



**APPLICATION FOR  
HISTORIC AREA WORK PERMIT**  
HISTORIC PRESERVATION COMMISSION  
301.563.3400

**FOR STAFF ONLY:**

HAWP# 1093444

DATE ASSIGNED \_\_\_\_\_

**APPLICANT:**

Name: Skafta Development Group

E-mail: Pskafte@verizon.net

Address: 9707 Old Spring Ave.

City: Kensington, MD Zip: 20895

Daytime Phone: 301-346-7736

Tax Account No.: 02635336

**AGENT/CONTACT (if applicable):**

Name: Augusto Tono

E-mail: atono@architono.com

Address: 11605 Silent valley Lane

City: North Poyomac, MD Zip: 20878

Daytime Phone: 301-613-7801

Contractor Registration No.: \_\_\_\_\_

**LOCATION OF BUILDING/PREMISE:** MIHP # of Historic Property 10220 Capitol View Ave SS MD

Is the Property Located within an Historic District?  Yes/District Name Silver Spring  
 No/Individual Site Name \_\_\_\_\_

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: 10220 Street: Capitol View Avenue

Town/City: Silver Spring, MD 20910 Nearest Cross Street: Meredith Ave.

Lot: \_\_\_\_\_ Block: \_\_\_\_\_ Subdivision: \_\_\_\_\_ Parcel: 884-899

**TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:**

- |  |  |  |
|--|--|--|
| <input type="checkbox"/> New Construction      | <input type="checkbox"/> Deck/Porch          | <input type="checkbox"/> Shed/Garage/Accessory Structure |
| <input checked="" type="checkbox"/> Addition   | <input type="checkbox"/> Fence               | <input type="checkbox"/> Solar                           |
| <input checked="" type="checkbox"/> Demolition | <input type="checkbox"/> Hardscape/Landscape | <input type="checkbox"/> Tree removal/planting           |
| <input type="checkbox"/> Grading/Excavation    | <input type="checkbox"/> Roof                | <input type="checkbox"/> Window/Door                     |
|  |  | <input type="checkbox"/> Other: _____                    |

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

*A Taugusto tono*

11-11-24

Signature of owner or authorized agent

Date

**HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING**  
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

|   |  |
|---|--|
| <b>Owner's mailing address</b>                                    | <b>Owner's Agent's mailing address</b> |
| <b>Adjacent and confronting Property Owners mailing addresses</b> |  |
|   |  |
|   |  |
|   |  |

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

Existing two story huse with basement located on a large lot on Capitol View Ave Silver Spring MD 20910. House is Historic with a front wrap around one story porch, supported on brick piers with wood lattice between the piers. Existing house has wood clap board siding painted white with wood windows without grilles and wood shutters painted green. Rood has asphalt shingles 3 tab with aluminim gutters and down spouts. House has a U shaped gravel driveway with a middle green area. Main house has living area, dining area and kitchen with powder room on the first level and three bedrooms with one bath on the second level. Basement has space for the mechanical room and utility area. Attic is open with exposed rafters and ceiling joists. Existing roof has a front and rear doormer.

Description of Work Proposed: Please give an overview of the work to be undertaken:

Proposed work does not affect the front elevation at all. The proposed two story addion with crawlspace is located on the rear of the property housing a relocated Kitchen, breakfast area and new family room on the lower level with a reworked existing bedroom to become a main bedroom with its own bath and walk in closets. a portion of the second floor will house a laundry area as well. The new work required the demolition of an existing rear porch and dormer, as well as reworking the rear wall to allow for acces to the rear addition from the main house. Note: New work is to take place on the rear elevation Only. No work is to be performed on the street elevation. Attached drawings show the existing and proposed conditions with a site plan shown the location of the new rear addition.

Work Item 1: Demolition

Description of Current Condition:  
Existing rear covered open porch and rear dormer will be removed to allow for construction of the new rear addition. Rear wall will be reworked as needed to allow access from the main house into the new addition.

Proposed Work:  
Remove existing rear porch and dispose of trash properly.

Work Item 2: Rear Addition

Description of Current Condition:  
Rear of the property has a partial covered open porch and dormer which is to be removed.

Proposed Work:  
Proposed work includes a new rear two story on crawlspace addition as shown on the attached drawings. New addition will use same building materials, color and finishes as existing. Height of new addition will match existing. There are no trees on the area where the addition is to be placed. No trees need to be removed.

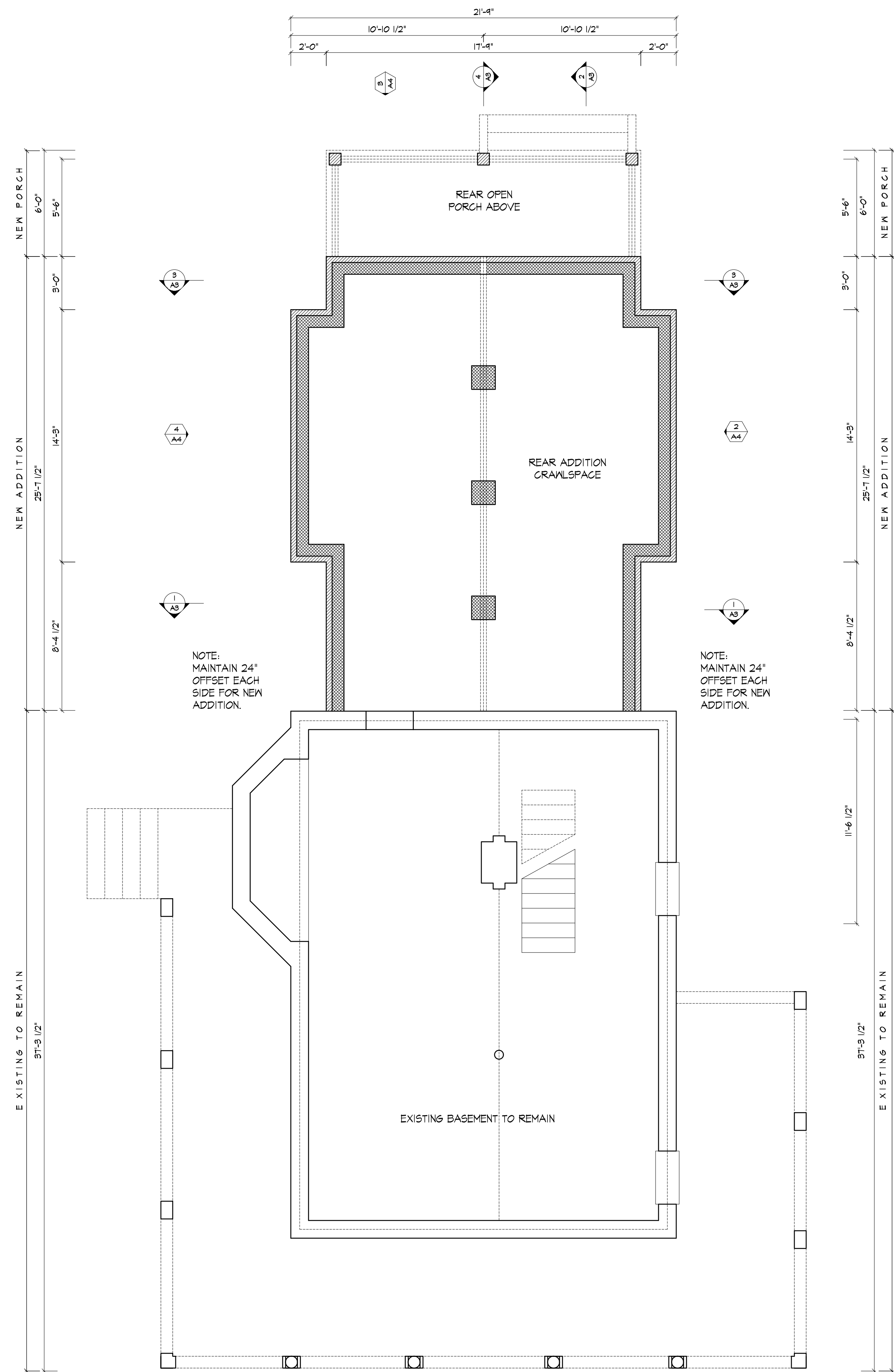
Work Item 3: Remodeling interior work

Description of Current Condition:  
Existing kitchen is to be removed and relocated as per attached plans.

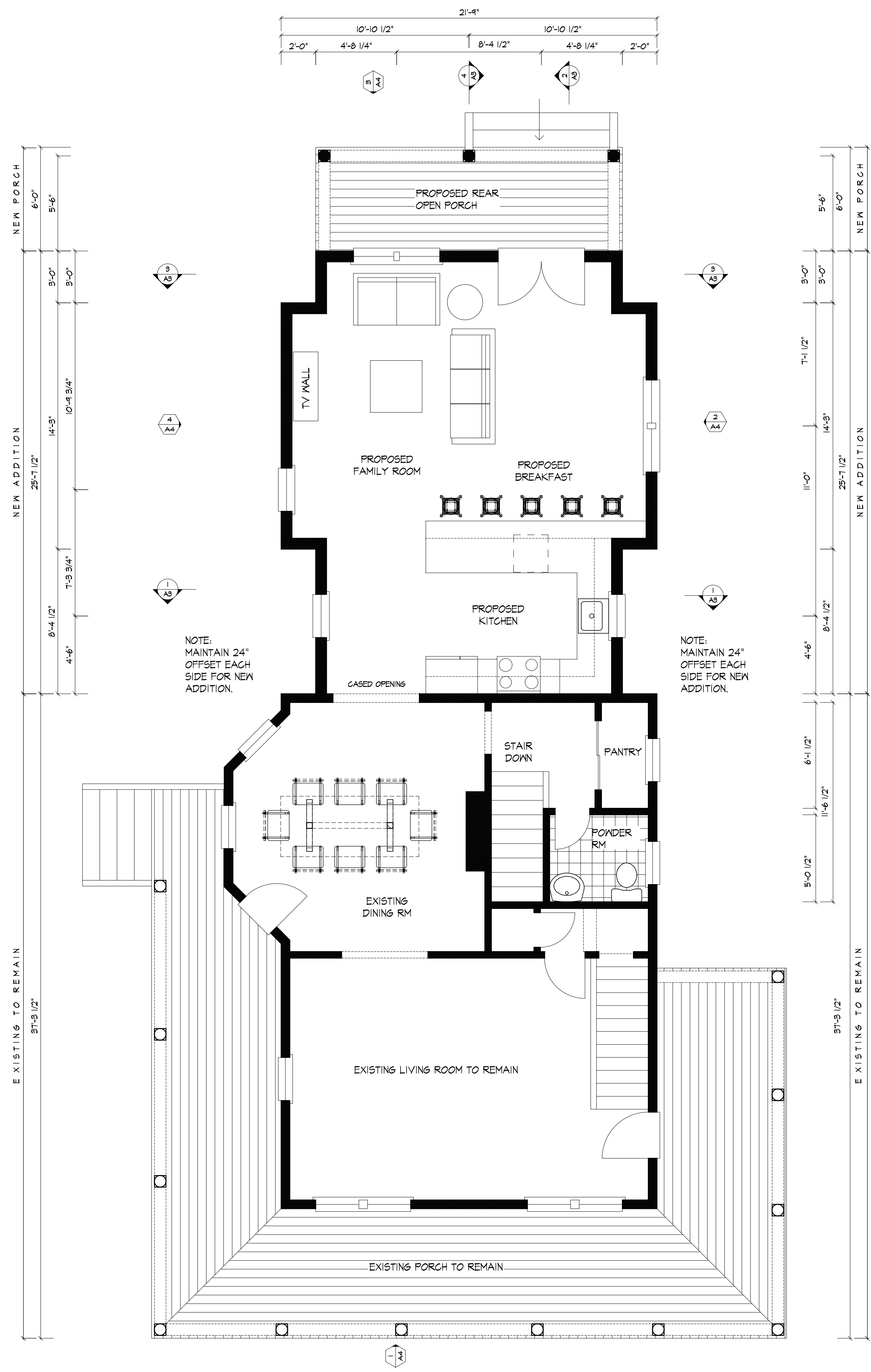
Proposed Work:  
Kitchen is to be relocated to the new rear addition. Second floor rear bedroom is to be reworked to become main bedroom.

**HISTORIC AREA WORK PERMIT  
CHECKLIST OF  
APPLICATION REQUIREMENTS**

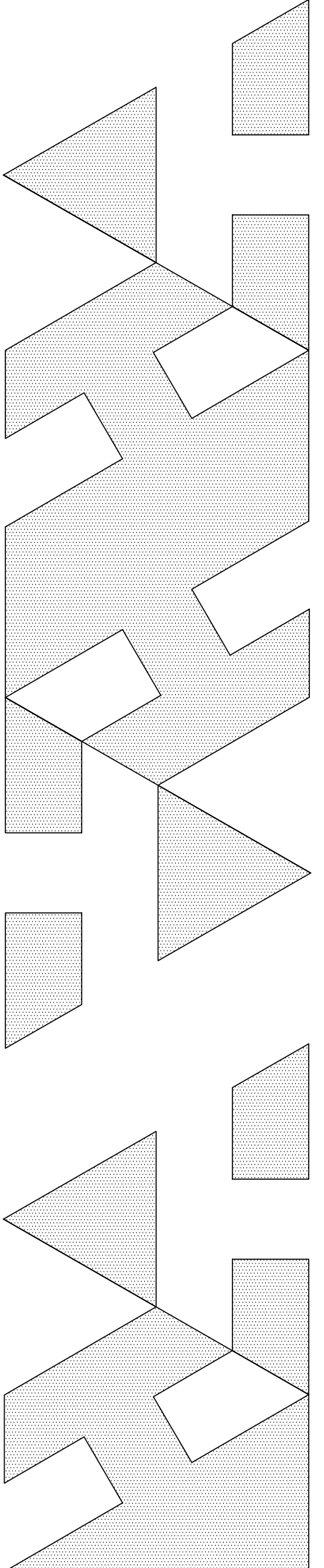
|                                | Required Attachments   |              |                     |                            |                |                |                             |
|--------------------------------|------------------------|--------------|---------------------|----------------------------|----------------|----------------|-----------------------------|
| Proposed Work                  | I. Written Description | 2. Site Plan | 3. Plans/Elevations | 4. Material Specifications | 5. Photographs | 6. Tree Survey | 7. Property Owner Addresses |
| New Construction               | *                      | *            | *                   | *                          | *              | *              | *                           |
| Additions/Alterations          | *                      | *            | *                   | *                          | *              | *              | *                           |
| Demolition                     | *                      | *            | *                   |                            | *              |                | *                           |
| Deck/Porch                     | *                      | *            | *                   | *                          | *              | *              | *                           |
| Fence/Wall                     | *                      | *            | *                   | *                          | *              | *              | *                           |
| Driveway/Parking Area          | *                      | *            |                     | *                          | *              | *              | *                           |
| Grading/Excavation/Landscaping | *                      | *            |                     | *                          | *              | *              | *                           |
| Tree Removal                   | *                      | *            |                     | *                          | *              | *              | *                           |
| Siding/ Roof Changes           | *                      | *            | *                   | *                          | *              |                | *                           |
| Window/ Door Changes           | *                      | *            | *                   | *                          | *              |                | *                           |
| Masonry Repair/ Repoint        | *                      | *            | *                   | *                          | *              |                | *                           |
| Signs                          | *                      | *            | *                   | *                          | *              |                | *                           |



1 PROPOSED LOWER FLOOR PLAN  
SCALE 1/4"=1'-0"



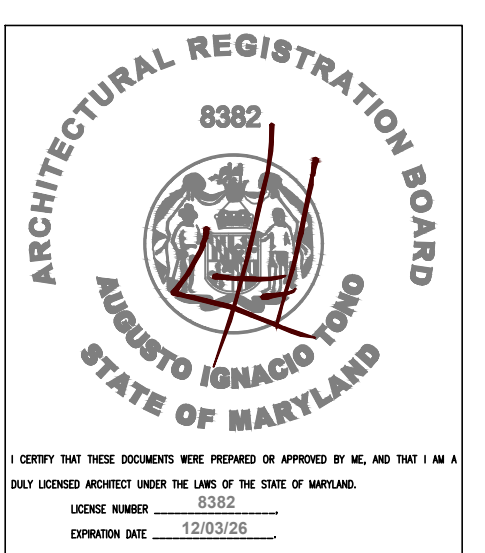
2 PROPOSED FIRST FLOOR PLAN  
SCALE 1/4"=1'-0"



