

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	5537 Lambeth Rd., Bethesda	Meeting Date:	3/26/2025
Resource:	Contributing Resource Greenwich Forest Historic District	Report Date:	3/19/2025
Applicant:	Matt Felts & Dane Grossnickle (Cindy McClure for the Levine Group, Agent)	Public Notice:	3/12/2025
Review:	HAWP	Tax Credit:	No
Permit No.:	1107099	Staff:	Laura DiPasquale
Proposal:	Partial demolition; construction of rear and side additions and screened porch		

STAFF RECOMMENDATION

Staff recommends that the HPC **approve with two (2) conditions** the HAWP application with final approval delegated to staff:

1. The applicant must submit an arborist report showing that the trees adjacent to the proposed east side addition will not be negatively impacted by the proposed footings.
2. All Versatex and Azek trim must be smooth finish and painted.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Contributing Resource to the Greenwich Forest Historic District
STYLE: Colonial Revival
DATE: 1941

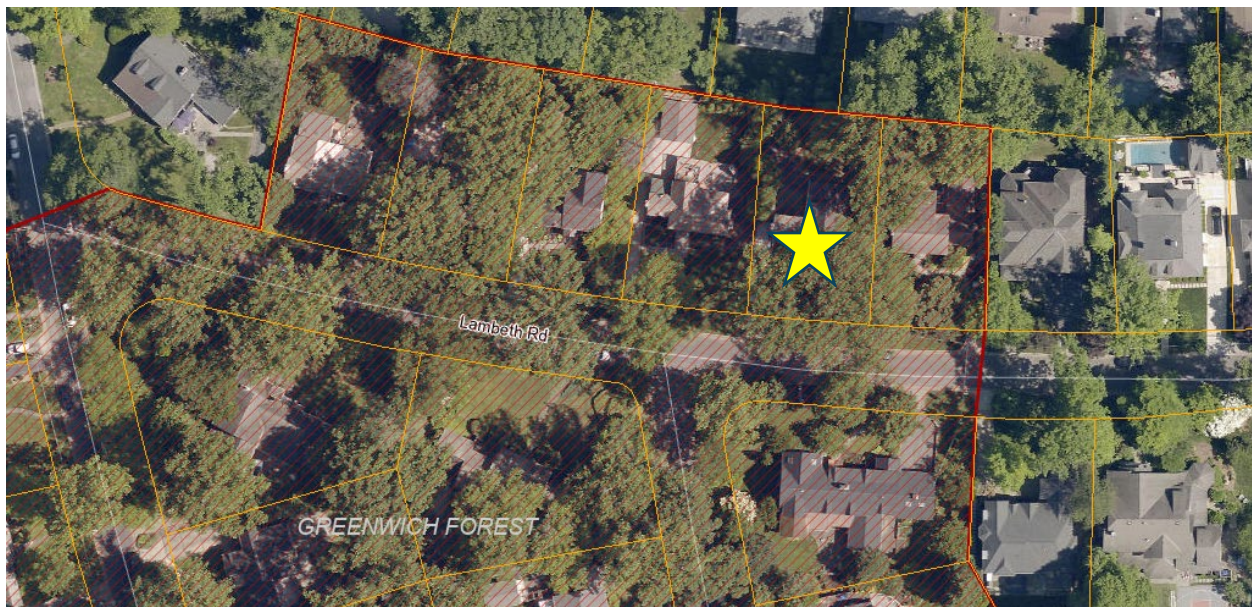


Figure 1: Location of 5537 Lambeth Rd., Bethesda (yellow star) within the Greenwich Forest Historic District (hatched and outlined in red).



Figure 2: View of the subject property from the west along Lambeth Road.



Figure 3: View of the subject property from the east along Lambeth Road.

PROPOSAL

The applicants propose to make alterations and additions to the rear and east side of the subject property. Along the east side of the house, the applicants propose to construct a 7-foot wide by 21.6-foot deep one-story addition set on piers and clad in 7 ½” smooth Hardi-plank siding with a standing-seam metal roof. A covered landing and stair to grade would be located at the rear corner of the side addition. Along the rear, the applicants propose to remove the first-floor recessed wall, bay window and screen porch in the existing rear frame addition and extend the plane of the existing second-floor down to the first-floor level. New Hardi-plank siding would replace the existing aluminum siding on the existing addition and tie into the new addition below. A new screened porch with Versatex columns and trim would be added to the west half of the rear elevation, with new stairs added to grade.

APPLICABLE GUIDELINES

When reviewing alterations and new construction within the Greenwich Forest Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and adopted amendment for the *Greenwich Forest Historic District (Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and *the Secretary of the Interior’s Standards for Rehabilitation (Standards)* , and *HPC Policy No. 24-01, Adopted Policy for the Appropriateness of Substitute Materials for Porch and Deck Flooring*. The pertinent information in these documents is outlined below.

Greenwich Forest Historic District Guidelines¹

A. PRINCIPLES

The preservation of the following essential elements of Greenwich Forest is the highest priority in making decisions concerning applications for work permits. These Principles are not meant to stop or create unreasonable obstacles to normal maintenance, reasonable modifications, and the evolving needs of residents.

A1. Greenwich Forest was conceived of, built, and to a great degree preserved as a park-like canopied forest with gentle topographic contours, in which the presence of houses and hardscape are understated relative to the natural setting. The removal of mature trees and the significant alteration of topographic contours on private property, the Greenwich Forest Triangle, and the public right-of-way in Greenwich Forest should be avoided whenever possible. The Greenwich Forest Citizens Association (GFCA) will continue to support the replacement of trees. In order to protect mature trees and the natural setting of Greenwich Forest, and to limit runoff into the Chesapeake Bay, the creation of extensive new impermeable hardscape surfaces should be avoided whenever possible.

A2. The houses in Greenwich Forest create an integrated fabric well-suited to its forest setting. These Guidelines are intended to preserve this environment by ensuring that approved work permits include appropriate safeguards that protect the following three essential elements of this fabric:

c. High quality building materials and high level of craftsmanship.

A3. The neighborhood needs to evolve to meet the needs of its residents while maintaining the charm and architectural integrity that have been maintained since the 1930s. Introducing new *architectural styles* that are not already present in the neighborhood will detract from its integrated fabric.

B. BALANCING PRESERVATION AND FLEXIBILITY

¹ <https://montgomeryplanning.org/wp-content/uploads/2019/09/Greenwich-Forest-HD-Amendment.pdf>

Greenwich Forest represents a period in the evolution of Montgomery County worthy of preservation, but it has also changed in response to the needs of residents since it was created in the 1930s. These Guidelines seek a reasonable compromise between preservation and the needs of residents in several ways.

B1. Most of the houses in the Greenwich Forest Historic District are designated “contributing” because they contribute to the architectural and historic nature of the district. Contributing structures are shown in the map of the districts. These Guidelines are more specific for contributing structures.

B2. Other houses in the district are designated non-contributing either because (1) they were built more recently than contributing houses with other architectural styles (see Appendix 3) or (2) their original features have been significantly altered by subsequent modifications. Non-contributing structures are shown on the map of the District. The Guidelines provide greater flexibility for owners of non-contributing houses.

B3. These Guidelines reflect the reality that nearly all houses in Greenwich Forest have been modified since their construction. Owners are not expected to return their houses to their original configurations. The modifications they are permitted to make under these Guidelines are based on the current reality in the neighborhood, provided that those modifications are consistent with the Principles in these Guidelines.

B4. Property owners have additional flexibility under these Guidelines to make more extensive changes to the parts of their houses that are less visible from the public rights-of-way in front of their houses. The Guidelines accomplish this by stipulating different levels of review for specific elements on different parts of houses.

D. MAJOR GUIDELINES

D1. Changes to *architectural style*: Changes to the *façades* of *contributing houses* and additions thereto are permitted if the new *front elevation* (1) is consistent with a style of another *contributing house* (see Appendix 3); and (2) is suitable to and does not significantly alter the original outline, shape and scale of the original structure.

D4. *Additions*: Additions to *contributing* and *non-contributing houses* are allowed. The style of an *addition* must be compatible and in keeping with the prevailing styles of that house. The style of the *addition* must be compatible with the style of the original house, unless the owner wishes to change the *architectural style* of both the house and addition to another style of a *contributing house* in Greenwich Forest (see Changes to *architectural style*, below). *Additions to contributing houses* must preserve as a recognizable entity the outline of the original house (not including subsequent additions). Side additions to *contributing houses* are allowed, but the limits of the original *façade* must be demarcated by stepping back the front plane of the addition and by a change in the addition’s roofline. Rear *additions* to *contributing houses* are allowed within limitations on height and setbacks (see D5).

D5. Guidelines on Dimensions: The total lot coverage of a house may not exceed 25% of the lot area, and accessory buildings may not exceed 5% of the lot area. The area of an accessory building may be increased by 2%, to 7% of total lot coverage, if the lot coverage of the house and the accessory buildings added together does not exceed 30% of lot area. Additions should try to preserve ample spacing between houses (see Principle 2b). For example, visual crowding between houses could be minimized by placing an addition toward the back of a property, placing an addition on the side of a property with greater distance to the adjacent house (especially when a side lot abuts the rear setback of an adjacent corner house), or by screening additions with plantings. The total of the two side lot setbacks must be at least

18', with no less than 7' on one side. Rear lot setbacks must be at least 25', though decks no higher than 3' from the ground may extend to an 11' setback. The elevation of the main or predominant ridgeline(s) of a contributing house as viewed from the front may not be increased. To avoid excessive increases in the visual mass of houses, the elevation of any separate ridgelines of an addition to the rear of the house may not be more than 3' above that of the main ridgeline.

According to the *Guidelines*, the three levels of review are as follows:

Limited scrutiny is the least rigorous level of review. With this level, the scope or criteria used in the review of applications for work permits is more limited and emphasizes the overall structure rather than materials and architectural details. The decision-making body should base its review on maintaining compatibility with the design, texture, scale, spacing and placement of surrounding houses and the impact of the proposed change on the streetscape.

Moderate scrutiny is a higher level of review than limited scrutiny and adds consideration of the preservation of the property to the requirements of limited scrutiny. Alterations should be designed so the altered structure does not detract from the fabric of Greenwich Forest while affording homeowners reasonable flexibility. Use of compatible new materials or materials that replicate the original, rather than original building materials, should be permitted. Planned changes should be compatible with the structure's existing architectural designs.

Strict scrutiny is the highest level of review. It adds consideration of the integrity and preservation of significant architectural or landscape features and details to the requirements of the limited and moderate scrutiny levels. Changes may be permitted if, after careful review, they do not significantly compromise the original features of the structure or landscape.

Sec. 24A-8. Same-Criteria for Issuance

- (a) The commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate, inconsistent with or detrimental to the preservation, enhancement or ultimate protection of the historic site or historic resource within an historic district, and to the purposes of this chapter.
- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (*Ord. No. 9-4, § 1; Ord. No. 11-59*)

Secretary of Interior's Standards for Rehabilitation

The Secretary of the Interior defines rehabilitation as “the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values.” The relevant *Standards* are as follows:

2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportions, and massing to protect the integrity of the property and its environment.
10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Historic Preservation Commission Policy No. 24-01: Policy for the Appropriateness of Substitute Materials for Porch and Deck Flooring

The Historic Preservation Commission (HPC) has reviewed several porch replacement projects over the last several years where the previous porch flooring/decking failed in only a few years. This failure is largely due to the quality of the materials available. Most domestic wood species available in the market for porch flooring/decking is significantly weaker, less durable, and less resistant to rot.

A review of the available substitute materials available for porch flooring/decking shows substantial growth in the quality and variety of products in the marketplace. While many of these products fail to accurately reproduce the physical and visual characteristics of wood, some accurately portray the physical and material characteristics of traditional wood flooring. To aid in the review of Historic Area Work Permit (HAWP) applications for replacing porch flooring and decking the HPC adopts the following:

Now, THEREFORE:

WHEREAS, Section 24A-8(b) of the Montgomery County Code identifies seven criteria to evaluate approvable HAWPs for properties designated on the Master Plan for Historic Preservation or properties that are in a historic district designated on the Master Plan for Historic Preservation;

WHEREAS, nothing in this policy may supersede Council-adopted Design Guidelines for Historic Districts or Sites that already specify the use of certain materials and finishes;

WHEREAS, porches and decks are identified as character-defining features of historic buildings;

WHEREAS, if the HPC determines the porch flooring/decking has deteriorated beyond repair, it shall be the policy of the Historic Preservation Commission that:

1. Sites listed on the Master Plan for Historic Preservation are properties that have been designated to the Master Plan for Historic Preservation based on their individual historic significance, including architectural significance. Because of the significance of these sites, preserving its historic character is of paramount concern. Wood is the appropriate material to maintain the historic appearance, materials, and construction methods at Master Plan sites. The HPC does not evaluate wood and species. The finish applied needs to be compatible with the species selected.
2. Historic districts are comprised of groups of cohesive historic resources that collectively contribute to the county's historic, architectural, archaeological, or cultural values. Resources in many districts are categorized as 'Outstanding,' 'Contributing,' or 'Non-Contributing' and the treatment of these resources varies based on their categorization.

3. Outstanding Resources/Primary – These resources have the highest level of architectural or historical significance in the historic district and the objective for Outstanding/Primary resources is to preserve the historic and architectural character to the greatest extent possible. Wood should be used on all porches and decks for Outstanding/Primary resources. The wood should be painted and installed in a historically appropriate method. Porches on building additions and new construction to Outstanding/Primary resources will be evaluated on a case-by-case basis. As with Master Plan Sites, the HPC does not evaluate wood species and the applied finish needs to be appropriate for the material selected.
4. Contributing Resources – These are significant for their contribution to the district as a whole and prioritize retaining the architectural style, overall volume, and size. Porch floors on ‘Contributing’ resources may be a compatible substitute material (discussed below), provided the material matches the building’s historic character and construction methods. Historic rear porches for ‘Contributing’ resources may be constructed using a compatible substitute material. Non-historic porches and decks on ‘Contributing’ resources that are not visible from the public right-of-way may be constructed using substitute materials.
5. Non-Contributing Resources/Secondary/Spatial – These were constructed after the district’s period of significance or have been so heavily modified that they no longer contribute to the historic district’s character. These resources do not need to use traditional materials. New porch flooring/decking materials for these resources need to satisfy the criteria for compatible substitute material.
6. Compatible substitute materials for replacement porch flooring/decking – On buildings where a substitute material is acceptable under this policy, the material must satisfy the following criteria:
 - It must match the dimensions and installation method (i.e.) of the existing material or a historically appropriate porch flooring, (e.g., boards must run perpendicular to the house for porches);
 - It must be millable;
 - It can be painted without voiding the product warranty; or,
 - Has a uniform appearance consistent with painted wood;
 - It has a minimal (or no) stamped or embossed texture on the surface; and,
 - It has a finished edge that appears as a cut solid board.

STAFF DISCUSSION

Staff supports the proposed additions, screened porch, and associated alterations and recommends approval.

