

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	20611 Goshen Road, Gaithersburg	Meeting Date:	3/26/2025
Resource:	Master Plan Site#20/46 Black and White Inn	Report Date:	3/19/2025
Applicant:	Potomac Charismatic Community Inc. (W. Mall Miller, Agent)	Public Notice:	3/12/2025
Review:	HAWP	Tax Credit:	Yes
Case No.:	1107660	Staff:	Devon Murtha
Proposal:	Siding and door replacement		

STAFF RECOMMENDATION

Staff recommends that the HPC **approve** the HAWP application.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Individually Listed Master Plan Sites (*Master Plan Site #20/46, Black and White Inn*)
STYLE: 3-Door Garage
DATE: 1990

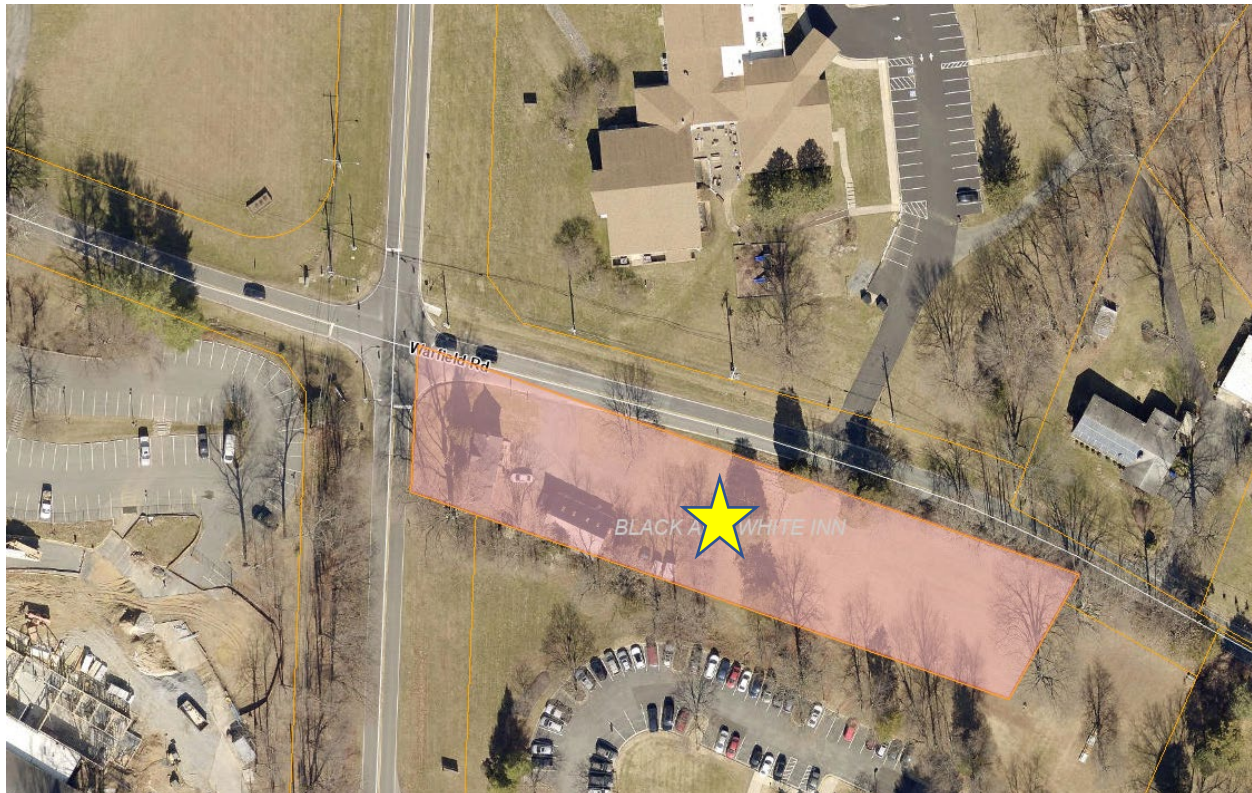


Figure 1: The subject property is annotated with a yellow star.