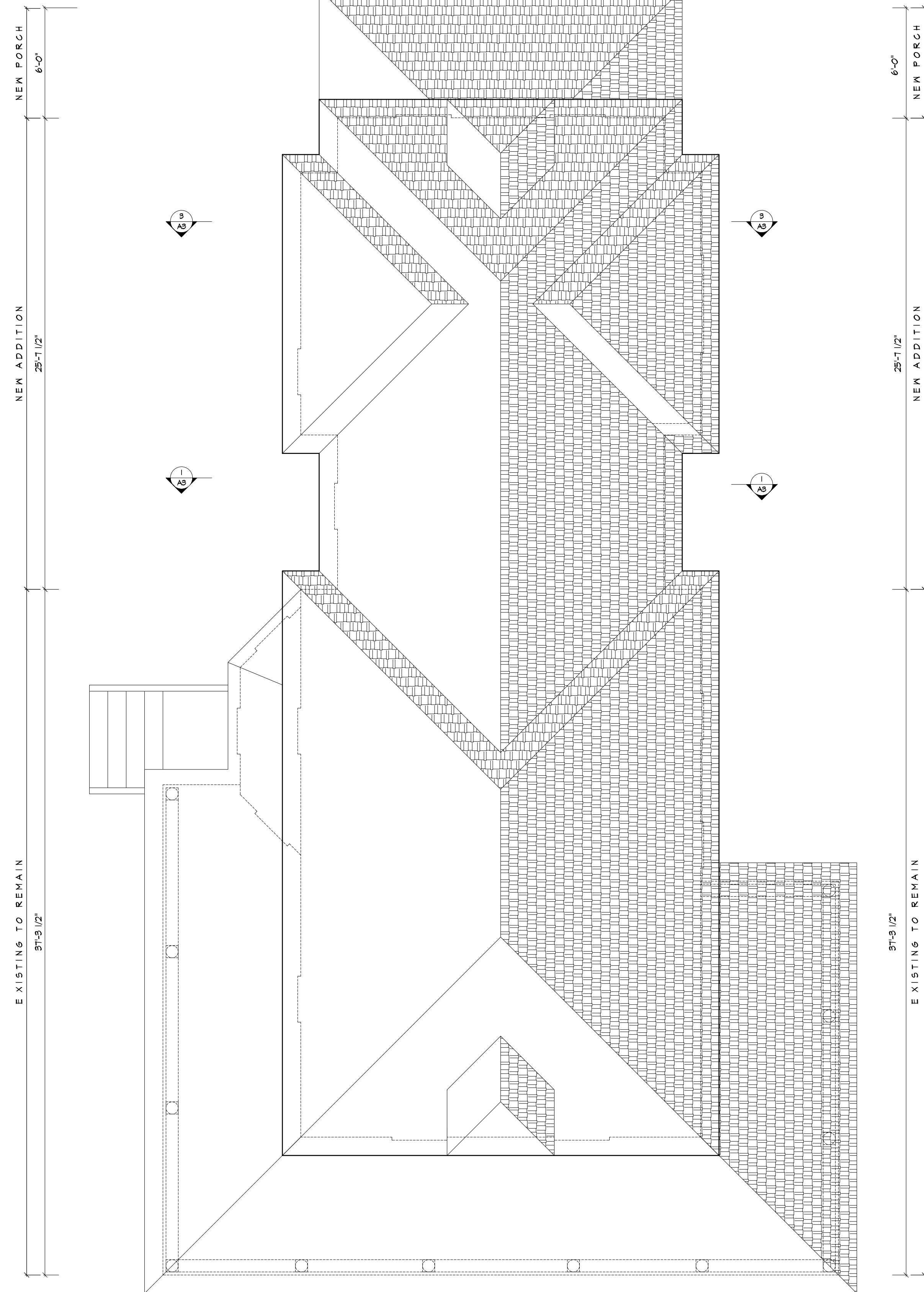
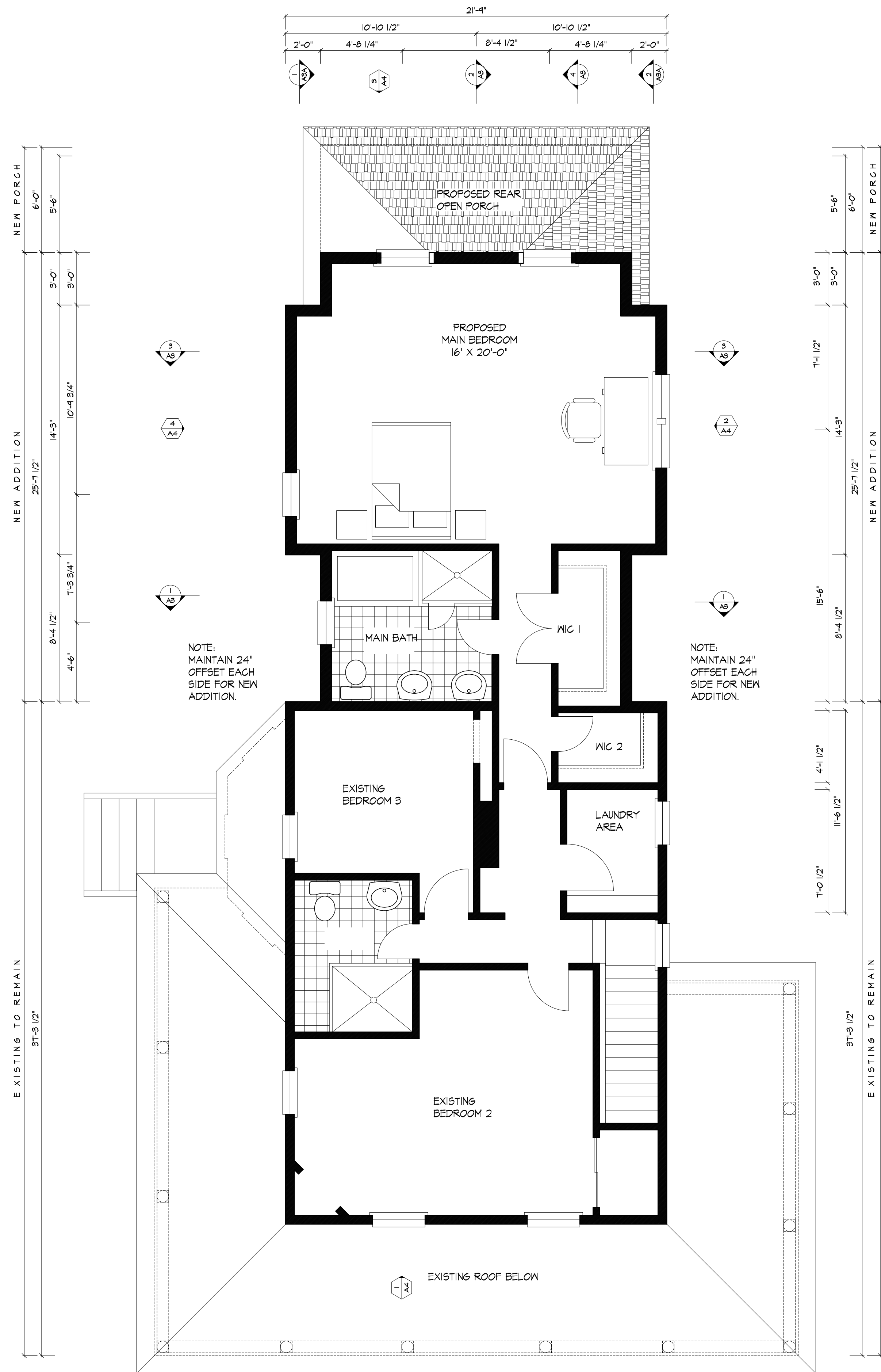
ARCHITECTURE BY  
TONO, INC.  
11605 SILENT VALLEY LANE  
NORTH POTOMAC, MD - 20878  
PHONE 301 618-1801  
E-MAIL: atono@architono.com

ADDITION REMODELING WORK  
TWO STORY ADDITION  
10220 CAPITOL VIEW AVENUE  
SILVER SPRING, MD 20910

FLOOR PLANS  
PROPOSED  
ISSUED FOR HAMP



|           |              |
|-----------|--------------|
| DATE:     | SEPTEMBER 24 |
|           | JANUARY 25   |
| APPROVAL: | SHEET        |
|           | AI           |



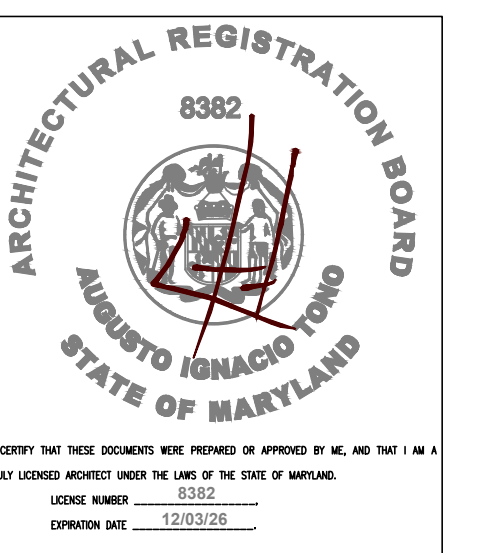
1 PROPOSED SECOND FLOOR PLAN  
A2 SCALE 1/4"=1'-0"

2 PROPOSED ROOF PLAN  
A2 SCALE 3/8"=1'-0"

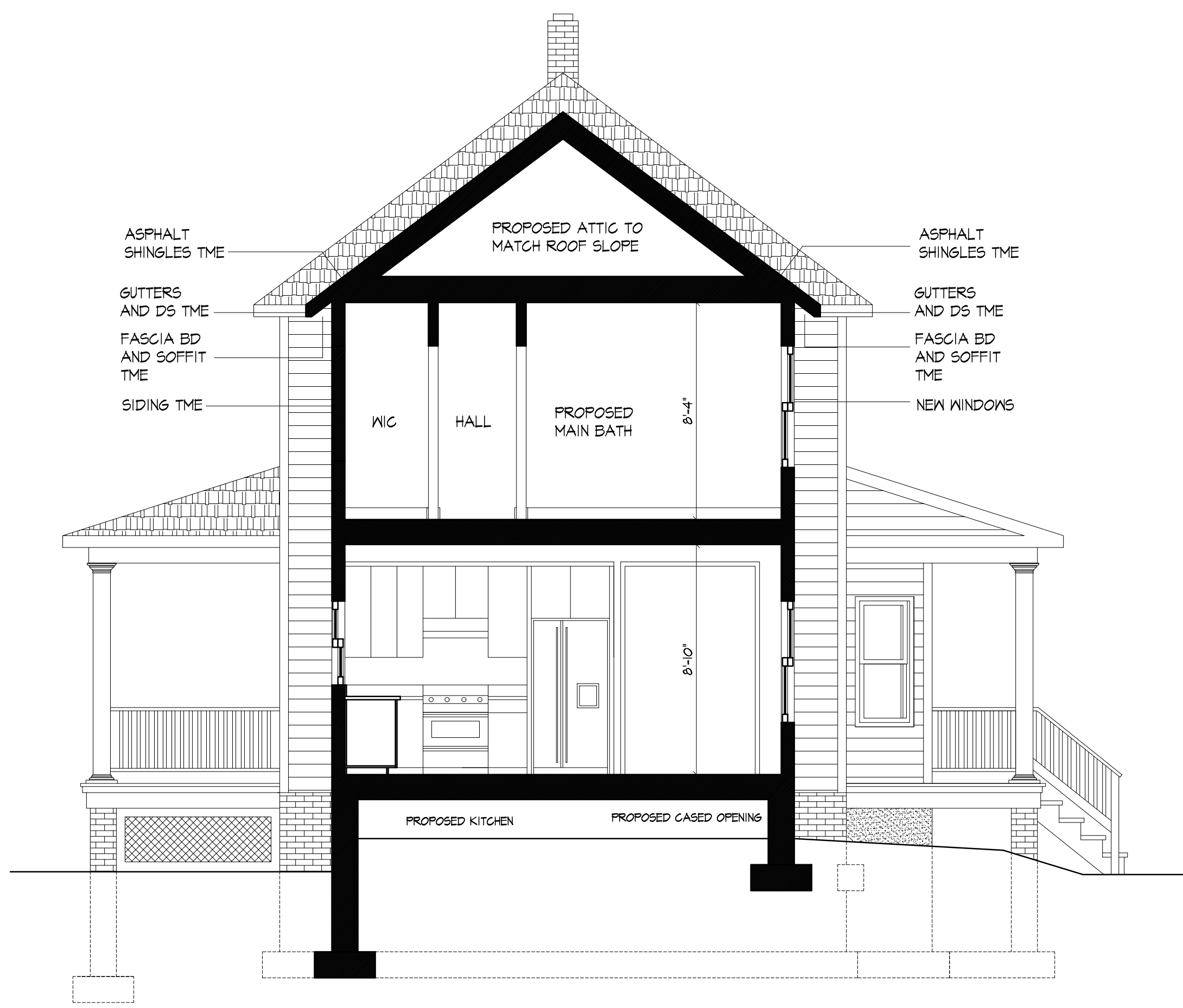
ARCHITECTURE BY  
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TWO STORY ADDITION  
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SILVER SPRING, MD 20910

|             |          |                 |
|-------------|----------|-----------------|
| FLOOR PLANS | PROPOSED | ISSUED FOR HAWP |
|-------------|----------|-----------------|

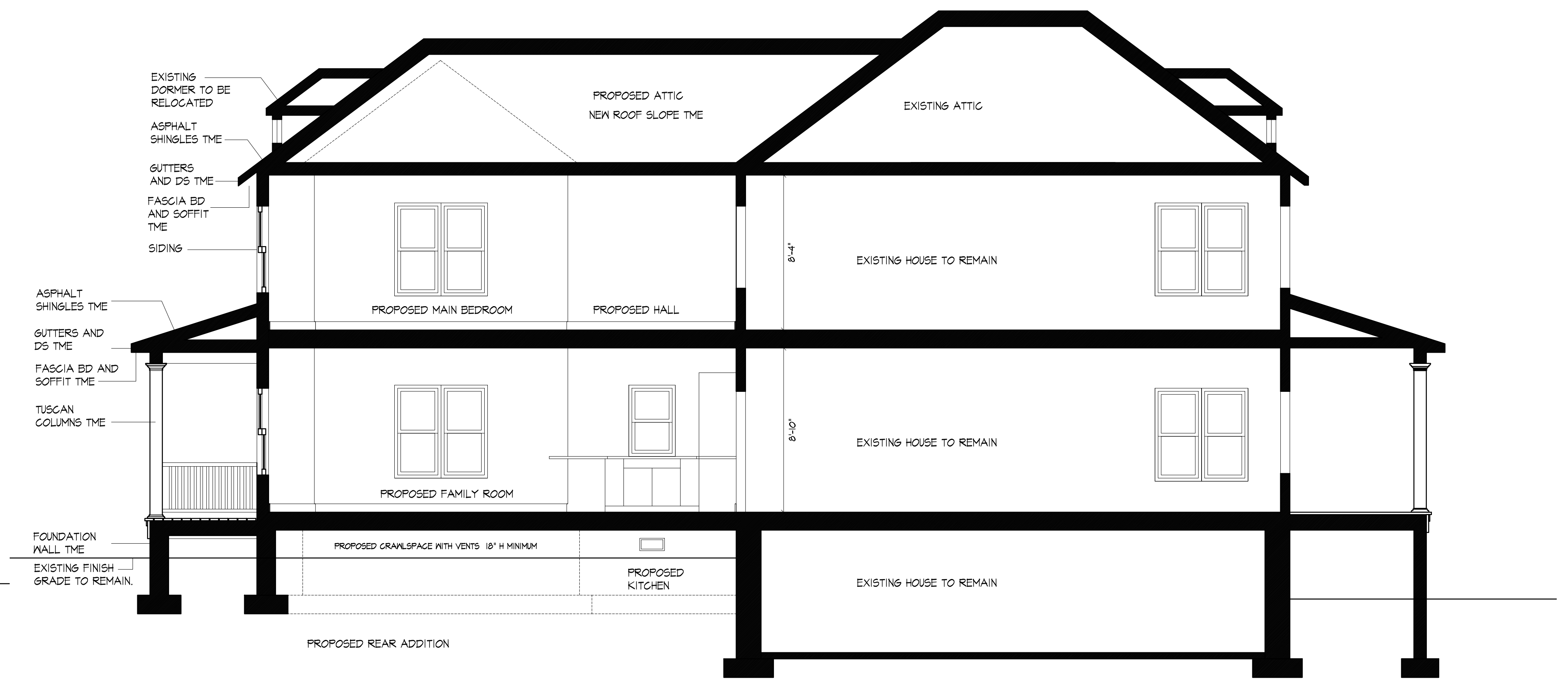


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| DATE:     | SEPTEMBER 24 |
| DATE:     | JANUARY 25   |
| APPROVAL: | SHEET        |
|           | A2           |



