

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	10221 Menlo Ave., Silver Spring	Meeting Date:	3/26/2025
Resource:	1870-1916 Capitol View Park Historic District	Report Date:	3/19/2025
Contact:	Beth Davis, Project Agent	Public Notice:	3/12/2025
Review:	Historic Area Work Permit	Tax Credit:	n/a
Permit Number:	1079660	Staff:	Dan Bruechert
Proposal:	Construction of New Single-Family House and grading and hardscape alterations		

STAFF RECOMMENDATION

Staff recommends the HPC **approve with two (2) conditions** the HAWP with final approval authority can be delegated to Staff.

1. Detailed specifications for the proposed driveway and proposed walkway need to be submitted with the final HAWP before Staff can issue the approval documents.
2. Drywells and any other runoff control measures must be noted on the final site plan or as part of the sediment control permit. Copies of those plans must be submitted to Staff for review before issuance of the final HAWP approval documents.

PROPERTY DESCRIPTION

SIGNIFICANCE: 1870-1916 construction in the Capitol View Park Historic District
STYLE: Vacant
DATE: n/a



Figure 1: The proposed house is on the northernmost lot on Menlo Avenue in the Capitol View Park Historic District.

BACKGROUND

The HPC approved the demolition of the c.1910 house at 10221 Menlo Ave. at the June 12, 2019 HPC meeting.¹ The house had been vacant for several years before it was struck by a tree and subsequently condemned by the Department of Housing and Community Affairs.

The applicant presented a Preliminary Consultation for construction of a new single family home with associated grading at the January 10, 2024 HPC meeting.² The HPC was generally supportive of the proposal and recommended revisions to the roof form at the front of the house and encouraged a more cohesive fenestration pattern throughout the house design. The HPC also requested additional information about the total lot coverage, tree removal plans, and detailed material specifications.

A substantially revised proposal was presented to the HPC as a second Preliminary Consultation on August 14, 2024. The HPC was generally supportive of the revised plan, but commissioners inquired

¹ The Staff Report and application for the 2019 house demolition is available here:

<https://montgomeryplanning.org/wp-content/uploads/2019/06/I.D-10221-Menlo-Avenue-Silver-Spring.pdf>.

² The Staff Report for the January 10, 2024 Preliminary Consultation is available here:

<https://montgomeryplanning.org/wp-content/uploads/2024/01/II.A-10221-Menlo-Avenue-Silver-Spring.pdf>.

about the compatibility of the overall house height and recommended revisions to ‘balance’ the windows, but no specific revisions were recommended. The applicant has further refined the design and returns for a HAWP.

PROPOSAL

The applicant proposes to construct a new single-family house on the property with associated grading.

APPLICABLE GUIDELINES

When reviewing alterations and new construction within the Capitol View Park Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the *Approved & Adopted Sector Plan for Capitol View & Vicinity (Sector Plan)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior’s Standards for Rehabilitation (Standards)*. Because the applicant proposes to install a rear deck the HPC’s

ADOPTED POLICY FOR THE APPROPRIATENESS OF SUBSTITUTE MATERIALS FOR PORCH AND DECK FLOORING (Policy No. 24-01) provides additional guidance. The pertinent information in these documents is outlined below.

Approved & Adopted Sector Plan for Capitol View & Vicinity (Sector Plan)

1. 1870-1916: Characterized by large lots and variety of setbacks, and architecturally encompassing the “Victorian” residential and revival styles and the early bungalow style popular during this period, these twenty-two houses are of a higher degree of architectural and historical significance than the other structures within the district.

Montgomery County Code, Chapter 24A Historic Resources Preservation

(b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:

- (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
- (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
- (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style.

(d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59)

The Secretary of the Interior’s Standards for Rehabilitation

2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, space and spatial relationships that characterize a property will be avoided.
9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be

differentiated from the old and will be compatible with the historic materials, features, size, scale and proportions, and massing to protect the integrity of the property and its environment.

10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

ADOPTED POLICY FOR THE APPROPRIATENESS OF SUBSTITUTE MATERIALS FOR PORCH AND DECK FLOORING (Policy No. 24-01)

5. Non-Contributing Resources/Secondary/Spatial – These were constructed after the district’s period of significance or have been so heavily modified that they no longer contribute to the historic district’s character. These resources do not need to use traditional materials. New porch flooring/decking materials for these resources need to satisfy the criteria for compatible substitute material.

6. Compatible substitute materials for replacement porch flooring/decking – On buildings where a substitute material is acceptable under this policy, the material must satisfy the following criteria:

- It must match the dimensions and installation method (i.e.) of the existing material or a historically appropriate porch flooring, (e.g., boards must run perpendicular to the house for porches);
- It must be millable;
- It can be painted without voiding the product warranty; or,
 - Has a uniform appearance consistent with painted wood;
- It has a minimal (or no) stamped or embossed texture on the surface; and,
- It has a finished edge that appears as a cut solid board.

STAFF DISCUSSION

The subject property is located at the northern edge of the Capital View Park Historic District on Menlo Ave. The subject lot was platted in 1887. Staff’s estimates that a house was constructed on the property around c.1910 with several later additions. The house demolition was approved by the HPC in 2019 and the lot has been vacant ever since. The lot slopes steeply away from grade. The house immediately to the south of the subject property, at 10219 Menlo Ave., is infill construction that was approved by the HPC in 2004.³ To the north of the subject lot, is the Capitol View-Homewood Local Park. The applicant proposes to construct a single-family house on the lot.

The design elements for the proposed house are generally consistent with the concept of what was presented to the HPC at the August 18, 2024 Preliminary Consultation. As before, the design includes a monitor roof composed of two shed roof planes with the rear roof plane projecting above the lower front roof plane, creating a monitor or clerestory facing west (the front elevation).

In revising the design for the HAWP, the applicant has removed a portion of the second story and increased the roof pitch from 4:12 to 6:12. This change has removed all of the front-facing second floor windows, but enlarged the size of the monitor windows. The change in roof pitch also increased the overall height by approximately 2’ (two feet). Measuring the overall height of the house is challenging, because the lot slopes away from Menlo, so the finished level of the first floor is below street level. The roof ridge height is 27’ (twenty-seven) feet above the finished first floor, but based on the topographic lines, the house will be 21’ (twenty-one) feet above street level.

³ The file for the 2004 HAWP approval at 10219 Menlo Ave., Silver Spring is available here: https://mcatlas.org/tiles/06_HistoricPreservation_PhotoArchives/Padlock/HAR60640010/Box083/31-07-04H_Capitol%20View%20Historic%20District_10219%20Menlo%20Ave_09-10-2004.pdf.

The house will be covered in fiber cement board and batten siding, with an architectural shingle roof. Windows and doors are all vinyl-clad wood Andersen 400 Series. The windows are all single light casements, while the front door is fully glazed with sidelights, and there are sliding glass doors on the rear. The applicant proposes to use Trex decking on the rear deck with a steel railing with horizontal bars.

Several materials have been removed from the previous design including the Kawal translucent wall/roof system, the metal panels between the windows, and the green roof.



Figure 2: The proposed design (left) compared to the previous Preliminary Consultation (right).

Design

The house has a central entrance with a one-bay garage on the right. A window, matching the width of the garage door, is proposed to the left of the front door (see *Figure 2*, above). The right elevation has two rows of windows located on the rear half of the wall, while the left elevation has five rows of windows. The rear elevation includes two wide banks of windows, though the revised design removed the second story windows.

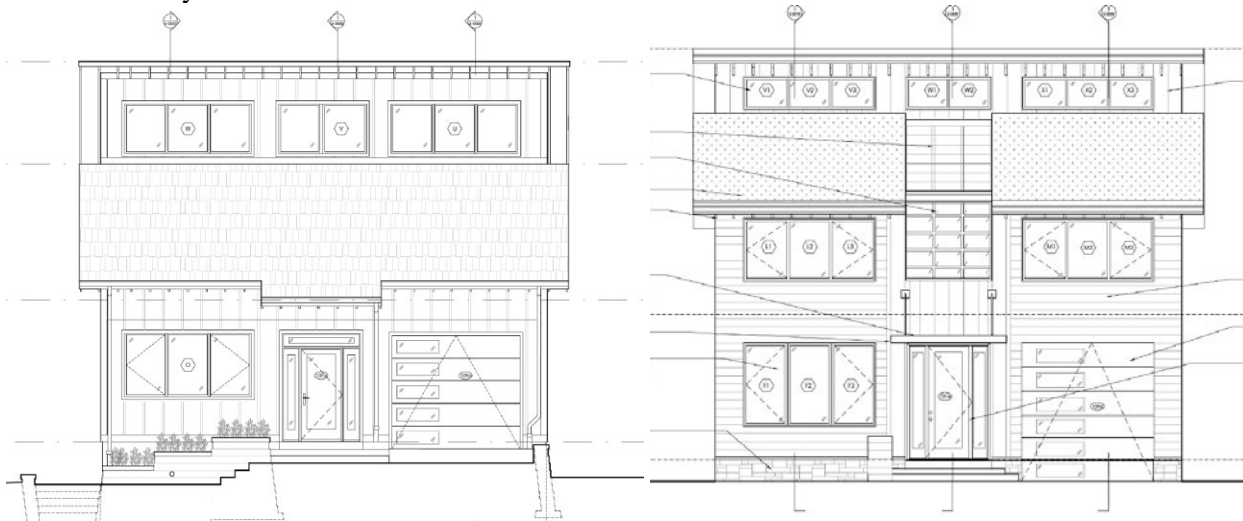


Figure 3: Revised front elevation (left) and previous proposal (right).

Staff finds the proposed design, though distinctly contemporary, will not detract from the character of the surrounding district. The roof form, window size and scale are all intended to stand apart from the historic buildings and historic building styles found throughout the historic district. Increasing the roof pitch also has the effect of reducing the house mass closer to the street. Staff finds the proposed house's siting, massing, proportions, and materials (all discussed below) and not necessarily its stylistic elements are what makes the proposed design appropriate under *Standard 9* which encourages compatibility while differentiating between new and historic elements.

Staff finds the current design balances the width of the front elevation openings, which creates an appearance with a more highly glazed percentage of wall surface. At the previous Preliminary Consultation, the commissioners were more concerned about the compatibility of the translucent wall/roof system and the green roof than the fenestration at the front. Staff finds the proposed fenestration on the left and right elevations has been simplified by eliminating the vertical metal panels between the windows and better stacked the window openings. Staff finds that the largely blank south (right) wall could benefit from additional fenestration, but also recognizes that the fenestration is consistent with the house's overall contemporary aesthetic and does not find it is necessary to add fenestration to this wall to find its design is compatible with the character of the district.

The Master Plan amendment creating the Capitol View Historic District identifies the district's significance as "exhibit[ing] most building styles "typical" in the development of suburban Montgomery County." That variety of styles leads Staff to find that no one style would be the correct solution for infill construction. Staff finds consideration of the factors discussed below is more important in determining the proposal's overall compatibility than an evaluation of specific design elements.

Based on these considerations, Staff finds the design of the proposed house appears to satisfy 24A-8(c) and (d) and *Standards 9 and 10*.