BACKGROUND

The Black and White Inn (*Master Plan Site #20/46*) is an historic inn complex located at the southeast corner of Warfield and Goshen Roads. It served as one of few accommodations catering to African American travelers in central Montgomery County during the early twentieth century. The main historic structure on the site is a two-story side-gabled frame building, constructed c. 1910. In 1990, a former property owner constructed a large garage on the property, to the east of the historic side-gabled building. The garage features a steeply pitched gabled roof, wood siding, three metal garage doors, and irregular fenestration (*Figures 2-4*). The roof is clad in asphalt shingles. There is a deck structure attached to the east elevation. The existing wood siding is in poor condition (*Figure 4*).



Figure 2: East and south elevation of garage (left) is located to the east of the historic inn (right). Both photos are courtesy of Montgomery County Planning, 2025.



Figure 3: View of the west and south elevation of the garage (Montgomery County Planning, 2025).



Figure 4: Detail of the wood condition on the west elevation (left) and view of north elevation (right). Both photos are courtesy of Montgomery County Planning, 2

PROPOSAL

The applicant proposes remove the existing wood siding and install HardiePlank lap siding with a smooth finish, painted white to match the existing. Additionally, the applicant proposed to remove the existing garage doors and replace them with aluminum doors with paneled lights, to match the existing design.

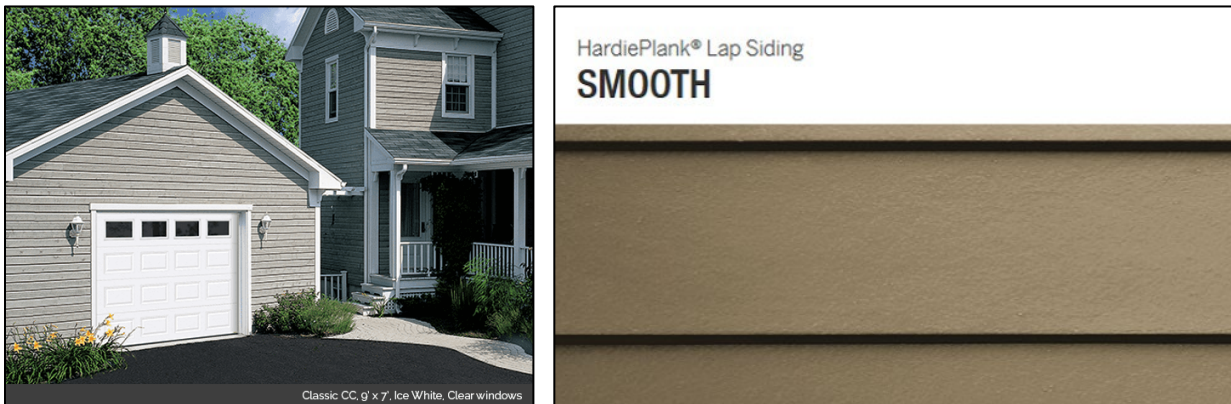


Figure 5: Specifications examples for garage (left) and new cladding (right) provided by the applicant.

APPLICABLE GUIDELINES

Montgomery County Code; Chapter 24A-8

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to ensure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an

historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or

Secretary of Interior's Standards for Rehabilitation

The Secretary of the Interior defines rehabilitation as “the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values.” The relevant *Standards* are as follows:

2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportions, and massing to protect the integrity of the property and its environment.
10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

Staff finds that the proposed alterations to the non-historic (1990) garage are generally appropriate. The installation of both new siding and new doors will not substantially alter the exterior of the building, per Chapter 24A-8(b). Staff has consistently found HardiPlank fiber cement lap siding to be an appropriate substitute for wood siding on non-historic or non-contributing buildings. The proposed aluminum garage doors are a close match to the existing garage doors and will not have a substantial impact on the adjacent historic resource or the overall character of the environmental setting.

STAFF RECOMMENDATION

Staff recommends that the Commission **approve** the HAWP application under the Criteria for Issuance in Chapter 24A-8(b)(1) and (2) having found that the proposal will not substantially alter the exterior features of the historic resource and is compatible in character with the district and the purposes of Chapter 24A;

and with the *Secretary of the Interior's Standards for Rehabilitation* #2, #9, and #10;

and with the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-495-1328 or devon.murtha@montgomeryplanning.org to schedule a follow-up site visit.