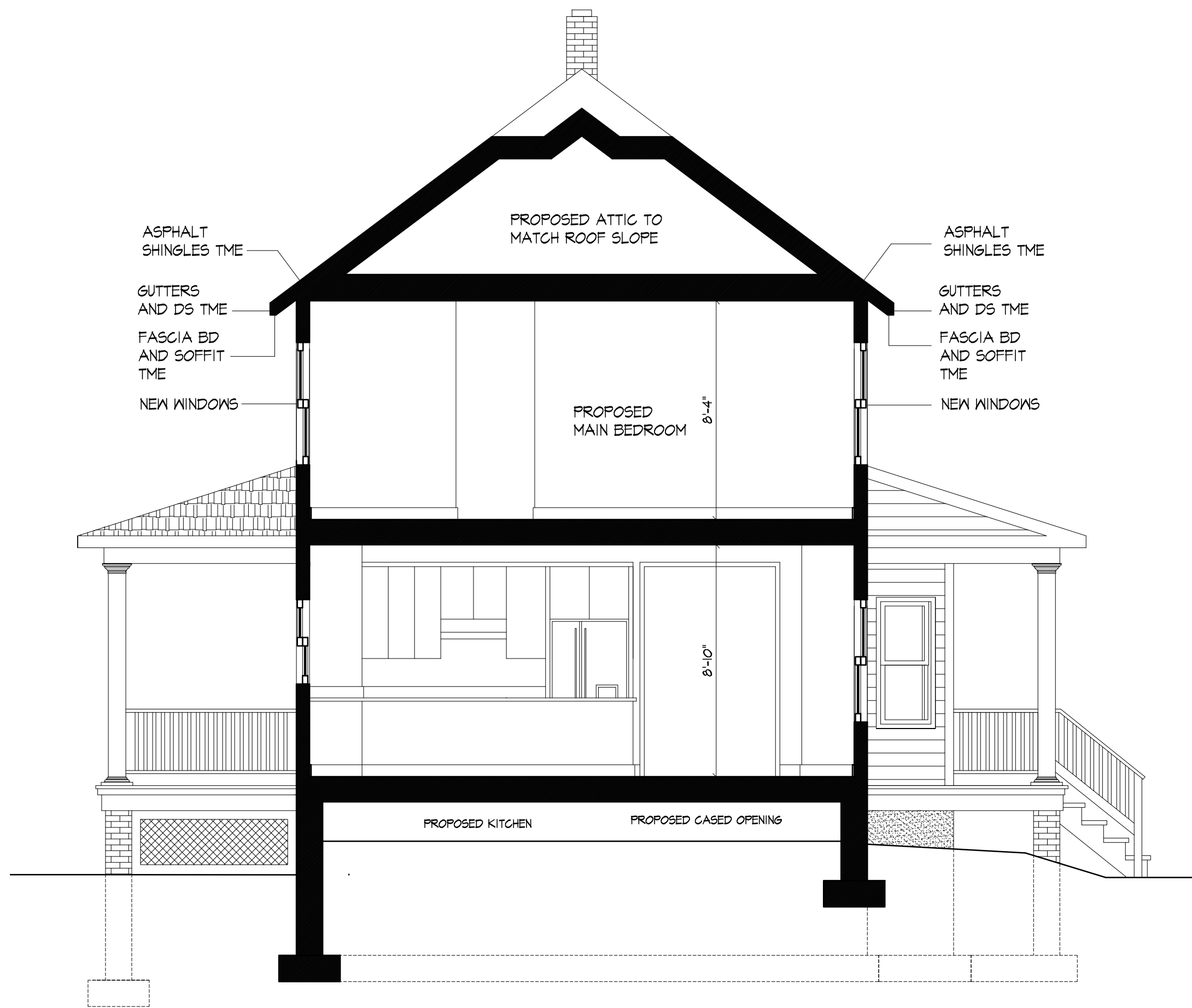
EXISTING SIDE PORCH TO REMAIN    NEW REAR TWO STORY NO BASEMENT ADDITION    EXISTING SIDE PORCH TO REMAIN

1 PROPOSED SECTION 1  
A3 SCALE 1/4"=1'-0"



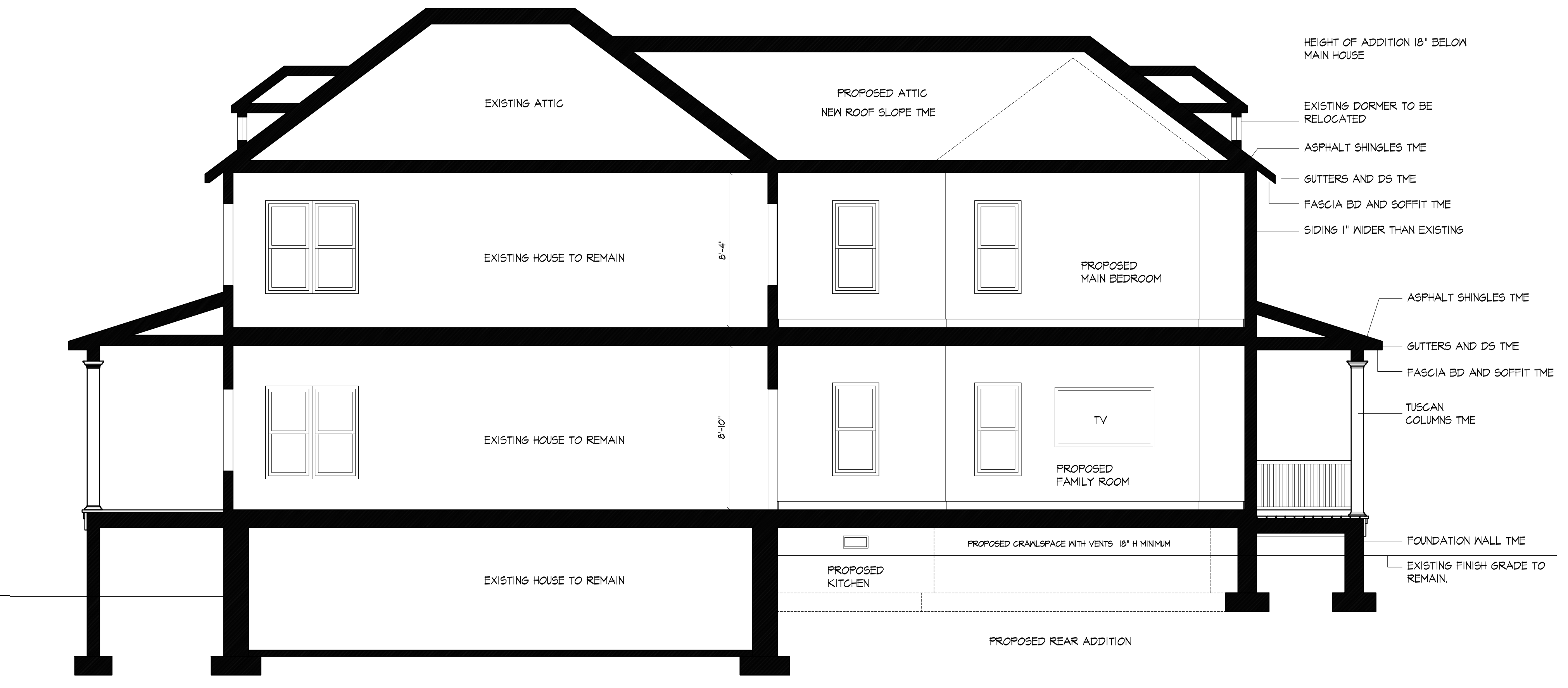
NEW PORCH    NEW REAR TWO STORY NO BASEMENT ADDITION    EXISTING RIGHT SIDE ELEVATION TO REMAIN NO CHANGES

2 PROPOSED SECTION 2  
A3 SCALE 1/4"=1'-0"



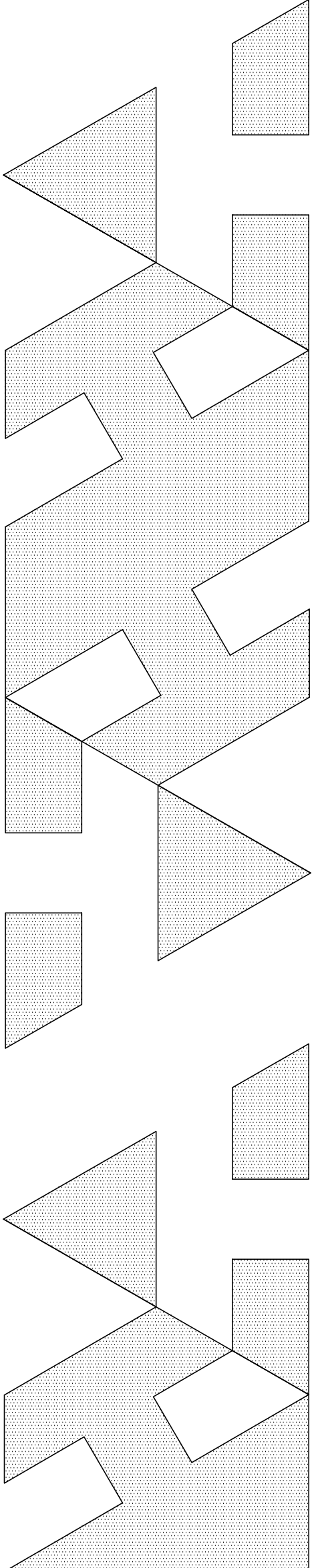
EXISTING SIDE PORCH TO REMAIN    NEW REAR TWO STORY NO BASEMENT ADDITION    EXISTING SIDE PORCH TO REMAIN

3 PROPOSED SECTION 3  
A3 SCALE 1/4"=1'-0"



EXISTING RIGHT SIDE ELEVATION TO REMAIN NO CHANGES    NEW REAR TWO STORY NO BASEMENT ADDITION    NEW PORCH

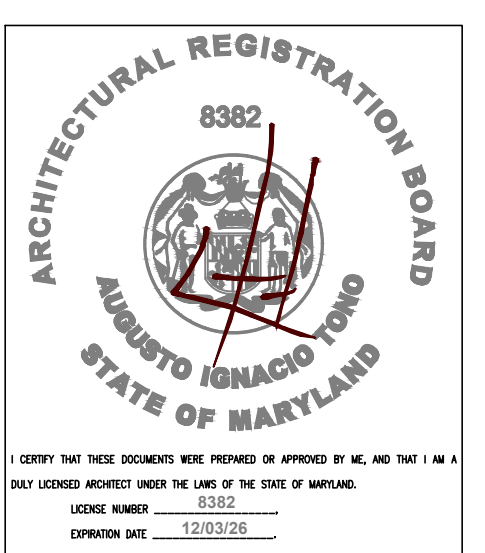
4 PROPOSED SECTION 4  
A3 SCALE 1/4"=1'-0"



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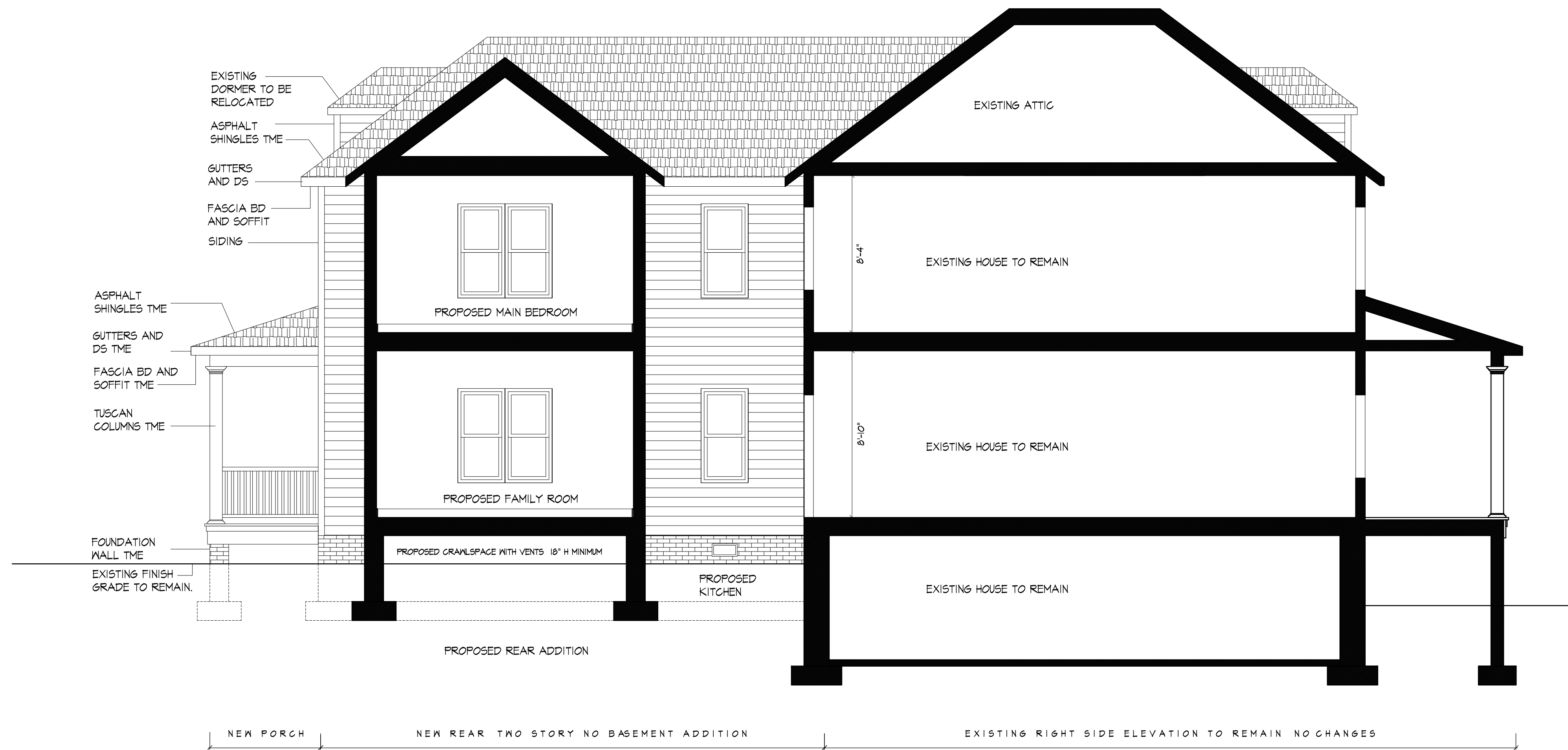
ADDITION REMODELING WORK  
TWO STORY ADDITION  
10220 CAPITOL VIEW AVENUE  
SILVER SPRING, MD 20910