Size and Placement

The footprint of the proposed house remains nearly unchanged from the previous Preliminary Consultation. The current proposal is 48' × 34' 7" (forty-eight feet deep by thirty-four feet wide), which is 4' (four feet) deeper than the design presented at the Preliminary Consultation. As discussed at the previous Preliminary Consultation, this footprint does not provide as much opportunity to hide the house massing by taking advantage of the lot's steep grade change.

Staff finds the house width is generally consistent with the infill house next door, constructed c. 2006. As accurate construction drawings are unavailable for 10219 Menlo Ave., Staff does not have an accurate height for that building, but it appears to be near the zoning maximum of a 30' (thirty foot) average. Staff finds that the proposed 27' (twenty-seven foot tall) house height will not overwhelm its neighbors. The adjacent streetscape includes one, one-and-a-half-story, and two-story houses; and while the current proposal is relatively tall, it is not an outlier on this block. Staff also notes that the areas to the north and west are outside of the historic district and include a county park (on the north side) and two-story infill houses to the west.

At approximately 34' (thirty-four feet) wide, the proposed house is nearly the maximum allowed under code. The house will have an 8' (eight-foot) setback from the south property line and a 10' 5" (ten-foot, five inch) setback from the north property line. This is generally consistent with the width of the previous design reviewed and supported by the HPC. Based on Staff's review of the infill project at 10201 Menlo Ave. and analysis using GIS,⁴ Staff finds houses this width is fairly common in this section of the Capitol View Park Historic District.

Finally, Staff finds the proposed 25' (twenty-five foot) front setback is also generally consistent with the development pattern of the surrounding streetscape. On this block of Menlo Ave., front setbacks range from 22' (twenty-two feet) to 92' (ninety-two feet). The majority of the houses are between 25'–30' (twenty-five to thirty feet).

⁴ The Staff Report and application materials for the approved infill house at 10201 Menlo Ave., Silver Spring are available here: <https://montgomeryplanning.org/wp-content/uploads/2019/04/I.A-10201-Menlo-Avenue-Silver-Spring.pdf>.

Staff finds the size and proposed placement of the house are compatible with 24A-8(b)(2) and (d); *Standards #2, 9, and 10*; and the Master Plan Amendment creating the Capitol View Park Historic District.

Materials

Staff finds the proposed materials which consist mostly of:

- Concrete foundation;
- Fiber cement siding;
- Asphalt shingles; and
- Steel railing;

Are all generally consistent with materials found throughout the Capitol View Park Historic District for both historic construction and building additions and new construction. Staff finds these materials to be appropriate under 24A-8(b)(2) and (d) and *Standards #2 and 5*.

Staff finds that the HPC has generally found that fiber cement board and batten is an inappropriate substitute for wood board and batten on historic buildings, because its profile is too thin to replicate the woods dimensions. However, Staff finds this use of board and batten is in a contemporary context and that the narrower profile of the Hardie board and batten siding will not detract from the character of the site or surrounding district.

The materials the HPC does not usually consider are the vinyl-clad windows and the Trex decking. Both of these materials are frequently found to be incompatible with the character of the district due to their overall appearance. Vinyl window profiles are typically found to be too narrow to be a compatible substitute for wood windows and the vinyl exteriors are too shiny to be an acceptable substitute for a painted wood exterior. Additionally, Trex decking is usually found to be incompatible because its mottled finish is inconsistent with the appearance of natural wood decking and its heavily embossed texture does not accurately mimic the texture of wood.

Staff finds both of these materials are acceptable in this instance. The proposed house stands apart from the traditional architectural vocabulary employed elsewhere in the Capitol View Historic District. The intent of the proposed casement windows is to use narrow stiles and frames. This creates a more contemporary/modern appearance uses a profile that is more squared off and does not try to mimic a traditional wood molding or putty bevel profile.



Figure 4: A detail of the interior of the proposed 'Contemporary' window profile.

Under the HPC's *Adopted Policy for the Appropriateness of Substitute Materials for Porch and Deck*

Flooring, decks on non-contributing resources, particularly those not visible from the public right-of-way, are not required to use traditional materials or materials that satisfy the criteria for compatible substitute materials. Therefore, Trex is an acceptable material in this instance.

Staff finds the proposed materials are compatible with the character of the site and surrounding district under 24A-8(b)(2) and (d); *Standards* #2, 9, and 10; and the Master Plan Amendment creating the Capitol View Park Historic District.

Grading, Hardscaping, and Lot Coverage

Staff's final considerations are the excavation on site, rear patio, and the front driveway and walkway. The applicant proposes to cut into the hillside to excavate and level the area to accommodate the foundation and rear patio. The applicant states that equalizing the site will eliminate the need for additional fill and will eliminate the need for additional concrete retaining walls. Much of the area between topo lines 370 and 355, shown on the attached topographic survey, will be excavated to accommodate the construction. Staff found this amount of excavation was not incompatible with the character of the site and no commissioner objected to the excavation at the August 2024 Preliminary Consultation.

The driveway will be 25' (twenty-five feet) long and constructed out of stamped concrete. Adjacent to the driveway, the applicant proposes to construct a paved walkway to the north side of the house. To the rear of the house, the applicant proposes to construct a small patio that measures 12' × 12' (twelve feet by twelve feet). Detailed specification for the patio and walkway were not included with the submitted materials.

Staff finds the stamped concrete driveway will not detract from the character of the district and is modestly sized. Additionally, because parking off street is limited, a walkway to the front door is necessary. No materials were identified for the new walkway and materials specifications for the proposed driveway were not provided, however, the renderings show them constructed using the same concrete as the driveway. Staff recommends the HPC add a condition to the approval of this HAWP that detailed specifications for the proposed driveway and proposed walkway need to be submitted with the final permit plans before Staff can issue the approval documents. Final approval authority to ensure these materials are consistent with the character of the site and surrounding district can be delegated to Staff.

Staff finds the proposed patio will not be at all visible from the public right-of-way and, under 24A-8(d), it should be given a lenient review. The revised patio appears to have been reduced by approximately 80% (eighty percent). As with the driveway and walkway, Staff finds that a wide range of materials would be appropriate and Staff recommends the HPC add a condition to the approval of this HAWP requiring the applicant to submit that patio material with the final permitting documents.

By reducing the proposed patio, the applicant has also reduced the overall lot coverage from 24% (twenty-four percent) to 14% (fourteen percent). This is well below the R-60 maximum of 25% (twenty-five percent). Staff finds the overall lot coverage will not detract from the character of the lot or surrounding historic district.

Finally, the applicant will be required to take additional measures to address water runoff including, but not limited to drywells. These features will be below grade and will not have a visual impact on the character of the site or surrounding district, but Staff notes these features need to be noted the final site plan or as part of the sediment control permit. Staff recommends the HPC add a condition that these features must be shown on the final permit drawings with verification that this condition has been satisfied delegated to Staff.

With the recommended conditions, Staff finds the proposed grading, hardscaping, and landscaping are consistent with 24A-8(b)(2) and (d); *Standards #2, 9, and 10*; and the Master Plan Amendment creating the Capitol View Park Historic District.

STAFF RECOMMENDATIONS

Staff recommends that the Commission **approve with two conditions** the HAWP application with final approval authority can be delegated to Staff:

1. Detailed specifications for the proposed driveway and proposed walkway need to be submitted with the final HAWP before Staff can issue the final approval documents;
2. Drywells and any other runoff control measures must be noted on the final site plan or as part of the sediment control permit. Copies of those plans must be submitted to Staff for review before issuance of the final HAWP approval documents;

under the Criteria for Issuance in Chapter 24A-8(b)(2), and (d), and the, having found that the proposal will not substantially alter the exterior features of the historic resource and is compatible in character with the district and the purposes of Chapter 24A; and the *ADOPTED POLICY FOR THE APPROPRIATENESS OF SUBSTITUTE MATERIALS FOR PORCH AND DECK FLOORING*;

and with the *Secretary of the Interior's Standards for Rehabilitation #2, 9, and 10*;

and with the general condition that the applicant shall present an electronic set of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or dan.bruechert@montgomeryplanning.org to schedule a follow-up site visit.

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING [Owner, Owner's Agent, Adjacent and Confronting Property Owners]	
Owner's mailing address <div style="background-color: black; width: 100px; height: 15px; margin-bottom: 5px;"></div> 8532 Freyman Dr. #120 Chevy Chase, MD 20815	Owner's Agent's mailing address
Adjacent and confronting Property Owners mailing addresses	
10219 Menlo Ave Silver Spring, MD 20910	10222 Leslie St Silver Spring, MD 20902
	10220 Leslie St Silver Spring, MD 20910
10219 Grant Ave Silver Spring, MD 20910	10217 Menlo Ave Silver Spring, MD 20910

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

The lot is 50' wide by 210' long. It is the end lot on Menlo Ave as the boundary to the west. Forest Glen parkland is located to the north, and single family homes on lots of similar and smaller size are located to the east and south. The lot slopes from high to low from the west lot line towards a small creek that runs across the lot about 150' to the east. The remaining 60' from the creek to the east lot line is densely covered with trees and brush, and slopes steeply from low to high.

Description of Work Proposed: Please give an overview of the work to be undertaken:

We are proposing to construct a new single family home with a rear deck and patio. The program for the single family home includes a primary suite, guest suite, storage, screen porch on the basement level. A one-car garage, home office / guest suite, kitchen, dining and living room on the 1st floor. A flex room, bedroom suite and vaulted area on the 2nd floor. All three levels are connected by an interior stair and elevator.

The new single family home will be a modern "slip" or "multi-directional" shed roof style home with cement board V-groove siding, metal paneling, metal clad windows and doors, translucent wall & roof, metal overhangs, and glass railings.

Due to the sloping nature of the site, the home is tucked into the hill and has a two stories of height on the Menlo Ave elevation, while having a walk-out basement on the eastern side, allowing for three stories of height. The 1st floor has a wood deck off the rear, and the walk-out basement is connected to a tiered patio of permeable concrete pavers and dry-laid block retaining walls and landscaping. By equalizing the site we will eliminate the need to bring in additional soil, and can minimize the site disturbance area. This also eliminates the need for expensive concrete retaining walls.

The new single family home will contain many sustainable features, including a green roof and permeable pavers to help manage storm water on the site. The building is also to be constructed using modular techniques to minimize on site construction timing & construction waste, maximize efficiencies available. The construction techniques planned include installing a modular foundation system and factory built superstructure.

Work Item 1: Excavation / Storm Water Management

Description of Current Condition:

The lot slopes from high to low from the west lot line towards a small creek that runs across the lot about 150' to the east. The remaining 60' from the creek to the east lot line is densely covered with trees and brush, and slopes steeply from low to high.

Proposed Work:

Equalize the site by cutting out the hillside closest to Menlo Ave and using it to level out the rear patio.

The construction will contain many sustainable features, including a green roof and permeable pavers to help manage storm water on the site.

Work Item 2: New House

Description of Current Condition:

Construct a new single family structure.

Proposed Work:

The building is to be constructed using modular techniques to minimize construction waste and site disturbance, and maximize efficiencies. The techniques include using a modular foundation system and factory built superstructure.