The *Guidelines* stipulate that rear additions and non-forward facing portions of side additions will be subject to moderate scrutiny, while front-facing portions of additions that extend beyond the sides of the existing structure are subject to strict scrutiny. In terms of size and scale, according to *Guideline D5*, the total lot coverage of a house may not exceed 25% of the lot area and that additions should try to preserve ample spacing between houses. The applicants identify the existing lot coverage as 12% and the proposed as 15%. *Guideline D5* also specifies appropriate setbacks for addition, requiring that the combined total of the two side lot setbacks must be at least 18 feet, with no less than 7 feet on one side. Staff finds that the proposed project complies with these setbacks—with the existing east side lot setback being approximately 14 to 15 feet, the proposed 7-foot-wide addition will leave a side setback of 7+ feet. No changes are proposed to the west side lot setback of 14 feet, creating a total side lot set back of 21 feet and exceeding the minimum 18-foot side yard setback total. The additions do not extend beyond the plane of second floor of the existing rear addition, which is approximately 41 feet from the rear property line, in excess of the 25-foot rear setback requirement.

Staff finds that the design of the proposed additions, which utilize traditionally-proportioned aluminum-

clad wood simulated-divided-light windows, horizontal fiber cement siding, and simple classical-style columns, is compatible with the Colonial Revival style of the historic house, in keeping with *Guideline D5* and Chapter 24A-8(b)(2), as well as *Standard 9*. Staff finds that the use of smooth, painted PVC trim products Versatex and Azek, are acceptable for use on the new construction. The project involves removal of a section of the plain side brick wall for a new doorway, infill of a small window opening that currently holds a non-historic window, and removal of the inset and projecting portions of the first-floor rear frame addition. Staff finds that the proposed alterations and additions involve limited removal of historic fabric and that the proposed project retains the overall historic character of the property, satisfying *Standard 2*. and is compatible but differentiated in scale, massing and materials from the historic house, satisfying *Standard 9*.

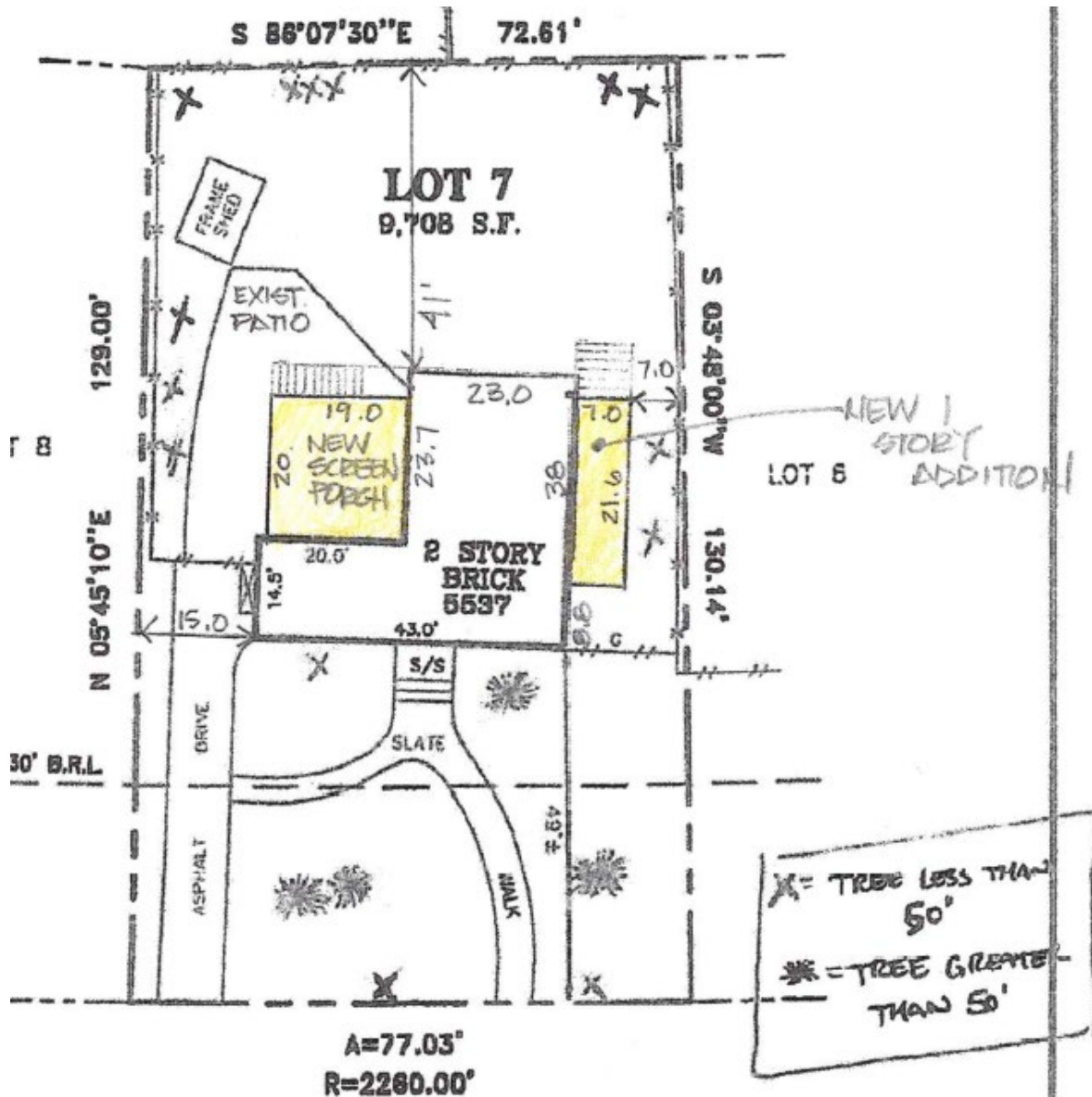


Figure 4: Proposed site plan showing the proposed addition dimensions, side and rear setbacks, and tree survey.

CONSTRUCT

	Exist
	To Be
	New

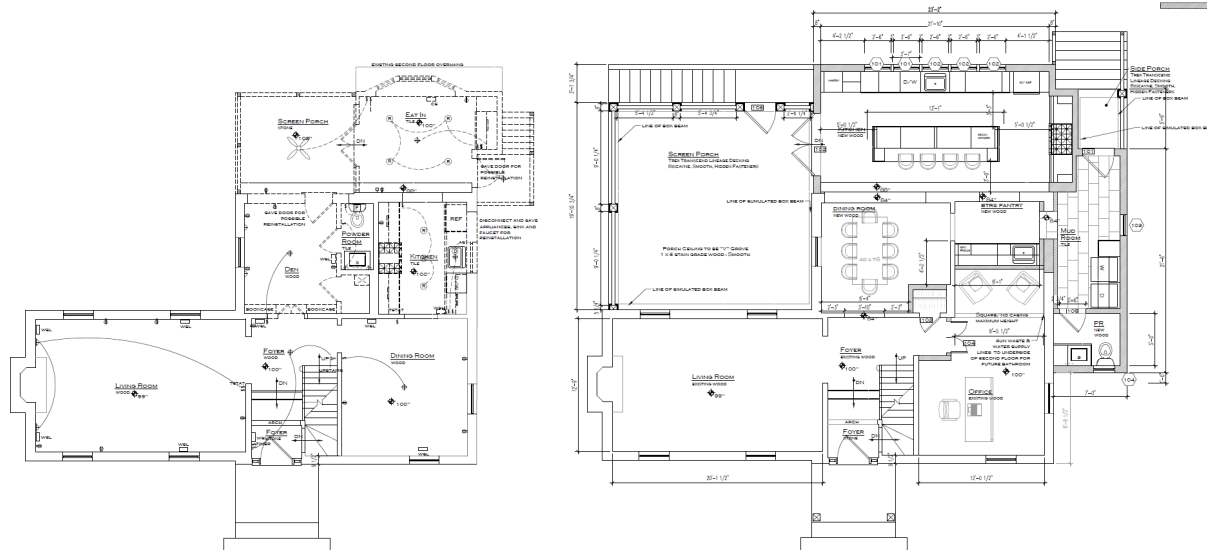


Figure 5: Existing first-floor/demolition plan (left) and proposed first-floor plan (right).



EXISTING EAST ELEVATION
SCALE: $\frac{1}{8}'' = 1'-0''$

PROPOSED EAST ELEVATION
SCALE: $\frac{1}{8}'' = 1'-0''$

Figure 6: Existing and proposed east elevations.

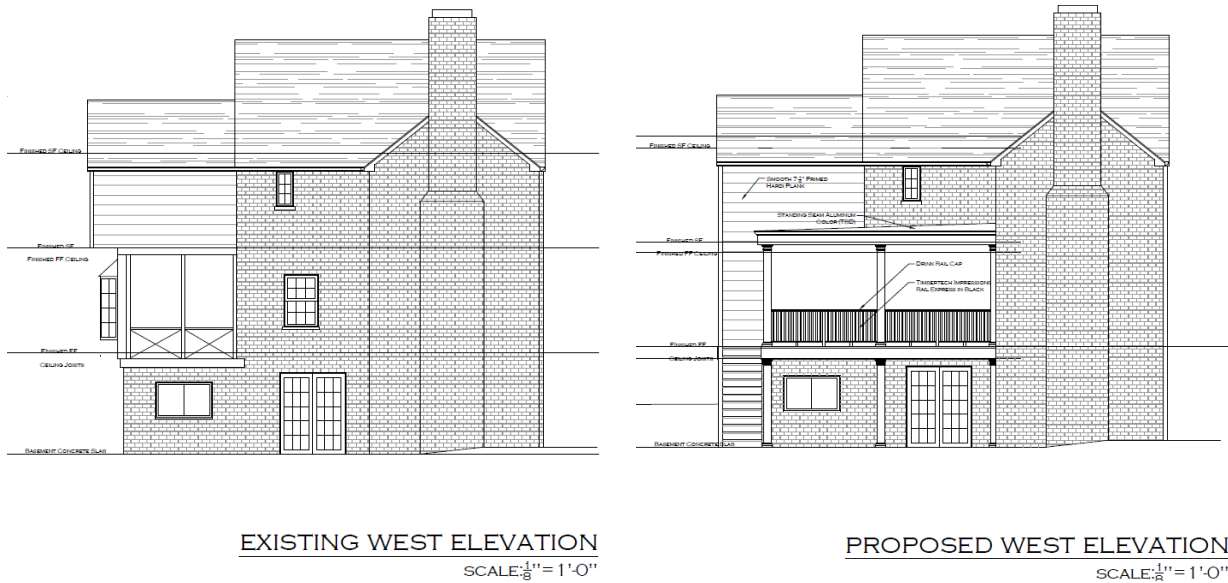


Figure 7: Existing and proposed west elevations.

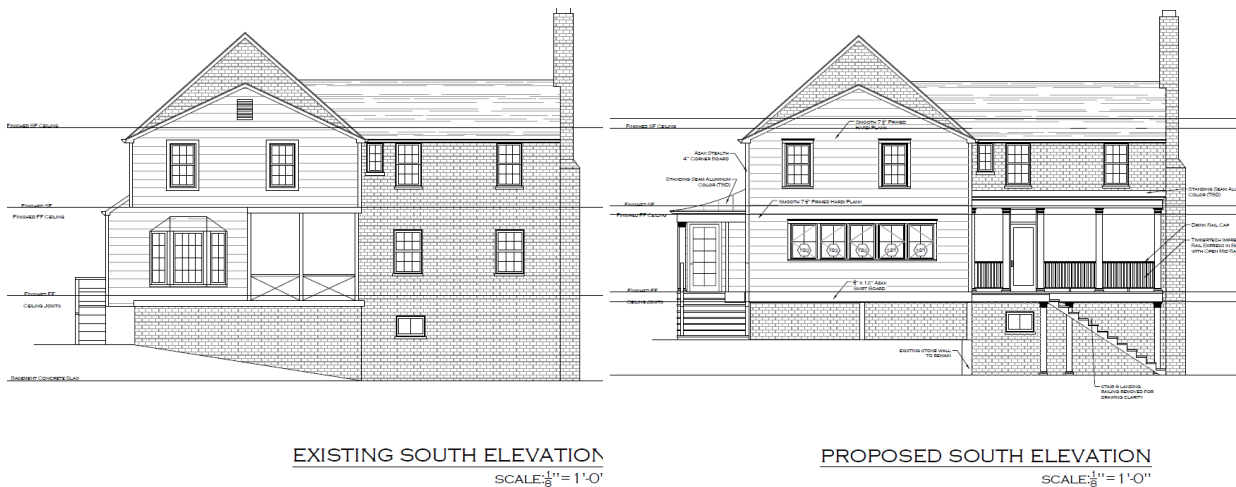


Figure 8: Existing and proposed south elevations.

Regarding the proposed screened porch flooring, the HPC’s *Policy* states that porch floors on “Contributing” resources may be of “compatible substitute materials,” and identifies several criteria for such materials. The proposed Trex screened porch flooring satisfies some, but not all of these criteria. The proposed material will be millable, has a uniform appearance consistent with painted wood, will have a smooth texture, and a finished one-inch edge that appears as a cut solid board; the ends of the boards themselves will not be visible. Staff notes that the proposed rear porch will have limited visibility from the public right-of-way, visible only obliquely from the west along Lambeth Road. The majority of the flooring itself will be completely invisible from the public right-of-way and concealed within the screened porch. The one-inch finished edge of the flooring will be visible over the smooth, painted Versatex or Azek fascia board below. Staff finds that the proposal partially complies with the *Policy*, but that, pursuant to Chapter 24A-8(b)(2), the proposal will not substantially alter the exterior features of the historic resource. Staff further finds that the proposed porch will be compatible with but differentiated from the historic house, and if removed in the future, will leave the essential form and integrity of the property intact, in keeping with *Standards* 9 and 10.