SECTIONS 1  
PROPOSED  
ISSUED FOR HAMP

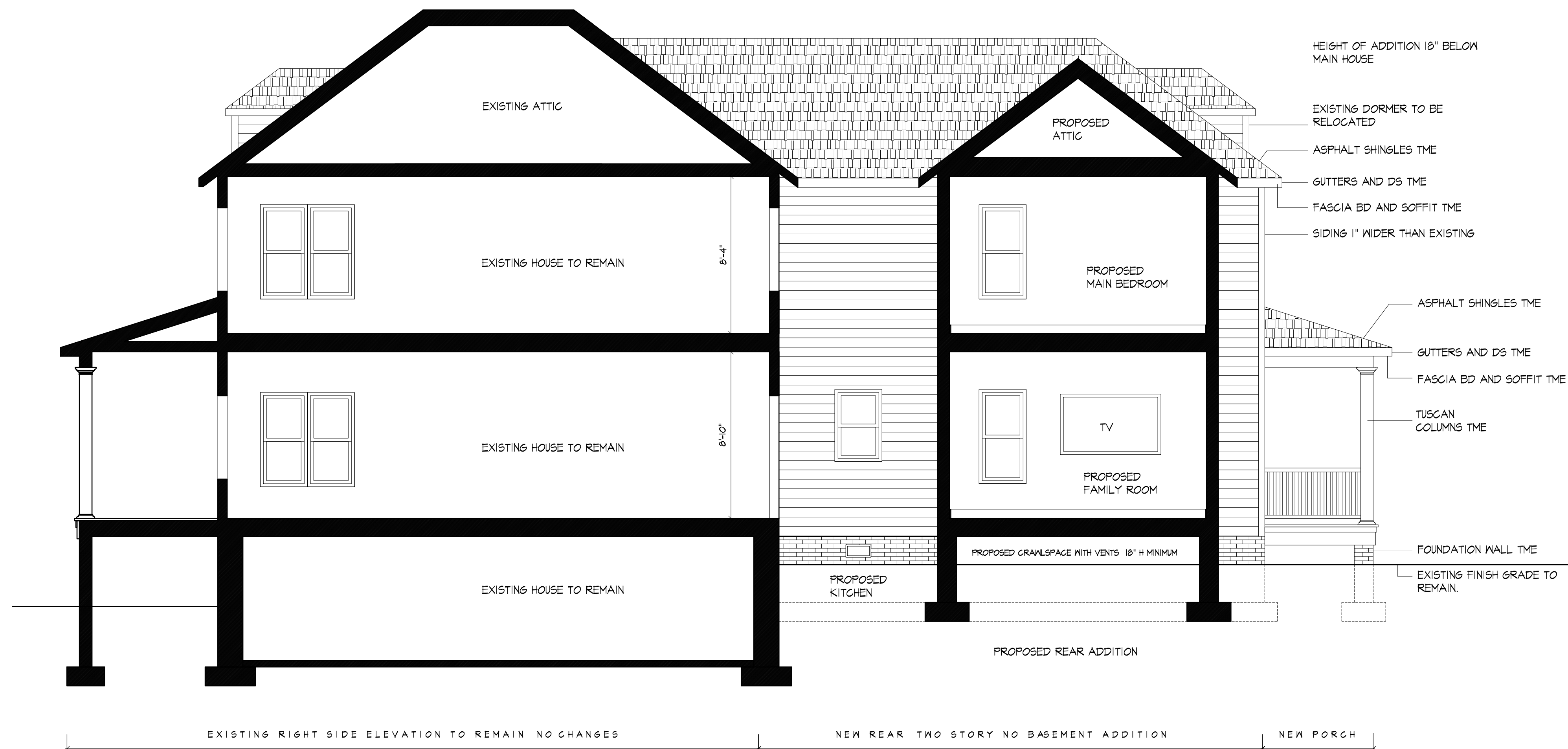


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| DATE:     | SEPTEMBER 24 |
|           | JANUARY 25   |
| APPROVAL: | SHEET        |
|           | A3           |

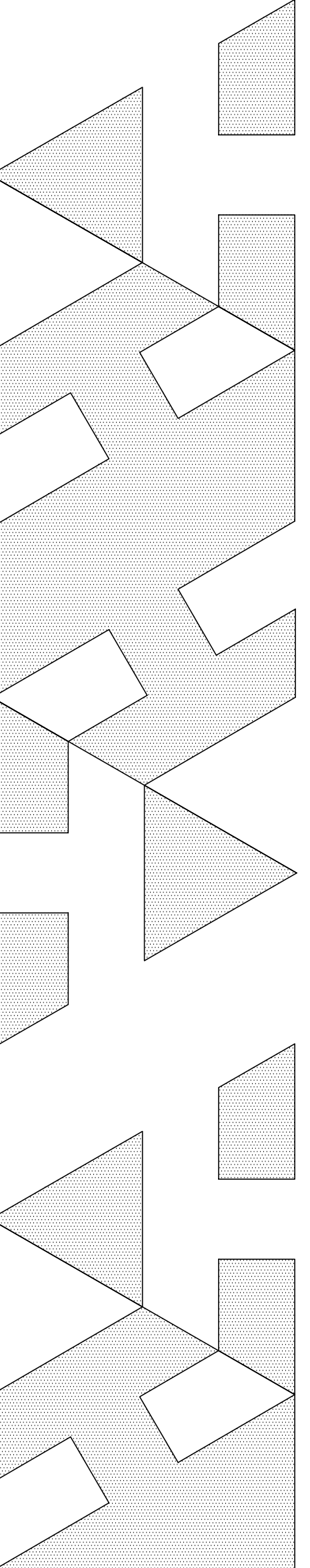




1 PROPOSED SECTION 5  
 A3A SCALE 1/4"=1'-0"



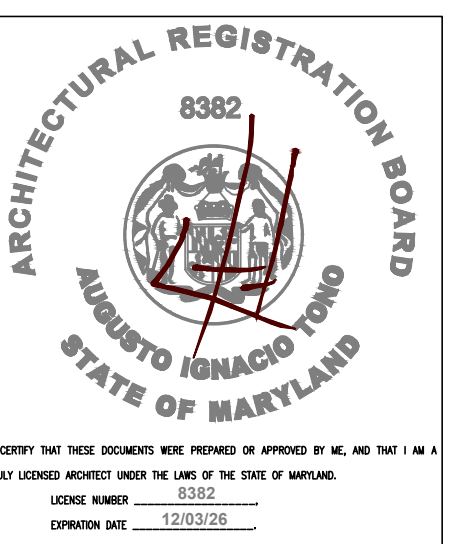
2 PROPOSED SECTION 6  
 A3A SCALE 1/4"=1'-0"



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ADDITION REMODELING WORK  
 TWO STORY ADDITION  
 10220 CAPITOL VIEW AVENUE  
 SILVER SPRING, MD 20910

|            |          |                 |
|------------|----------|-----------------|
| SECTIONS 2 | PROPOSED | ISSUED FOR HAMP |
|------------|----------|-----------------|



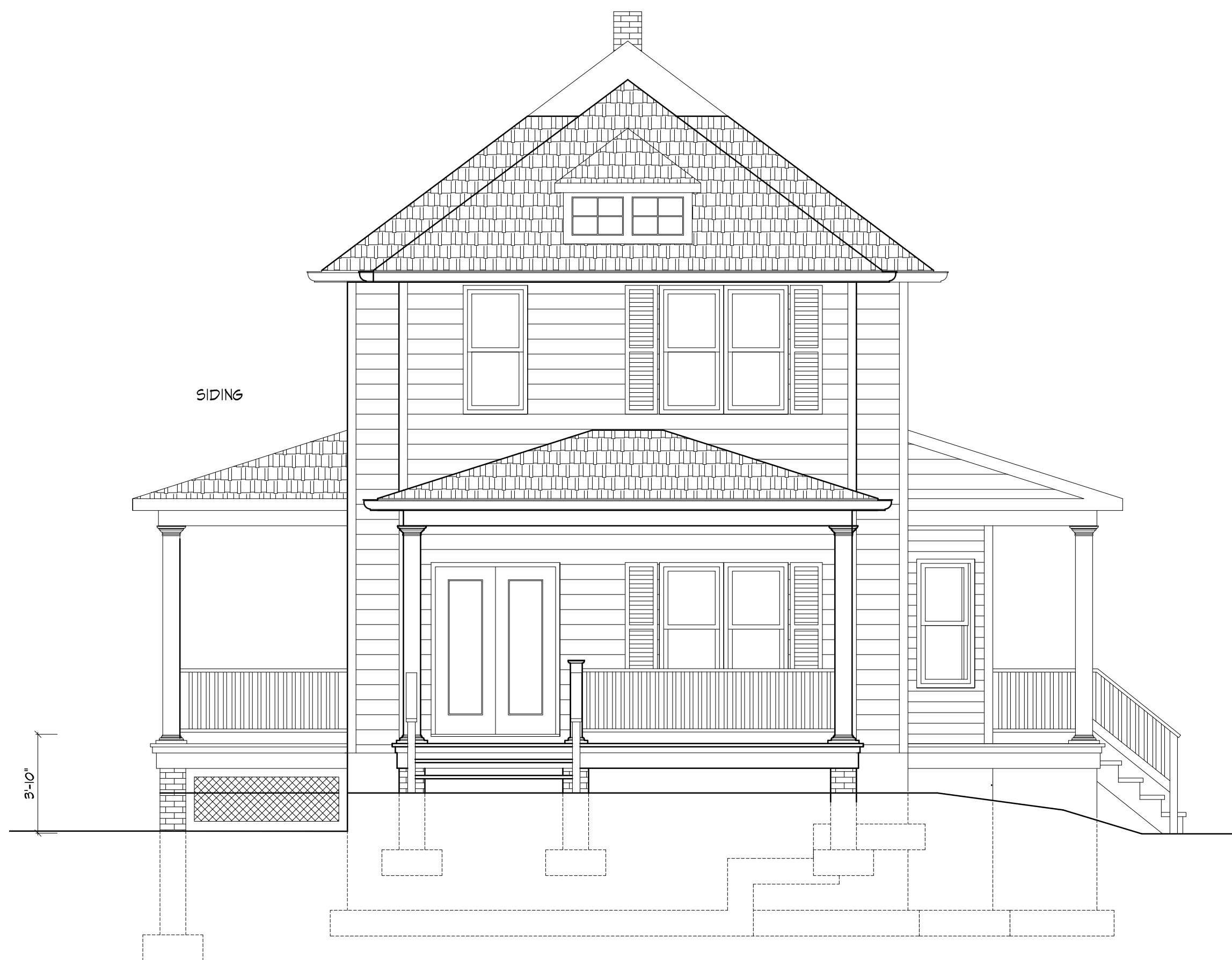
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|-----------|--------------|
| DATE:     | SEPTEMBER 24 |
| DATE:     | JANUARY 25   |
| APPROVAL: | SHEET        |
|           | <b>A3A</b>   |



1 EXISTING FRONT ELEVATION NO CHANGES  
A4 SCALE 1/4"=1'-0"



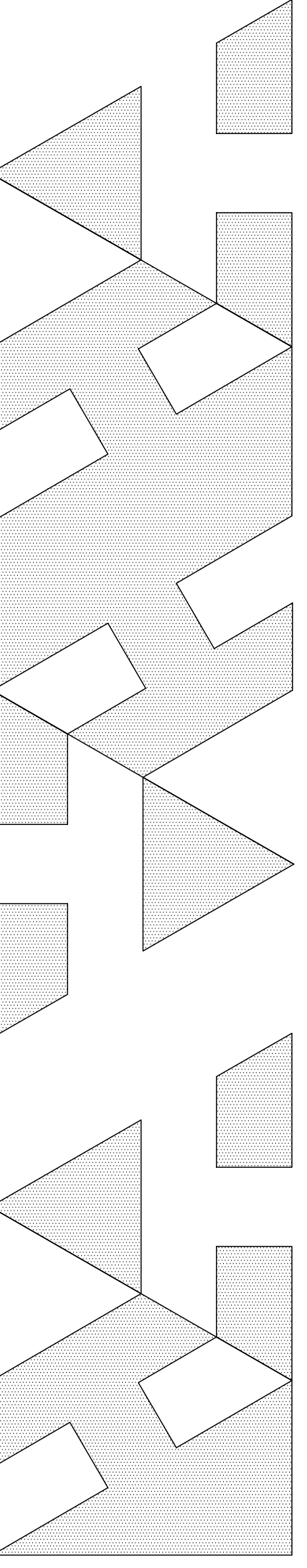
2 PROPOSED RIGHT SIDE ELEVATION  
A4 SCALE 1/4"=1'-0"



3 PROPOSED REAR ELEVATION  
A4 SCALE 1/4"=1'-0"



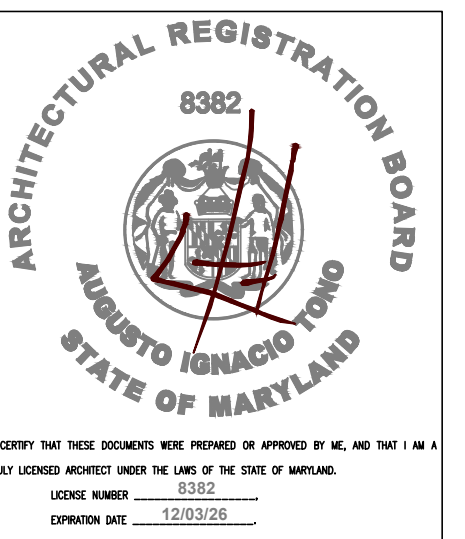
4 PROPOSED LEFT SIDE ELEVATION  
A4 SCALE 1/4"=1'-0"



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10220 CAPITOL VIEW AVENUE  
SILVER SPRING, MD 20910

ELEVATIONS  
PROPOSED  
ISSUED FOR HAMP



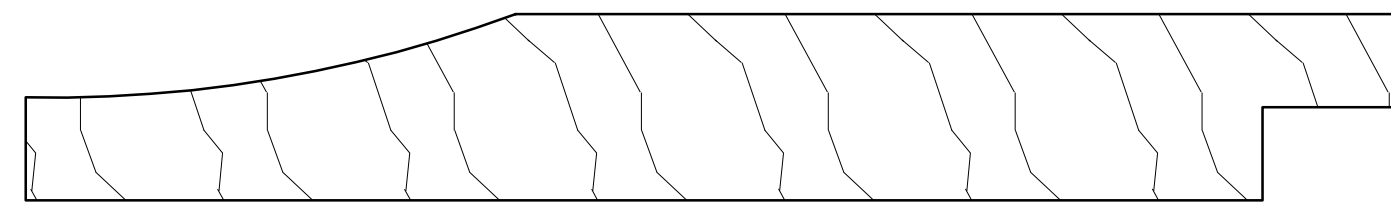
DATE:  
SEPTEMBER 24  
JANUARY 25  
APPROVAL: SHEET  
A4



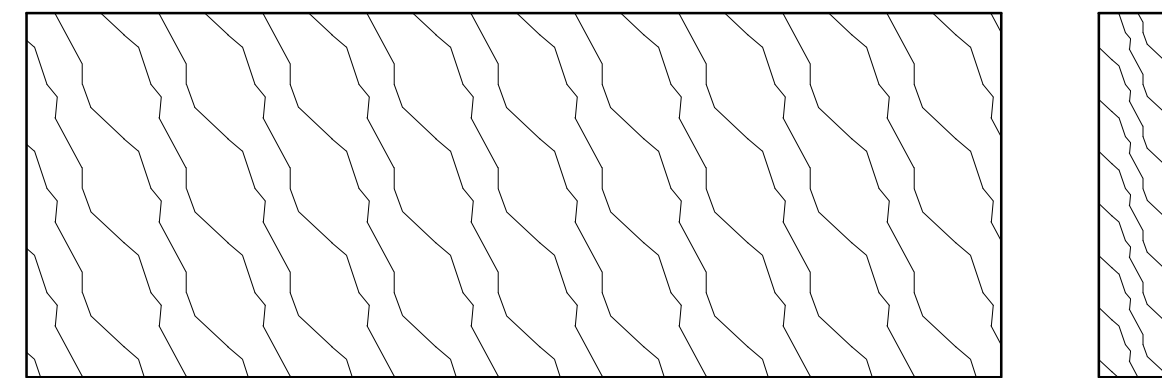
1 EXISTING DUTCH SIDING  
A5 SCALE N.T.S.

