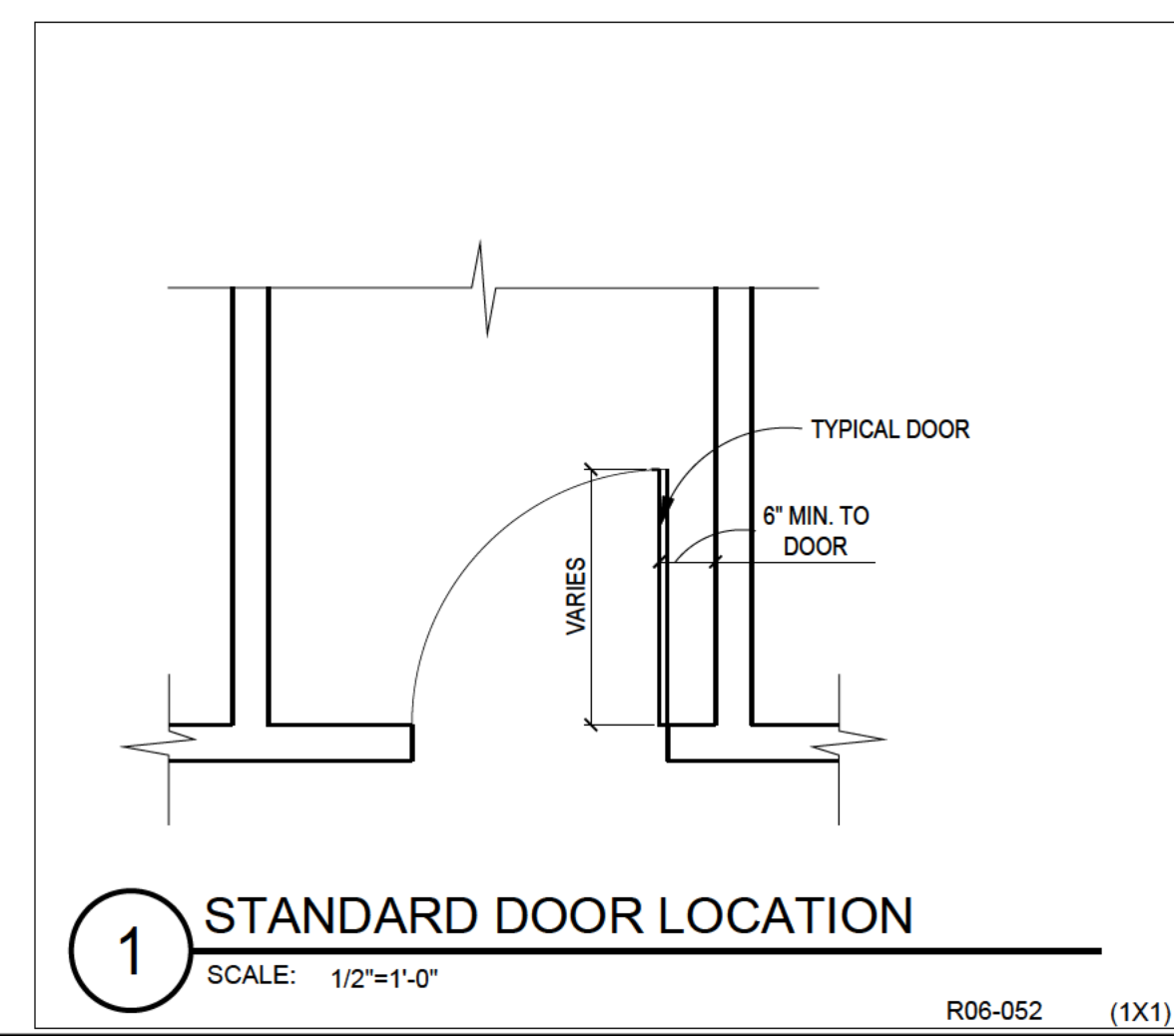
DOOR SCHEDULE										
* INTERIOR DOOR HEIGHTS ARE NOMINAL. UNDERSIDE OF DOOR FRAME SHOULD ALIGN WITH UNDERSIDE OF TYPICAL CASED OPENING ON THAT FLOOR										
* BASED ON SIERRA-PACIFIC CLAD-WOOD PATIO DOORS & MASONITE INTERIOR DOORS; CONFIRM MANUFAC. & STYLE W/ OWNER										
NO.	DOOR			FRAME					HARDWARE	REMARKS
	SIZE	MATERIAL	MANUF.	MAT:	FIN:	HEAD	JAMB	SILL		
BASEMENT										
1	3 <sup>0</sup> x 6 <sup>8</sup> x 1 3/4"	SOL D CORE	TBD						H-4	
2	3 <sup>0</sup> x 6 <sup>10</sup> x 1 3/4"	PTD. WOOD & GLASS	TBD						H-2	
3	2 <sup>10</sup> x 6 <sup>10</sup> x 1 3/4"	PTD. WOOD & GLASS	TBD						H-2	SIZE TO FIT IN EXG MASONRY OPEN NG W/DTH, F ELD VERIFY
FIRST FLOOR										
4	1-PAIR 2 <sup>6</sup> x 6 <sup>8</sup> x 1 3/4"	PTD. WOOD & GLASS	TBD						H-2	
5	1-PAIR 2 <sup>6</sup> x 6 <sup>8</sup> x 1 3/4"	PTD. WOOD & GLASS	TBD						H-2	