Work Item 3: _____

Description of Current Condition:

Proposed Work:

HISTORIC AREA WORK PERMIT CHECKLIST OF APPLICATION REQUIREMENTS

	Required Attachments						
Proposed Work	1. Written Description	2. Site Plan	3. Plans/ Elevations	4. Material Specifications	5. Photographs	6. Tree Survey	7. Property Owner Addresses
New Construction	*	*	*	*	*	*	*
Additions/ Alterations	*	*	*	*	*	*	*
Demolition	*	*	*		*		*
Deck/Porch	*	*	*	*	*	*	*
Fence/Wall	*	*	*	*	*	*	*
Driveway/ Parking Area	*	*		*	*	*	*
Grading/Excavation/ Landscaping	*	*		*	*	*	*
Tree Removal	*	*		*	*	*	*
Siding/ Roof Changes	*	*	*	*	*		*
Window/ Door Changes	*	*	*	*	*		*
Masonry Repair/ Repoint	*	*	*	*	*		*
Signs	*	*	*	*	*		*



APPLICATION FOR
HISTORIC AREA WORK PERMIT
HISTORIC PRESERVATION COMMISSION
301.563.3400

FOR STAFF ONLY:

HAWP# _____

DATE ASSIGNED _____

APPLICANT:

Name: _____

E-mail: _____

Address: _____

City: _____ Zip: _____

Daytime Phone: _____

Tax Account No.: _____

AGENT/CONTACT (if applicable):

Name: _____

E-mail: _____

Address: _____

City: _____ Zip: _____

Daytime Phone: _____

Contractor Registration No.: _____

LOCATION OF BUILDING/PREMISE: MIHP # of Historic Property _____

Is the Property Located within an Historic District? Yes/District Name _____

No/Individual Site Name _____

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: _____ Street: _____

Town/City: _____ Nearest Cross Street: _____

Lot: _____ Block: _____ Subdivision: _____ Parcel: _____

TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:

- | | | |
|---|--|--|
| <input type="checkbox"/> New Construction | <input type="checkbox"/> Deck/Porch | <input type="checkbox"/> Shed/Garage/Accessory Structure |
| <input type="checkbox"/> Addition | <input type="checkbox"/> Fence | <input type="checkbox"/> Solar |
| <input type="checkbox"/> Demolition | <input type="checkbox"/> Hardscape/Landscape | <input type="checkbox"/> Tree removal/planting |
| <input type="checkbox"/> Grading/Excavation | <input type="checkbox"/> Roof | <input type="checkbox"/> Window/Door |
| | | <input type="checkbox"/> Other: _____ |

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent

Date

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
 [Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address	Owner's Agent's mailing address
Adjacent and confronting Property Owners mailing addresses	

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

Description of Work Proposed: Please give an overview of the work to be undertaken:

Work Item 1: _____	
Description of Current Condition:	Proposed Work:
Work Item 2: _____	
Description of Current Condition:	Proposed Work:
Work Item 3: _____	
Description of Current Condition:	Proposed Work:

HISTORIC AREA WORK PERMIT CHECKLIST OF APPLICATION REQUIREMENTS

	Required Attachments						
Proposed Work	I. Written Description	2. Site Plan	3. Plans/ Elevations	4. Material Specifications	5. Photographs	6. Tree Survey	7. Property Owner Addresses
New Construction	*	*	*	*	*	*	*
Additions/ Alterations	*	*	*	*	*	*	*
Demolition	*	*	*		*		*
Deck/Porch	*	*	*	*	*	*	*
Fence/Wall	*	*	*	*	*	*	*
Driveway/ Parking Area	*	*		*	*	*	*
Grading/Excavation/ Landscaping	*	*		*	*	*	*
Tree Removal	*	*		*	*	*	*
Siding/ Roof Changes	*	*	*	*	*		*
Window/ Door Changes	*	*	*	*	*		*
Masonry Repair/ Repoint	*	*	*	*	*		*
Signs	*	*	*	*	*		*

10221 Menlo Ave NE, Silver Spring, MD 20910; KEN GEAR RESIDENCE

Proposed Project Specifications:

- Two story single family house with basement, rear deck and patio.

Glazed full light entry door Images:



Notes:

- **Andersen 400 Series** inswing door
w/ U-V value = 0.40 & SHGC = 0.28
& SHGC = 0.16 or equal

Glass window Images:



Notes:

- **Andersen 400 series** casement clad
windows w/U-Value= 0.33 & SHGC
= 0.18 or equal

Deck Sliding Door Images:



Garage Door Images:



Notes:

- **Andersen 400 Series** sliding door w/ transom or equal

Notes:

Clopay Canyon Ridge modern garage door or equal

Siding Images:



Notes:

- **Jameshardie**® Trim Batten Boards or equal

Exterior Trim Images:



Notes:

- **Jameshardie**® 1x6 Fiber Cement Trim Board or equal

Roofing & Chimney Vent Images:



Notes:

- Asphalt architectural shingles – 30 years profile specification



Notes:

- **UI 103 HT 8"** DuraVent DuraPlus Galvanized Steel Chimney Components or equal

aggregate

architecture+design

1012 14th Street, NW Suite 915 Washington, DC 20005
Ph: 202.289.0053 / info@aggregatellc.com

Deck & Railing Images:



Notes:

- Steel railing with rods Notes



Screened Porch Images:

Notes:

- **Screeneze** flush mounted fixed screens or equal



Notes:

- 5 1/2" **Trex** transcend® lineage composite decking or equal

10221 Menlo Ave.

Silver Spring, MD 20910

PROJECT DESCRIPTION

CONSTRUCT NEW 2-STORY SINGLE FAMILY HOME WITH BASEMENT, CONSTRUCTION INCLUDES A REAR DECK AND REAR PATIO.

NOTE

ALL DIMENSIONS LISTED CORRELATE WITH THE DESIGN INTENTION. DO NOT SCALE DRAWINGS. IF ANY DIMENSIONS OR NOTES ARE IN QUESTION, REVIEW WITH ARCHITECT PRIOR TO PROCEEDING W/ WORK.

DRAWING INDEX

0001	COVER SHEET, PROJECT DESCRIPTION, LOCATION, DRAWING INDEX
0003	SITE PLAN
A-0001	PROPOSED PLAN & DOOR SCHEDULE
A-0002	PROPOSED PLAN & DOOR SCHEDULE
A-0003	PROPOSED PLAN & DOOR SCHEDULE
A-0004	ROOF PLAN & WINDOW SCHEDULE
A-0005	PROPOSED ELEVATIONS
A-0006	PROPOSED ELEVATIONS
A-0007	PROPOSED SECTION, DETAILS & NOTES
A-0008	PROPOSED SECTION & NOTES
A-0009	PROPOSED SECTION
A-0010	PROPOSED RENDERINGS

GENERAL INFO

OWNER:
KEN GEAR
8532 FREYMAN DR #120.
CHEVY CHASE, MD 20815

ARCHITECT:
AGGREGATE ARCHITECTURE +
DESIGN, PLLC
1308 9TH ST NW - SUITE 200
WASHINGTON, DC 20001
PH: 202.289.0053

ZONING INFO

LOT: 1
ZONE: R-60
EXIST. LOT AREA: 10275 SQ.F.T
EXIST. LOT OCC: N/A
PROPOSED LOT OCC: 14.0%
MAX LOT OCC: 25%

CODE REVIEW INFO.

ALL WORK UNDER THIS CONTRACT SHALL COMPLY WITH THE PROVISIONS OF THE SPECS & DRAWINGS, & SHALL SATISFY ALL APPLICABLE CODES, ORDINANCES AND REGULATIONS OF ALL GOVERNING BODIES INVOLVED. ALL PERMITS, LICENSES & INSURANCE NECESSARY FOR THE PROPER EXECUTION OF WORK SHALL BE SECURED & PAID FOR BY THE GENERAL CONTRACTOR. APPLICABLE CODES INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING:
2018 INTERNATIONAL RESIDENTIAL CODE (IRC)
2018 INTERNATIONAL FIRE PREVENTION CODE (IFC)
2018 MECHANICAL CODE (IMC)
2018 INTERNATIONAL PLUMBING CODE (IPC)
2017 INTERNATIONAL ELECTRIC CODE (IEC)
2018 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)

BUILDING DATA

	EXIST. BUILDING	PROP. ALTERATION
IRC OCCUPANCY CLASSIFICATION	N/A	R-3
TYPE OF CONSTRUCTION	N/A	V-B
NUMBER OF STORIES ABOVE GRADE	N/A	2
GROSS AREA OF PROPOSED HOUSE	N/A	3492.7 SQ.F.T



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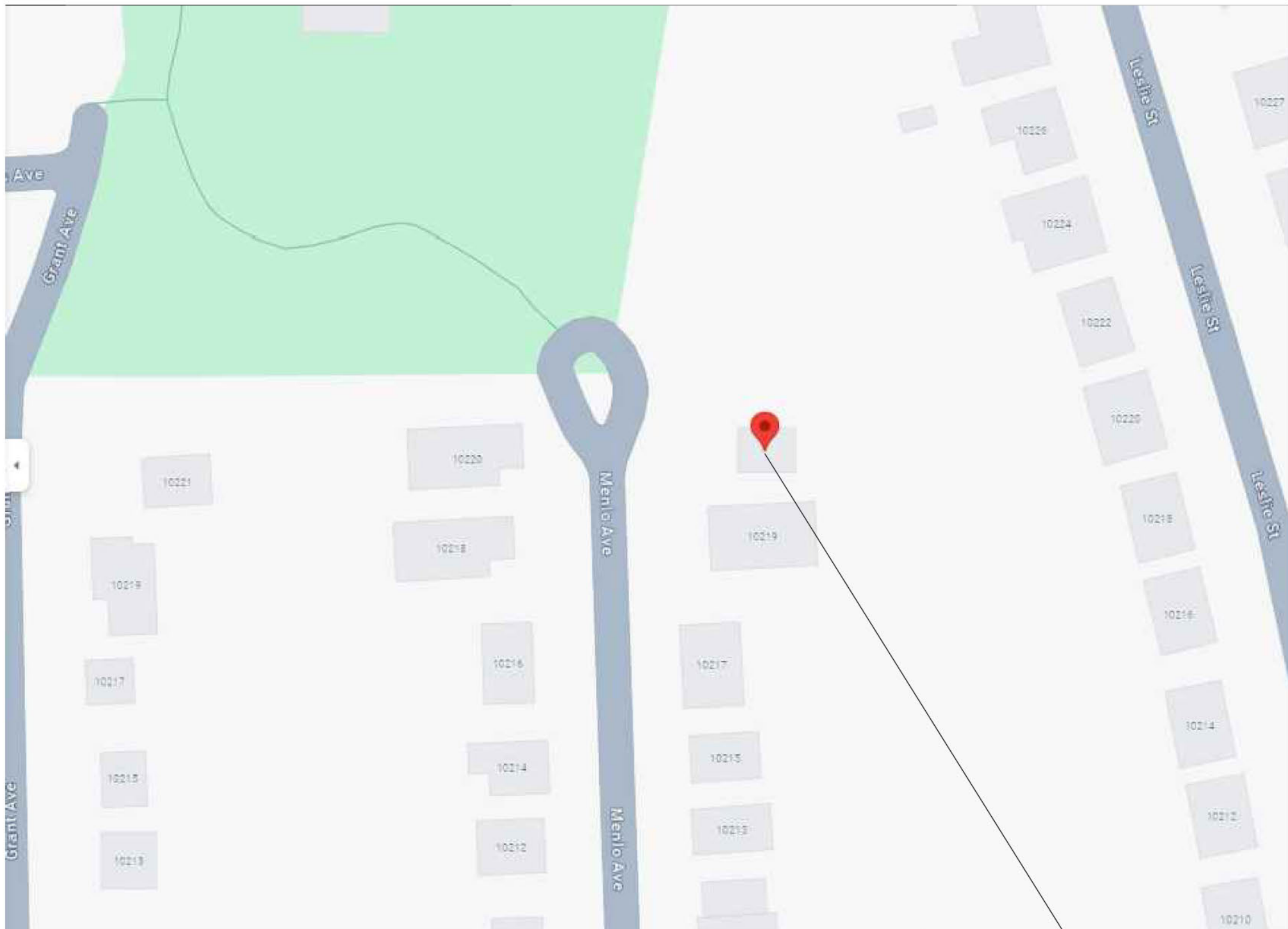
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PROJECT NO:	2024-06