3 EXISTING WOOD EXTERIOR TRIM  
A5 SCALE N.T.S.

5 EXISTING WOOD RAILING  
A5 SCALE N.T.S.



EXISTING 3/4" X 4" WOOD DUTCH SIDING PAINTED  
NEW SIDING 3/4" X 5" TO MATCH EXITING



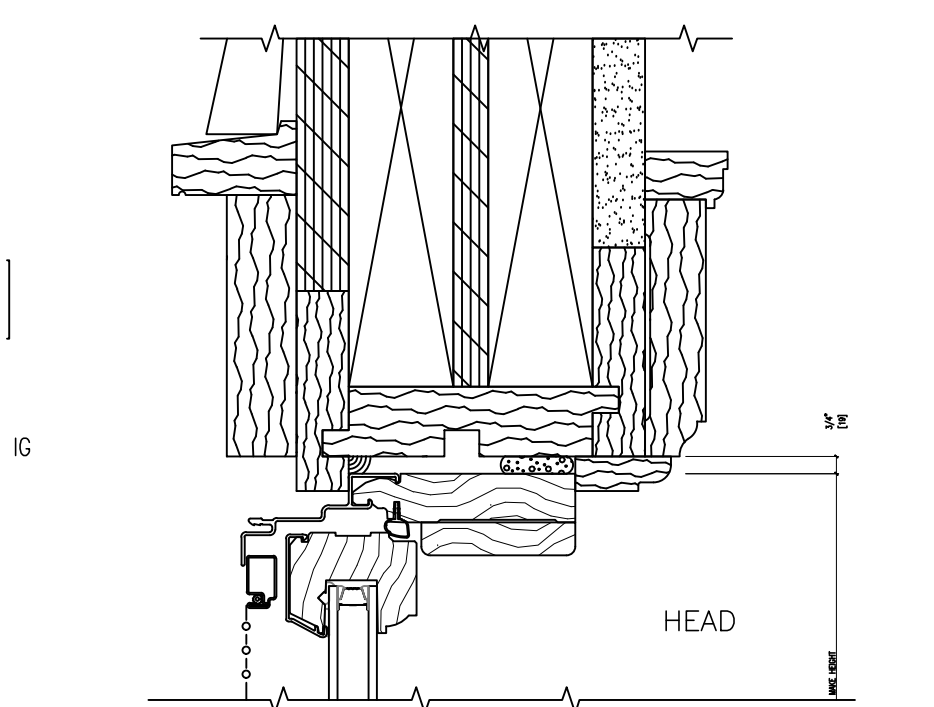
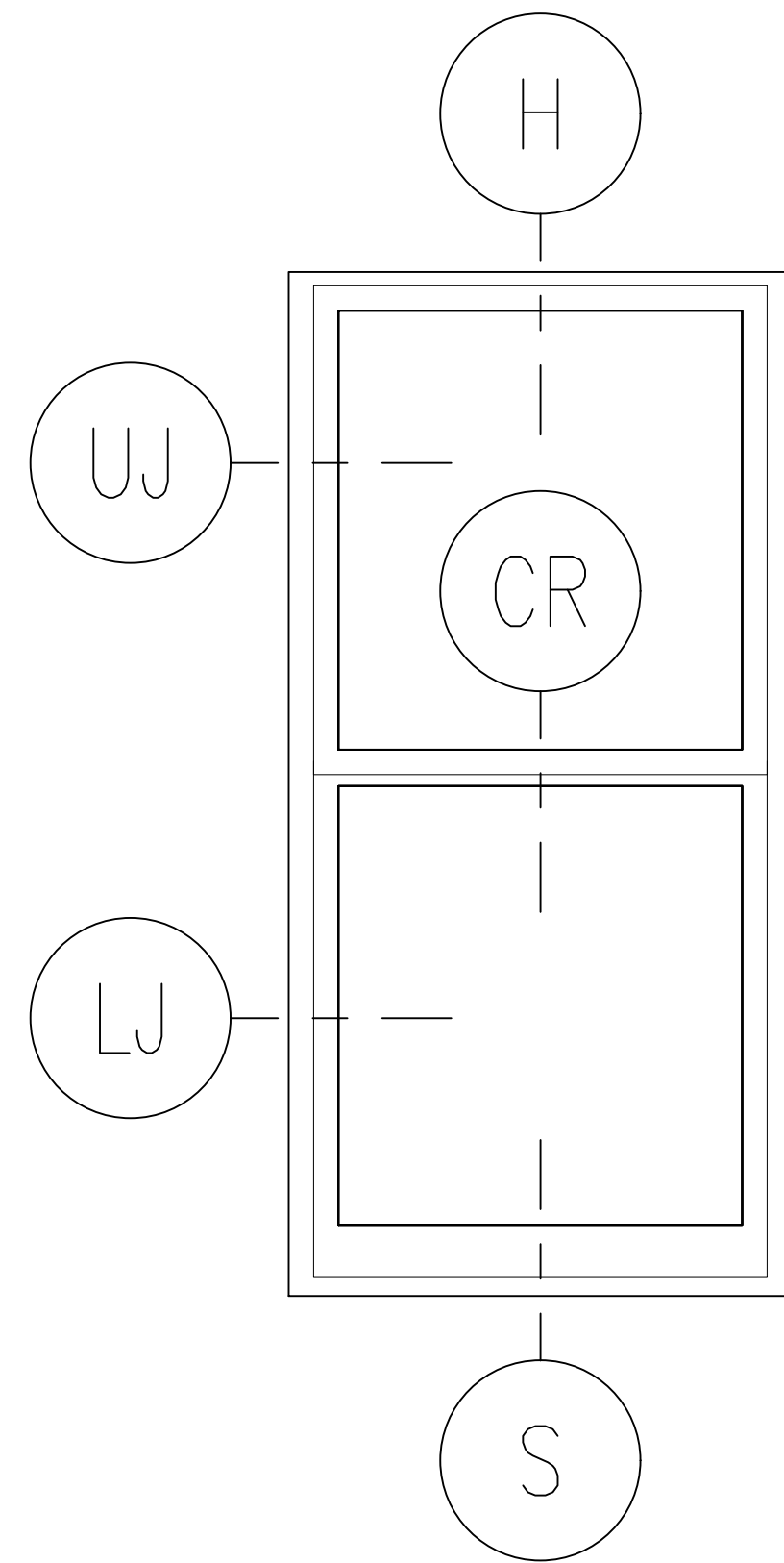
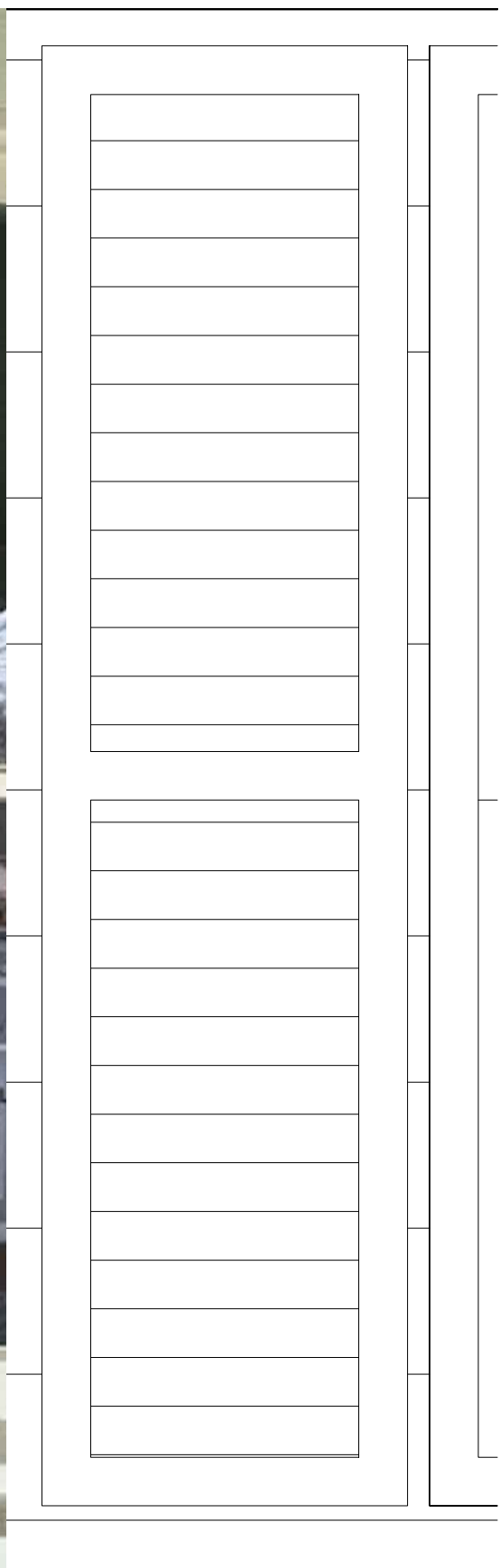
1X4 WOOD STOCK PAINTED



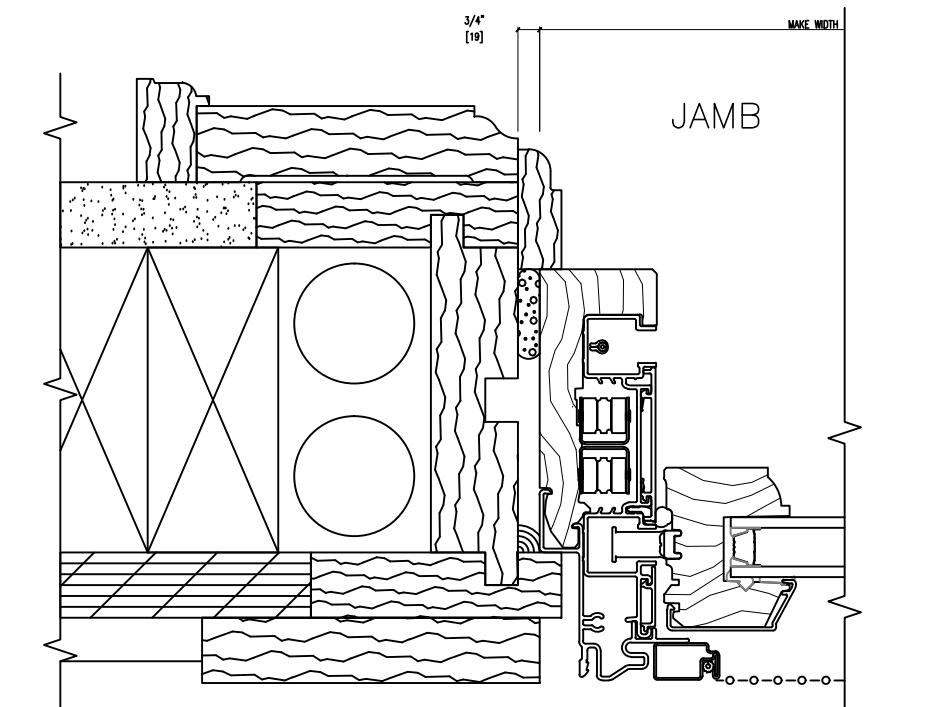
6 EXISTING LANDING DECKING  
A5 SCALE N.T.S.

2 PROPOSED DUTCH SIDING TME  
A5 SCALE N.T.S.

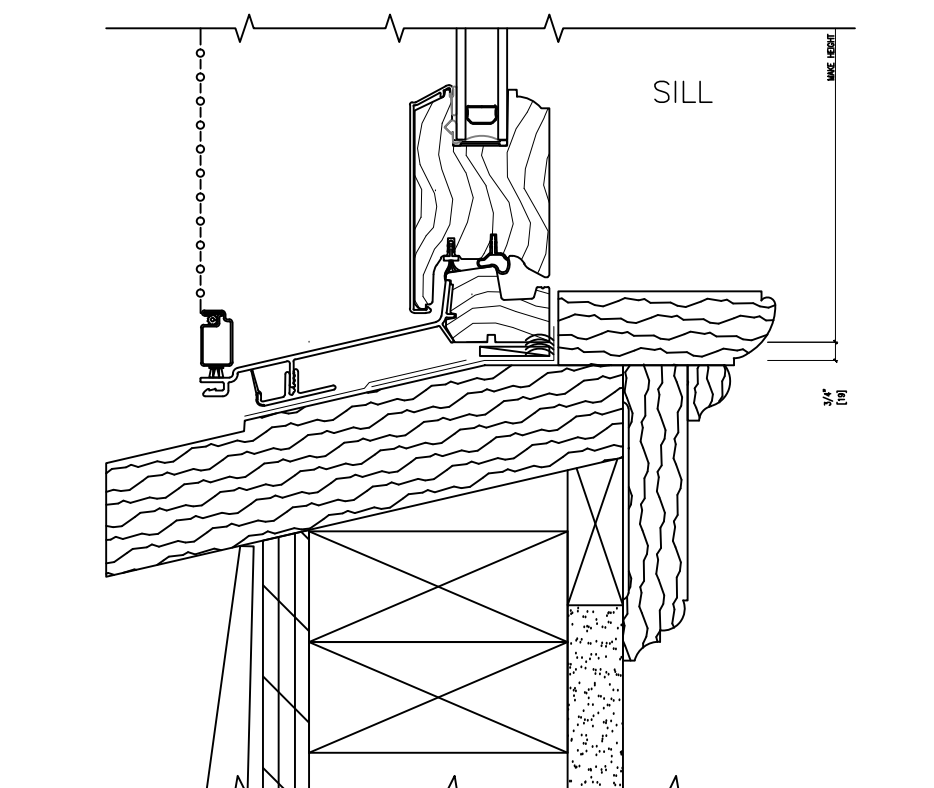
4 PROPOSED WOOD EXTERIOR TRIM TME  
A5 SCALE N.T.S.



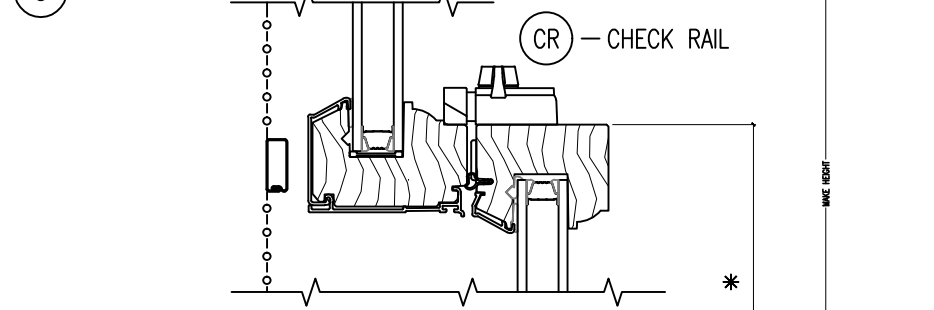
12 PROPOSED WOOD CLAD WINDOW HEAD  
A5 SCALE N.T.S.



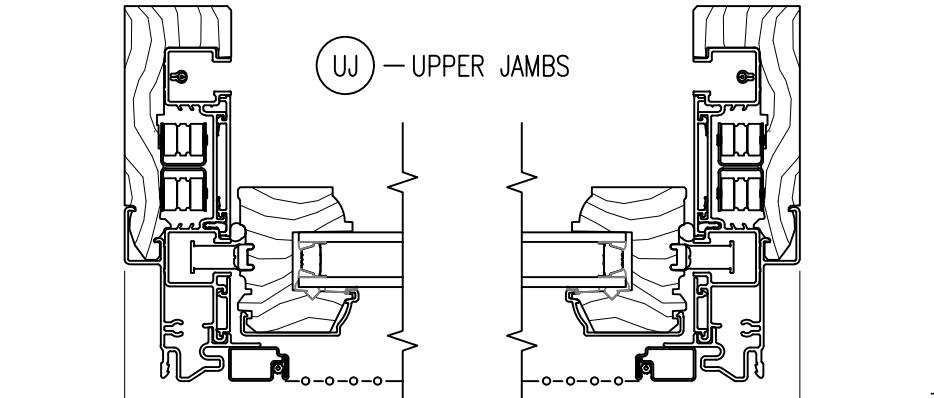
13 PROPOSED WOOD CLAD WINDOW JAMB  
A5 SCALE N.T.S.