6	3 <sup>0</sup> x 6 <sup>8</sup> x 1 3/4"	PTD. WOOD & GLASS	TBD						H-6	POCKET DOOR
7	1-PAIR 2 <sup>6</sup> x 6 <sup>8</sup> x 1 3/4"	SOL D CORE	TBD						H-4	TRANSOM ABOVE, SEE ELEVS
8	NOT USED									
SECOND FLOOR										
9	3 <sup>0</sup> x 6 <sup>8</sup> x 1 3/4"	WOOD & GLASS	TBD						H-6	POCKET DOOR
10	1-PAIR 1 <sup>6</sup> x 6 <sup>8</sup> x 1 3/4"	SOL D CORE	TBD						H-5	
11	NOT USED									
12	1-PAIR 2 <sup>6</sup> x 6 <sup>8</sup> x 1 3/4"	SOL D CORE	TBD						H-3	
13	1-PAIR 1 <sup>6</sup> x 6 <sup>8</sup> x 1 3/4"	SOL D CORE	TBD						H-5	
14	1-PAIR 1 <sup>6</sup> x 6 <sup>8</sup> x 1 3/4"	SOL D CORE	TBD						H-5	
15	1-PAIR 2 <sup>6</sup> x 6 <sup>8</sup> x 1 3/4"	SOL D CORE	TBD						H-3	
16	2 <sup>6</sup> x 6 <sup>8</sup>	TEMPERED GLASS	TBD						-	TEMPERED, SHOWER DOOR
17	2 <sup>4</sup> x 6 <sup>8</sup> x 1 3/4"	SOL D CORE	TBD						H-3	