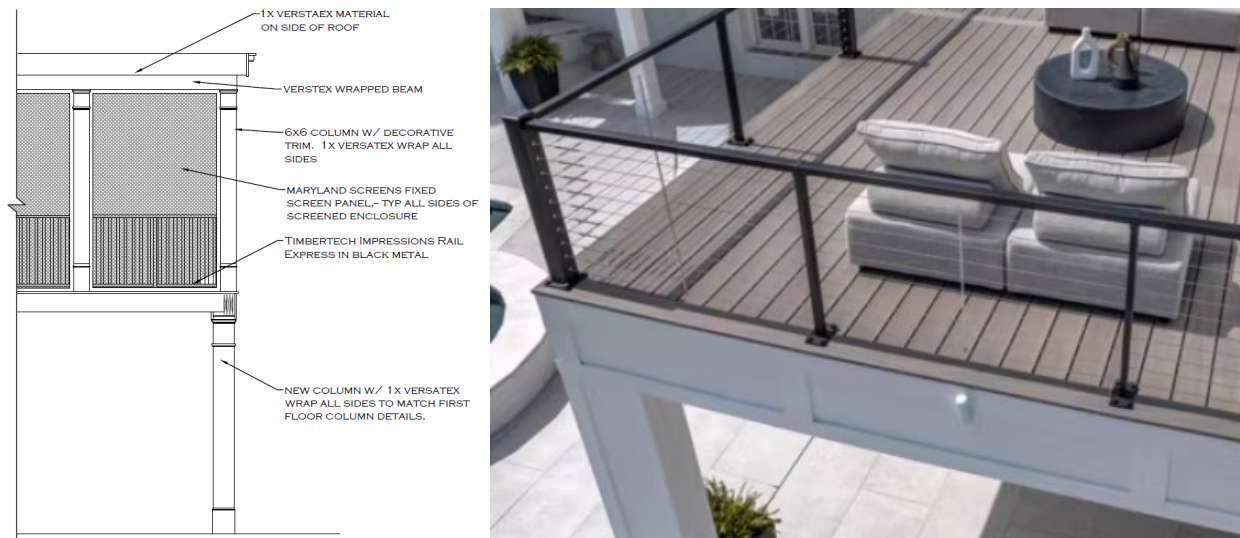


Figure 9: Proposed porch details (left) and flooring material (right).

STAFF RECOMMENDATION

Staff recommends that the Commission **approve with two (2) conditions** the HAWP application under the Criteria for Issuance in Chapter 24A-8(b)(1) and (2), having found that the proposal, as modified by the conditions, will not substantially alter the exterior features of the historic resource and is compatible in character with the purposes of Chapter 24A;

1. The applicant must submit an arborist report showing that the trees adjacent to the proposed east side addition will not be negatively impacted by the proposed footings.
2. All Versatex and Azek trim must be smooth finish and painted.

and with the *Greenwich Forest Historic District Guidelines*;

and with the *Secretary of the Interior's Standards for Rehabilitation* # 2, 9, and 10;

and with the general condition that the applicant shall present an electronic set of drawings, if applicable, to HPC staff for review and stamping prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the HPC as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the HPC staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will **contact the staff person** assigned to this application at 301-495-2167 or laura.dipasquale@montgomeryplanning.org to schedule a follow-up site visit.

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

The existing home is a two story Colonial Revival brick home with 6 over 6 double hung windows and slate roofing. The existing driveway, on the west side of the property, leads to the rear where stone landscape retaining walls and planters are found. There is an existing shed on the west property line which will remain. On the east side of the property and extending from the front facade, there is an existing fence and air conditioning condenser unit that will remain. The existing trees on the property are expected to remain undisturbed.

Description of Work Proposed: Please give an overview of the work to be undertaken:

Construct a side addition, replacing and expanding the existing side addition:

The style of the proposed side addition is compatible and in keeping with the prevailing style of the original Colonial Revival home. The side addition is set back from the original front facade plane demarcating the original facade, is one story and has a complimentary roof line. (Guideline D4) The proposed addition meets the required setbacks of 18' total for both sides and 7' on one side given the property was constructed in 1941 and leaves space between the adjacent property. (Guideline D5). Windows are simulated divided light and match the double hung styling of the existing house. The existing fence and A/C condensing unit will limit the view of the proposed side addition from the street.

Construct a rear screen porch addition:

The screen porch rear addition also retained the prevailing style to the Colonial Revival home, stays within the required 25' setbacks and is limited to the first floor. (Guideline D4/D5) The roof line is complimentary to the house, does not overwhelm the massing of the existing structure and does not expand past the existing ridge line.

Expand the existing kitchen:

The first floor kitchen expansion fills in the void of space under the second floor cantilever and the existing space of the screen porch. This falls within the 25' rear setback requirement and does not change or add a new roof line. (Guideline D4/D5)

Work Item 1: Side Addition

Description of Current Condition:

The existing one story side addition is set back from the front facade and is finished with aluminum siding and fiberglass roofing shingles. This will be removed.

Proposed Work:

Construct a new one story addition, replacing and expanding the existing. The new side addition is compatible with the original style and will be set back from the front facade plane and has a complimentary roofline. (Guideline D4). The addition meets the required setbacks of 18' total for both sides and 7' on one side given the property was constructed in 1940 and leaves space between the adjacent property. (Guideline D5) New siding (smooth Hardiplank) and new roofing (standing seam metal) provide a more historically accurate scale, look, and texture that compliment the original home. Windows are simulated divided light and match the double hung styling of the existing house. The existing fence and A/C condensing unit will limit the view of the proposed side addition from the street.

Work Item 2: Rear Screen Porch Addition

Description of Current Condition:

The existing screen porch is contained in the prior rear addition. Metal railing and painted finishes on the porch exist. This space will be incorporated into the exiting expansion.

Proposed Work:

Construct a new rear screen porch addition, replacing the existing. The new screen porch rear addition also retains the prevailing style to the Colonial Revival home, stays within the required 25' setbacks and is limited to the first floor. (Guideline D4/D5) The roof line is complimentary to the house, does not overwhelm the massing of the existing structure and does not expand past the existing ridge line. The material choices provide a historically accurate scale, look and texture that compliment the original home. These include new metal rails, painted architectural columns for the porch supports below the floor and in the screen porch, and Trex composite simulated wood decking.

Work Item 3: Kitchen Expansion

Description of Current Condition:

The current home has a two story addition with aluminum siding and fiberglass roofing. The addition has a second floor cantilever to the rear leaving a void underneath and is open at an existing screen porch on the west side.

Proposed Work:

The first floor kitchen expansion fills in the void of space under the second floor cantilever and utilizes the square footage of the existing screen porch. Th expansion falls within the 25' rear setback requirement and does not change or add a new roof line. (Guideline D4/D5). New smooth Hardiplank siding shall be installed on the new expansion of the first floor and the existing second floor exterior, providing a more historically accurate scale, look, and texture and complimenting the original home. Windows are simulated divided light and compliment the styling of the existing house.

FELTS-GROSSNICKLE RESIDENCE

KITCHEN AND SCREEN PORCH RENOVATION

5537 LAMBETH ROAD
BETHESDA, MD 20814

**LEVINE
GROUP**

MHIC# 27455

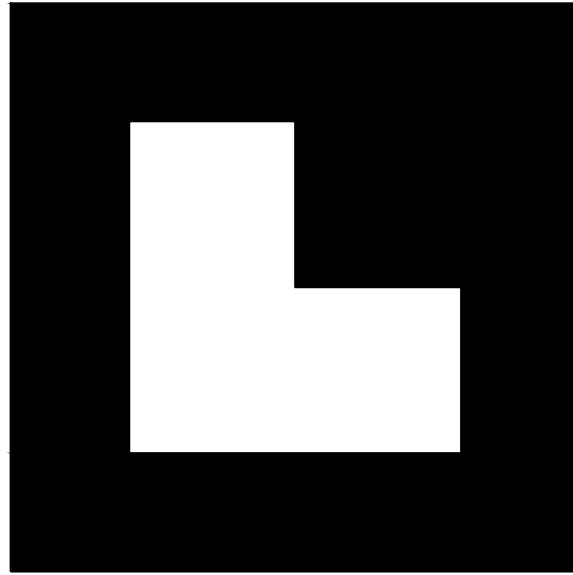
301.585.4848

fax 301.585.4207

9466 GEORGIA AVE

SUITE 95

Silver Spring, MD 20910



SCOPE OF WORK

RENOVATE THE EXISTING KITCHEN IN NEW LOCATION, CONSTRUCT NEW MUD ROOM, FIRST FLOOR POWDER ROOM, AND SCREEN PORCH

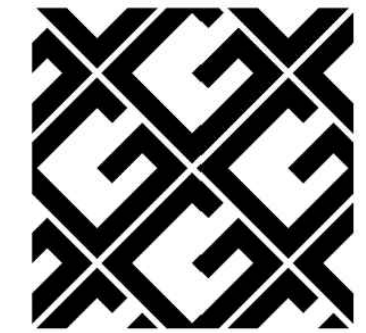
DRAWING INDEX

0000 INDEX
D001 EXISTING LOWER LEVEL FLOOR PLAN
D002 EXISTING FIRST FLOOR PLAN
D003 EXISTING SECOND FLOOR PLAN
D004 EXISTING EXTERIOR ELEVATIONS
A001 LOWER LEVEL FLOOR PLAN - PROPOSED
A002 FIRST FLOOR PLAN - PROPOSED
A003 SECOND FLOOR PLAN - NO CHANGE
A004 EXTERIOR ELEVATIONS - PROPOSED
A005 WINDOWS, DOORS, AND FINISH SCHEDULES AND DETAILS
A006 CONSTRUCTION DETAILS

GENERAL NOTES:

NOTE: ALL WORK AND MATERIALS TO COMPLY WITH THE MONTGOMERY COUNTY MARYLAND REQUIREMENTS OF THE 2018 INTERNATIONAL BUILDING CODES ER 31-19, MONTGOMERY COUNTY CODE CHAPTER 8- BUILDINGS, THE LOCAL BUILDING CODE AMENDMENTS, THE LOCAL EXISTING BUILDING CODE AMENDMENTS, AND THE 2017 NATIONAL ELECTRICAL CODE.

1. NOTIFY MISS UTILITY 48 HOURS PRIOR TO DIGGING: 1-800-257-7777.
2. REGULATORY COMPLIANCE: COMPLY WITH ALL LOCAL CONSTRUCTION CODES AND ZONING ORDINANCES. OBTAIN ALL NECESSARY TRADE AND BUILDING PERMITS, WALL CHECKS, INSPECTIONS, AND CERTIFICATES OF OCCUPANCY.
3. CONDITIONS: THOROUGHLY REVIEW FIELD CONDITIONS, DIMENSIONS, AND CONTRACT DOCUMENTS. NOTIFY THE DESIGNER IMMEDIATELY OF CONFLICTS, DEFICIENCIES OR OMISSIONS. REQUEST CLARIFICATION AS NEEDED. DO NOT SCALE THE DRAWINGS. CHANGE ORDERS WILL NOT BE ISSUED DUE TO THE CONTRACTOR'S FAILURE TO REVIEW THE DRAWINGS, SPECS., OR EXISTING CONDITIONS. DEVIATIONS FROM PLANS AND PRODUCT SUBSTITUTIONS MUST BE APPROVED BY THE OWNER.
4. SUPERVISION: CONTRACTOR IS RESPONSIBLE FOR SUPERVISION, COORDINATION AND SCHEDULING OF EACH SUBCONTRACTOR AND SUPPLIER. PROJECT MUST PROCEED IN A TIMELY AND WORKMANLIKE MANNER. REQUIRE ALL SUBCONTRACTORS & INSTALLERS TO INSPECT AREAS TO RECEIVE WORK AND CONDITIONS UNDER WHICH WORK IS TO BE PERFORMED AND TO REPORT TO CONTRACTOR ANY UNSATISFACTORY CONDITIONS. CHANGE ORDERS WILL NOT BE ISSUED DUE TO CONTRACTOR'S FAILURE TO REVIEW AND COORDINATION OF SUBCONTRACTORS.
5. SITE CONTROLS: CONTRACTOR IS SOLELY RESPONSIBLE FOR JOB SITE SAFETY. PROVIDE TEMPORARY PEDESTRIAN AND VEHICULAR BARRIERS AS REQUIRED TO PROTECT WORKERS AND PUBLIC. MAINTAIN JOB SITE NEAT AND FREE FROM ACCUMULATION OF TRASH AND BUILDING MATERIAL WASTE.
6. PRODUCTS: FURNISH ITEMS SPECIFIED AND INSTALL PER MANUFACTURER'S INSTRUCTIONS. INSPECT DELIVERIES FOR COMPLIANCE WITH SPECIFIED PRODUCT, MATERIAL AND QUANTITY. STORE IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
7. TEMPORARY PROTECTION: PROVIDE ADEQUATE TEMPORARY PROTECTION AGAINST WEAR FOR ALL NEW AND EXISTING CONSTRUCTION. REPAIR, PATCH, PAINT, ETC.. ALL AREAS WHERE NEW CONSTRUCTION DAMAGES EXISTING CONDITIONS. ALL LANDSCAPING DESIGNATED TO REMAIN OR REASONABLE BEYOND LIMITS OF OPERATIONS TO BE PROTECTED FROM DAMAGE.
8. SEDIMENT CONTROL: PRIOR TO EXCAVATION AND THROUGHOUT COURSE OF WORK, PROVIDE CONTROL MEASURES AS NECESSARY TO PREVENT SEDIMENT DISCHARGE BEYOND THE PROPERTY LINES. MEASURES SHALL BE FOLLOWED BY ALL STATE AND LOCAL COUNTY REQUIREMENTS. MAINTAIN SEDIMENT CONTROL FEATURES UNTIL LANDSCAPING IS IN PLACE AND STABILIZED.
9. DEFECTIVE WORK: PROMPTLY CORRECT WORK REJECTED BY DESIGNER OR FOUND NOT IN COMPLIANCE WITH THE CONTRACT, INCLUDING DEFECTIVE WORK DISCOVERED AFTER THE DATE OF SUBSTANTIAL COMPLETION.