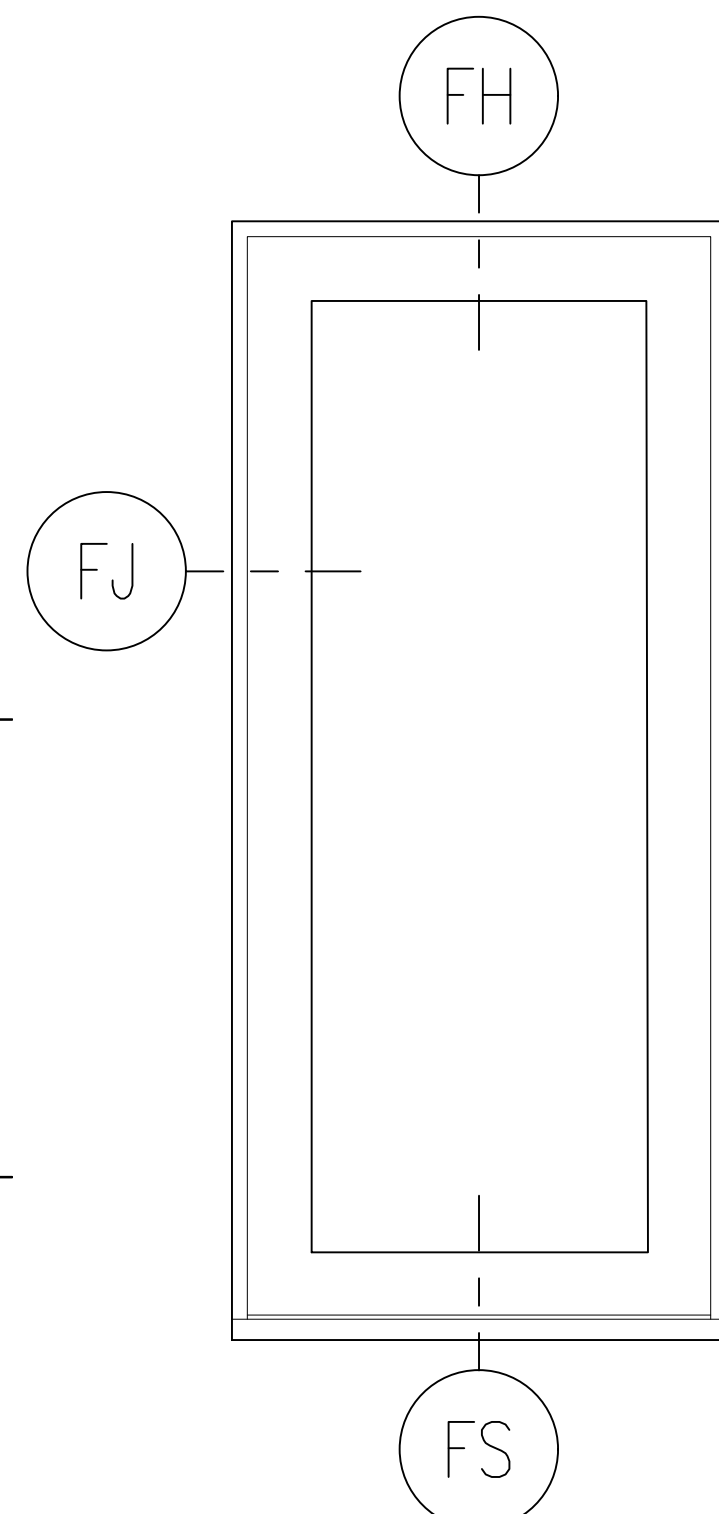
14 PROPOSED WOOD CLAD WINDOW SILL  
A5 SCALE N.T.S.



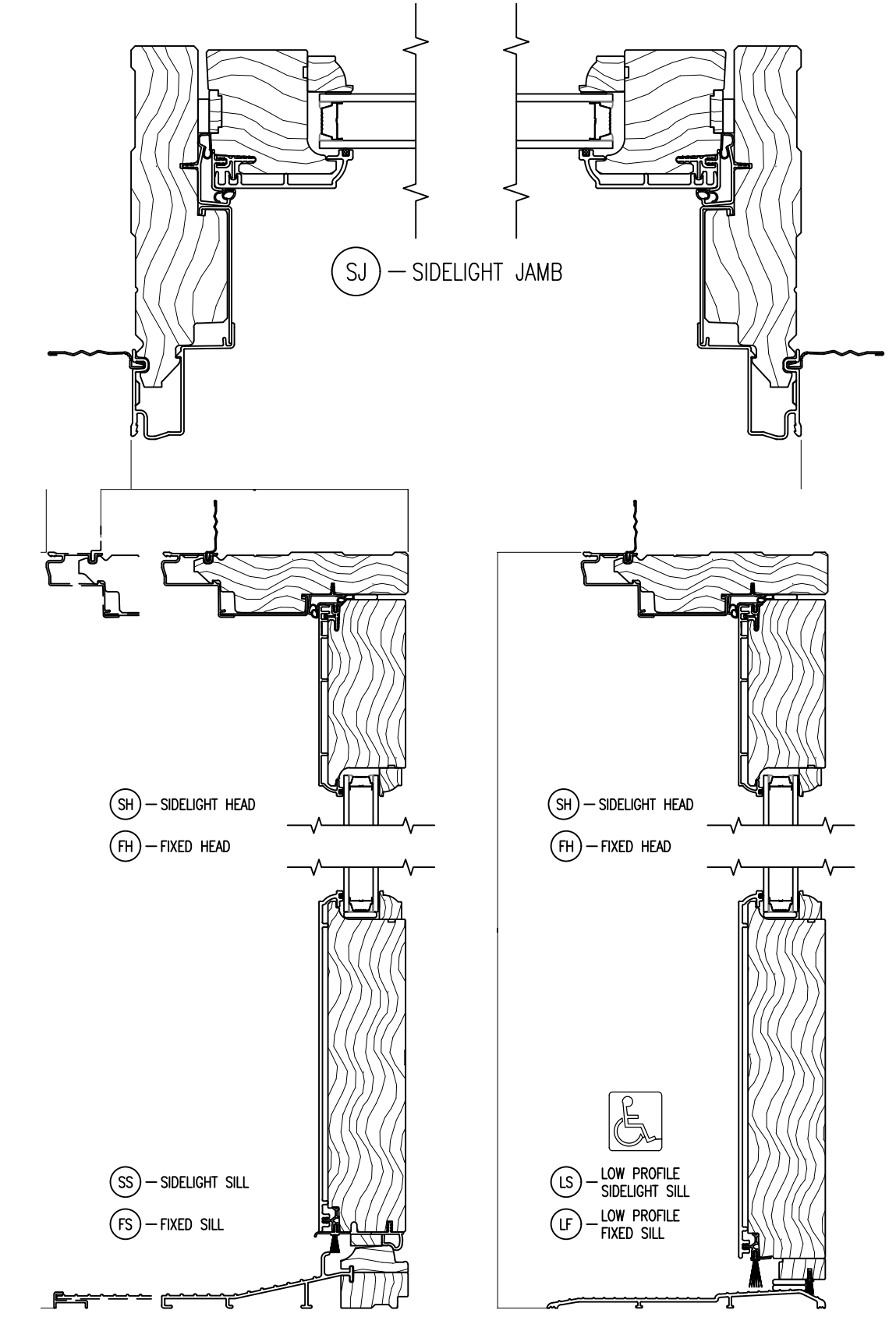
15 PROPOSED WOOD CLAD WINDOW CROSS MEMBER  
A5 SCALE N.T.S.



16 PROPOSED WOOD CLAD WINDOW LOWER  
A5 SCALE N.T.S.



17 PROPOSED ALUMINUM CLAD DOOR HEAD, JAMB AND SILL DETAILS  
A5 SCALE N.T.S.



9 EXISTING WOOD SHUTTERS  
A5 SCALE N.T.S.

10 PROPOSED WOOD SHUTTERS TME  
A5 SCALE N.T.S.

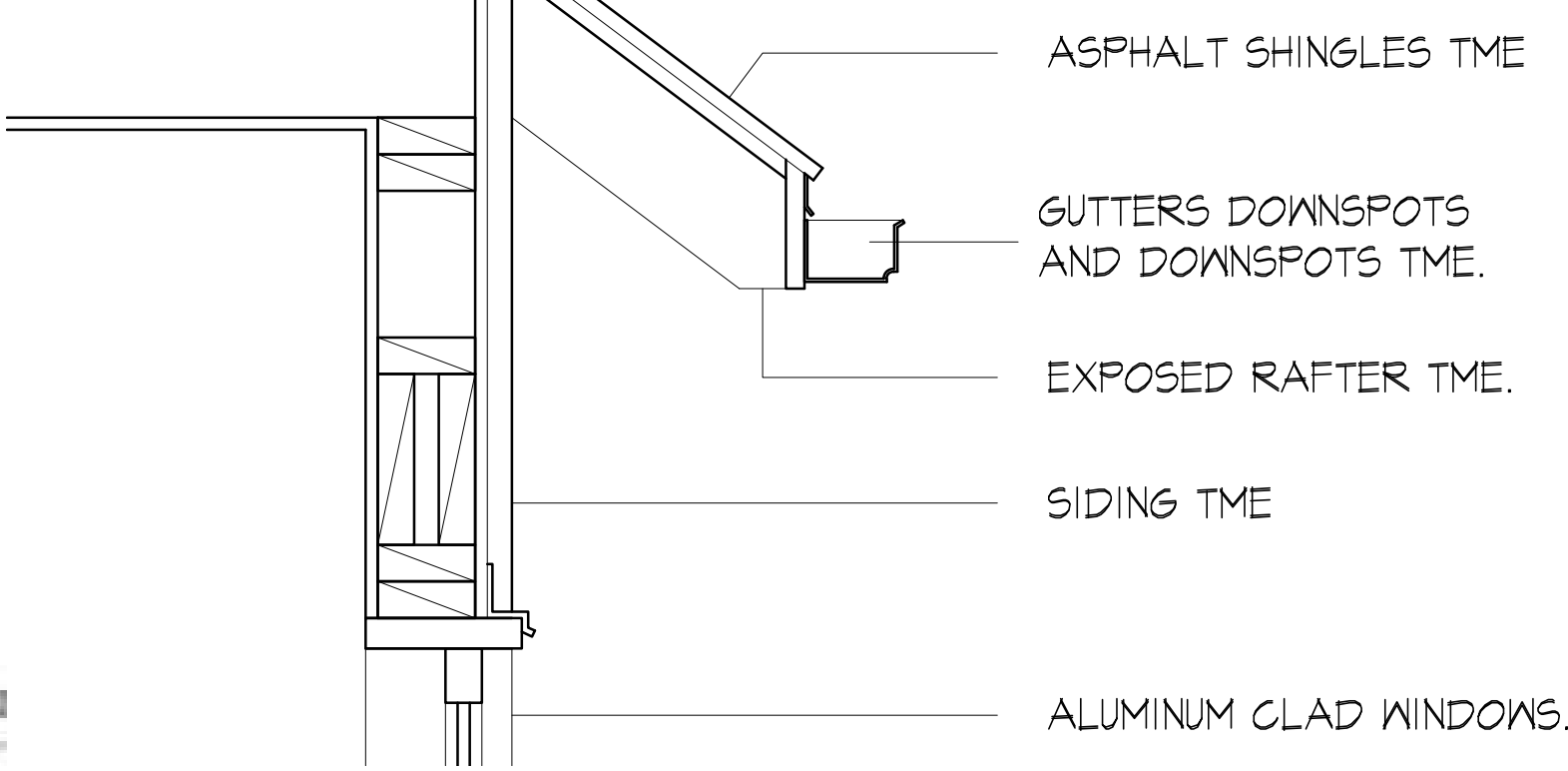
11 PROPOSED ALUMINUM CLAD WINDOW  
A5 SCALE N.T.S. USE PELLA TRADITIONAL DOUBLE HUNG WINDOWS OR SIM.



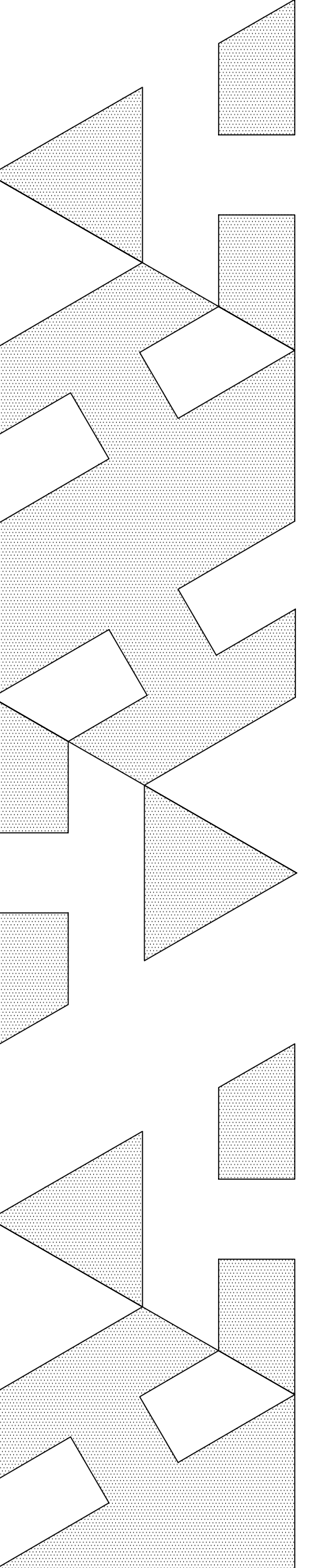
18 PROPOSED ALUMINUM GUTTER TME  
A5 SCALE N.T.S.



19 PROPOSED ALUMINUM DOWNSPOUT TME  
A5 SCALE N.T.S.



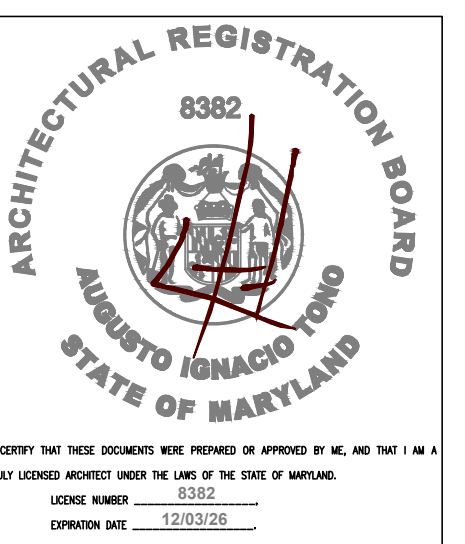
20 PROPOSED SOFFIT DETAIL TME  
A5 SCALE N.T.S.



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ADDITION REMODELING WORK  
TWO STORY ADDITION  
10220 CAPITOL VIEW AVENUE  
SILVER SPRING, MD 20910

|                   |          |                 |
|-------------------|----------|-----------------|
| EXTERIOR FEATURES | PROPOSED | ISSUED FOR HAMP |
|-------------------|----------|-----------------|



|           |              |
|-----------|--------------|
| DATE:     | SEPTEMBER 24 |
|           | JANUARY 25   |
| APPROVAL: | SHEET        |
|           | A5           |

# ADDITION PROJECT REMODELING EXISTING

10220 CAPITOL VIEW AVENUE  
SILVER SPRING, MD 20910

## EXISTING CONDITIONS PHOTOS FRONT AND REAR



## INDEX

- C - 0 COVER SHEET
- D E - 1 FLOOR PLANS EXISTING
- D E - 2 ELEVATIONS EXISTING
- A - 1 FLOOR PLANS PROPOSED 1
- A - 2 FLOOR PLANS PROPOSED 2
- A - 3 SECTIONS PROPOSED 1, 2, 3, 4
- A - 3A SECTIONS PROPOSED 4 AND 5
- A - 4 ELEVATIONS
- A - 5 EXTERIOR FEATURES
- SPI SITE PLAN WITH EXISTING TREES TO REMAIN.

## INFORMATION

LOCATION : SILVER SPRING, MD 20910  
GOVERNING CODE BOOKS : IRC 2018  
CONSTRUCTION CLASSIFICATION SFD

## SCOPE OF WORK

TWO STORY REAR ADDITION ON CRAWLSPACE AND REMODEL EXISTING CONDITIONS PER THESE PLANS. NO NEW WORK ON STREET ELEVATION. WORK INCLUDES REMOVING REAR PORCH.