COVER
DRAWING
SHEET

0001



1 SITE LOCATION PLAN
SCALE: NONE

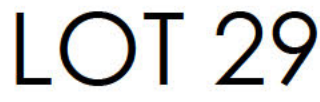
PROPERTY LOCATION



2 EXISTING SITE
SCALE: NONE

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LOT 30

MENLO
AVENUE
(40' R/W)

LOT 1

2- STORY
HOUSE W/ BASEMENT

LOT 2

1 SITE PLAN
SCALE: 1/8" = 1'-0"

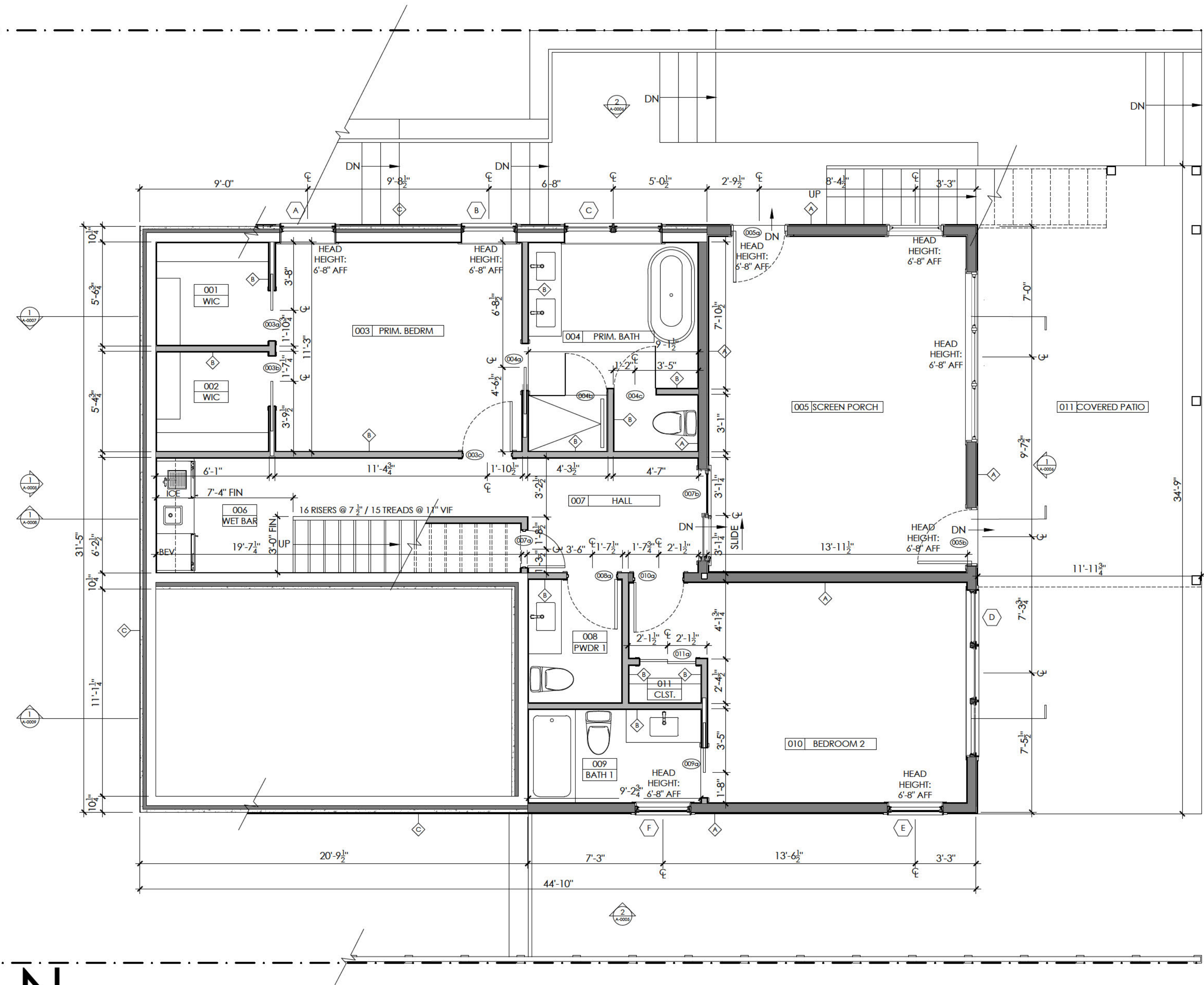


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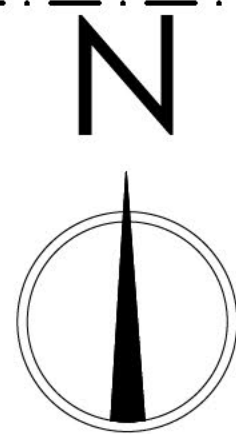
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1 BASEMENT FLOOR PLAN
SCALE: 1/4" = 1'-0"



WALL KEY	
	NEW 2X6 WALL FRAMING
	NEW 2X4 WALL FRAMING
	SUPERIOR WALL SYSTEM FOUNDATION

DOOR SCHEDULE											
DOOR DESCRIPTION							FRAME			HARDWARE	COMMENTS
NO.	WIDTH	HEIGHT	THK	MAT.	FINISH	QTY	MAT.	CASING	FINISH		
003a	2'-8"	6'-8"	1 3/4"	WOOD	PAINTED	01	WOOD	SANITARY	PAINTED	POCKET	MASONITE FLUSH PRE-FINISHED DOOR W/WOOD STAVE CORE DOOR OR EQUAL-COLOR TBD
003b	2'-8"	6'-8"	1 3/4"	WOOD	PAINTED	01	WOOD	SANITARY	PAINTED	POCKET	MASONITE FLUSH PRE-FINISHED DOOR W/WOOD STAVE CORE DOOR OR EQUAL-COLOR TBD
003c	2'-8"	6'-8"	1 3/4"	WOOD	PAINTED	01	WOOD	SANITARY	PAINTED	PRIVACY	MASONITE FLUSH PRE-FINISHED DOOR W/WOOD STAVE CORE DOOR OR EQUAL-COLOR TBD
004a	2'-8"	6'-8"	1 3/4"	WOOD	PAINTED	01	WOOD	SANITARY	PAINTED	POCKET	MASONITE FLUSH PRE-FINISHED DOOR W/WOOD STAVE CORE DOOR OR EQUAL-COLOR TBD
004b	2'-4"	6'-8"	N/A	GLASS	N/A	01	N/A	N/A	N/A	SHOWER	TEMPERED GLASS DOOR W/ <u>CRL FRAMELESS HARDWARE</u> OR EQUAL
004c	2'-4"	6'-8"	N/A	GLASS	N/A	01	N/A	N/A	N/A	SHOWER	TEMPERED GLASS DOOR W/ <u>CRL FRAMELESS HARDWARE</u> OR EQUAL
005a	2'-8"	7'-2"	1 1/8"	WOOD	PAINTED	01	WOOD	SANITARY	PAINTED	ENTRY	MEADOW WOOD HINGED SCREEN DOOR OR EQUAL
005b	2'-8"	7'-2"	1 1/8"	WOOD	PAINTED	01	WOOD	SANITARY	PAINTED	ENTRY	MEADOW WOOD HINGED SCREEN DOOR OR EQUAL
007a	2'-0"	6'-8"	1 3/4"	WOOD	PAINTED	01	WOOD	SANITARY	PAINTED	PASSAGE	MASONITE FLUSH PRE-FINISHED DOOR W/WOOD STAVE CORE DOOR OR EQUAL-COLOR TBD
007b	5'-0"	6'-8"	1 3/4"	COMP. CLAD	PAINTED	01	WOOD	SANITARY	PAINTED	SLIDING	ANDERSEN 400 SERIES FRENCHWOOD GLIDING PATIO DOOR MODEL #FWGS068L OR EQUAL
008a	2'-8"	6'-8"	1 3/4"	WOOD	PAINTED	01	WOOD	SANITARY	PAINTED	PRIVACY	MASONITE FLUSH PRE-FINISHED DOOR W/WOOD STAVE CORE DOOR OR EQUAL-COLOR TBD
009a	2'-8"	6'-8"	1 3/4"	WOOD	PAINTED	01	WOOD	SANITARY	PAINTED	POCKET	MASONITE FLUSH PRE-FINISHED DOOR W/WOOD STAVE CORE DOOR OR EQUAL-COLOR TBD
010a	2'-8"	6'-8"	1 3/4"	WOOD	PAINTED	01	WOOD	SANITARY	PAINTED	PRIVACY	MASONITE FLUSH PRE-FINISHED DOOR W/WOOD STAVE CORE DOOR OR EQUAL-COLOR TBD
011a	3'-0"	6'-8"	1 3/4"	WOOD	PAINTED	02	WOOD	SANITARY	PAINTED	SLIDING	MASONITE FLUSH PRE-FINISHED DOOR W/WOOD STAVE CORE DOOR OR EQUAL-COLOR TBD

NOTE: ALL GLAZING IN HAZARDOUS LOCATIONS AS DEFINED BY IBC 2406.3 SHALL BE SAFETY GLAZING AND BE LABELED PER IBC 2406.

NOTE: VERIFY ALL DIMENSIONS IN FIELD.