GROSSMUELLER'S
DESIGN

4000 ALBEMARLE STREET NW #501
WASHINGTON, DC 20016
O 202.537.0060
GROSSMUELLERS.COM

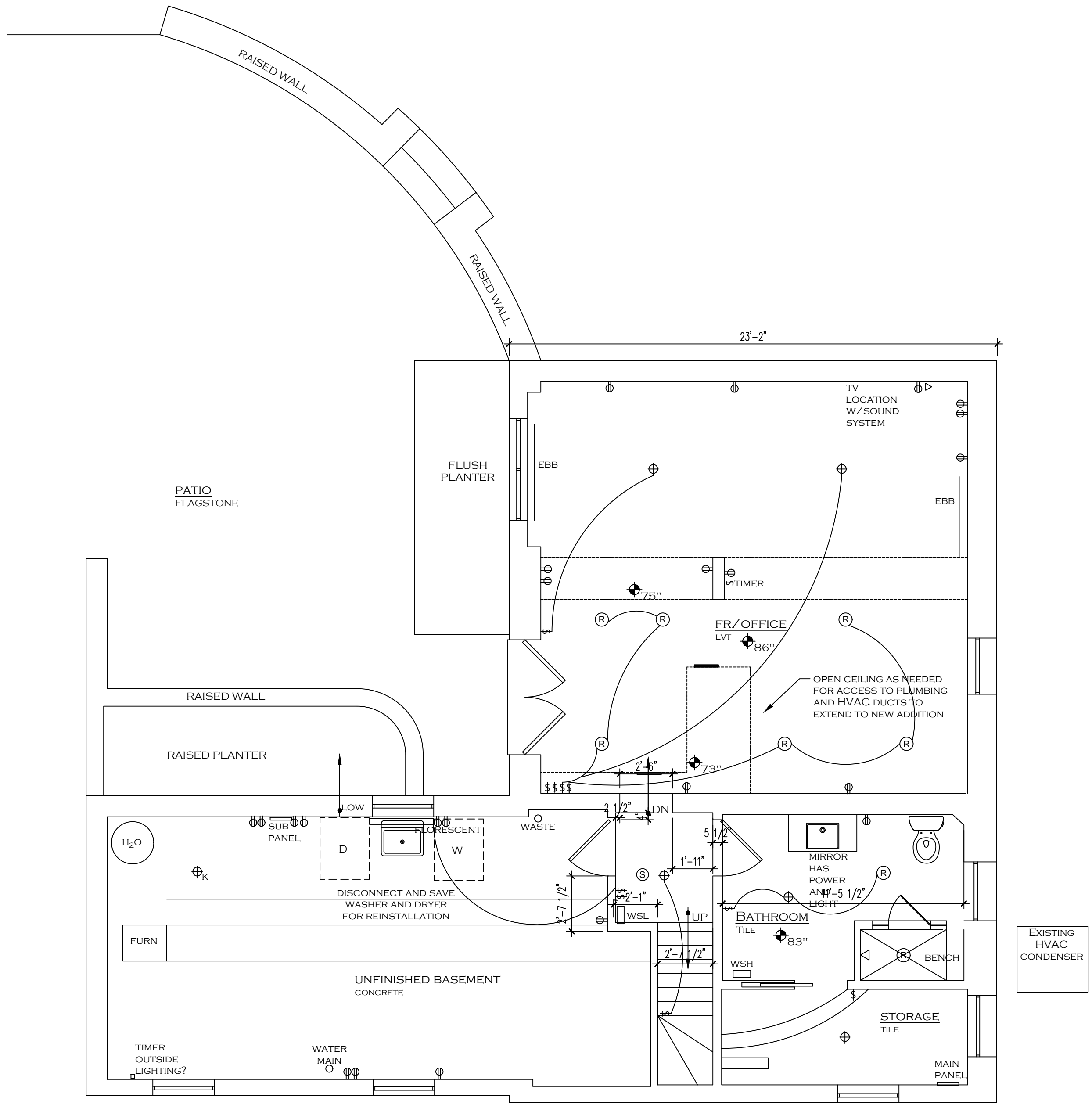
REVISIONS	DATE
REVIEW	1.29.25
CONTRACT	2.15.25
HWAP APP	2.26.25

Drawings, specifications, and all other instruments of service are and shall remain the property of Grosmuellers Design Consultants, Inc. whether the projects for which they are made are executed or not. This is an original design and may not be used or copied under penalty of law.

The documents prepared by the Architect/Designer have been prepared based upon reasonable assumptions derived from existing information provided by the Client and from observations and measurements obtained of the existing conditions by the Architect/Designer without invasive investigation made undesirable by expense and inconvenience to the Client. It is understood and agreed that unforeseen existing conditions uncovered during the progress of the work may require changes in the work resulting in additional cost and delay, for which the Client shall maintain sufficient contingency.

CONSTRUCTION KEY

- EXISTING TO REMAIN
- TO BE REMOVED
- NEW CONSTRUCTION



EXISTING LOWER LEVEL FLOOR PLAN
SCALE: 1/4" = 1'-0"

The above drawings and specifications, and the ideas, designs and arrangements represented hereby are and shall remain the property of the architect. No part thereof shall be copied, disclosed to others or used in connection with any work or project or by any other person for any purpose other than for the specific project for which they have been prepared and developed without the written consent of the architect. The architect shall be responsible for the accuracy of the drawings and specifications and shall constitute conclusive evidence and acceptance of these restrictions.

LEVINE GROUP
MHIC #27455
301.585.4848
301.585.4207
9466 GEORGIA AVE
SUITE 95
Silver Spring, MD 20910

PHASE:	CONTRACT
DATE:	2.15.25
SCALE:	1/4" = 1'-0"
DRAWN:	CGM
REVISION:	

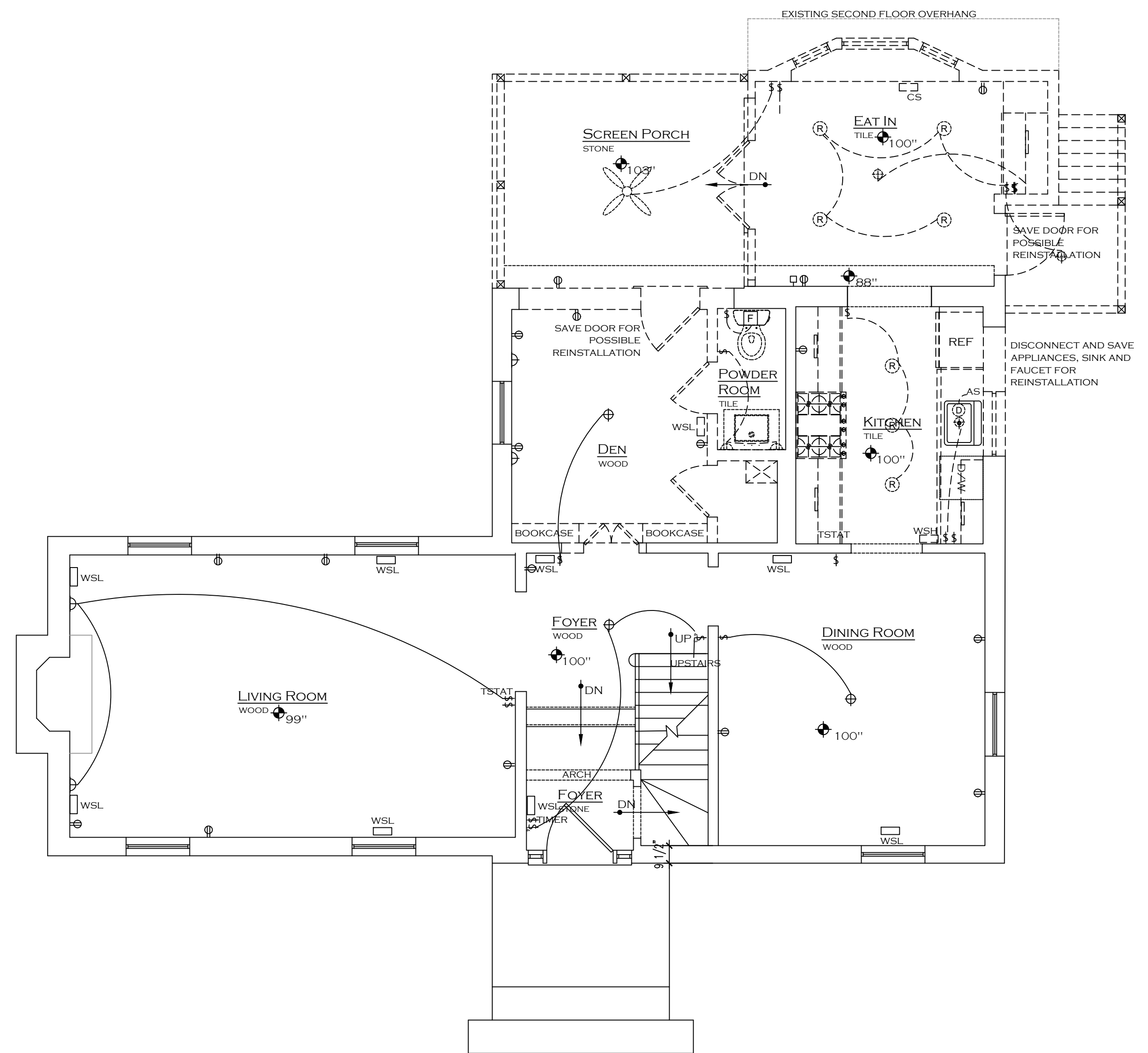
FELTS-GROSSNICKLE
5537 LAMBETH RD
BETHESDA, MD 20814

GROSSMUELLER'S DESIGN
4000 ALBANY STREET NW #801
WASHINGTON, DC 20008
GROSSMUELLERS.COM

EXISTING FLOOR PLANS
DOO1

CONSTRUCTION KEY

- EXISTING TO REMAIN
- TO BE REMOVED
- NEW CONSTRUCTION



EXISTING FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

The above drawings and specifications, and the ideas, designs and arrangements represented hereby are and shall remain the property of the architect. No part thereof shall be copied, disclosed to others or used in connection with any work or project or by any other person for any purpose other than for the specific project for which they have been prepared and developed without the written consent of the architect. The architect shall not be responsible for any errors or omissions in these specifications or for any consequences of these restrictions and acceptance of these restrictions.

LEVINE GROUP
MHC #27455
301.585.4848
301.585.4207
9486 GEORGIA AVE
SUITE 95
Silver Spring, MD 20910

PHASE:	CONTRACT
DATE:	2.15.25
SCALE:	1/4" = 1'-0"
DRAWN:	CGM
REVISION	

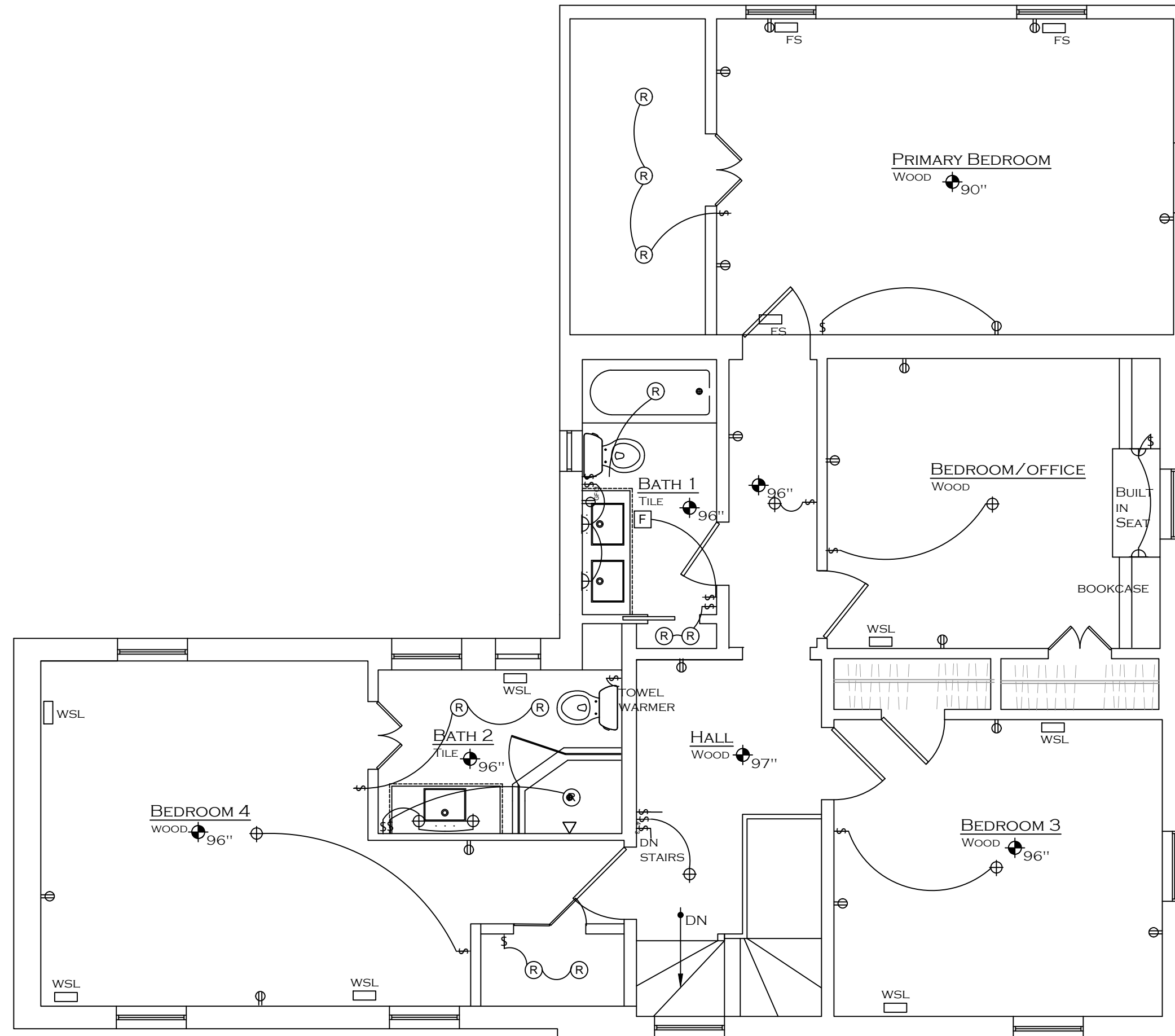
FELTS-GROSSNICKLE
5537 LAMBETH RD
BETHESDA, MD 20814

GROSSMUELLER'S DESIGN
4000 ALBANY STREET NW #201
WASHINGTON DC 20008
202.331.1111
GROSSMUELLERS.COM

EXISTING FLOOR PLANS
D002

CONSTRUCTION KEY

- EXISTING TO REMAIN
- TO BE REMOVED
- NEW CONSTRUCTION



EXISTING SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

The above drawings and specifications, and the ideas, designs and arrangements represented hereby are and shall remain the property of the architect. No part thereof shall be copied, disclosed to others or used in connection with any work or project or by any other person for any purpose other than for the specific project for which they have been prepared and developed without the written consent of the architect. Specifications shall constitute conclusive evidence and acceptance of these restrictions.

LEVINE GROUP
 MHC #27455
 301.585.4848
 301.585.4207
 9466 GEORGIA AVE
 SUITE 95
 Silver Spring, MD 20910

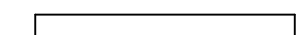
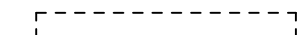

PHASE:	CONTRACT	DATE:	REVISION
2.15.25	2.15.25	1/4" = 1'-0"	
SCALE:	CGM	DRAWN:	

FELTS-GROSSNICKLE
 5537 LAMBETH RD
 BETHESDA, MD 20814



EXISTING
FLOOR PLANS
D003

CONSTRUCTION KEY

-  EXISTING TO REMAIN
-  TO BE REMOVED
-  NEW CONSTRUCTION



EXISTING NORTH ELEVATION
SCALE: $\frac{1}{8}'' = 1'-0''$



EXISTING EAST ELEVATION
SCALE: $\frac{1}{8}'' = 1'-0''$



EXISTING SOUTH ELEVATION
SCALE: $\frac{1}{8}'' = 1'-0''$



EXISTING WEST ELEVATION
SCALE: $\frac{1}{8}'' = 1'-0''$

The above drawings and specifications, and the ideas, designs and arrangements represented hereby are and shall remain the property of the architect. No part thereof shall be copied, disclosed to others or used in connection with any work or project or by any other person for any purpose other than for the specific project for which they have been prepared and developed without the written consent of the architect. The architect's liability shall be limited to the extent of the architect's professional fee and shall not constitute an acceptance of these restrictions.