HARDWARE SCHEDULE		(CONFIRM W/ OWNER PRIOR TO ORDER NG)
NOTE: ALL HARDWARE TO BE SCHLAGE F-SER ES OR APPROVED EQUAL. (EXCEPT PATIO DOORS, WHICH ARE TO HAVE STANDARD HARDWARE BY DOOR MANUF.)		
H-1	S NGL E CYLINDER ENTRANCE LOCK, DEADBOLT, KEYED ONE SIDE & THUMB LATCH ON OTHER- BY BALD W N OR EQ.	
H-2	STANDARD LOCKSET BY DOOR MANUF.; FINISH PER OWNER	
H-3	BATH/BEDROOM PRIVACY LOCK	
H-4	PASSAGE SET	
H-5	DUMMY KNOBS/LEVERS ONE S DE, CONCEALED MAGNETIC CATCHES	
H-6	POCKET DOOR HARDWARE	

WINDOW SCHEDULE							
* BASED ON SIERRA PACIFIC CLAD-WOOD WINDOWS; CONFIRM W/ OWNER							
* CONTACT WINDOW INSTALLER FOR ROUGH OPENING DIMENSIONS							
#	TYPE	NO.	MANUFACTURER	CAT. NO.	ROUGH OPENING	GLASS	REMARKS
100	DOUBLE HUNG	4	SIERRA PACIFIC		3'-5" X 6'-0"	DOUBLE-PANE Low-E	SEE ELEVS. FOR GRILLE PATTERN, EGRESS
200	AWN NG	2	SIERRA PACIFIC	3832	3'-6 3/4" X 3'-0 1/2"	DOUBLE-PANE Low-E	SEE ELEVS. FOR GRILLE PATTERN, EGRESS

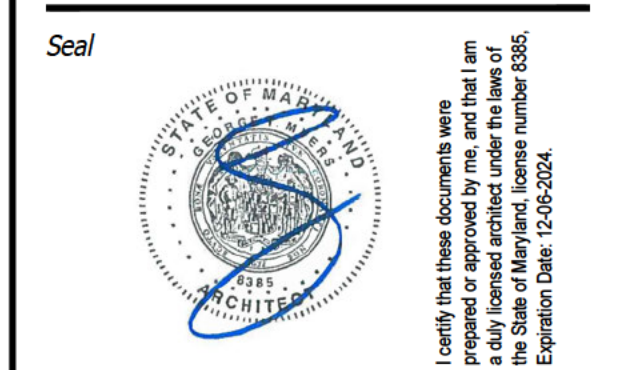
**GENERAL WINDOW NOTES:**

- ALL WINDOWS TO HAVE SCREENS (CONFIRM SCREEN FRAME COLOR W/ OWNER).
- ALL WINDOWS TO BE ALUMINUM CLAD WOOD EXTERIOR, PRE-PRIMED WOOD INTERIOR.
- CONFIRM HARDWARE FINISH W/ OWNER PRIOR TO ORDER.
- ALL GLAZING TO BE DOUBLE PANELED, LOW E, CLEAR INSULATED.
- CONFIRM OVERALL WINDOW SCHEDULE W/ ARCHITECT PRIOR TO ORDER.
- ALL WINDOWS & GLASS DOORS TO BE SIMULATED DIVIDED LITE, 7/8" MUNTIN. SEE ELEVATIONS FOR MUNTIN CONFIGURATIONS.
- CONFIRM JAMB LINER COLOR W/ OWNER.
- PROVIDE EGRESS HARDWARE IN EGRESS WINDOWS AS REQUIRED.
- SEE ELEVATIONS FOR TYPICAL HEAD HEIGHTS ABOVE SUBFLOOR.
- PROVIDE SAFETY GLASS AT ENTRIES, STAIRS, OVER BATHTUBS & ELSEWHERE AS REQUIRED BY CODE.
- IN ACCORDANCE WITH IRC 2018, ALL WINDOWS HAVING AN OPENING LESS THAN 24" ABOVE THE FLOOR AND THAT ARE LOCATED SUCH THAT THE DIMENSION FROM THE BOTTOM OF THE OPENING TO THE EXTERIOR SURFACE BELOW EXCEEDS 72", SHALL EITHER HAVE A STOP TO LIMIT THE OPENING TO LESS THAN 4" OR SHALL HAVE GUARDS INSTALLED THAT WOULD PREVENT THE PASSAGE OF A 4" SPHERE. IN THE CASE OF AN EGRESS WINDOW, THE GUARD MUST BE REMOVABLE WITHOUT SPECIAL KNOWLEDGE OR TOOLS. GUARD SHALL BE EQUAL TO THOSE MANUFACTURED BY THE GUARDIAN ANGEL CO.
- CONTRACTOR TO CONFIRM ALL ROUGH OPENING DIMENSIONS W/ WINDOW MANUFAC. PRIOR TO FRAMING.
- GANGED WINDOWS SHALL HAVE (2) 2x SPACERS BETWEEN, UNLESS SHOWN OTHERWISE.