NOTE: PROTECT WINDOWS # F L U AC AK WITH A WATER CURTAIN USING AUTOMATIC SPRINKLERS APPROVED FOR THAT USE PER IBC TABLE 705.8 & IBC 705.8.2 EXCEPTION

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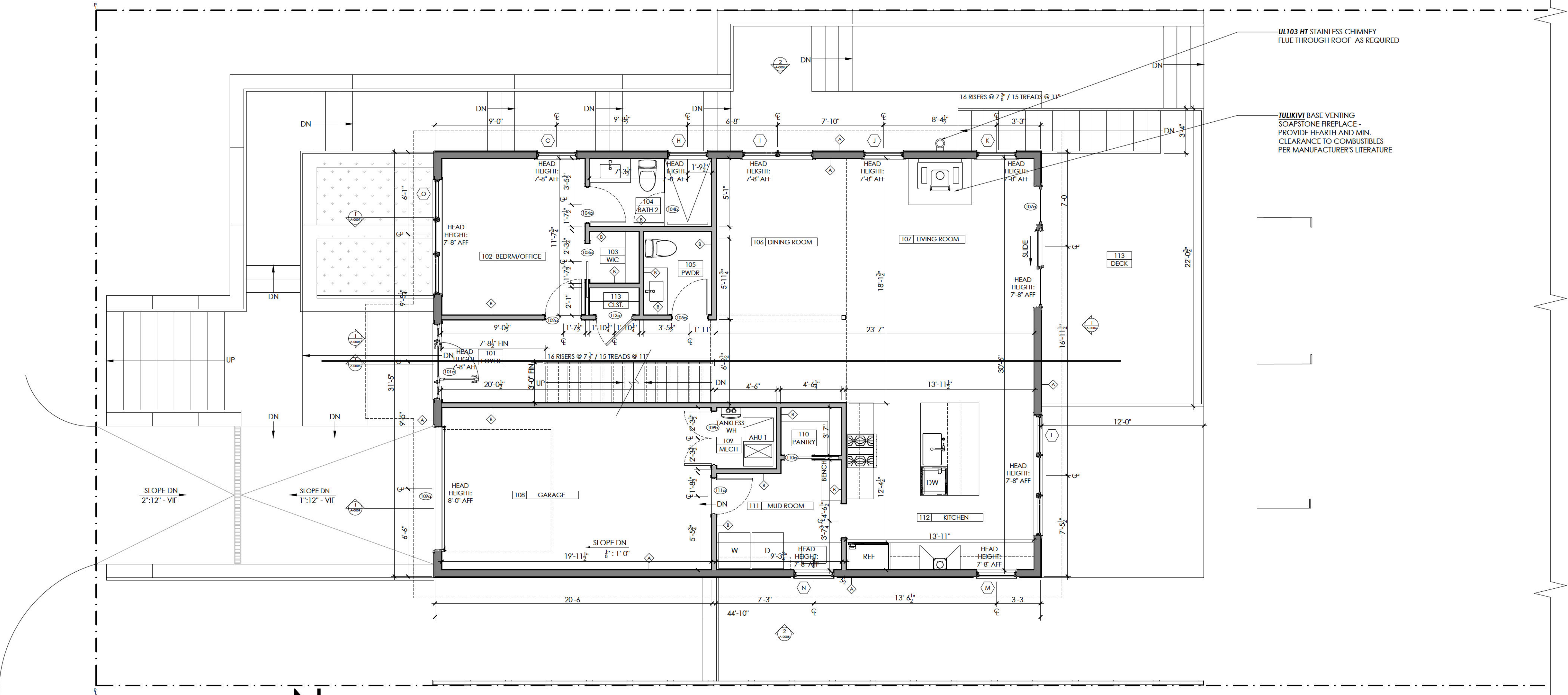
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PROPOSED
PLAN & DOOR
SCHEDULE

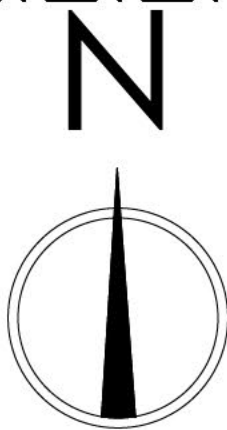
A-0001

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1 GROUND FLOOR PLAN
SCALE: 1/4" = 1'-0"



WALL KEY	
	NEW 2X6 WALL FRAMING
	NEW 2X4 WALL FRAMING
	SUPERIOR WALL SYSTEM FOUNDATION

DOOR SCHEDULE											
DOOR DESCRIPTION							FRAME			HARDWARE	COMMENTS
NO.	WIDTH	HEIGHT	THK	MAT.	FINISH	QTY	MAT.	CASING	FINISH		
101a	3'-0"	6'-8"	1 3/4"	COMP. CLAD	PAINTED	01	N/A	N/A	N/A	PRIVACY	ANDERSEN 400 SERIES FRENCHWOOD PATIO HINGED DOOR MODEL #FWH3168AR W/ 1'-0" TRANSOM & 1'-2" SIDELIGHTS OR EQUAL
102a	2'-8"	6'-8"	1 3/4"	WOOD	PAINTED	01	WOOD	SANITARY	PAINTED	PRIVACY	MASONITE FLUSH PRE-FINISHED DOOR W/WOOD STAVE CORE DOOR OR EQUAL-COLOR TBD
103a	2'-8"	6'-8"	1 3/4"	WOOD	PAINTED	01	WOOD	SANITARY	PAINTED	POCKET	MASONITE FLUSH PRE-FINISHED DOOR W/WOOD STAVE CORE DOOR OR EQUAL-COLOR TBD
104a	2'-8"	6'-8"	1 3/4"	WOOD	PAINTED	01	WOOD	SANITARY	PAINTED	PRIVACY	MASONITE FLUSH PRE-FINISHED DOOR W/WOOD STAVE CORE DOOR OR EQUAL-COLOR TBD
104b	2'-4"	6'-8"	N/A	GLASS	N/A	01	N/A	N/A	N/A	SHOWER	TEMPERED GLASS DOOR W/ <u>CRL FRAMELESS HARDWARE</u> OR EQUAL
105a	2'-8"	6'-8"	1 3/4"	WOOD	PAINTED	01	WOOD	SANITARY	PAINTED	PRIVACY	MASONITE FLUSH PRE-FINISHED DOOR W/WOOD STAVE CORE DOOR OR EQUAL-COLOR TBD
107a	9'-3"	8'-0"	1 3/4"	COMP. CLAD	PAINTED	01	WOOD	SANITARY	PAINTED	SLIDING	ANDERSEN 400 SERIES FRENCHWOOD GLIDING PATIO DOOR MODEL#FWG6068R & MODEL #FWG3368S MULLED TOGETHER W/ 1'-4" CUSTOM TRANSOM W/U-VALUE = 0.25 & SHGC = 0.16 OR EQUAL
109a	9'-0"	8'-0"	2"	WOOD	CLAD	01	N/A	N/A	N/A	PRIVACY	NEW <u>CLOPAY</u> CANYON RIDGE MODERN GARAGE DOOR OR EQUAL
109b	2'-0"	6'-8"	1 3/4"	WOOD	PAINTED	02	WOOD	SANITARY	PAINTED	PASSAGE	MASONITE EXTERIOR WOOD FLUSH DOOR W/WOOD STAVE CORE DOOR OR EQUAL-COLOR TBD
110a	2'-0"	6'-8"	1 3/4"	WOOD	PAINTED	01	WOOD	SANITARY	PAINTED	POCKET	MASONITE FLUSH PRE-FINISHED DOOR W/WOOD STAVE CORE DOOR OR EQUAL-COLOR TBD
111a	2'-8"	6'-8"	1 3/4"	WOOD	PAINTED	01	WOOD	SANITARY	PAINTED	PRIVACY	MASONITE EXTERIOR WOOD FLUSH DOOR W/WOOD STAVE CORE DOOR OR EQUAL-COLOR TBD
113a	2'-8"	6'-8"	1 3/4"	WOOD	PAINTED	01	WOOD	SANITARY	PAINTED	PASSAGE	MASONITE FLUSH PRE-FINISHED DOOR W/WOOD STAVE CORE DOOR OR EQUAL-COLOR TBD
NOTE: ALL GLAZING IN HAZARDOUS LOCATIONS AS DEFINED BY IBC 2406.3 SHALL BE SAFETY GLAZING AND BE LABELED PER IBC 2406.							NOTE: VERIFY ALL DIMENSIONS IN FIELD.				NOTE: PROTECT WINDOWS # F L U AC AK WITH A WATER CURTAIN USING AUTOMATIC SPRINKLERS APPROVED FOR THAT USE PER IBC TABLE 705.8 & IBC 705.8.2 EXCEPTION

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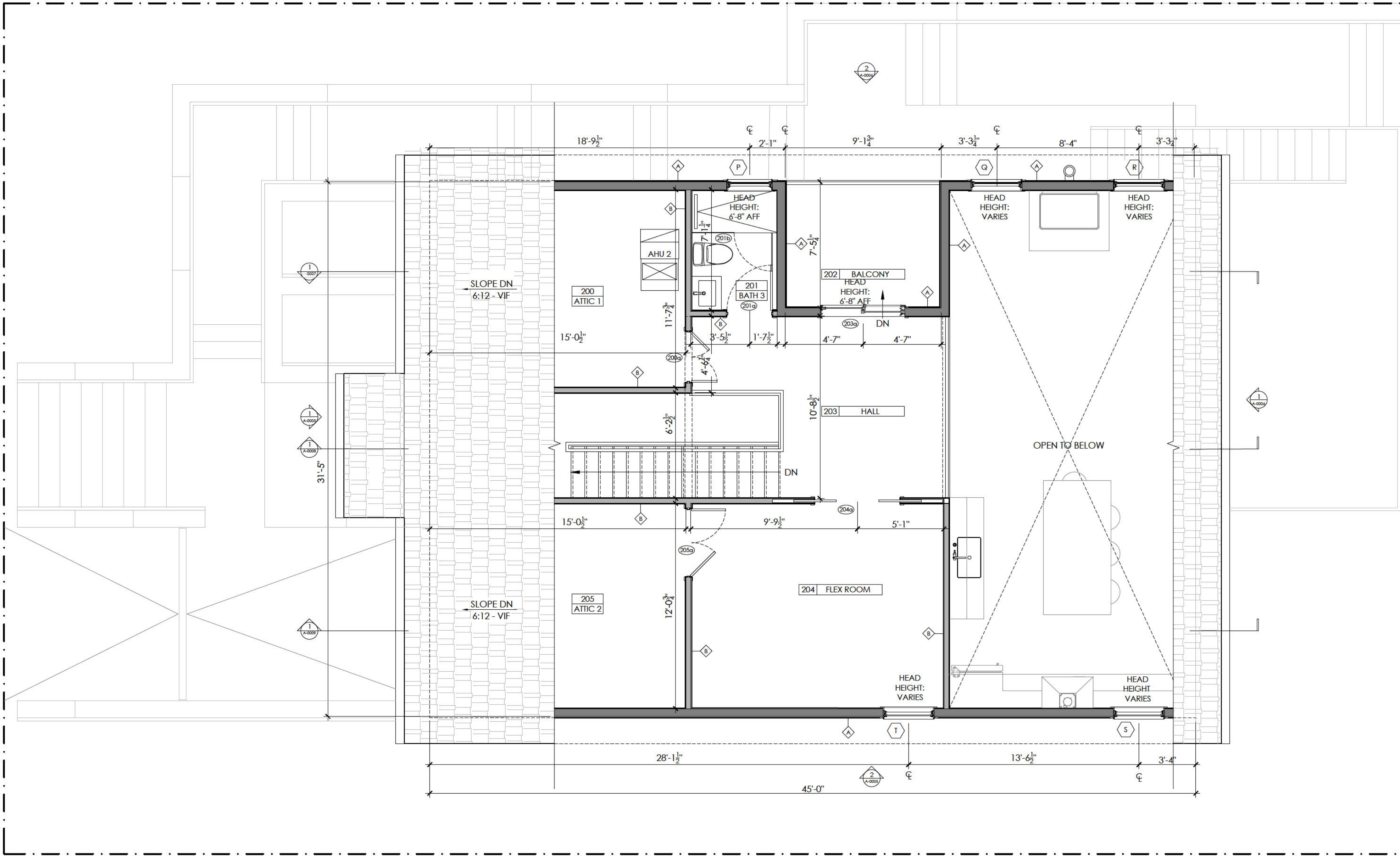
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PROJECT NO:	2024-06