## PROJECT NOTES

- CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO EXECUTION OF CONTRACT WORK IF DISCREPANCIES ARE FOUND IN THE FIELD OR CODE RELATED ISSUES ARE DISCOVERED CONTACT ARCHITECT BEFORE PERFORMING ANY WORK.
  - PROVIDE R-41 INSULATION IN ATTIC. ALSO PROVIDE R-20 INSULATION ON ALL EXTERIOR WALLS WHERE APPLICABLE.
  - SOIL DESIGN VALUE REQ'D: 1500 PSF FOR FOOTINGS FOUNDED ON UNDISTURBED SOIL. DESIGN SOIL BEARING SHALL BE FIELD VERIFIED.
  - FOUNDATION: BOTTOMS OF ALL FOOTINGS SHALL EXTEND A MINIMUM OF ONE FOOT INTO UNDISTURBED SOIL AND WHERE SUBJECT TO FROST ACTION, AT LEAST 30 INCHES BELOW FINISH GRADE. FOOTING ELEVATIONS SHALL BE ADJUSTED AS REQUIRED TO SUIT FIELD CONDITIONS. FOUNDATION WORK TO BE APPROVED BY BUILDING INSPECTOR OR PROFESSIONAL ENGINEER PRIOR TO POURING CONCRETE.
  - CONCRETE: ALL CONCRETE SHALL CONFORM TO ACI CODE 318 AND INTERNATIONAL BUILDING CODES. 28 DAYS STRENGTH SHALL BE  $f_c = 3000$  PSI FOR FOOTINGS. ALL CONCRETE SHALL BE NORMAL WEIGHT.
  - CONCRETE PROTECTION FOR REINFORCEMENT: REINFORCING BARS AND MESH TO HAVE MINIMUM CONCRETE COVER AS FOLLOWS: CONCRETE POURED AGAINST EARTH - 3 INCH. FORMED CONCRETE EXPOSED TO WEATHER OR IN CONTACT WITH EARTH: 2".
  - REINFORCING STEEL: ALL REINFORCING STEEL TO CONFORM TO ASTM A-615, GRADE 60, WELDED WIRE MESH TO CONFORM TO ASTM A-185. FABRICATE AND PROVIDE STANDARD SUPPORTING ACCESSORIES IN ACCORDANCE WITH THE ACI MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES AC-308-80 AND CRSI STANDARDS. PROVIDE PLACING ACCESSORIES IN ACCORDANCE WITH ACI RECOMMENDATIONS.
  - FOUNDATION WALL: CONCRETE MASONRY UNIT (CMU) FOUNDATION WALLS SHALL CONFORM TO THE BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES (ACI 530-02/TMS 402-02) CHAPTER 1, 2 AND 3. MINIMUM HORIZONTAL JOINT REINFORCEMENT CONSISTING OF NOT LESS THAN TWO CONTINUOUS WIRES EACH WITH MINIMUM GROSS-SECTIONAL AREA OF 0.017 SQUARE INCH (1 GAGE) SHALL BE PROVIDED IN HORIZONTAL BED JOINTS SPACED NOT MORE THAN EVERY SECOND COURSE VERTICALLY. MINIMUM VERTICAL REINFORCEMENT SHALL CONSIST OF ONE #5 REBAR @ 16" OC MAXIMUM. CELLS HAVING VERTICAL REINFORCEMENT SHALL BE FILLED WITH EA GRAVEL CONCRETE OR MASONRY GROUT MEETING THE REQUIREMENTS OF ASTM C416. VERTICAL STEEL REINFORCEMENT SHALL BE PLACED NOT MORE THAN 2 INCHES FROM THE INSIDE FACE OF THE WALLS.
  - FOUNDATION ANCHORAGE: ALL WOOD SILL PLATES SHALL BE ANCHORED TO THE TOP OF THE FOUNDATION WALL WITH 1/2" DIAMETER ANCHOR BOLTS SPACED OF 48" ON CENTER.
  - WOOD FRAMING: ALL WOOD CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS AND SPECIFICATIONS OF AMERICAN INSTITUTE OF TIMBER CONSTRUCTION 'TIMBER CONSTRUCTION MANUAL' LATEST EDITION. ALL FRAMING LUMBER SHALL BE SOUTHERN YELLOW PINE NO 2 MMS 18% (INCLUDING TOP PLATED, HEADERS, JOISTS, STUDS, RAFTERS, AND POSTS) OR EQUAL. ALL LUMBER IN CONTACT WITH CONCRETE SLAB TO BE MOISTURE PROOFED TREATED LUMBER. FIRE RETARDANT TREATED LUMBER IS UNACCEPTABLE. FRAMING LUMBER SHALL BE FB # 1000 PSI MINIMUM. TOP PLATE SPLICES MUST BE STAGGERED A MINIMUM OF 4 FEET AND OCCUR OVER STUD. WHERE CUTTING OF TOP PLATE MORE THAN HALF WIDTH IS NECESSARY, A METAL TIE NOT LESS THAN EIGHTEEN GAUGE 04 INCH THICKNESS AND 1 1/2" WIDE SHALL BE FASTENED TO THE PLATE ACROSS AND TO EACH SIDE OF THE OPENING WITH NOT LESS THAN FOUR 16D NAILS. ALL PLYWOOD USED STRUCTURALLY SHALL MEET THE PERFORMANCE STANDARDS FOR THE TYPE, GRADE AND SPECIES OF PLYWOOD AND SHALL BE SO IDENTIFIED BY AN APPROVED TESTING AGENCY. SHEATHING FASTENING METHOD TO CONFIRM WITH INTERNATIONAL BUILDING CODES. CONVENTIONAL FLOOR JOISTS SHALL MEET THE PERFORMANCE STANDARDS FOR THE TYPE, GRADE AND SPECIES OF PLYWOOD AND SHALL BE SO IDENTIFIED BY AN APPROVED TESTING AGENCY. SHEATHING FASTENING METHOD TO CONFIRM WITH INTERNATIONAL BUILDING CODES. CONVENTIONAL JOISTS OR RAFTERS SHALL HAVE BRIDGINGS AT A MINIMUM OF 8' - 0" CUT AND NOTCH HOLES SIZE AND LOCATIONS SHALL CONFORM WITH THE RECOMMENDATION OF BUILDING INSPECTOR OR PROFESSIONAL ENGINEER. SUBMIT 3 COPIES OF TRUSS FABRICATORS SHOP DRAWING SIGNED AND SEALED BY A P.E. AS REQUIRED FOR APPROVAL PRIOR TO FABRICATION AND ERECTION OF PREFABRICATED TRUSSES. PREFABRICATED TRUSSES SHALL BE CENTERED OVER STUD WHENEVER RESPECTIVE SPACINGS COINCIDES AND METAL SHARP ANCHOR TO BE USED AT SUCH INTERVAL. NOT CUTS OR HOLES PERMITTED IN ANY PART OF TRUSS UNLESS OTHERWISE INDICATED AND APPROVED BY TRUSS DESIGNER. ON SITE STORAGE OF ALL PREFABRICATED WOOD TRUSSES SHALL BE ON LEVEL GRADE, PROTECTED FROM MOISTURE AND/OR GROUND CONDITIONS, AND LAID FLAT UNLESS OTHERWISE INDICATED BY MANUFACTURERS RECOMMENDATION. ALL LATERAL BRIDGINGS AND BRACING AS REQUIRED BY TRUSS DESIGNER SHALL BE INSTALLED.
  - WIND BRACING: EXTERIOR SHEATHING TO BE 1/2" PLYWOOD. FASTENERS ARE 1 1/8" TO 1 1/4" 10-D SMOOTH OR 8 - D DEFORMED NAILS AT 8" OC NAILING THE EDGES AND AT 12" OC INTERMEDIATE.
  - ALL WOOD FRAMING IN CONTACT WITH CONCRETE OR MASONRY AND AT EXTERIOR AREAS SHALL BE PRESSURE TREATED.
  - LINTEL : AT WOOD WALL - USE 2- 2X 10 FOR UP TO 6 FT SPAN WITH MINIMUM 2 STUDS EACH END.
- APPLICABLE CODE: INTERNATIONAL RESIDENTIAL CODE 2018
- ALL ENERGY COMPONENTS SHALL MEET OR EXCEED MODEL ENERGY CODE REQUIREMENTS. AN ENERGY EVALUATION SHALL BE PERFORMED & SUBMITTED BY AN AUTHORIZED INSULATION OR ENERGY EVALUATION COMPANY.
  - ALL PLUMBING, ELECTRICAL AND HVAC WORK SHALL BE DONE BY LICENSED CONTRACTORS IN THEIR FIELD WITH SEPARATE PERMIT.
  - PROVIDE SMOKE DETECTORS IN BASEMENT, STAIR, BEDROOMS AND HALL. SMOKE DETECTORS ARE TO BE INTERCONNECTED W/ WIRE TO POWER SOURCE AND WITH BATTERY BACK UP.

## MATERIAL SYMBOLS

|  |          |  |                    |
|--|----------|--|--------------------|
|  | CONCRETE |  | STEEL              |
|  | GRAVEL   |  | RIGID INSULATION   |
|  | BRICK    |  | GRANITE            |
|  | C.M.U.   |  | CEMENT SETTING BED |
|  | EARTH    |  | BATT INSULATION    |

## ABBREVIATIONS

|          |                         |         |                     |
|----------|-------------------------|---------|---------------------|
| ALUM.    | ALUMINUM                | INSUL.  | INSULATION          |
| A.C.T.   | ACOUSTICAL CEILING TILE | JT.     | JOINT               |
| &        | AND                     | MTL.    | METAL               |
| @        | AT                      | MIN.    | MINIMUM             |
| A.D.     | AREA DRAIN              | N.      | NORTH               |
| AVE.     | AVENUE                  | NIC.    | NOT IN CONTRACT     |
| B.LD.G.  | BUILDING                | O.C.    | ON CENTER (S)       |
| CONC.    | CONCRETE                | OPT.    | OPPOSITE            |
| C.M.U.   | CONCRETE MASONRY WALL   | REINF.  | REINFORCED (METAL)  |
| CONT.    | CONTINUOUS              | P.L.    | PLASTIC LAMINATE    |
| DEM.     | DEMOLITION, DEMOLISH    | RT.     | ROUTE               |
| S.B.O.   | SELECTION BY OWNER      | SHT     | SHEET               |
| DIA (Ø)  | DIAMETER                | SIM.    | SIMILAR             |
| DWS.     | DRAWING                 | S.S.    | STAINLESS STEEL     |
| ELEC.    | ELECTRICAL              | STL.    | STEEL               |
| ELEV.    | ELEVATION               | ST.     | STREET              |
| EQ.      | EQUAL                   | STRUCT. | STRUCTURE (AL)      |
| EXIST.   | EXISTING                | THE.    | TO MATCH EXISTING   |
| EXP.     | EXPANSION               | TYP.    | TYPICAL             |
| EXP. JT. | EXPANSION JOINT         | KL.     | KEST                |
| GALV.    | GALVANIZED              | WV.     | WITH                |
| GYP. BD. | GYPSUM BOARD            | VIF.    | VERIFY IN FIELD     |
| MARB.    | MARBLE                  | TBS.    | TO BE SELECTED      |
| R AS R   | RISE AS REQUIRED        | STF.    | SELECTION TO FOLLOW |

## RESIDENTIAL CODE NOTES

### CLIMATIC AND GEOGRAPHIC DESIGN PARAMETERS

|                            |                     |
|----------------------------|---------------------|
| GROUND SNOW LOAD:          | 35 psf              |
| WIND SPEED:                | 115 MPH             |
| TOPOGRAPHIC EFFECTS:       | NO                  |
| SEISMIC DESIGN CATEGORY:   | B                   |
| WEATHERING:                | SEVERE              |
| FROST LINE DEPTH:          | 30 Inches (minimum) |
| TERMITE:                   | MODERATE TO HEAVY   |
| WINTER DESIGN TEMPERATURE: | 18° F               |
| FLOOD HAZARD:              | JULY 2, 1974        |
| AIR FREEZING INDEX:        | 300                 |
| MEAN ANNUAL TEMPERATURE:   | 55° F               |

### MINIMUM DESIGN LIVE VALUES

| USE  | LIVE LOAD |
|--|-----------|
| ATTICS WITHOUT STORAGE <sub>b</sub>                  | 10 PSF    |
| ATTICS WITH LIMITED STORAGE <sub>bg</sub>            | 20        |
| HABITABLE ATTICS AND ATTICS SERVED WITH FIXED STAIRS | 30        |
| BALCONIES (EXTERIOR) AND DECKS                       | 40        |
| FIRE ESCAPES   | 40        |
| GUARDRAILS AND HANDRAILS <sub>d</sub>                | 200 h PLF |
| GUARDRAILS IN-FILL COMPONENTS <sub>f</sub>           | 50 h PLF  |
| PASSENGER VEHICLE GARAGES <sub>a</sub>               | 50 a PLF  |
| ROOMS OTHER THAN SLEEPING ROOM                       | 40 PSF    |
| SLEEPING ROOMS                                       | 30 PSF    |
| STAIRS   | 40 c PSF  |

## SYMBOLS

|  |   |  |                  |
|--|---|--|------------------|
|  | INDICATES EXISTING TO REMAIN                      |  | ROOM NUMBER      |
|  | INDICATES EXISTING TO BE REMOVED                  |  | DOOR NUMBER      |
|  | NEW PARTITION WORK                                |  | PARTITION TYPE   |
|  | NUMBER INDICATES ELEVATION                        |  | ELEVATION NUMBER |
|  | ELEVATION   |  | PAGE NUMBER      |
|  | SHEET NUMBER WHERE DRAWN NUMBER INDICATES SECTION |  | NOTE NUMBER      |
|  | SECTION   |  | ALIGN            |
|  | DETAIL  |  |                  |

## PROJECT NOTES

- HEIGHT OF ADDITION 18" BELOW MAIN HOUSE.
- ADDITION REDUCED IN SIZE TO 2' AT WHERE NEW AND EXISTING COME TOGETHER.
- EXISTING REAR DORMER MAINTAINED ON NEW ADDITION.
- REAR OPEN PORCH TO MATCH EXISTING WITH TUSCAN COLUMNS ADDED TO PROJECT.
- NEW SIDING TO BE 1" LARGER THAN EXISTING.
- EXISTING CHIMNEY TO REMAIN.

## LIST OF MATERIALS

- ROOF: ASPHALT SHINGLES ON HIPPED ROOF TO MATCH EXISTING. MAINTAIN SAME SLOPE. SEE SECTIONS AND ELEVATION DRAWINGS.
- GUTTERS AND DOWNSPOUTS WHITE ALUMINUM TO MATCH EXISTING. SEE DETAIL PAGE A5
- FASCIA, SOFFIT AND SOFFIT VENTS TO MATCH EXISTING IN MATERIAL AND COLOR. SEE DETAIL PAGE A5.
- SIDING AND TRIM TO MATCH EXISTING IN MATERIALS AND COLOR. SEE DETAIL PAGE A5.
- WINDOWS: ONE OVER ONE ALUMINUM CLAD WINDOWS PELLA MANUFACTURER OR SIMILAR. SEE DETAILS PAGE A5.
- SHUTTERS TO MATCH EXISTING IN MATERIALS AND COLOR. SEE PAGE A5.
- REAR DOOR: ALUMINUM CLAD REAR DOOR WITHOUT GRILLES, PELLA MANUFACTURER OR SIM. SEE DETAILS PAGE A5.
- FOUNDATION WALL: MASONRY FOUNDATION WALL VENEER TO BE BRICK TO MATCH EXISTING.
- EXISTING FINISH GRADE TO REMAIN.