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Consultant

Project  
**CAPRON RESIDENCE**  
10304 MONTGOMERY AVE, KENSINGTON, MD 20895  
Owner

Developer

DESIGN DEVELOPMENT	2/13/2024
Issue Description	Date

GTM Project No. 23.0138  
Checked By GTM  
Drawn By LEO/TK  
Scale AS NOTED

Sheet Title

**WINDOW & DOOR SCHEDULES**

Sheet No.

**003**

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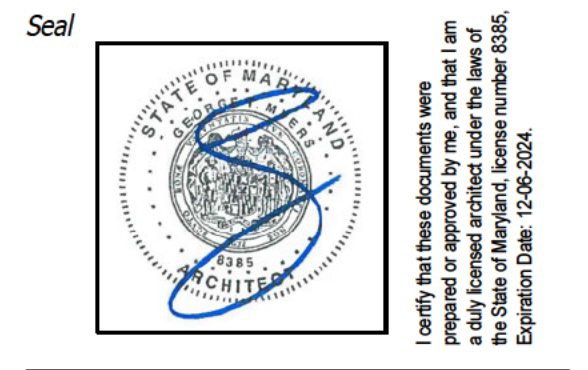
**2** EXISTING REAR ELEVATION  
SCALE: 1/8"=1'-0"

**GENERAL NOTES**

- FOR ENT RE HOUSE:
1. INVESTIGATE & REPLICATE/RESTORE HISTORIC WOOD LAP SIDING TRIM DETAILS AS NECESSARY. CONFER WITH HISTORIC PRESERVATION STAFF BEFORE COMMENCING WORK ON ANY EXISTING TRIM/SIDING. PROVIDE NEW PTD. PVC TRIM DETAILS TO MATCH EXISTING HISTORIC DETAILS AS CLOSELY AS POSSIBLE ON ADDITION.
  2. ALL WOOD TRIM (CORNERBOARDS, FRIZZE BOARDS, SOFFITS, WINDOW CASING, SKIRTBOARDS, APRONS, ETC.) TO BE WINDSOR-ONE+ OR APPROVED EQ. PRIME ALL END CUTS & INSTALL PER MANUFACTURERS INSTRUCTIONS.