LEVINE GROUP
MHC #27455
301.585.4848
301.585.4207
9466 GEORGIA AVE
SUITE 95
Silver Spring, MD 20910

PHASE:	CONTRACT
DATE:	2.15.25
SCALE:	$\frac{1}{8}'' = 1'-0''$
DRAWN:	CGM
REVISION:	

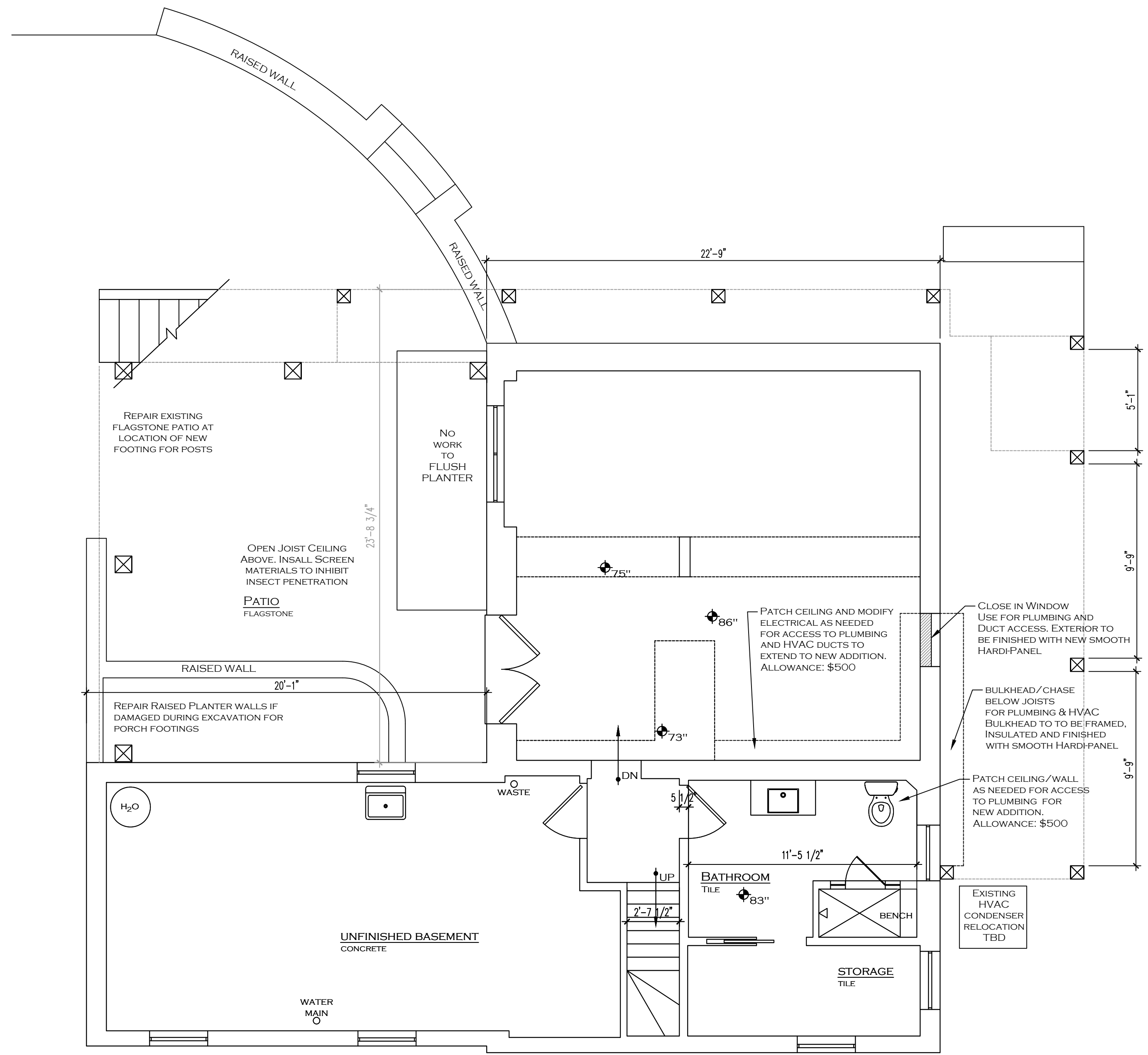
FELTS-GROSSNICKLE
5537 LAMBETH RD
BETHESDA, MD 20814



EXISTING EXTERIOR ELEVATIONS
D004

CONSTRUCTION KEY

- EXISTING TO REMAIN
- TO BE REMOVED
- NEW CONSTRUCTION



LOWER LEVEL FLOOR PLAN - PROPOSED
SCALE: 1/4" = 1'-0"

The above drawings and specifications, and the ideas, designs and arrangements represented hereby are and shall remain the property of the architect. No part thereof shall be copied, disclosed to others or used in connection with any work or project or by any other person for any purpose other than for the specific project for which they have been prepared and developed without the written consent of the architect. The architect shall be responsible for the accuracy of the drawings and specifications and shall constitute conclusive evidence and acceptance of these restrictions.

LEVINE GROUP
MHC #27455
301.585.4848
301.585.4207
9486 GEORGIA AVE
SUITE 95
Silver Spring, MD 20910

CONTRACT	2.15.25	SCALE	1/4" = 1'-0"
PHASE:	DATE:	DRAWN:	CGM
REVISION			

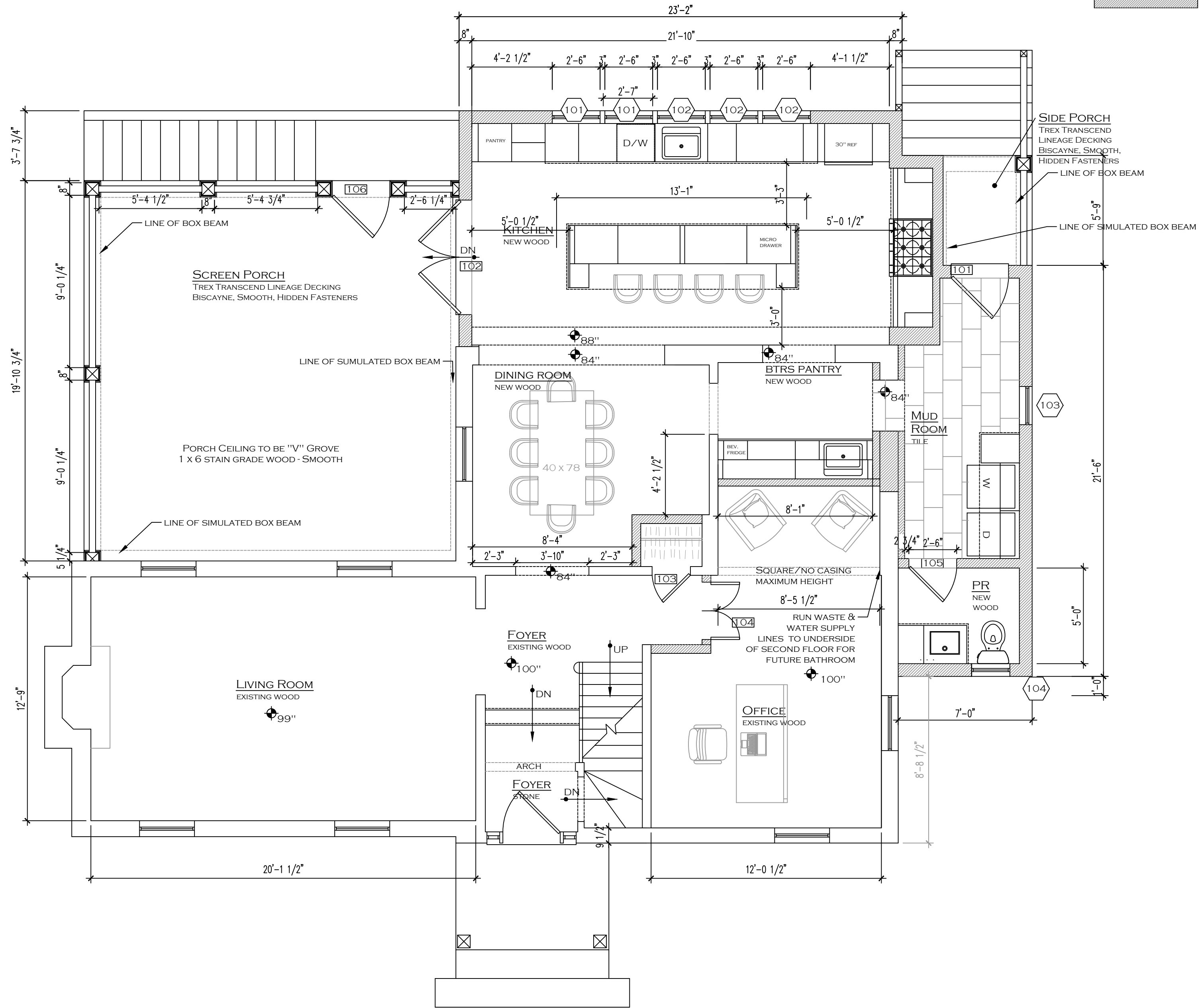
FELTS-GROSSNICKLE
5537 LAMBETH RD
BETHESDA, MD 20814

GROSSMUELLER'S DESIGN
4000 ALBANY STREET NW #801
WASHINGTON, DC 20008
GROSSMUELLERS.COM

PROPOSED FLOOR PLAN
A001

CONSTRUCTION KEY

- EXISTING TO REMAIN
- TO BE REMOVED
- NEW CONSTRUCTION



FIRST FLOOR PLAN - PROPOSED
SCALE: 1/4" = 1'-0"

The above drawings and specifications, and the ideas, designs and arrangements represented hereby are and shall remain the property of the architect. No part thereof shall be copied, disclosed to others or used in connection with any work or project or by any other person for any purpose other than for the specific project for which they have been prepared and developed without the written consent of the architect. The architect shall be responsible for the accuracy of the drawings and specifications and shall not be liable for any errors or omissions or for any consequences or liabilities arising from or in connection with the use of these drawings and specifications.

LEVINE GROUP
MHC #27455
301.585.4848
301.585.4207
9466 GEORGIA AVE
SUITE 95
Silver Spring, MD 20910

PHASE:	CONTRACT
DATE:	2.15.25
SCALE:	1/4" = 1'-0"
DRAWN:	CGM
REVISION:	

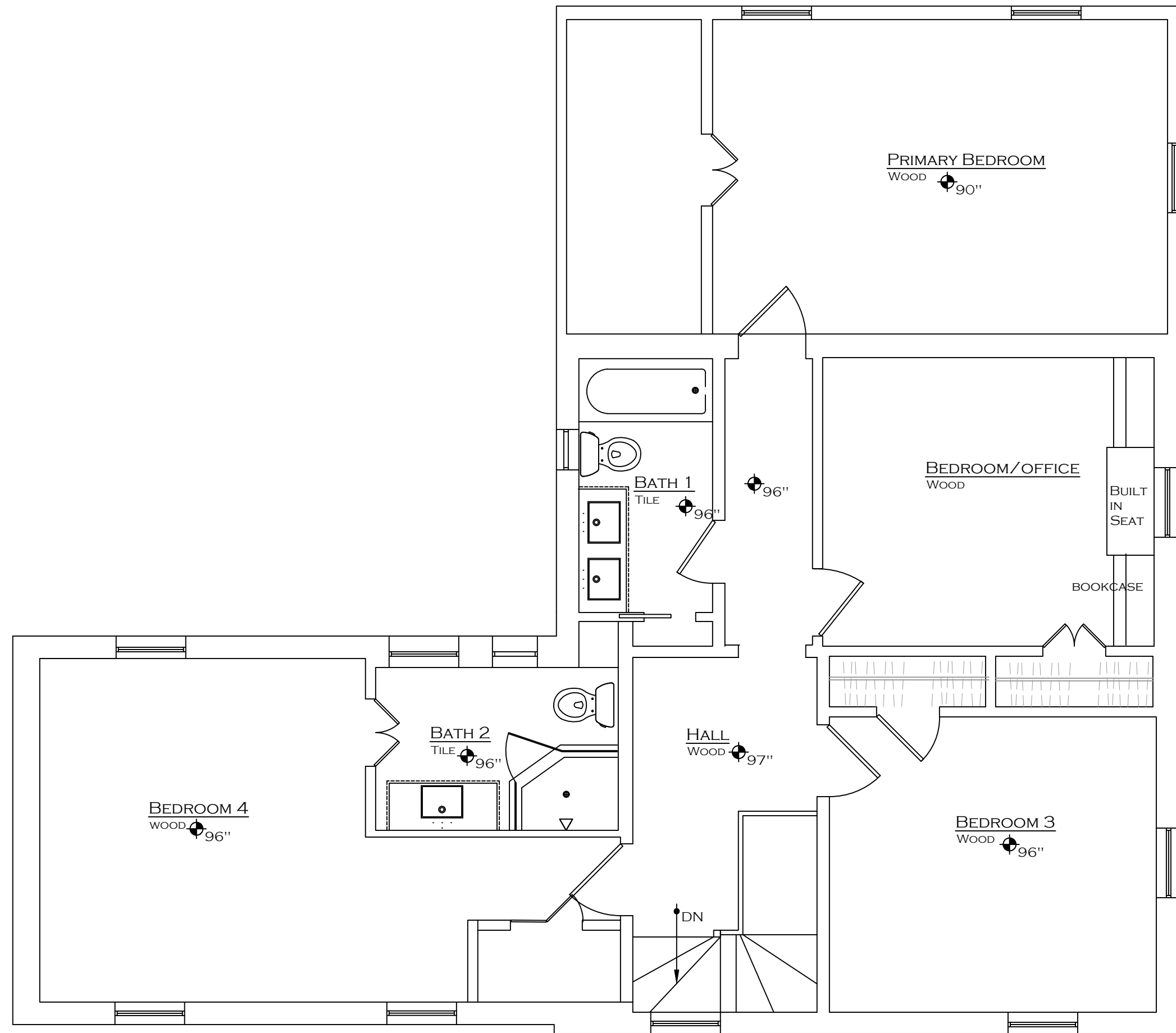
FELTS-GROSSNICKLE
5537 LAMBETH RD
BETHESDA, MD 20814

GROSSMUELLER'S DESIGN
4000 ALBANY STREET NW #801
WASHINGTON, DC 20008
GROSSMUELLERS.COM

PROPOSED FLOOR PLAN
A002

CONSTRUCTION KEY

- EXISTING TO REMAIN
- TO BE REMOVED
- NEW CONSTRUCTION



SECOND FLOOR PLAN - NO CHANGES
SCALE: 1/4" = 1'-0"

The above drawings and specifications, and the ideas, designs and arrangements represented hereby are and shall remain the property of the architect. No part thereof shall be copied, disclosed to others or used in connection with any work or project or by any other person for any purpose other than for the specific project for which they have been prepared and developed without the written consent of the architect. The architect shall constitute conclusive evidence and acceptance of these restrictions.