APPLICATION FOR HISTORIC AREA WORK PERMIT HISTORIC PRESERVATION COMMISSION 301.563.3400

FOR STAFF ONLY: HAWP# 1107660 DATE ASSIGNED

APPLICANT:

Name: Potomac Charismatic Community Inc. Address: 20611 Goshen Rd. Daytime Phone: 301-512-8555

E-mail: president@mogschool.com City: Gaithersburg Zip: 20879 Tax Account No.: FU63-027558938

AGENT/CONTACT (if applicable):

Name: W. Hall Miller Address: 20501 Goshen Road Daytime Phone: 301-512-8555

E-mail: president@mogschool.com City: Gaithersburg Zip: 20879 Contractor Registration No.: TBD

LOCATION OF BUILDING/PREMISE: MIHP # of Historic Property #20/46

Is the Property Located within an Historic District? Yes/District Name No/Individual Site Name Black & White Inn

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: 20611 Street: Goshen Road

Town/City: Gaithersburg Nearest Cross Street:

Lot: Block: Subdivision: Parcel:

TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:

- Checklist of work types: New Construction, Addition, Demolition, Grading/Excavation, Deck/Porch, Fence, Hardscape/Landscape, Roof, Shed/Garage/Accessory Structure, Solar, Tree removal/planting, Window/Door, Other: siding replacement

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent

Date 3/4/2025

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address 20501 Goshen Road Gaithersburg, MD 20879	Owner's Agent's mailing address SAME
Adjacent and confronting Property Owners mailing addresses	
Saint John Neumann Parish 9000 Warfield Road Gaithersburg, MD 20882	Church of the Nazarene 8921 Warfield Road Gaithersburg, MD 20882

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

- One acre lot
- two buildings
- one (Black and White Inn) circa 1910, is historic
- 2nd is a modern 3 bay garage built in 1990. It is 30' x 40' two story structure
- gravel driveway and parking area
- a tree line separates lot from adjoining property (same owner)
- other two sides are Goshen and Warfield roads

Description of Work Proposed: Please give an overview of the work to be undertaken:

The owner has been in the process of improving the property to make it more attractive.

The 3 car garage building was built in 1990. it has very cheap wood siding which is severely rotted. The garage doors are also rotten.

The goal is to replace doors and siding with a maintenance free vinyl exterior to improve the overall appearance of this property.

Siding options; we are open to the Commission preferences

- Dutchlap
- Shake
- Clapboard

Color- we are open to Commission preferences

- Tan
- White
- Grey

Garage doors- we would replace the existing doors with the same look; panel with one row of windows. Aluminum construction.

Work Item 1: 3 bay, garage

Description of Current Condition:
Rotten siding

Proposed Work:
replace with vinyl siding

Work Item 2: _____

Description of Current Condition:
Rotten garage doors

Proposed Work:
Replace with aluminum garage doors

Work Item 3: _____

Description of Current Condition:

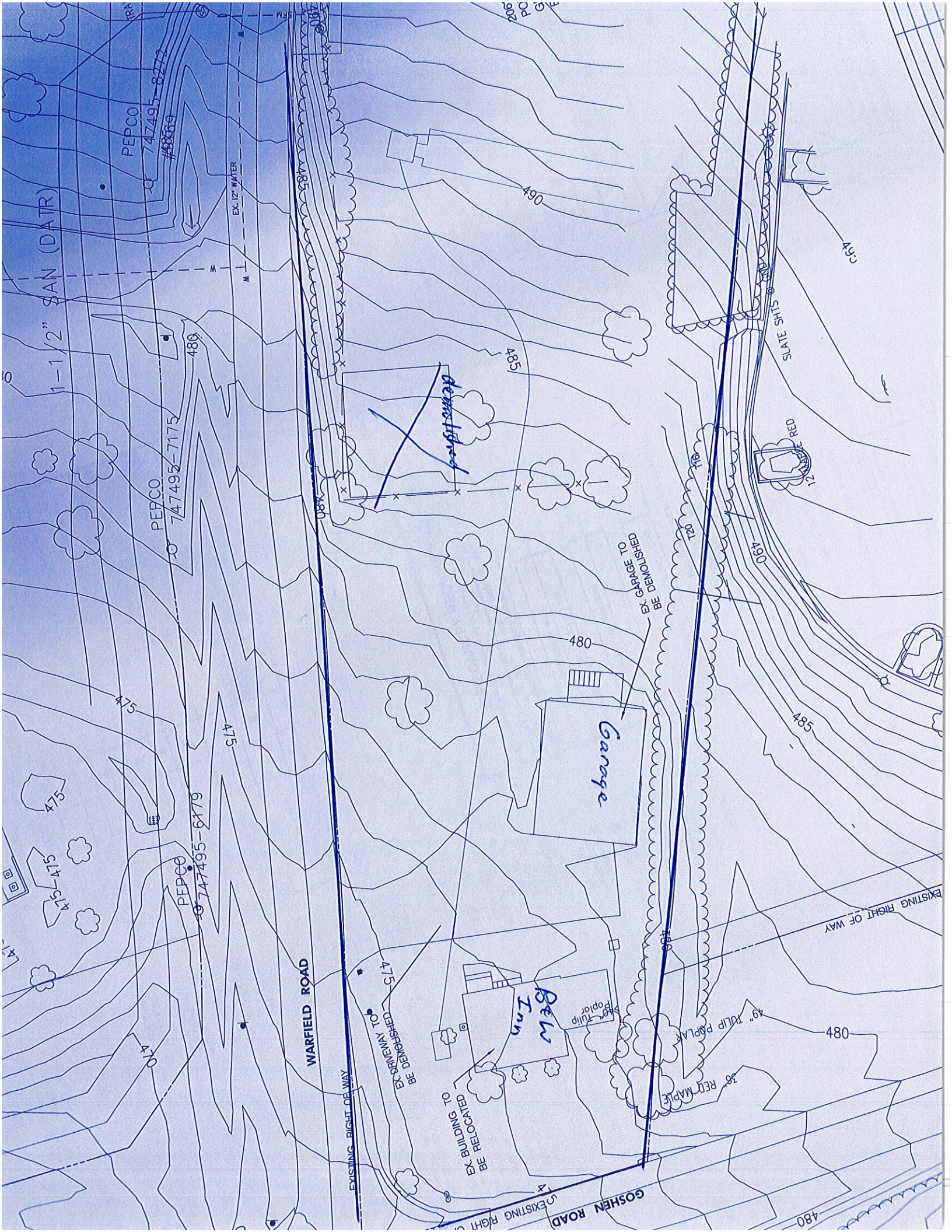
Proposed Work:

**HISTORIC AREA WORK PERMIT
CHECKLIST OF
APPLICATION REQUIREMENTS**

	Required Attachments						
Proposed Work	1. Written Description	2. Site Plan	3. Plans/ Elevations	4. Material Specifications	5. Photographs	6. Tree Survey	7. Property Owner Addresses
New Construction	*	*	*	*	*	*	*
Additions/ Alterations	*	*	*	*	*	*	*
Demolition	*	*	*		*		*
Deck/Porch	*	*	*	*	*	*	*
Fence/Wall	*	*	*	*	*	*	*
Driveway/ Parking Area	*	*		*	*	*	*
Grading/Exc avation/Land scaping	*	*		*	*	*	*
Tree Removal	*	*		*	*	*	*
Siding/ Roof Changes	*	*	*	*	*		*
Window/ Door Changes	*	*	*	*	*		*
Masonry Repair/ Repoint	*	*	*	*	*		*
Signs	*	*	*	*	*		*

LOCATION MAP





PEPCO 747495-8777
#88669

PEPCO 747495-7175

PEPCO 747495-6179

1-1/2" SAN (DATR)