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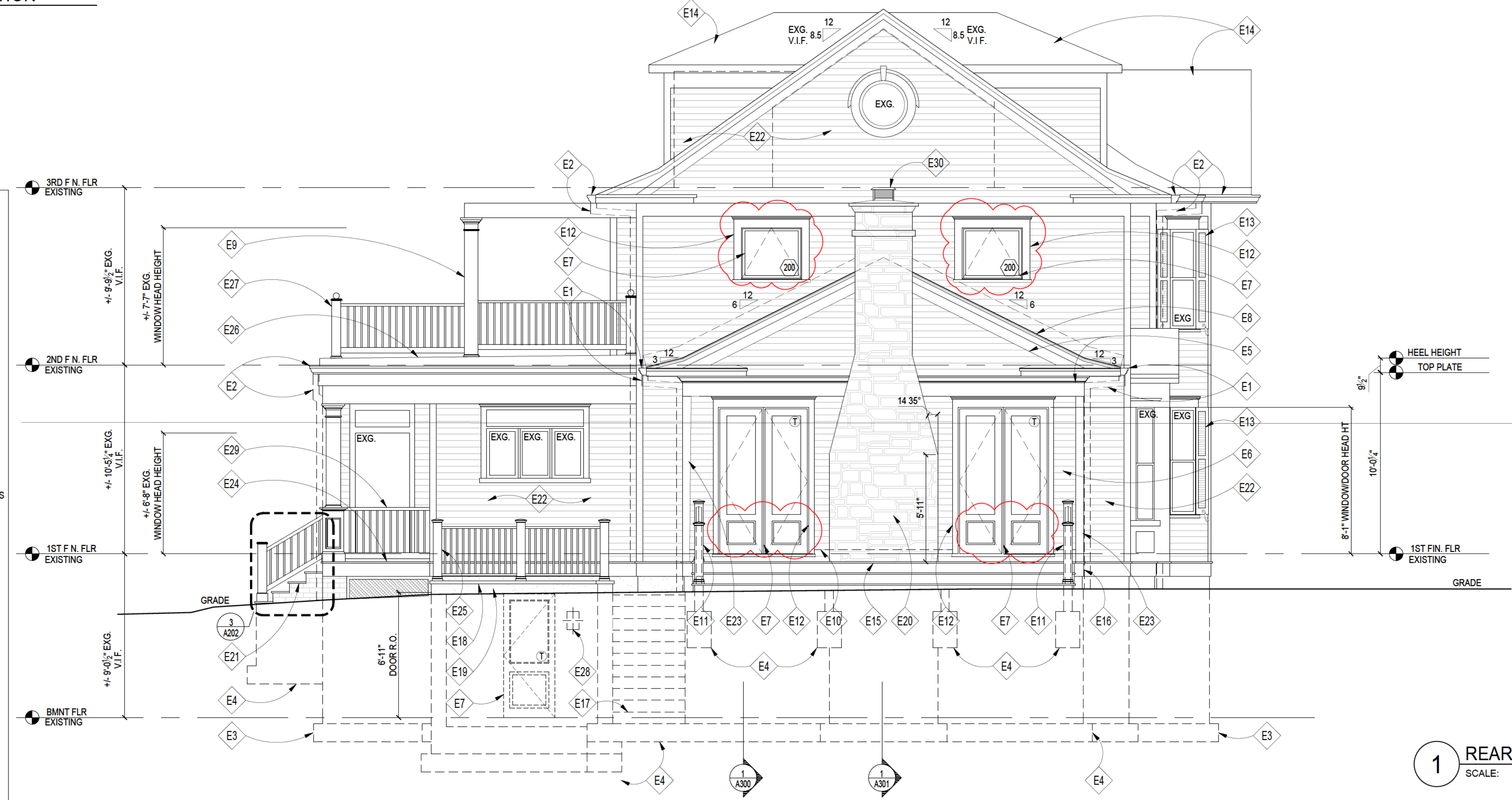