PROPOSED
PLAN & DOOR
SCHEDULE

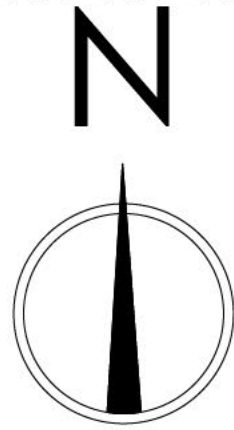
A-0002

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NOT FOR CONSTRUCTION



1 LOFT FLOOR PLAN
SCALE: 1/4" = 1'-0"



WALL KEY		
	NEW 2X6 WALL FRAMING	
	NEW 2X4 WALL FRAMING	
	SUPERIOR WALL SYSTEM FOUNDATION	

DOOR SCHEDULE										
DOOR DESCRIPTION							FRAME			HARDWARE
NO.	WIDTH	HEIGHT	THK	MAT.	FINISH	QTY	MAT.	CASING	FINISH	COMMENTS
200a	2'-0"	6'-8"	1 3/4"	WOOD	PAINTED	02	WOOD	SANITARY	PAINTED	PRIVACY
201a	2'-8"	6'-8"	1 3/4"	WOOD	PAINTED	01	WOOD	SANITARY	PAINTED	PRIVACY
201b	2'-4"	6'-8"	N/A	GLASS	N/A	01	N/A	N/A	N/A	SHOWER
203a	5'-0"	6'-8"	1 3/4"	COMP.-CLAD	PAINTED	01	WOOD	SANITARY	PAINTED	SLIDING
204a	5'-0"	6'-8"	1 3/4"	WOOD	PAINTED	01	WOOD	SANITARY	PAINTED	POCKET
205a	2'-0"	6'-8"	1 3/4"	WOOD	PAINTED	02	WOOD	SANITARY	PAINTED	PRIVACY
NOTE: ALL GLAZING IN HAZARDOUS LOCATIONS AS DEFINED BY IBC 2406.3 SHALL BE SAFETY GLAZING AND BE LABELED PER IBC 2406.							NOTE: VERIFY ALL DIMENSIONS IN FIELD.			NOTE: PROTECT WINDOWS #F L U AC AK WITH A WATER CURTAIN USING AUTOMATIC SPRINKLERS APPROVED FOR THAT USE PER IBC TABLE 705.8 & IBC 705.8.2 EXCEPTION

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PROPOSED
PLAN & DOOR
SCHEDULE

A-0003


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N

A simple compass rose with a circle and a vertical line pointing upwards, labeled 'N' at the top.

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architecture+design
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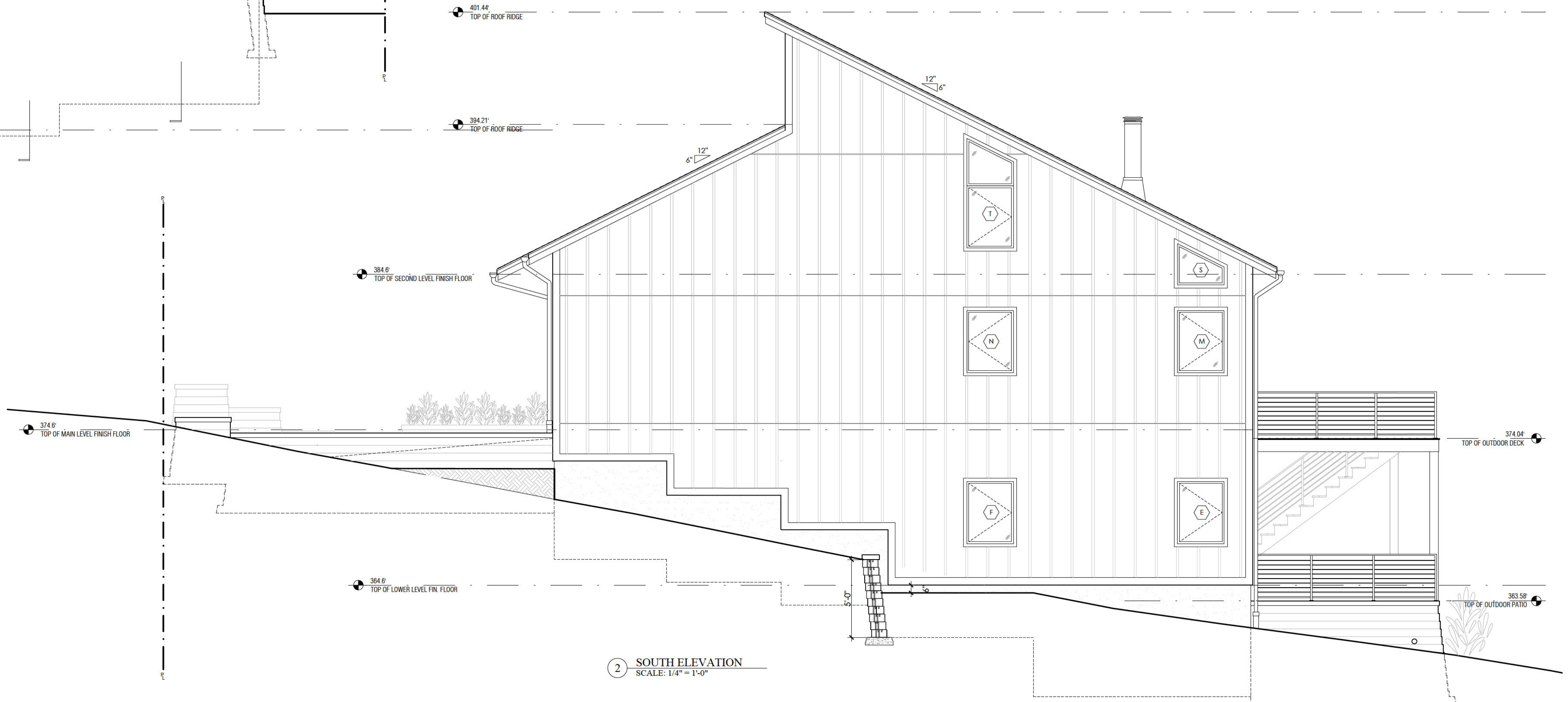
ROOF PLAN & WINDOW SCHEDULE

A-0004

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1 WEST ELEVATION
SCALE: 1/4" = 1'-0"