WARFIELD ROAD

GOSHEN ROAD

STATE ST

demolished

Belle Inn

Garage

EXISTING RIGHT OF WAY

EXISTING RIGHT OF WAY

EXISTING RIGHT OF WAY

BE DEMOLISHED TO EXPOSE TO

BE DEMOLISHED TO EXPOSE TO

BE RELOCATED TO EX-BUILDING

RED MAPLE

TRUMP POPLAR

EX. 12" WATER

475

475

475

480

485

485

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494

494

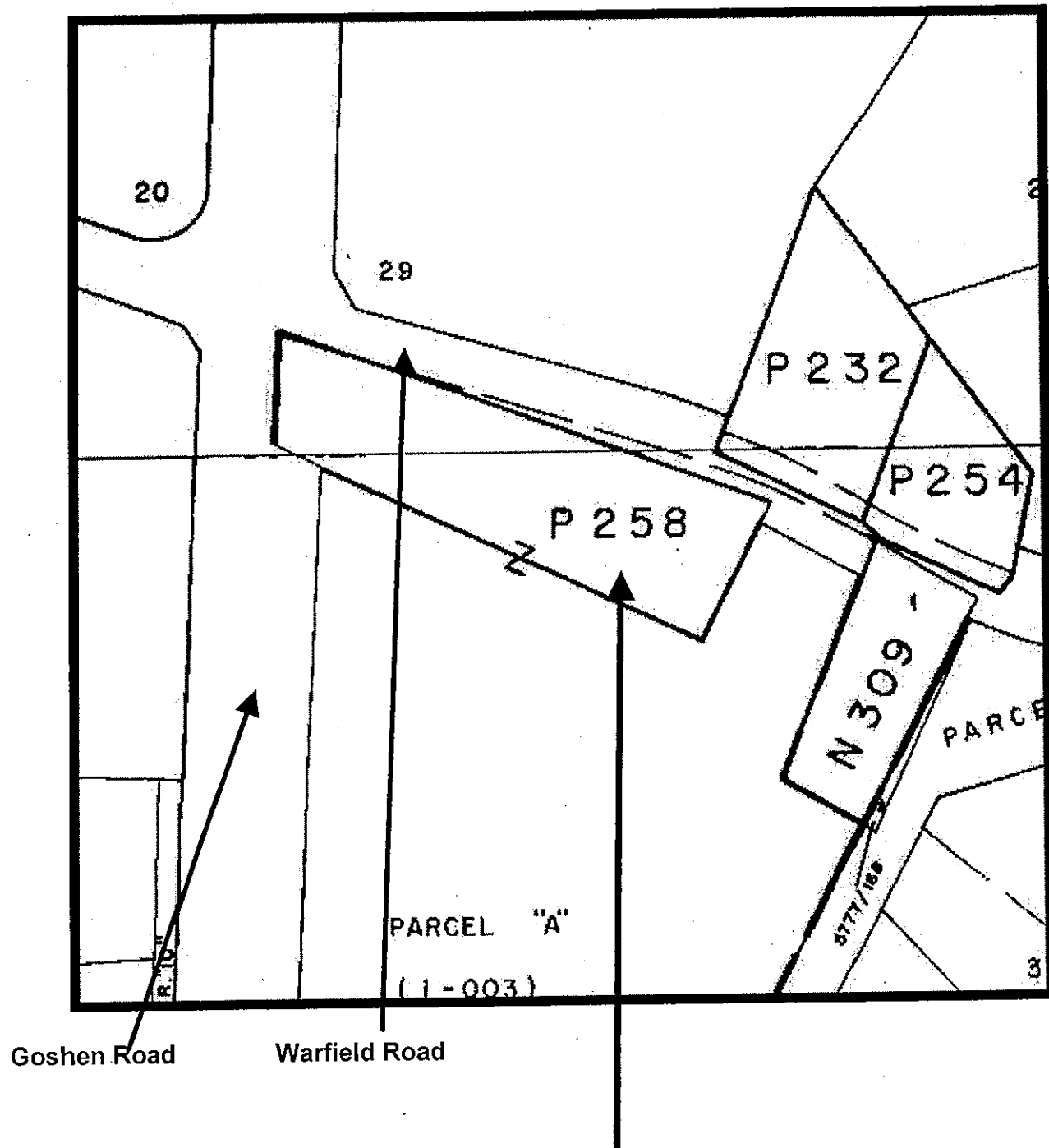
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209