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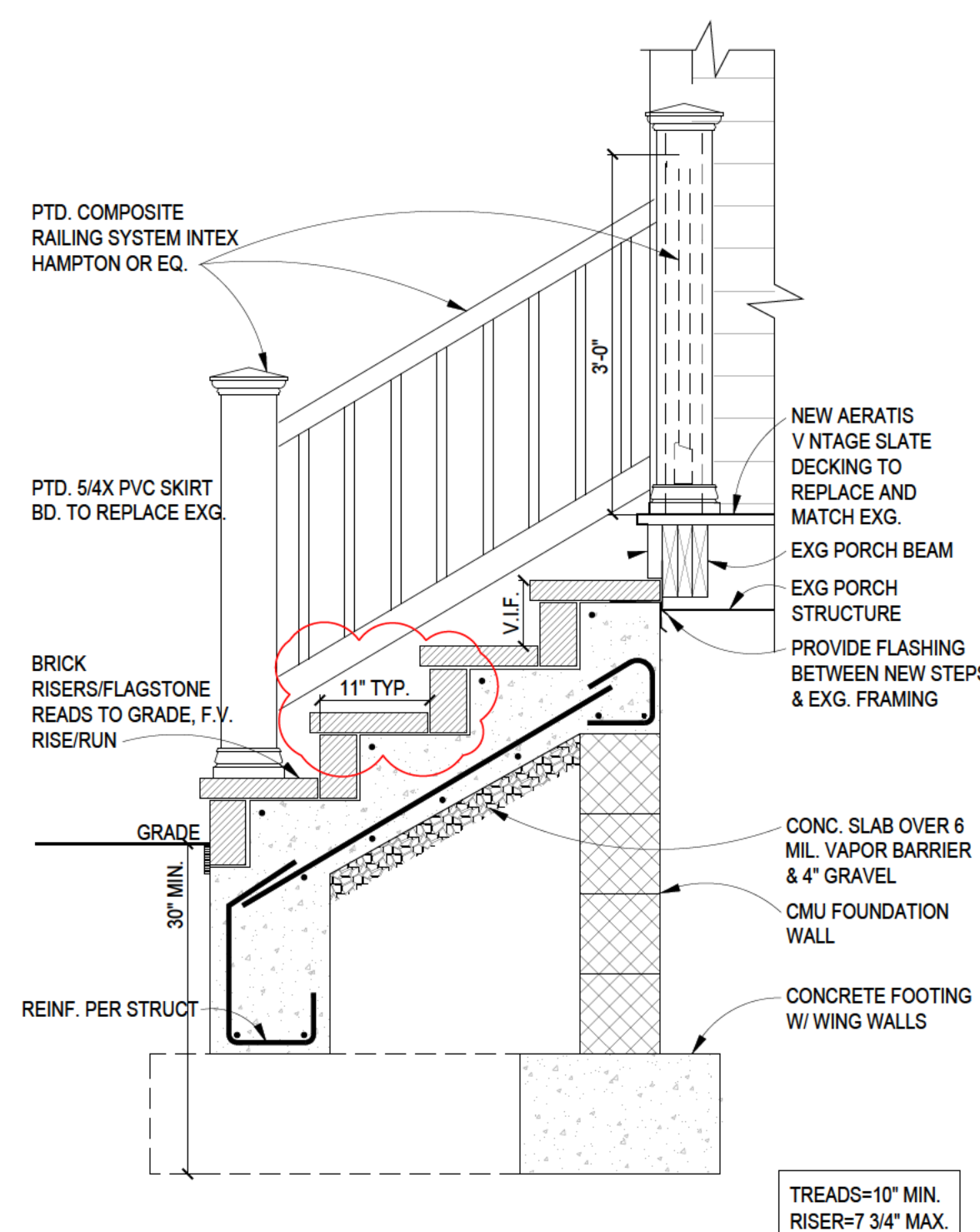
**REAR ELEVATION**