2 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

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PROPOSED
ELEVATIONS

A-0005


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NOT FOR CONSTRUCTION



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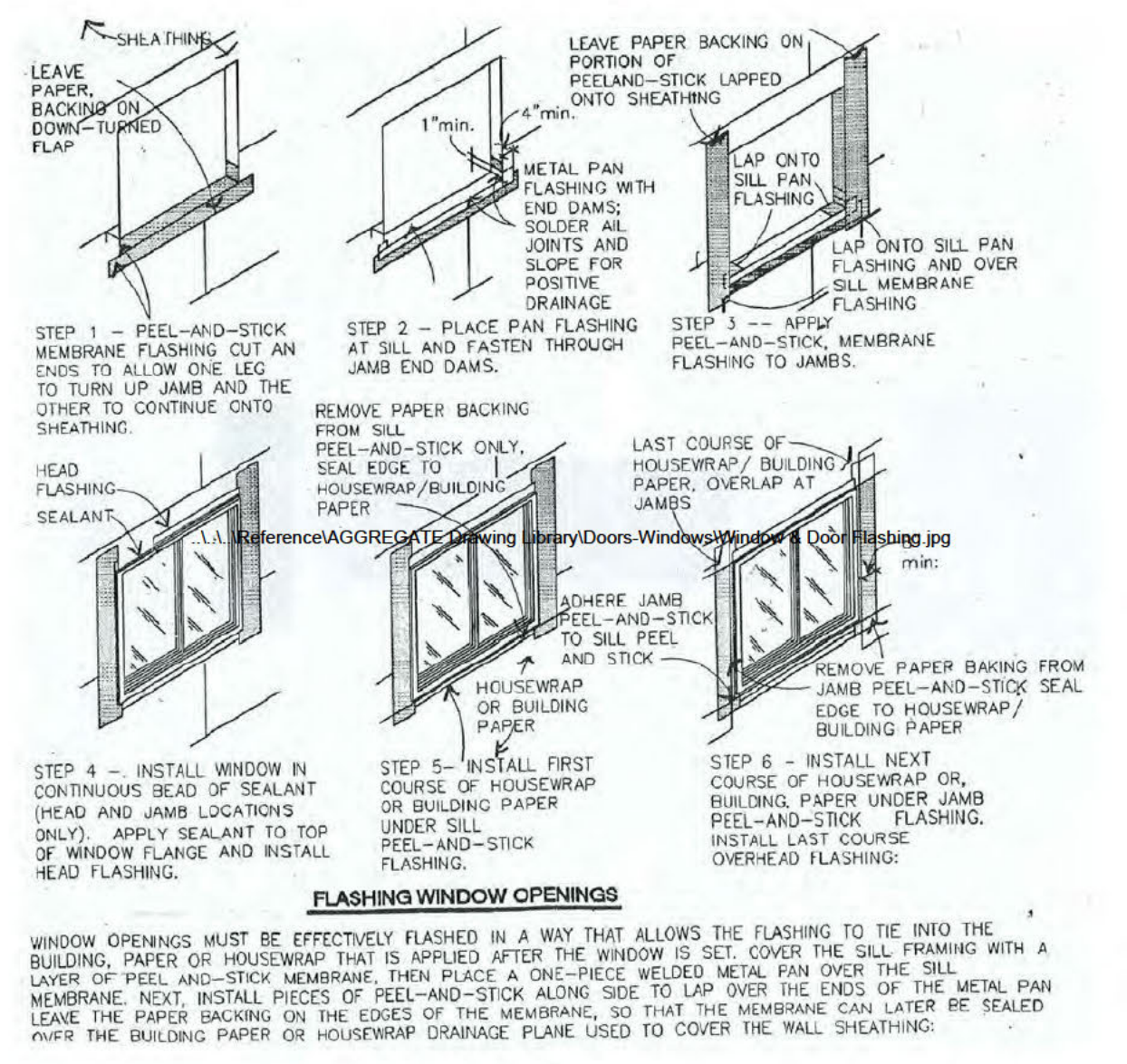
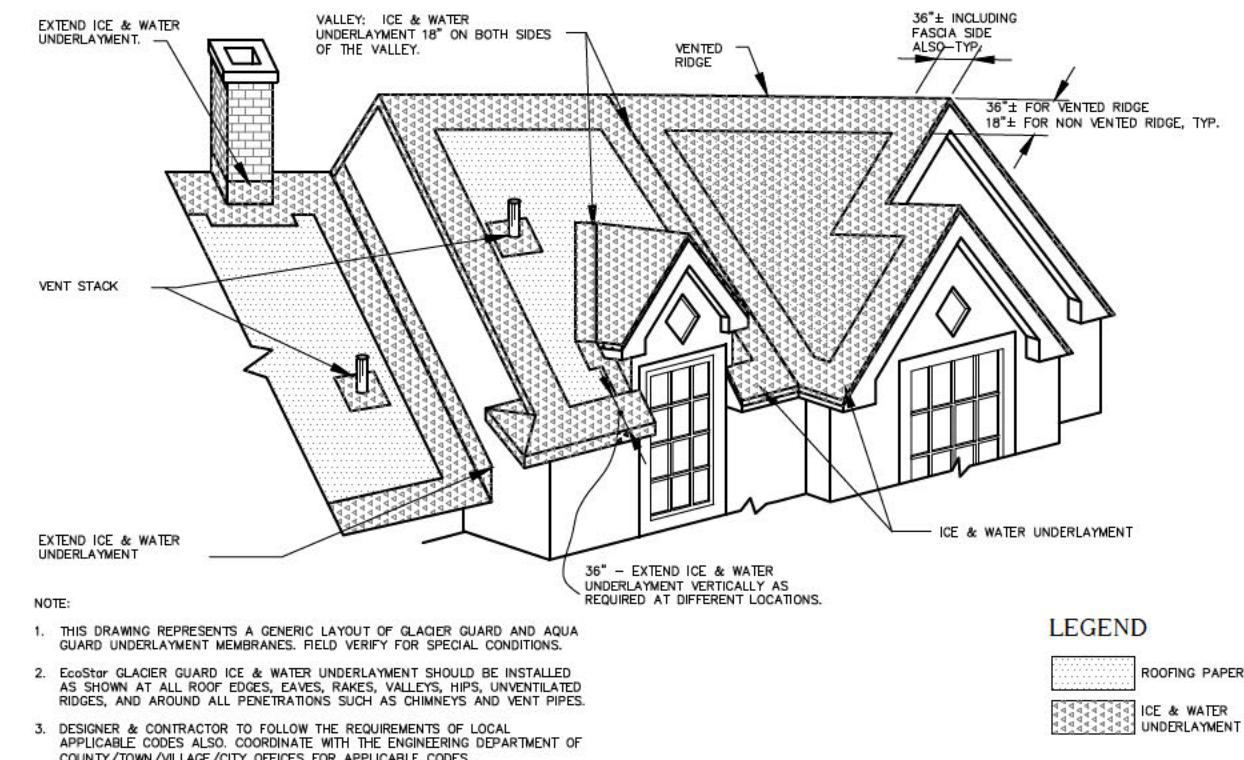
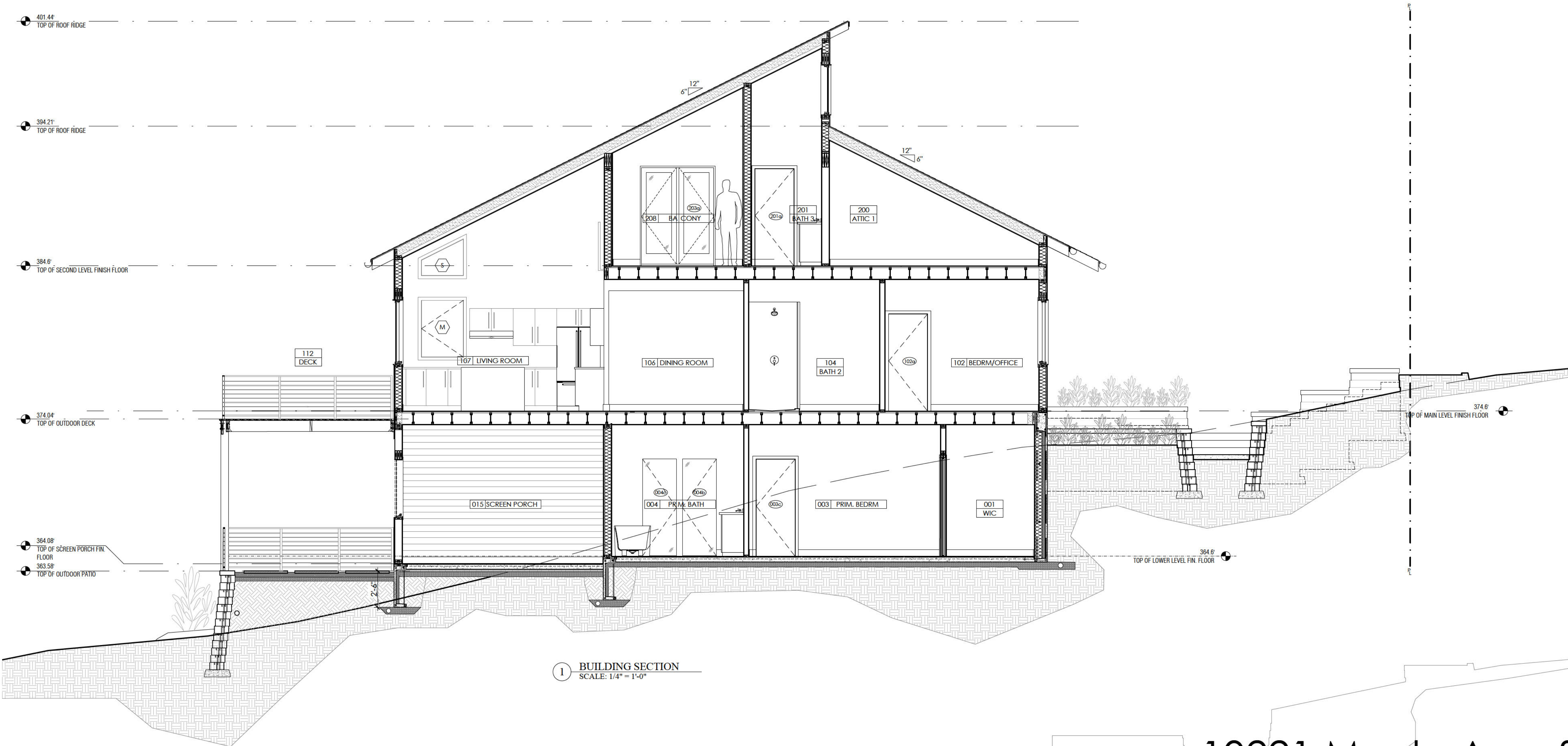
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PROPOSED ELEVATIONS


A-0006

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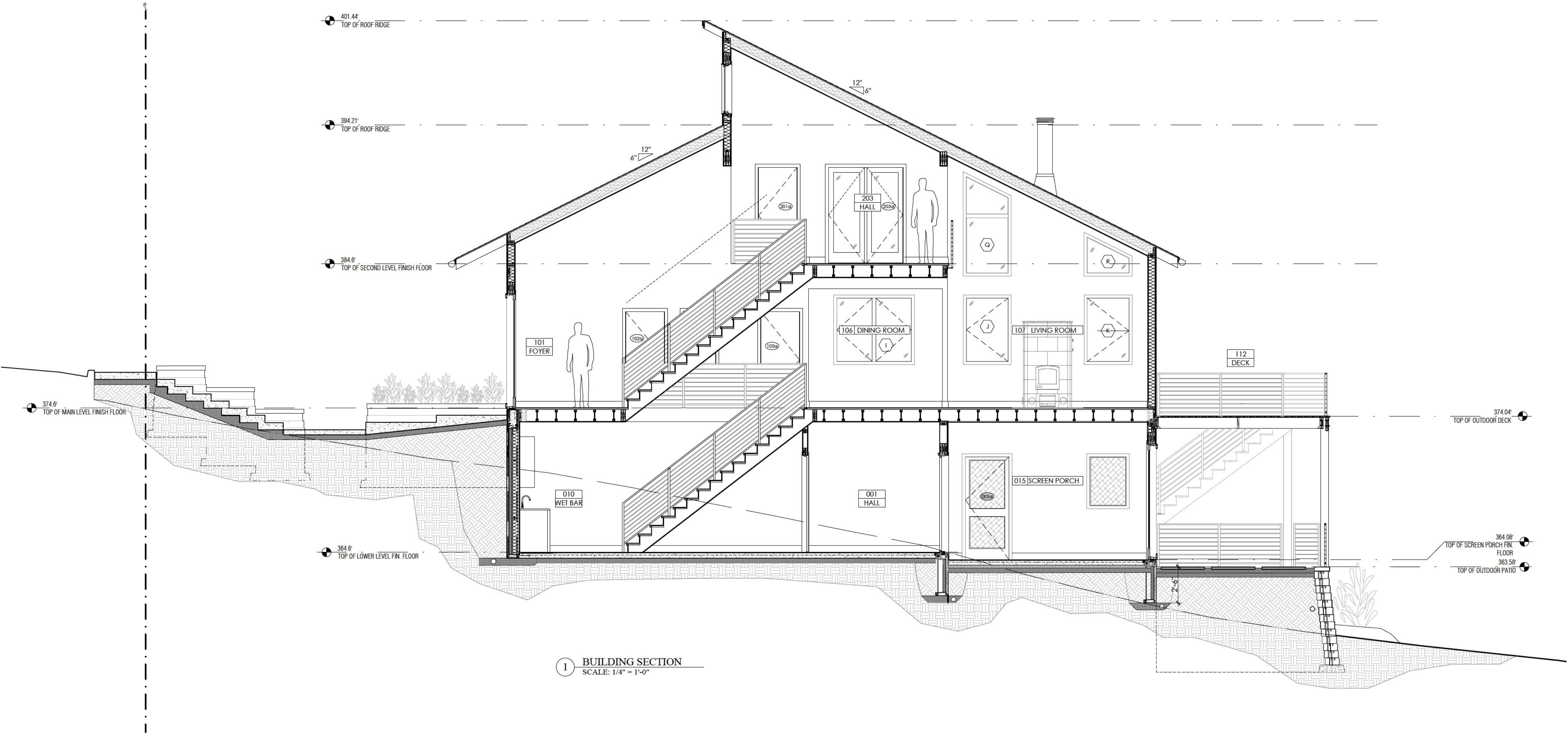
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	CHECKED BY:MF / LWF	
	PROJECT NO:2024-06	
PROPOSED SECTION, DETAILS & NOTES		
A-0007		