LEVINE GROUP
 MHC #27455
 301.585.4848
 301.585.4207
 9486 GEORGIA AVE
 SUITE 95
 Silver Spring, MD 20910

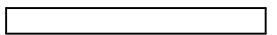


PHASE:	CONTRACT
DATE:	2.15.25
SCALE:	1/4" = 1'-0"
DRAWN:	CGM
REVISION	

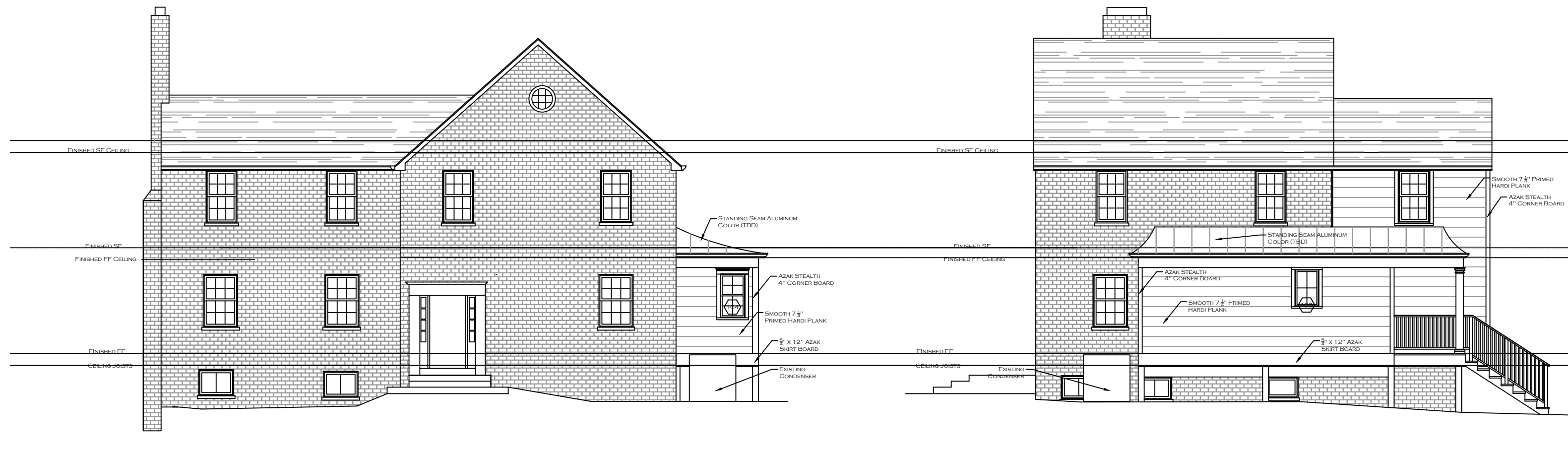
FELTS-GROSSNICKLE
 5537 LAMBETH RD
 BETHESDA, MD 20814

GROSSMUELLER'S DESIGN
 4000 ALFORD STREET NW #801
 WASHINGTON, DC 20008
 GROSSMUELLERS.COM

PROPOSED
 FLOOR PLAN
A003

CONSTRUCTION KEY

-  EXISTING TO REMAIN
-  TO BE REMOVED
-  NEW CONSTRUCTION

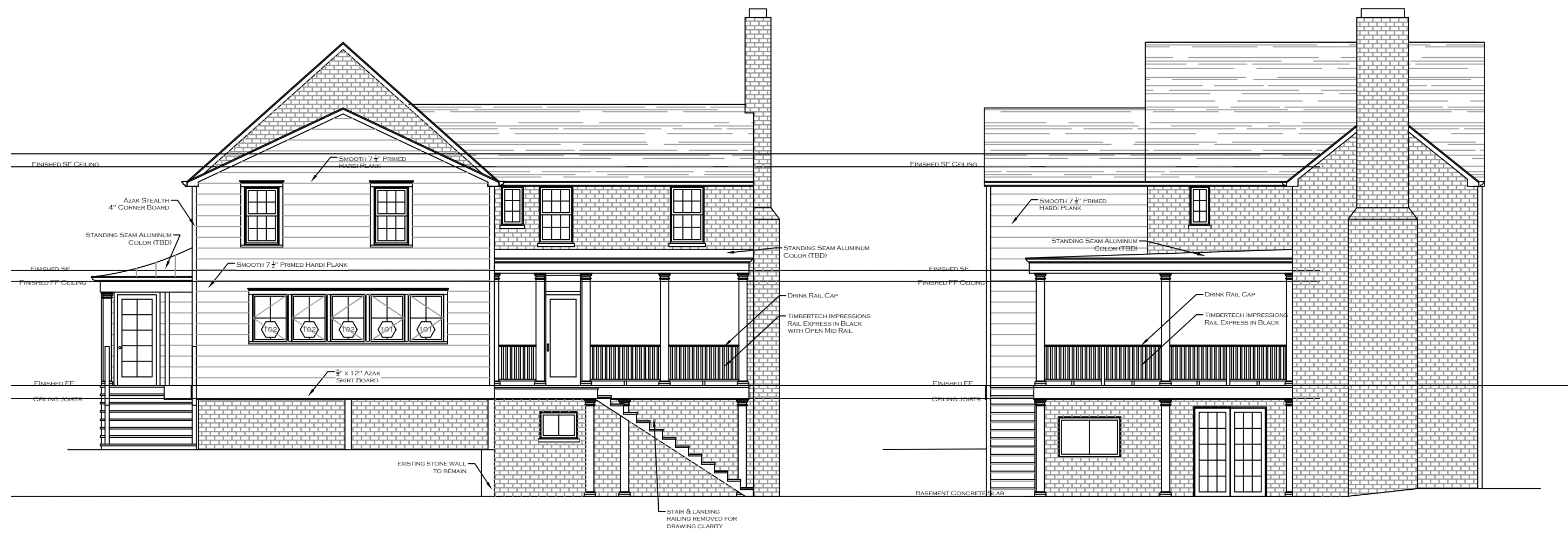


PROPOSED NORTH ELEVATION

SCALE: $\frac{1}{8}'' = 1'-0''$

PROPOSED EAST ELEVATION

SCALE: $\frac{1}{8}'' = 1'-0''$



PROPOSED SOUTH ELEVATION

SCALE: $\frac{1}{8}'' = 1'-0''$

PROPOSED WEST ELEVATION

SCALE: $\frac{1}{8}'' = 1'-0''$

The above drawings and specifications, and the ideas, designs and arrangements represented hereby are and shall remain the property of the architect. No part thereof shall be copied, disclosed to others or used in connection with any work or project or by any other person for any purpose other than for the specific project for which they have been prepared and developed without the written consent of the architect. The architect shall be responsible for the accuracy of the specifications and shall constitute conclusive evidence and acceptance of these restrictions.

LEVINE GROUP
 MHC #27455
 301.585.4848
 fax 301.585.4207
 9466 GEORGIA AVE
 SUITE 95
 Silver Spring, MD 20910

PHASE:	CONTRACT
DATE:	2.15.25
SCALE:	$\frac{1}{8}'' = 1'-0''$
DRAWN:	CGM
REVISION:	

FELTS-GROSSNICKLE
 5537 LAMBETH RD
 BETHESDA, MD 20814

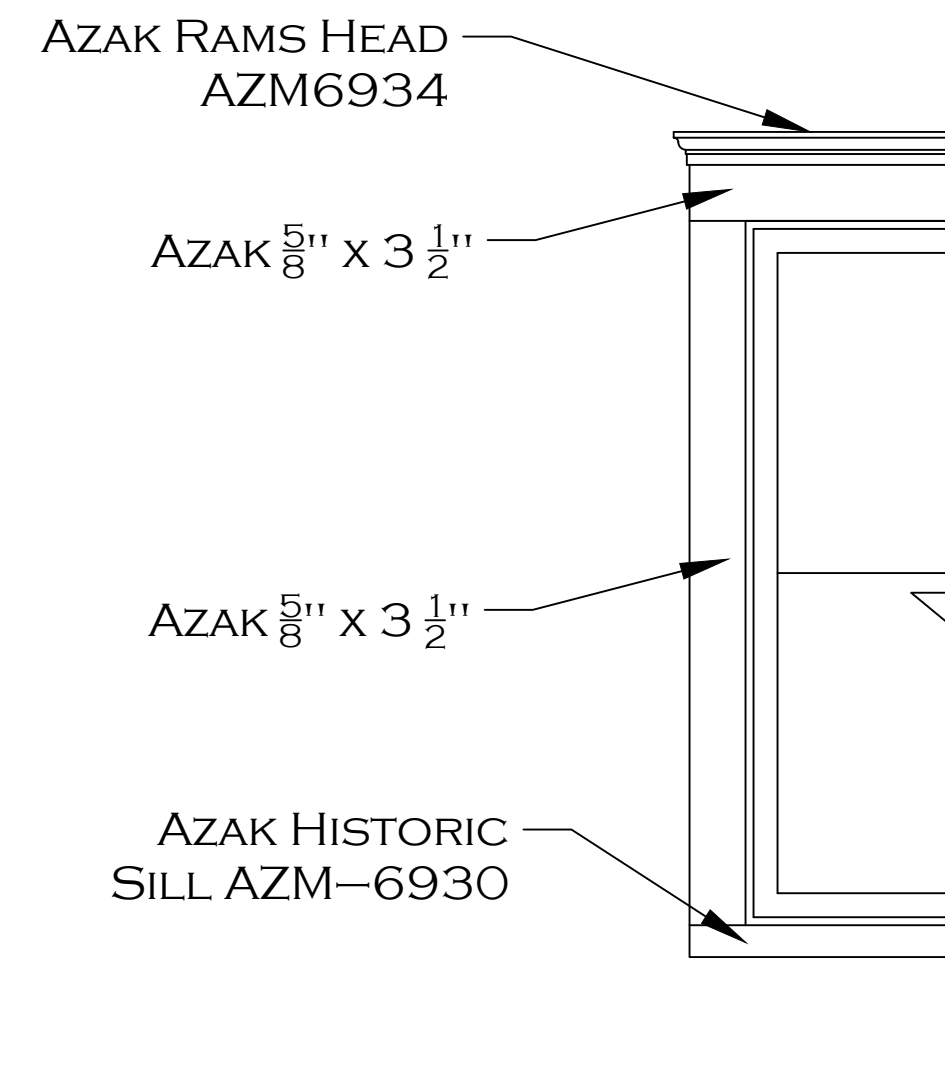


PROPOSED
 EXTERIOR
 ELEVATIONS
A004

WINDOW SCHEDULE								
MARK	QUANT.	MANUFACTURER / MODEL #	ROUGH OPENING	EXT / INT COLOR	NOTES	U-FACTOR	SHGC	LOCATION(S)
101	2	WEATHERSHIELD SIGNATURE SERIES CASEMENT-RIGHT 2636	30" x 42"	WHITE/PRIMED	4 LITE 2W x 2 H, LOW E GLASS, $\frac{7}{8}$ " SDL w/ GBG, $6\frac{9}{16}$ " JAMBS, AND FIBERGLASS SCREENS, LOCKING WHITE HARDWARE	.3	.18	KITCHEN
102	3	WEATHERSHIELD SIGNATURE SERIES CASEMENT-LEFT 2636	30" x 42"	WHITE/PRIMED	4 LITE 2W x 2 H, LOW E GLASS, $\frac{7}{8}$ " SDL w/ GBG, $6\frac{9}{16}$ " JAMBS, AND FIBERGLASS SCREENS, LOCKING WHITE HARDWARE	.3	.18	KITCHEN
103	1	WEATHERSHIELD SIGNATURE SERIES CASEMENT-LEFT 2030	24" x 36"	WHITE/PRIMED	4 LITE 2W x 2 H, LOW E GLASS, $\frac{7}{8}$ " SDL w/ GBG, $6\frac{9}{16}$ " JAMBS, AND FIBERGLASS SCREENS, LOCKING WHITE HARDWARE	.3	.18	MUD ROOM
104	1	WEATHERSHIELD SIGNATURE SERIES DOUBLE HUNG 2036	24" x 42"	WHITE/PRIMED	4 OVER 4, 2W x 2 H, LOW E TEMPERED GLASS, $\frac{7}{8}$ " SDL w/ GBG, $6\frac{9}{16}$ " JAMBS, FIBERGLASS SCREENS, LOCKING WHITE HARDWARE	.31	.18	POWDER ROOM

DOOR SCHEDULE								
MARK	QUANT.	MANUFACTURER	DOOR SIZE	EXT / INT COLOR	NOTES	U-FACTOR	SHGC	LOCATION(S)
101	1	REINSTALL EXISTING DEN TO SCREEN PORCH OR KITCHEN TO DECK DOOR.	VIF	WHITE/PRIMED	EXISTING	EXISTING	EXISTING	MUD ROOM
102	1	WEATHERSHIELD SIGNATURE SERIES ALUMINUM CLAD EXTERIOR TWIN OUTSWING FRENCH DOOR-ACTIVE RIGHT FIRST	72" x 86 $\frac{1}{2}$ "	WHITE/PRIMED	INCLUDES LOW E TEMPERED GLASS WITH 10 LIGHTS, $\frac{7}{8}$ " SDL w/ GBG, $6\frac{9}{16}$ " JAMBS, AND 3-POINT, LOCKING BRUSHED NICKEL HARDWARE	.33	.14	KITCHEN
103	1	SOLID WOOD, INTERIOR 6-RAISED PANEL DOOR, LEFT	2'0" x 7'0"	PRIMED	PRE-HUNG, NO CASING, BRUSHED NICKEL HINGES, PASSAGE HARDWARE ALLOWANCE: \$50.00	N/A	N/A	HALL CLOSET
104	1	WOOD, INTERIOR 10-LITE TWIN FRENCH DOOR, BOTH ACTIVE	3'0" x 7'0"	PRIMED	PRE-HUNG, NO CASING, BRUSHED NICKEL HINGES, PASSAGE HARDWARE ALLOWANCE: \$100.00	N/A	N/A	FIRST FLOOR OFFICE
105	1	SOLID WOOD, INTERIOR 6-RAISED PANEL DOOR, RIGHT	2'6" x 7'0"	PRIMED	PRE-HUNG, NO CASING, BRUSHED NICKEL HINGES, PASSAGE HARDWARE ALLOWANCE: \$50.00	N/A	N/A	POWDER ROOM
106	1	SCREEN PORCH DOOR	3'0" x 6'8"	PRIMED/WHITE	PRE-HUNG, ALUMINUM DOOR, ALLOWANCE: \$400	N/A	N/A	SCREEN DOOR