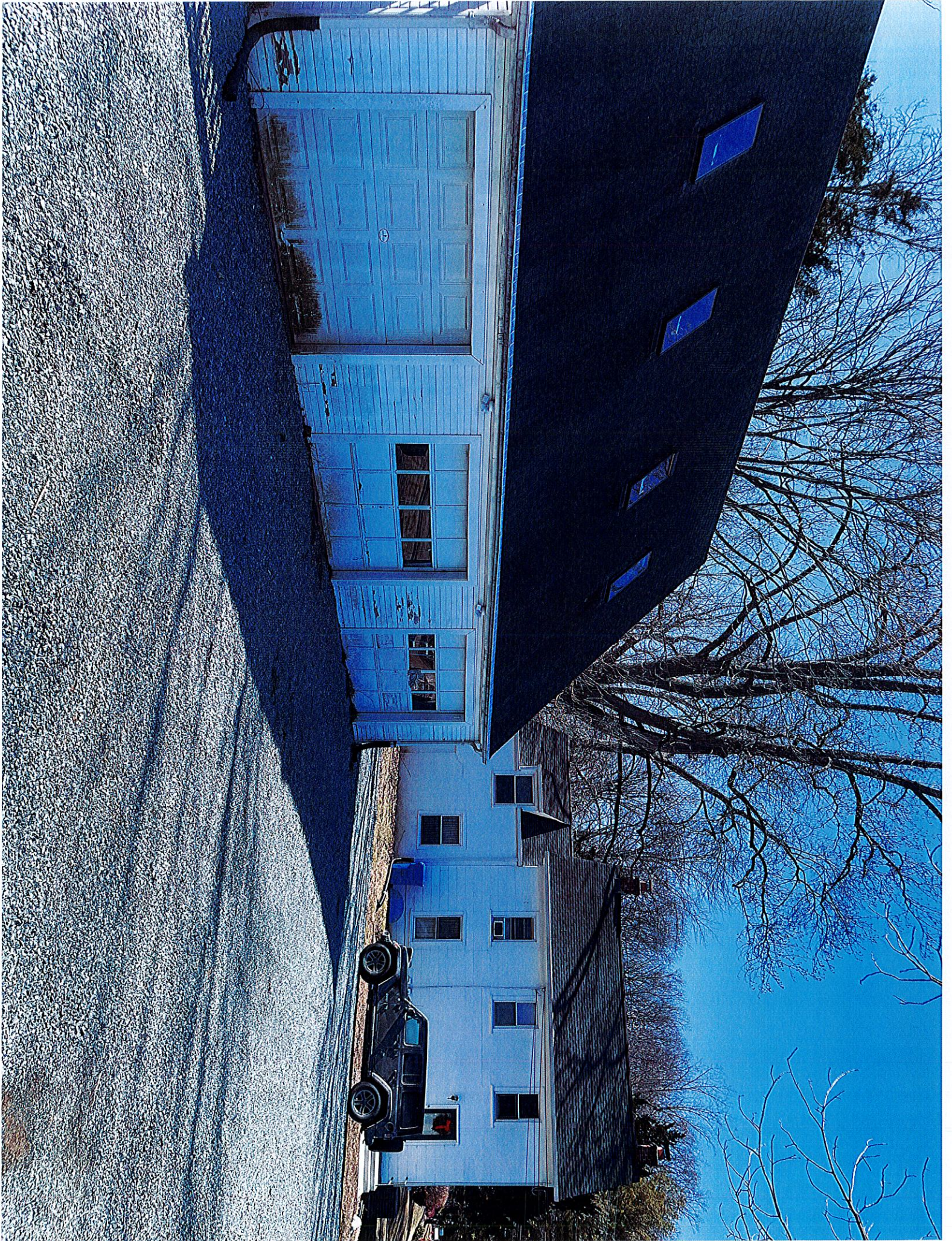
Maryland Historical Trust Maryland Inventory of Historic Properties Form