AIR BARRIER AND INSULATION INSTALLATION	
COMPONENT	CRITERIA
AIR BARRIER AND THERMAL BARRIER	A CONTINUOUS AIR BARRIER SHALL BE INSTALLED IN THE BUILDING ENVELOPE. EXTERIOR THERMAL ENVELOPE CONTAINS A CONTINUOUS AIR BARRIER. BREAKS OR JOINTS IN THE AIR BARRIER SHALL BE SEALED.
CEILING / ATTIC	THE AIR BARRIER IN ANY DROPPED CEILING / SOFFIT SHALL BE ALIGNED WITH THE INSULATION AND ANY GAPS IN THE AIR BARRIER SEALED. ACCESS OPENINGS DROP DOWN STAIR OR KNEE WALL DOORS TO UNCONDITIONED ATTIC SPACES SHALL BE SEALED.
WALLS	CORNERS AND HEADERS SHALL BE INSULATED AND THE JUNCTION OF THE FOUNDATION AND SILL PLATE SHALL BE SEALED. THE JUNCTION OF THE TOP PLATE AND TOP OF EXTERIOR WALLS SHALL BE SEALED. EXTERIOR THERMAL ENVELOPE INSULATION FOR FRAMED WALLS SHALL BE INSTALLED IN SUBSTANTIAL CONTACT AND CONTINUOUS ALIGNMENT WITH THE AIR BARRIER. KNEE WALLS SHALL BE SEALED.
WINDOWS SKYLIGHTS AND DOORS	THE SPACE BETWEEN WINDOW / DOOR JAMBS AND FRAMING AND SKYLIGHTS AND FRAMING SHALL BE SEALED.
RIM JOISTS	RIM JOISTS SHALL BE INSULATED AND INCLUDE THE AIR BARRIER.
FLOORS (INCLUDING ABOVE-GARAGE AND CANTILEVERED FLOORS)	INSULATION SHALL BE INSTALLED TO MAINTAIN PERMANENT CONTACT WITH THE UNDERSIDE OF SUBFLOOR DECKING. THE AIR BARRIER SHALL BE INSTALLED AT ANY EXPOSED EDGE INSULATION.
CRAWL SPACE WALLS	WHERE PROVIDED IN LIEU OF FLOOR INSULATION INSULATION SHALL BE PERMANENTLY ATTACHED TO THE CRAWL SPACE WALLS. EXPOSED EARTH IN UNVENTED CRAWL SPACES SHALL BE COVERED WITH A CLASS I VAPOR RETARDER WITH OVERLAPPING JOINTS TAPED.
SHAFTS PENETRATIONS	DUCT SHAFTS UTILITY PENETRATIONS AND FLUE SHAFTS OPENING TO EXTERIOR OR UNCONDITIONED SPACE SHALL BE SEALED.
NARROW CAVITIES	BATTS IN NARROW CAVITIES SHALL BE CUT TO FIT OR NARROW CAVITIES SHALL BE FILLED INSULATION THAT ON INSTALLATION READILY CONFORMS TO THE AVAILABLE CAVITY SPACE.
GARAGE SEPARATION	AIR SEALING SHALL BE PROVIDED BETWEEN THE GARAGE AND CONDITIONED SPACES.
RECESSED LIGHTING	RECESSED LIGHT FIXTURES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE AIR TIGHT IC RATED AND SEALED TO THE DRYWALL.
PLUMBING & WIRING	BATT INSULATION SHALL BE CUT NEATLY TO FIT AROUND WIRING AND PLUMBING IN EXTERIOR WALLS OR INSULATION THAT ON INSTALLATION READILY CONFORMS TO AVAILABLE SPACE SHALL EXTEND BEYOND PIPING AND WIRING.
SHOWER / TUB ON EXTERIOR WALL	EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL BE INSULATED AND THE AIR BARRIER INSTALLED SEPARATING THEM FROM THE SHOWERS AND TUBS.
ELECTRICAL / PHONE BOX ON EXTERIOR WALLS	THE AIR BARRIER SHALL BE INSTALLED BEHIND ELECTRICAL OR COMMUNICATION BOXES OR AIR SEALED BOXES SHALL BE INSTALLED.
HVAC REGISTER BOOTS	HVAC REGISTER BOOTS THAT PENETRATE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE SUBFLOOR OR DRYWALL.
FIREPLACE	AN AIR BARRIER SHALL BE INSTALLED ON FIREPLACE WALLS. FIREPLACES SHALL HAVE GASKETED DOORS.

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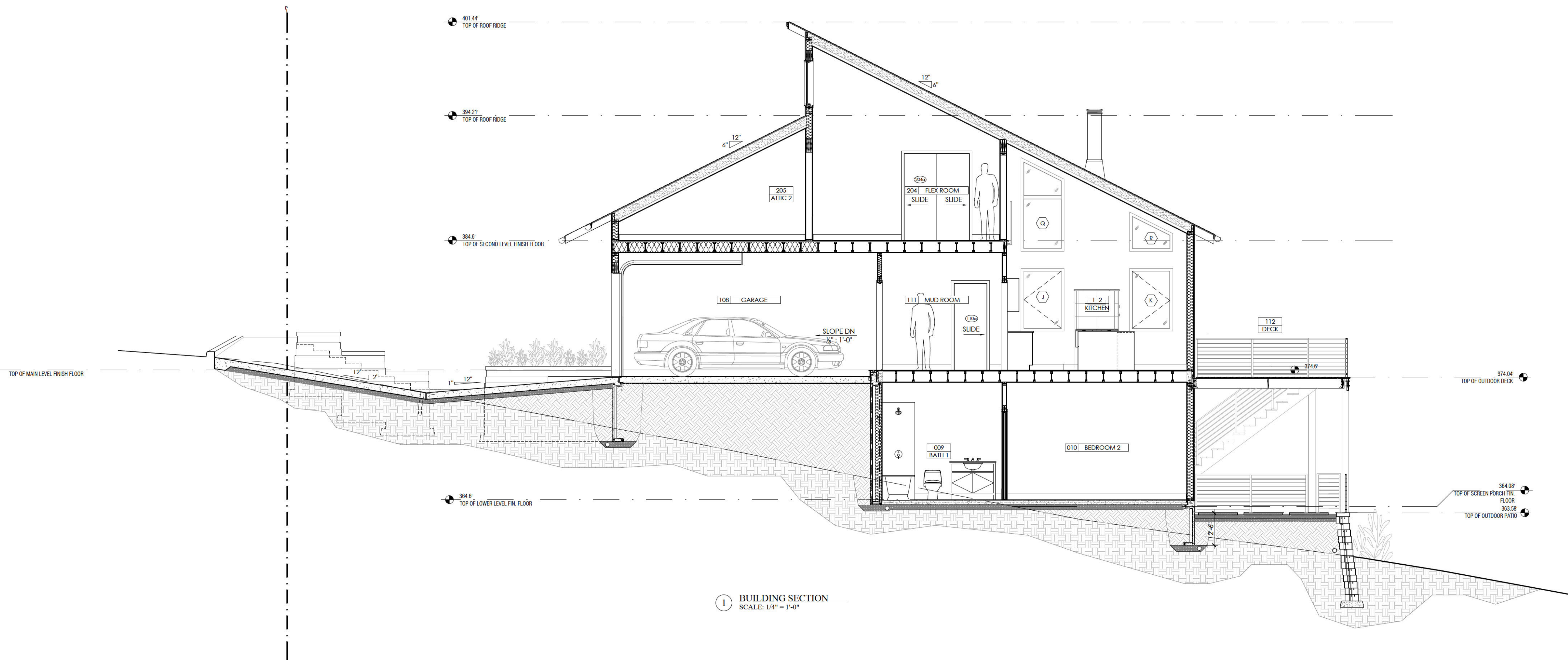
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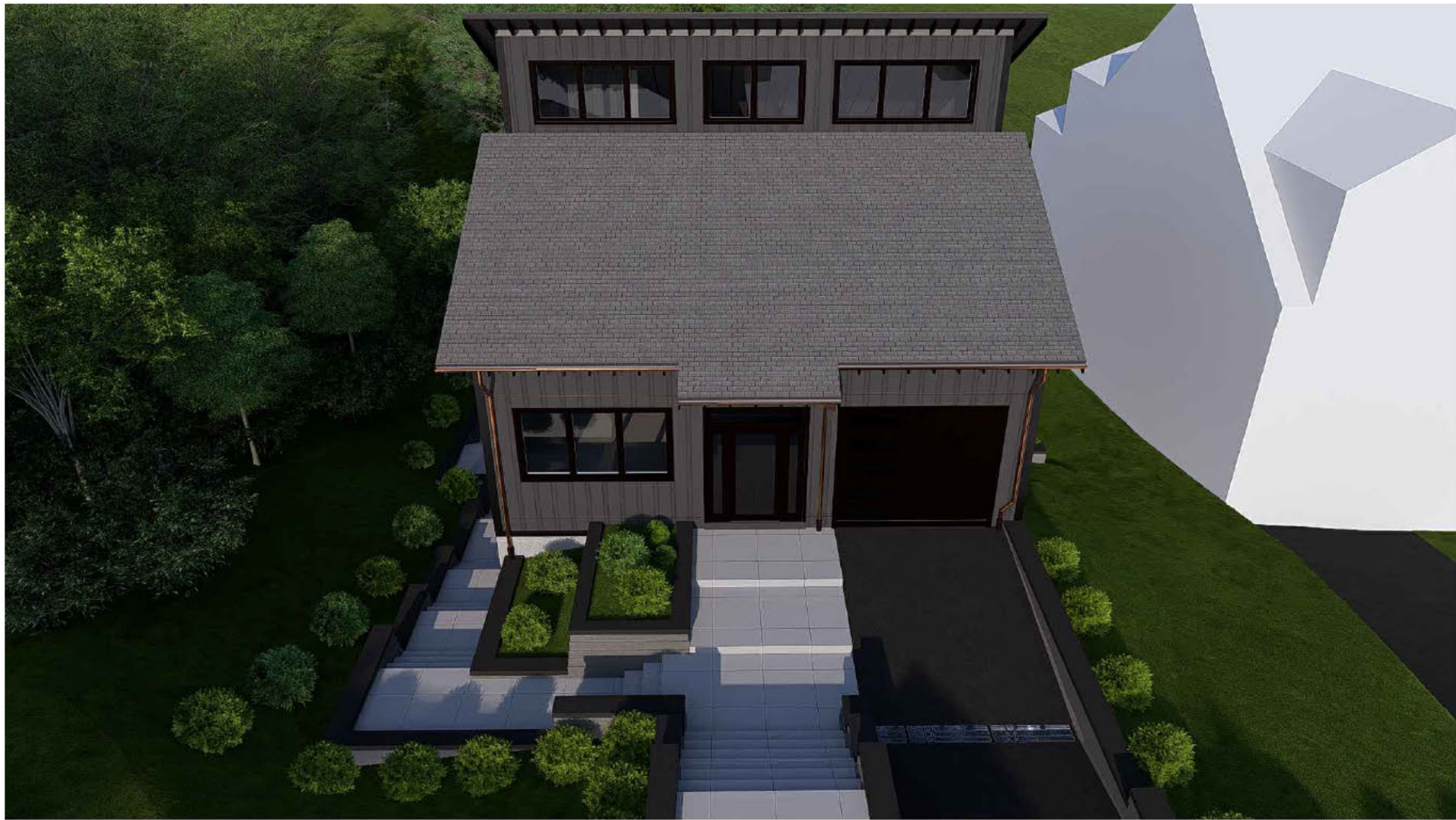
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