FINISH SCHEDULE							
ROOM	BASEBOARD	WINDOW/DOOR CASING/PLINTH	FLOORING	WALL COLOR/FINISH	TRIM COLOR/FINISH	CEILING COLOR	NOTES
ENTRY FOYER	PATCH AS NEEDED, MATCH EXISTING PAINT GRADE 1 x 4 WITH OGEE CAP	VIF, WM376 OR 371 CASING WITH WM-9 PLINTH	PATCH HARDWOOD, SAND AND FINISH TO MATCH	TBD	TBD	TBD	
LIVING ROOM	No CHANGE	No CHANGE	No CHANGE	No CHANGE	No CHANGE	No CHANGE	
DINING ROOM	VIF, MATCH EXISTING PAINT GRADE 1 x 4 WITH OGEE CAP	VIF, WM376 OR 371 CASING WITH WM-9 PLINTH	PATCH HARDWOOD, SAND AND FINISH TO MATCH	TBD	TBD	TBD	
KITCHEN	VIF, MATCH EXISTING PAINT GRADE 1 x 4 WITH OGEE CAP	VIF, WM376 OR 371 CASING WITH WM-9 PLINTH	NEW HARDWOOD, SAND AND FINISH TO MATCH	TBD	TBD	TBD	OPENINGS BTWN KITCHEN AND DINING ROOM/BUTLER'S PANTY TO BE CASED
BUTLER'S PANTRY	VIF, MATCH EXISTING PAINT GRADE 1 x 4 WITH OGEE CAP	VIF, WM376 OR 371 CASING WITH WM-9 PLINTH	NEW HARDWOOD, SAND AND FINISH TO MATCH	TBD	TBD	TBD	OPENING BTWN DINING ROOM AND BUTLER'S PANTY TO BE CASED
MUD ROOM	VIF, MATCH EXISTING PAINT GRADE 1 x 4 WITH OGEE CAP	VIF, WM376 OR 371 CASING WITH WM-9 PLINTH	NEW 12 x 24 TILE LAID IN $\frac{1}{4}$ " OFFSET SEE 1005	TBD	TBD	TBD	ARCH BTWN BUTLER'S PANTRY AND MUD ROOM TO BE DRYWALL
POWDER ROOM	VIF, MATCH EXISTING PAINT GRADE 1 x 4 WITH OGEE CAP	VIF, WM376 OR 371 CASING WITH WM-9 PLINTH	NEW HARDWOOD, SAND AND FINISH TO MATCH	TBD	TBD	TBD	EXISTING EXTERIOR BRICK WALL TO REMAIN EXPOSED IN PR. APPLY CLEAR MATTE SEALER.
FRONT OFFICE	VIF, MATCH EXISTING PAINT GRADE 1 x 4 WITH OGEE CAP	VIF, WM376 OR 371 CASING WITH WM-9 PLINTH	PATCH HARDWOOD, SAND AND FINISH TO MATCH	TBD	TBD	TBD	OPENING TO SITTING ROOM WITHIN THE OFFICE TO BE DRYWALL
BSMT MAIN ROOM	No CHANGE	No CHANGE	No CHANGE	TOUCH UP DAMAGED AREAS DUE TO CONSTRUCTION AT NEW BULKHEAD	TBD	TOUCH UP DAMAGED AREAS DUE TO CONSTRUCTION AT NEW BULKHEAD	
BSMT. BATHROOM	No CHANGE	No CHANGE	No CHANGE	TOUCH UP DAMAGED AREAS DUE TO CONSTRUCTION AT WASTE STACK TIE-IN	TBD	TOUCH UP DAMAGED AREAS DUE TO CONSTRUCTION AT WASTE STACK TIE-IN	



EXTERIOR WINDOW TRIM DETAIL
SCALE: NTS

The above drawings and specifications, and the ideas, designs and arrangements represented hereby are and shall remain the property of the architect. No part thereof shall be copied, disclosed to others or used in connection with any work or project or by any other person for any purpose other than for the specific project for which they have been prepared and developed without the written consent of the architect. The architect shall constitute conclusive evidence and acceptance of these restrictions.

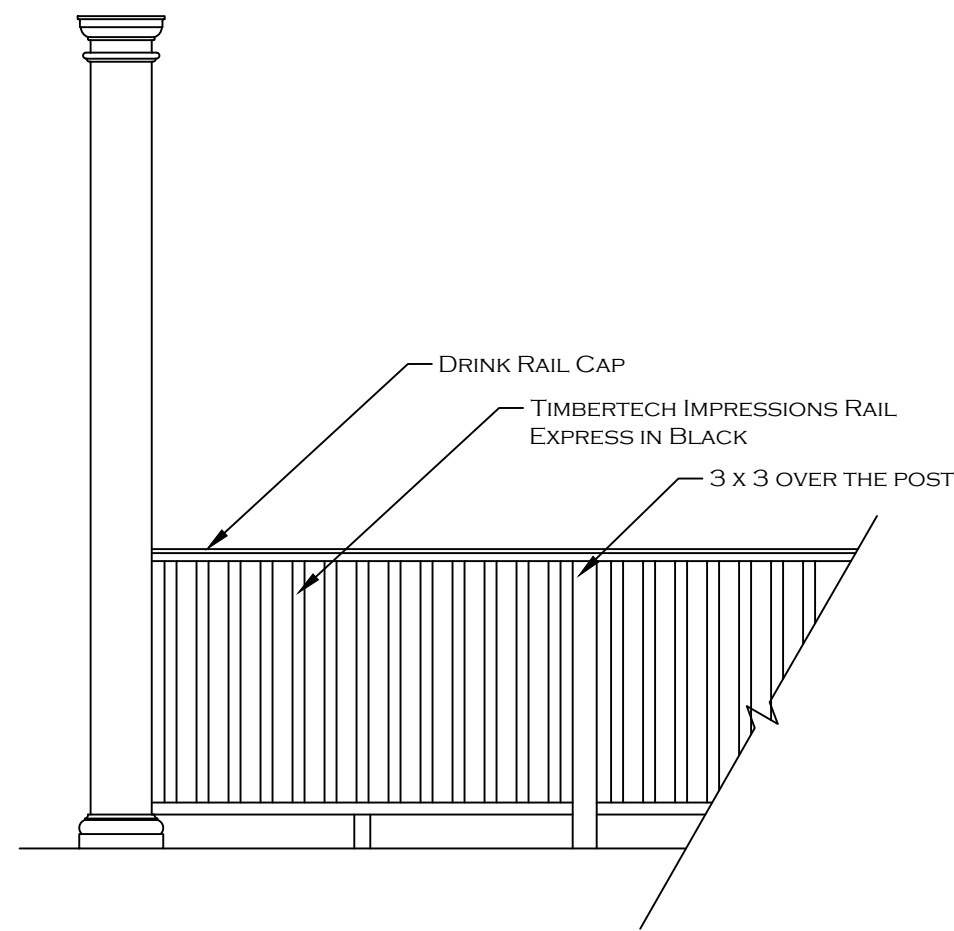
LEVINE GROUP
MHC #27455
301.585.4848
301.585.4207
9466 GEORGIA AVE
SUITE 95
Silver Spring, MD 20910

CONTRACT	2.15.25	1" = 1'-0"	CGM
PHASE:	DATE:	SCALE:	DRAWN:
			REVISION

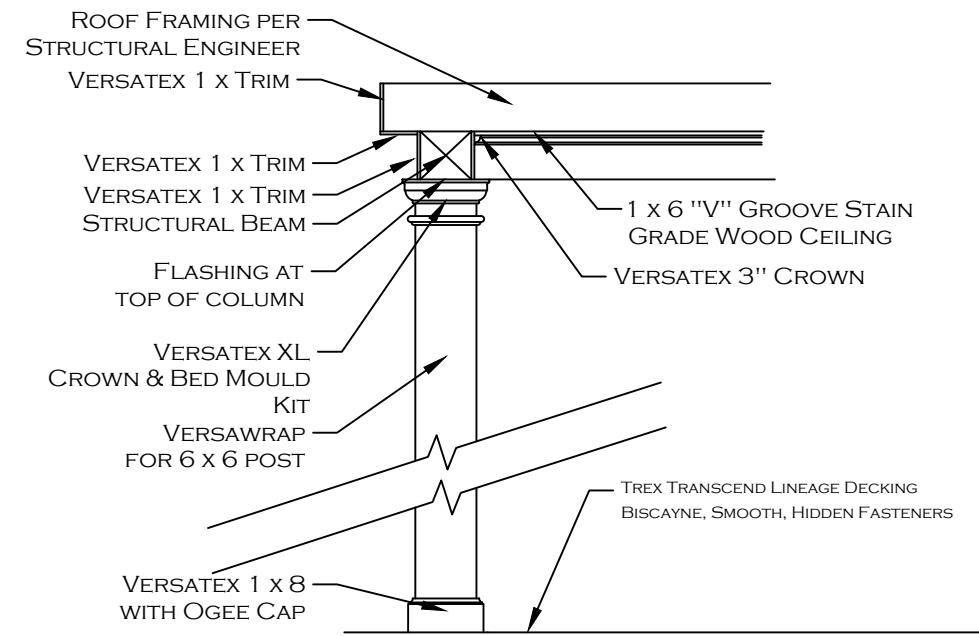
FELTS-GROSSNICKLE
5537 LAMBETH RD
BETHESDA, MD 20814

GROSSMUELLER'S DESIGN
4000 ALBANY STREET NW #801
WASHINGTON, DC 20008
GROSSMUELLER.COM

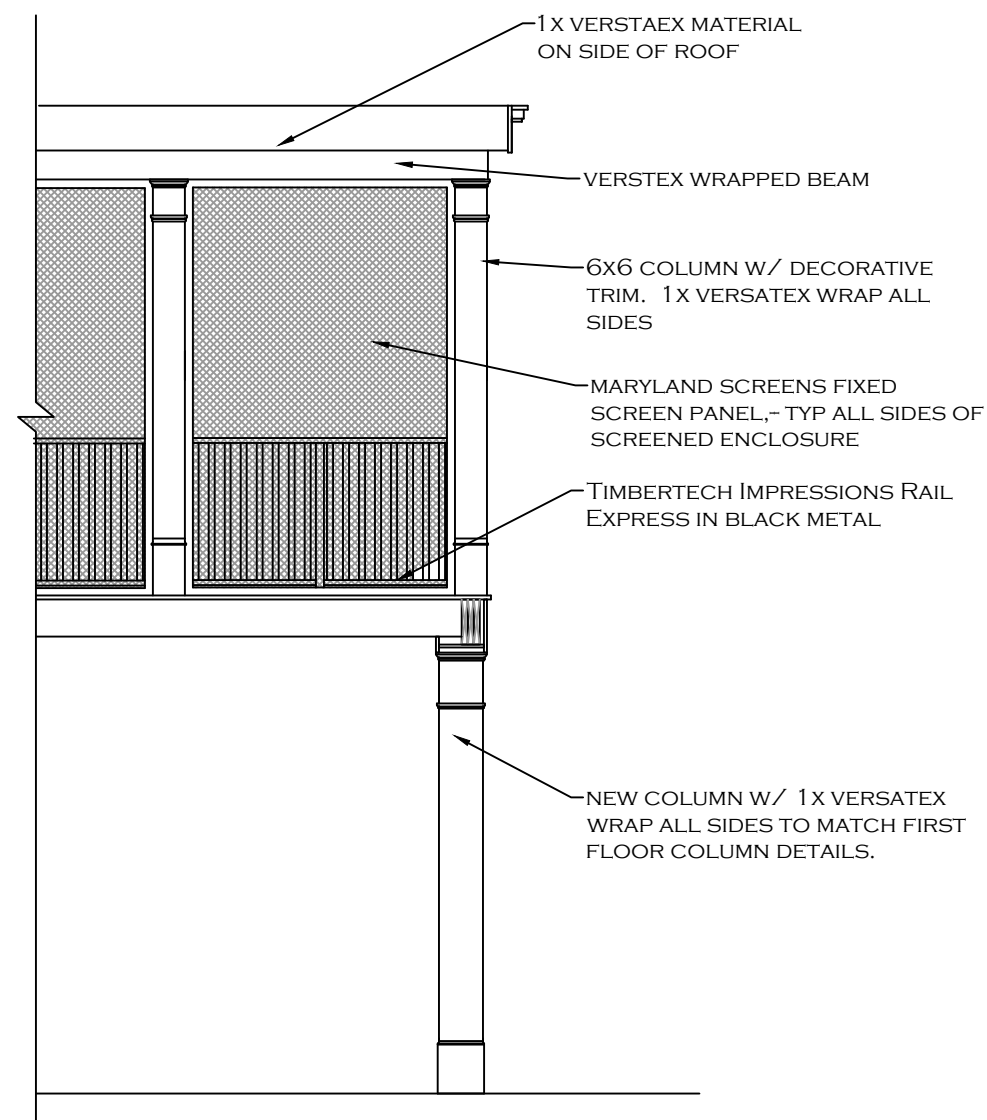
SCHEDULES
DETAILS
A005



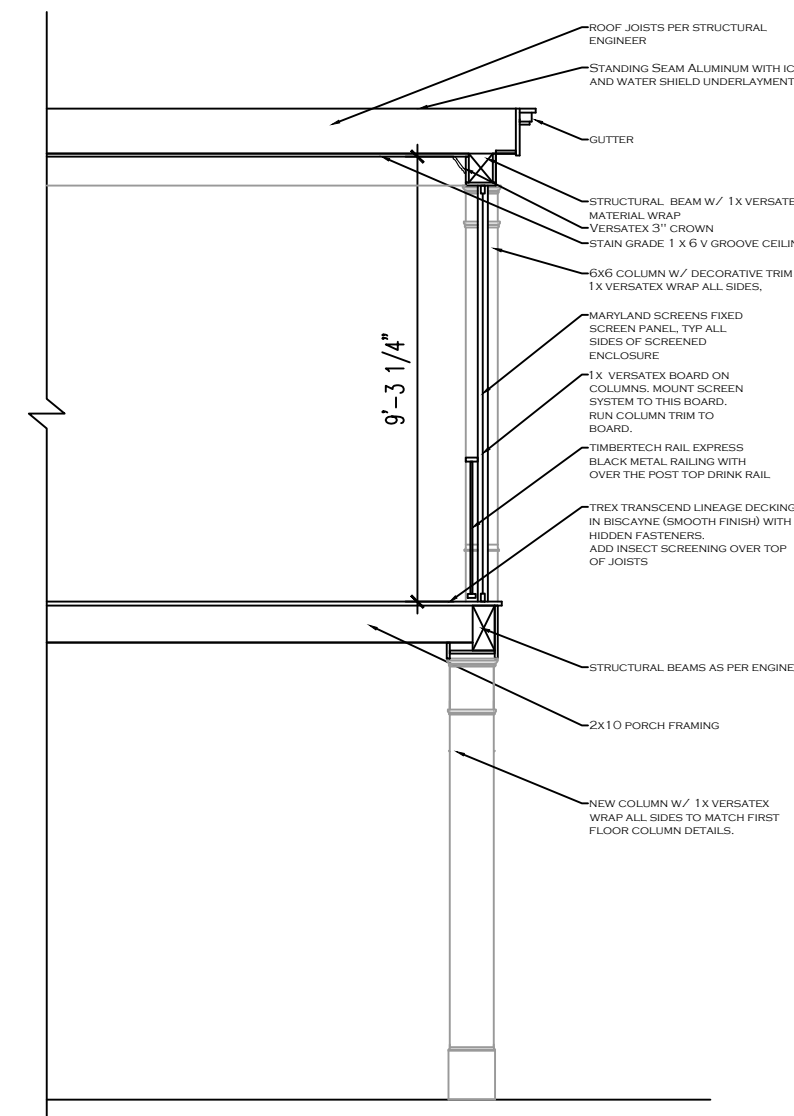
COLUMN AND RAIL DETAIL (TYP)
SCALE: NTS



COLUMN AND PORCH CEILING DETAIL (TYP)
SCALE: NTS



SCREEN PORCH EXTERIOR DETAIL (TYP)
SCALE: NTS



SCREEN PORCH RAILING/SCREEN CONNECTION DETAIL (TYP)
SCALE: NTS

The above drawings and specifications, and the ideas, designs and arrangements represented hereby are and shall remain the property of the architect. No part thereof shall be copied, disclosed to others or used in connection with any work or project or by any other person for any purpose other than for the specific project for which they have been prepared and developed without the written consent of the architect. The architect shall constitute conclusive evidence and acceptance of these restrictions.