Sheet No. **A202**

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**1** REAR ELEVATION  
SCALE: 1/4"=1'-0"



**3** CONCRETE STAIR DETAIL  
SCALE: 3/4"=1'-0"

**ELEVATION NOTES**

- E1 GUTTER & DOWNSPOUT, TO MATCH EXISTING SEE ROOF PLAN, TYPICAL
- E2 EXISTING GUTTERS AND DOWNSPOUTS TO REMAIN, G.C. TO EVALUATE CONDITION OF ROOF DRAINAGE AND REPAIR AS REQ'D
- E3 APPROX. LINE OF EXISTING FOUNDATION & FOOTINGS BELOW, VERIFY FIELD
- E4 APPROX. LINE OF PROPOSED FOUNDATION/FOOTINGS BELOW, SEE FOUNDATION PLAN FOR ADDITIONAL INFO.
- E5 PTD. AZEK EAVE/CORNICE TRIM TO MATCH EXISTING, SEE DETAIL 1/A500
- E6 PTD. F. BERCEMENT LAP SIDING TO MATCH EXG.
- E7 NEW ALUMINUM CLAD WOOD DOORS & WINDOWS AS SCHEDULED
- E8 ROOFING TO MATCH EXISTING, COLOR TO MATCH EXG. ROOFING
- E9 EXG. COLUMNS AND PERGOLA STRUCTURE TO REMAIN WHERE POSSIBLE, TO BE STORED ON SITE, EVALUATED AND SCRAPPED, PAINTED, REPAIRED, OR REPLACED IN-KIND WHERE REQUIRED
- E10 PROVIDE NEW CONCEALED ALUMINUM FLASHING @ ALL EXG. VERT. TRANSITIONS; PROVIDE IF MISSING & EXTEND VERT. TRANSITIONS 8" MIN. BEHIND SIDING, TYP.
- E11 36" H. INTEX COMPOSITE HANDRAIL/GUARDRAIL OR EQ., PER RC 2018, SEE DTL. 8/A501
- E12 PTD. 5/4X AZEK WINDOW/DOOR TRIM, TO MATCH EXG. HISTORIC TRIM TYP., SEE DETAILS, 11/A500
- E13 EXISTING WINDOW SHUTTERS TO BE EVALUATED AND SCRAPPED/REPAIRED & PAINTED AS NEEDED
- E14 EXISTING ROOFING TO REMAIN, PATCH AND REPAIR AS NECESSARY
- E15 STAIRCASE & RAILING; PTD. PVC RISERS & PTD. COMPOSITE TREADS TO MATCH DECKING T.B.S., SEE DETAIL 10/A501, FOLLOW IRC 2018 R311.7; PTD. COMPOSITE RAILING SYSTEM T.B.S.
- E16 PTD. AZEK SKIRT BOARD, SEE 8/A500
- E17 FLAGSTONE STEPS/PARGED CONCRETE RISERS TO GRADE, VERIFY RISE & RUN IN FIELD, SEE DETAIL 17/A501, TYP. & FOLLOW IRC 2018 R311.7
- E18 AREAWAY WALL W/ SLOPED STONE CAP, SEE STRUCTURAL DETAILS
- E19 CEMENTITIOUS PARGE COAT OVER FOUNDATION WALLS
- E20 NEW MASONRY CHIMNEY, SEE SHEET A501 FOR DETAILS

- E21 FLAGSTONE STEPS/BRICK RISERS TO GRADE, VERIFY RISE & RUN IN FIELD, SEE DETAIL 3/A202, TYP. & FOLLOW RC 2018 R311.7
- E22 EXISTING SIDING TO REMAIN; PATCH/REPAIR, SCRAPE, SAND AND REPAINT AS REQUIRED
- E23 PTD. 5/4X AZEK CORNER BOARD, TO MATCH EXG.
- E24 NEW AERATIS VINTAGE SLATE DECKING TO REPLACE EXG. DECKING
- E25 36" H. INTEX COMPOSITE GUARDRAIL OR EQ., PER IRC 2018, SEE DTL. 5/A500
- E26 EXG. DECKING TO BE SELECTIVELY REMOVED TO PROVIDE ACCESS TO DECK SUBSTRUCTURE TO BE EVALUATED/REPAIRED, STORE ON-SITE FOR REINSTALL, REPLACE IN-KIND AS REQ'D
- E27 EXG. GUARDRAIL TO REMAIN WHERE POSSIBLE, BE STORED ON SITE, EVALUATED AND SCRAPPED, PAINTED, REPAIRED, OR REPLACED IN-KIND WHERE REQUIRED
- E28 EXTERIOR LIGHTING, ALLENBURY 12" LIGHT WALL LIGHT OR EQ.
- E29 PTD. COMPOSITE 36" HANDRAIL/GUARDRAIL PER RC 2018, INTEX OR EQ.; SEE ELEVATIONS & DETAIL 10/A501
- E30 LARGE KENYON CHIMNEY POT BY CLAYCHIMNEYPOTS OR EQ.

- NOTES:
1. VERIFY ALL EXTERIOR RISER & TREAD DIMENSIONS IN FIELD
  2. EXISTING BRICK TO BE REPAINTED
  3. (T) = TEMPERED GLASS