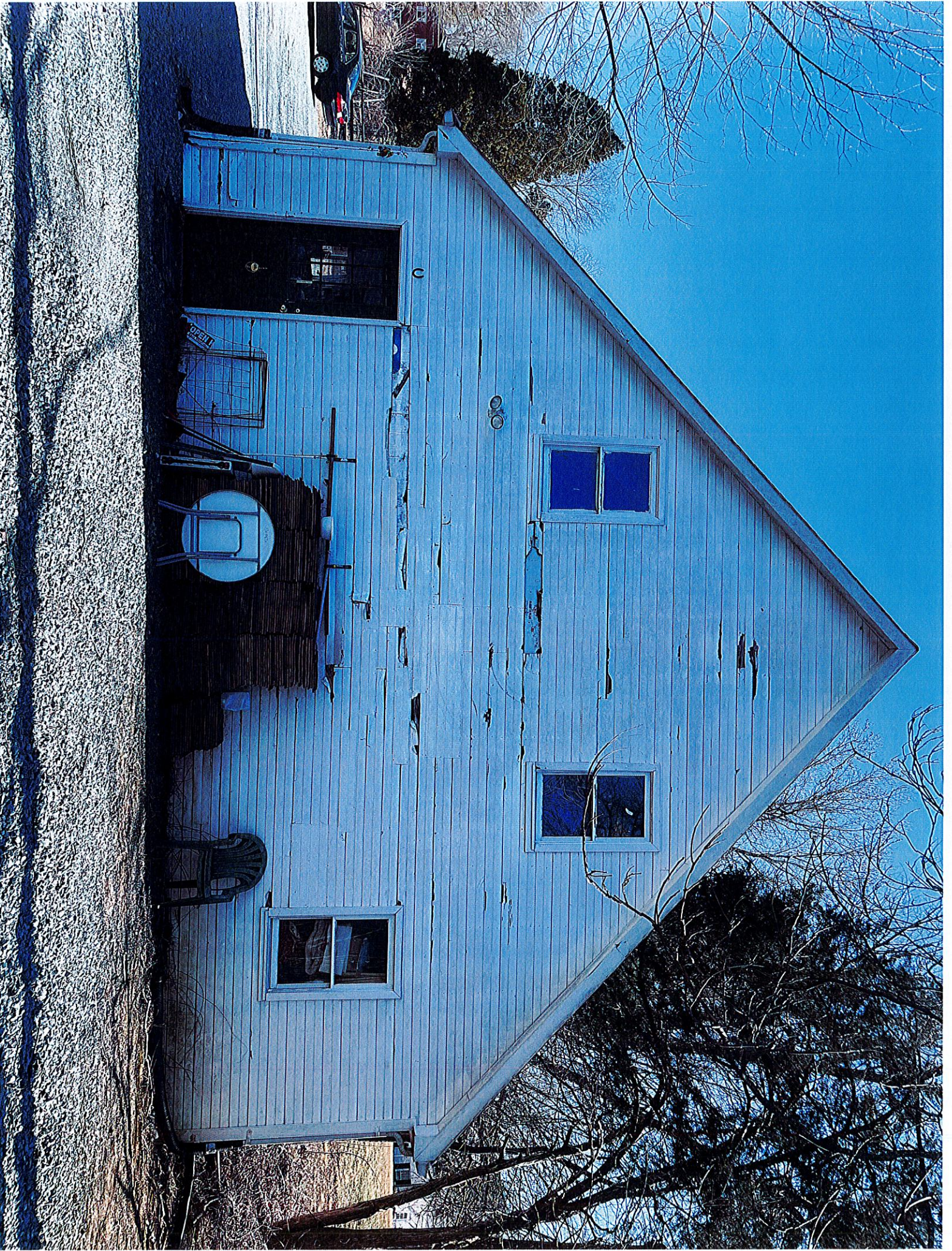
Inventory No. M:20/46

Name: Black and White Inn, 20501 Goshen Road
Continuation Sheet
Number 8 Page 3



Black & White Inn, 20611 Goshen Road – Maryland State Tax
Map . Parcel 258





OPEN