LEVINE GROUP
MHC #27455
301.585.4848
301.585.4207
9466 GEORGIA AVE
SUITE 95
Silver Spring, MD 20910

PHASE:	CONTRACT
DATE:	2.15.25
SCALE:	1/4" = 1'-0"
DRAWN:	CGM
REVISION	

FELTS-GROSSNICKLE
5537 LAMBETH RD
BETHESDA, MD 20814

GROSSMUELLER'S DESIGN
4000 ALFORD AVE, SUITE 100
WASHINGTON, DC 20008
GROSSMUELLER.COM

DETAILS
A006



MATERIAL SPECIFICATIONS

5537 Lambeth Road
Bethesda, Maryland 20814

See Project Drawings for Additional Information:

Side Addition

Siding: Smooth 7 1/4" reveal Primed Hardi Plank

Trims: Versatex to match the existing size/profile (see Window Trim detail drawings A005)

Roofing: Standing Seam Aluminum

Gutters and Downspouts: White Aluminum to match existing

Windows: Weathershield Signature Series White Clad windows with Simulated Divided Lights

Screen Porch

Trims: Versatex to match the existing size/profile

Columns: Versatex with column details as per drawings A006

Decking: Trex Transcend Lineage Decking-Biscayne, Smooth

Railings: Timbertech Impressions Rail Express in Black

Roofing: (Not Visible) Standing Seam Aluminum

Gutters and Downspouts: White Aluminum to match existing

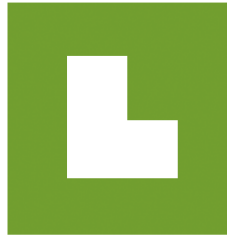
Kitchen Expansion Addition

Siding: Smooth 7 1/4" reveal Primed Hardi Plank

Trims: Versatex to match the existing size/profile

Roofing: N/A

Windows: Weathershield Signature Series White Clad windows with Simulated Divided Lights



LEVINE
GROUP
ARCHITECTS + BUILDERS

PHOTOGRAPHS
5537 Lambeth Road
Bethesda, Maryland 20814



Existing Front Façade of the House



Existing East Side of the House from the street (details)



Existing East side of the House
looking towards the street
(Fence and A/C unit to remain)



Existing East side of the House
looking towards the rear and n
seeing the existing side addition



Existing East side of the House
looking towards the street from the rear yard



Existing Rear of the House



Existing Rear of the House (East side)



Existing Rear of the house (West side)



Existing West side of rear addition



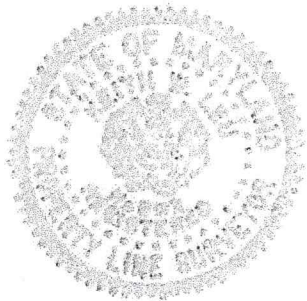
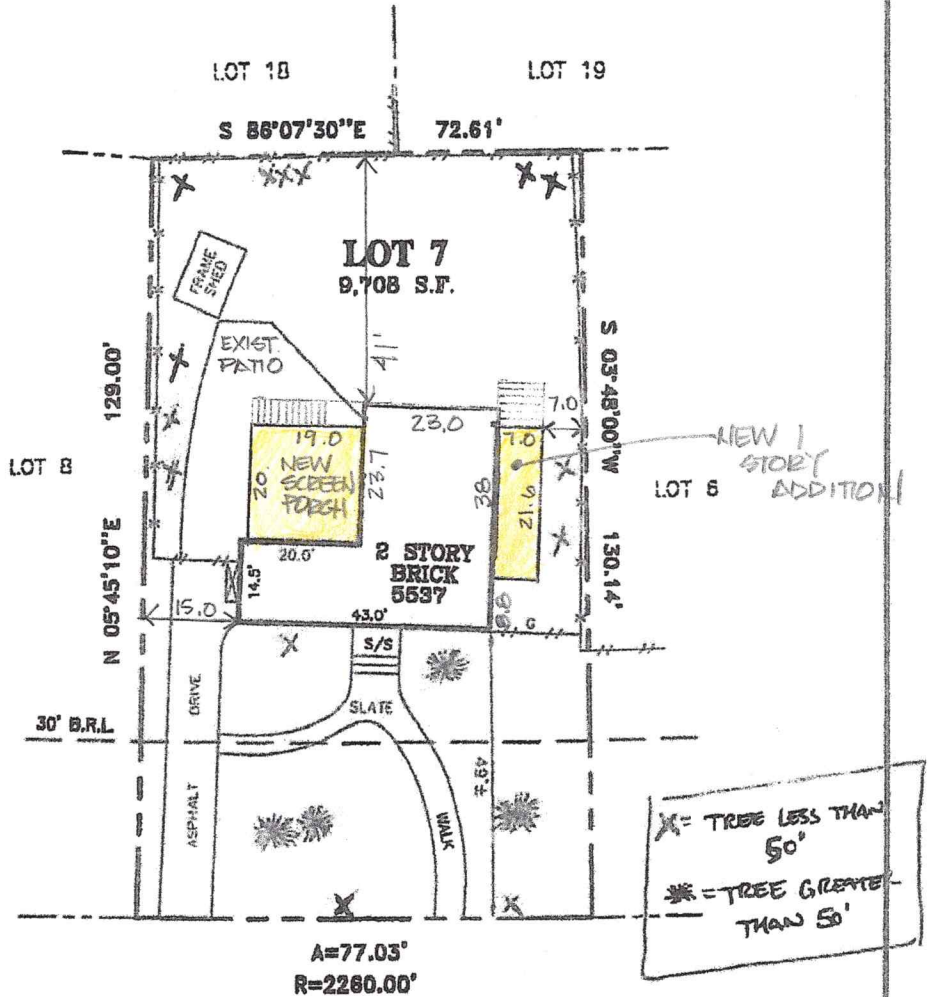
Existing West side of House
(no change)

CONSUMER INFORMATION NOTES:

1. This plan is a benefit to a consumer insofar as it is required by a lender or a title insurance company or its agent in connection with contemplated transfer, financing or re-financing.
2. This plan is not to be relied upon for the establishment or location of fences, garages, buildings, or other existing or future improvements.
3. This plan does not provide for the accurate identification of property boundary lines, but such identification may not be required for the transfer of title or securing financing or re-financing.
4. Building line and/or Flood Zone information is taken from available sources and is subject to interpretation of originator.
5. No Title Report furnished.


Notes:

1. Setback distances as shown to the principal structure from property lines are approximate. The level of accuracy for this drawing should be taken to be no greater than plus or minus 2 feet.
2. Fences, if shown, have been located by approximate methods.



**LOCATION DRAWING
LOT 7, BLOCK H
GREENWICH FOREST
MONTGOMERY COUNTY, MARYLAND**

**LAMBETH ROAD
(50' R/W)**

SURVEYOR'S CERTIFICATE		REFERENCES		SNIDER & ASSOCIATES LAND SURVEYORS 19544 Amaranth Drive Germantown, Maryland 20674 301/948-5100 Fax 301/948-1288 WWW.SNIDERSURVEYS.COM	
THE INFORMATION SHOWN HEREON HAS BEEN BASED UPON THE RESULTS OF A FIELD INSPECTION PURSUANT TO THE DEED OR PLAT OF RECORD. EXISTING STRUCTURES SHOWN HAVE BEEN FIELD LOCATED BASED UPON MEASUREMENTS FROM PROPERTY MARKERS FOUND OR FROM EVIDENCE OF LINES OF APPARENT OCCUPATION. <i>Kurt Snider</i> MARYLAND PROPERTY LINE SURVEYOR REG. NO. 592 Expires: 03-30-2021		PLAT BK. 10 PLAT NO. 722		DATE OF LOCATIONS WALL CHECK: HSE. LOC.: 04-19-21	SCALE: 1" = 30' DRAWN BY: D.M.L. JOB NO.: 01-4121
LIBER		FOLIO			

PROJECT DATA

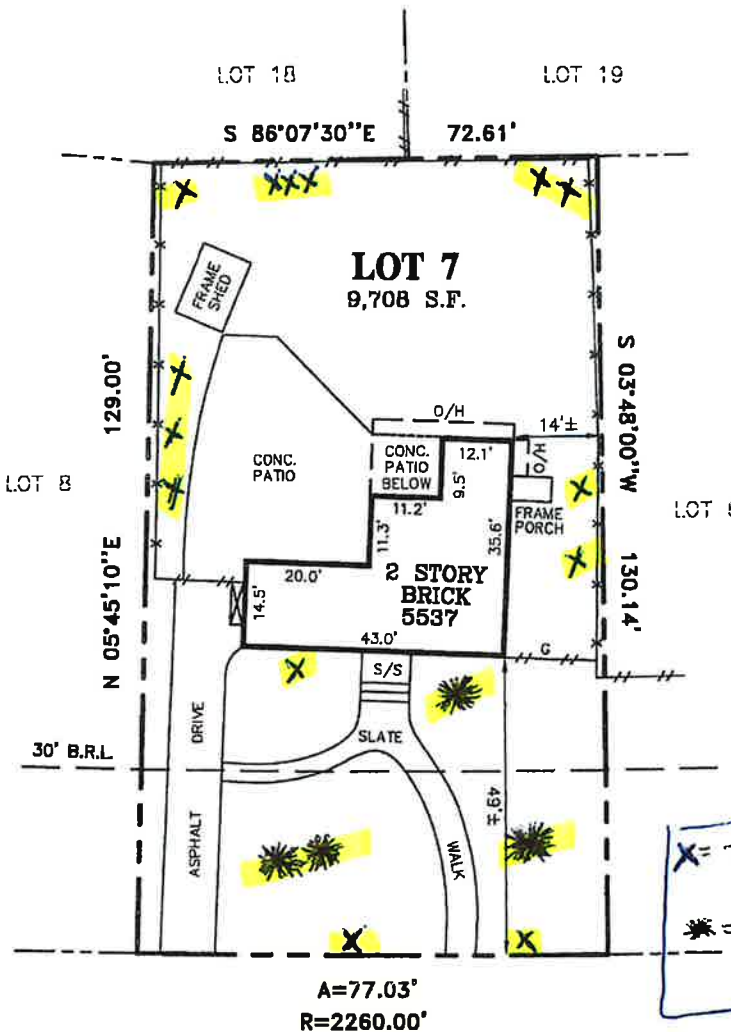
PROJECT DATA		
CONTRACTOR:	THE LEVINE GROUP MHIC#27455	
OWNER:	MATT FELTS AND DANE GROSSNICKLE	
ENGINEER:	ROBERT WIXSON LICENSE #25427	
ZONE:	R-60	
YEAR BUILT:	1941	
LEGAL DESCRIPTION:	LOT 7 BLOCK H GREENWICH FOREST MONTGOMERY COUNTY, MD	
	REQUIRED/ ALLOWED	EXISTING/PROPOSED
MIN. LOT AREA	6,000 SQ FT	EXISTING: 9708 SQ FT PROPOSED: NO CHANGE
MAX LOT COVERAGE	35% MAX	EXISTING: 1168.6 SQFT / 12% PROPOSED: 1548.6 SQFT / 15.9%
MIN. FRONT SETBACK	25 FT	EXISTING: 49' PROPOSED: NO CHANGE
SIDE YARD SETBACK LOT RECORDED BEFORE 1/1/54	7 FT EACH SIDE	EXISTING EAST SIDE: 14' +/- PROPOSED: 7' +/- EXISTING WEST SIDE: 15' +/- PROPOSED: NO CHANGE
REAR SETBACK	20 FT	EXISTING: 41' PROPOSED: NO CHANGE
MIN. LOT WIDTH @ FRONT	60'	EXISTING: 75.3' PROPOSED: NO CHANGE
MIN. LOT WIDTH @ STREET	25'	EXISTING: 77.3' PROPOSED: NO CHANGE
MAX BUILDING HEIGHT	35' TO ROOF PEAK	EXISTING: 30'-10" PROPOSED: NO CHANGE

CONSUMER INFORMATION NOTES:

1. This plan is a benefit to a consumer insofar as it is required by a lender or a title insurance company or its agent in connection with contemplated transfer, financing or re-financing.
2. This plan is not to be relied upon for the establishment or location of fences, garages, buildings, or other existing or future improvements.
3. This plan does not provide for the accurate identification of property boundary lines, but such identification may not be required for the transfer of title or securing financing or re-financing.
4. Building line and/or Flood Zone information is taken from available sources and is subject to interpretation of originator.
5. No Title Report furnished.

Notes:

1. Setback distances as shown to the principal structure from property lines are approximate. The level of accuracy for this drawing should be taken to be no greater than plus or minus 2 feet.
2. Fences, if shown, have been located by approximate methods.





X = TREE LESS THAN 50'
 * = TREE GREATER THAN 50'



**LOCATION DRAWING
 LOT 7, BLOCK H
 GREENWICH FOREST
 MONTGOMERY COUNTY, MARYLAND**

**LAMBETH ROAD
 (50' R/W)**

SURVEYOR'S CERTIFICATE "THE INFORMATION SHOWN HEREON HAS BEEN BASED UPON THE RESULTS OF A FIELD INSPECTION PURSUANT TO THE DEED OR PLAT OF RECORD. EXISTING STRUCTURES SHOWN HAVE BEEN FIELD LOCATED BASED UPON MEASUREMENTS FROM PROPERTY MARKERS FOUND OR FROM EVIDENCE OF LINES OF APPARENT OCCUPATION."  MARYLAND PROPERTY LINE SURVEYOR REG. NO. 592 Expires: 08-30-2021	REFERENCES PLAT BK. 10 PLAT NO. 722		SNIDER & ASSOCIATES LAND SURVEYORS 19544 Amaranth Drive Germantown, Maryland 20874 301/948-5100 Fax 301/948-1286 WWW.SNIDERSURVEYS.COM	
	LIBER FOLIO		DATE OF LOCATIONS WALL CHECK: HSE. LOC.: 04-13-21	SCALE: 1" = 30' DRAWN BY: D.M.L. JOB NO.: 01-4121