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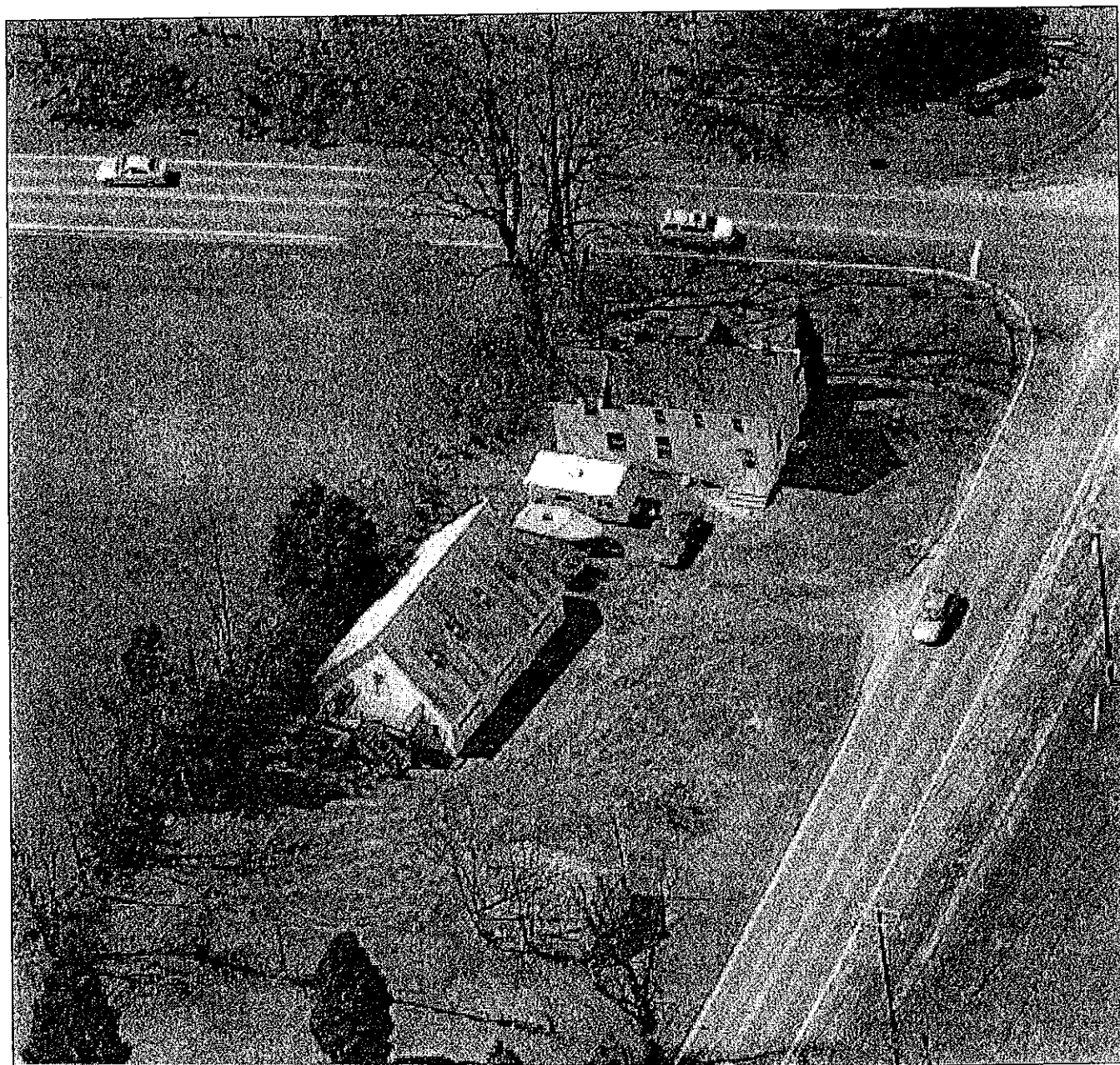
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Continuation Sheet

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2003 Aerial view: East facade of the Black and White Inn,