## AIR LEAKAGE

- BUILDING THERMAL ENVELOPE: THE BUILDING THERMAL ENVELOPE SHALL BE DURABLY SEALED TO LIMIT INFILTRATION. THE SEALING METHODS BETWEEN DISSIMILAR MATERIALS SHALL ALLOW FOR DIFFERENTIAL EXPANSION AND CONTRACTION. THE FOLLOWING SHALL BE CAULKED, GASKETED, WEATHERSTRIPPED OR OTHERWISE SEALED WITH AN AIR BARRIER MATERIAL, SUITABLE FILM OR SOLID MATERIAL:
- ALL JOINTS, SEAMS AND PENETRATIONS.
  - SITE-BUILT WINDOWS, DOORS AND SKYLIGHTS.
  - OPENINGS BETWEEN WINDOW AND DOOR ASSEMBLIES AND THEIR RESPECTIVE JAMBS AND FRAMING.
  - UTILITY PENETRATIONS.
  - DROPPED CEILINGS OR CHASES ADJACENT TO THE THERMAL ENVELOPE.
  - KNEE WALLS.
  - WALLS AND CEILINGS SEPARATING A GARAGE FROM CONDITIONED SPACES.
  - BEHIND TIES AND SHOWERS ON EXTERIOR WALLS.
  - COMMON WALLS BETWEEN DWELLING UNITS.
  - ATTIC ACCESS OPENINGS.
  - RIM JOIST JUNCTION.
  - OTHER SOURCES OF INFILTRATION.

## SITE PLAN

SCALE 1" = 40'-0"

**CAPITOL VIEW AVENUE**  
N 87°30'00" E 150.00'

**PARCEL 884**  
#10220 2 1/2 STORY FRAME W/ BSMT

**PARCEL 889**  
S 87°30'00" W 150.00'

**PARCEL 890**  
S 86°50'00" W 113.35'

**LEGEND:**  
 BE - BASEMENT ENTRANCE  
 BR - BRICK  
 BR - BLOCK RESTRICTION LINE  
 BSMT - BASEMENT  
 CON - CONCRETE STUOP  
 CONG - CONCRETE  
 CMU - CONCRETE MASONRY UNIT  
 EX - EXISTING  
 FR - FRAMING  
 INF - INDOOR FORMERLY  
 COV - OVERHEAD  
 PUE - PUBLIC UTILITY EMBT  
 PUE - PUBLIC IMPROVEMENT EMBT  
**COLOR KEY:**  
 BLUE - EXISTING DIMENSIONS  
 RED - IMPROVEMENTS  
 GREEN - EXISTING RESTRICTION LINES

**LOCATION DRAWING OF:**  
**#10220 CAPITOL VIEW AVENUE**  
**PARCEL 884 & 899, TAX MAP HP53**  
 N/F PROPERTY OF  
**BETTY GRACE SHUFORD**  
 LIBER 7401, FOLIO 344  
 MONTGOMERY COUNTY, MARYLAND  
 SCALE: 1"=40' DATE: 11-14-2023  
 DRAWN BY: AP FILE#: 239014-200

**A Land Surveying Company**  
**DULEY and Associates, Inc.**  
 Serving D.C. and MD.  
 14604 Elm Street, Upper Marlboro, MD 20772  
 Phone: 301-888-1111 Fax: 301-888-1114  
 Email: orders@duley.biz On the web: www.duley.biz

**SURVEYOR'S CERTIFICATE**  
 I HEREBY STATE THAT I HAVE A PERSONAL KNOWLEDGE OF THE LOCATION AND THE SURVEY WORK REFLECTED HEREON AND IT IS IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE REGULATION TO CHAPTER 15 OF THE CODE OF MARYLAND ANNOTATED REGULATIONS. THE SURVEY IS NOT TO BE USED OR RELIED UPON FOR THE ESTABLISHMENT OF FINES, BUILDINGS, OR OTHER IMPROVEMENTS. THIS PLAN DOES NOT PROVIDE FOR THE ESTABLISHMENT OF PROPERTY BOUNDARY LINES BUT SUCH IDENTIFICATION MAY NOT BE REQUIRED FOR THE TRANSFER OF TITLE OR SECURING FINANCING OR REFINANCING THE LEVEL OF ACCURACY FOR THIS DRAWING IS 1". NO TITLE REPORT WAS FURNISHED TO ME OR ONE OF THE SURVEYORS OPINION APPEARS TO BE A STATE OF SUBSIDENCE OR MAY BE CONSIDERED TEMPORARY. MAY NOT BE SHOWN. IF IT APPEARS ENCROACHMENTS MAY EXIST, A BOUNDARY SURVEY IS RECOMMENDED.

**DULEY & ASSOC.**  
 WILL GIVE YOU A 100% FULL CREDIT TOWARDS UPGRADING THIS SURVEY TO A "BOUNDARY/STAKE" SURVEY FOR ONE YEAR FROM THE DATE OF THIS SURVEY. (EXCLUDING D.C. & BALT. CITY)

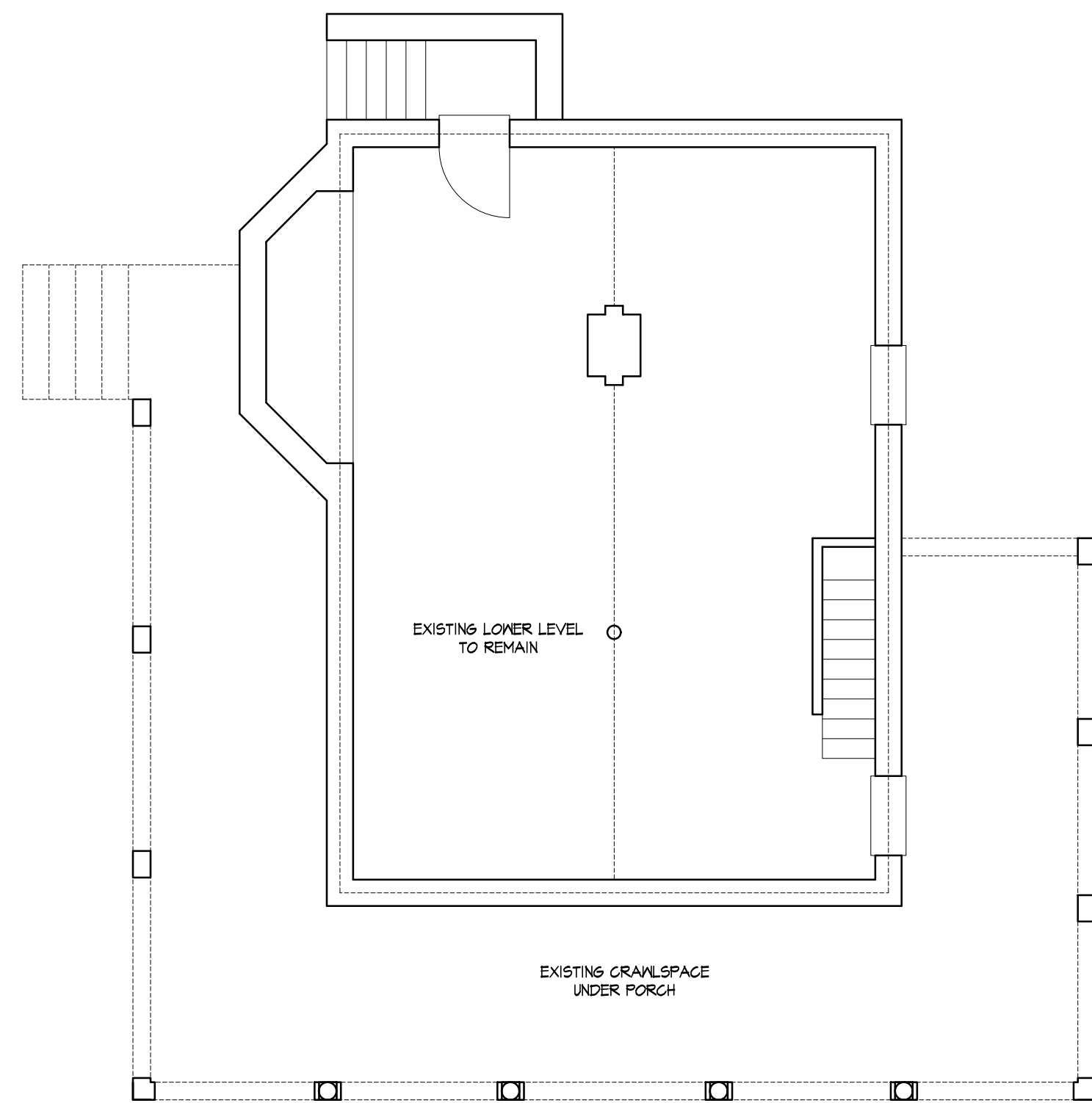
**ARCHITECTURAL REGISTRATION BOARD**  
 AUGUSTO IGNACIO TONO  
 STATE OF MARYLAND  
 8382  
 I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A duly LICENSED ARCHITECT UNDER THE LAW OF THE STATE OF MARYLAND.  
 EXPIRE DATE: 03/31/2026  
 LICENSE NUMBER: 12037228

**COVER PAGE**  
**SITE PLAN**  
**ISSUED FOR HAMP**

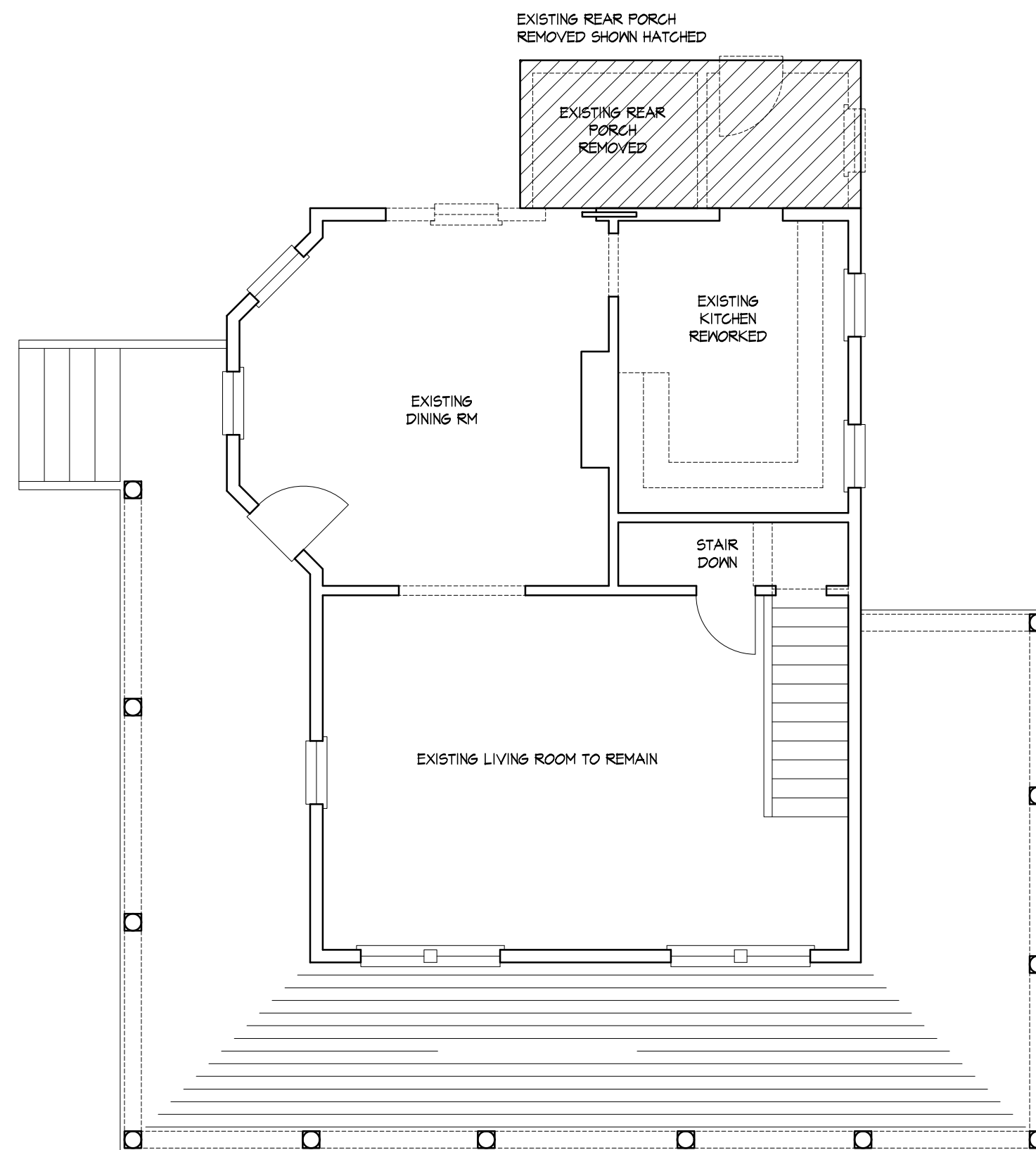
**DATE:**  
 SEPTEMBER 24  
 JANUARY 25

**APPROVAL:** SHEET  
**CO**

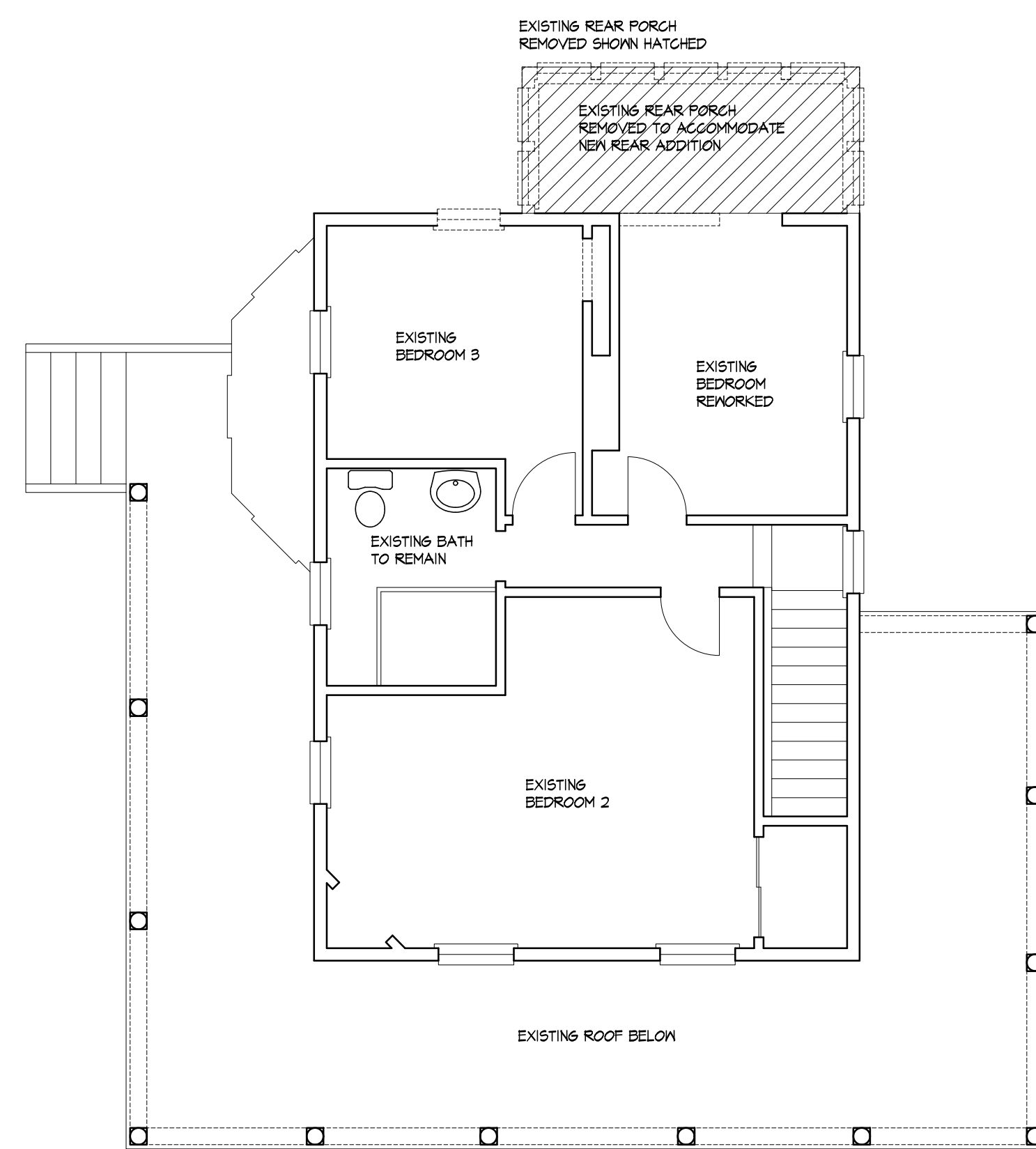
© ARCHITONO 1-10-25



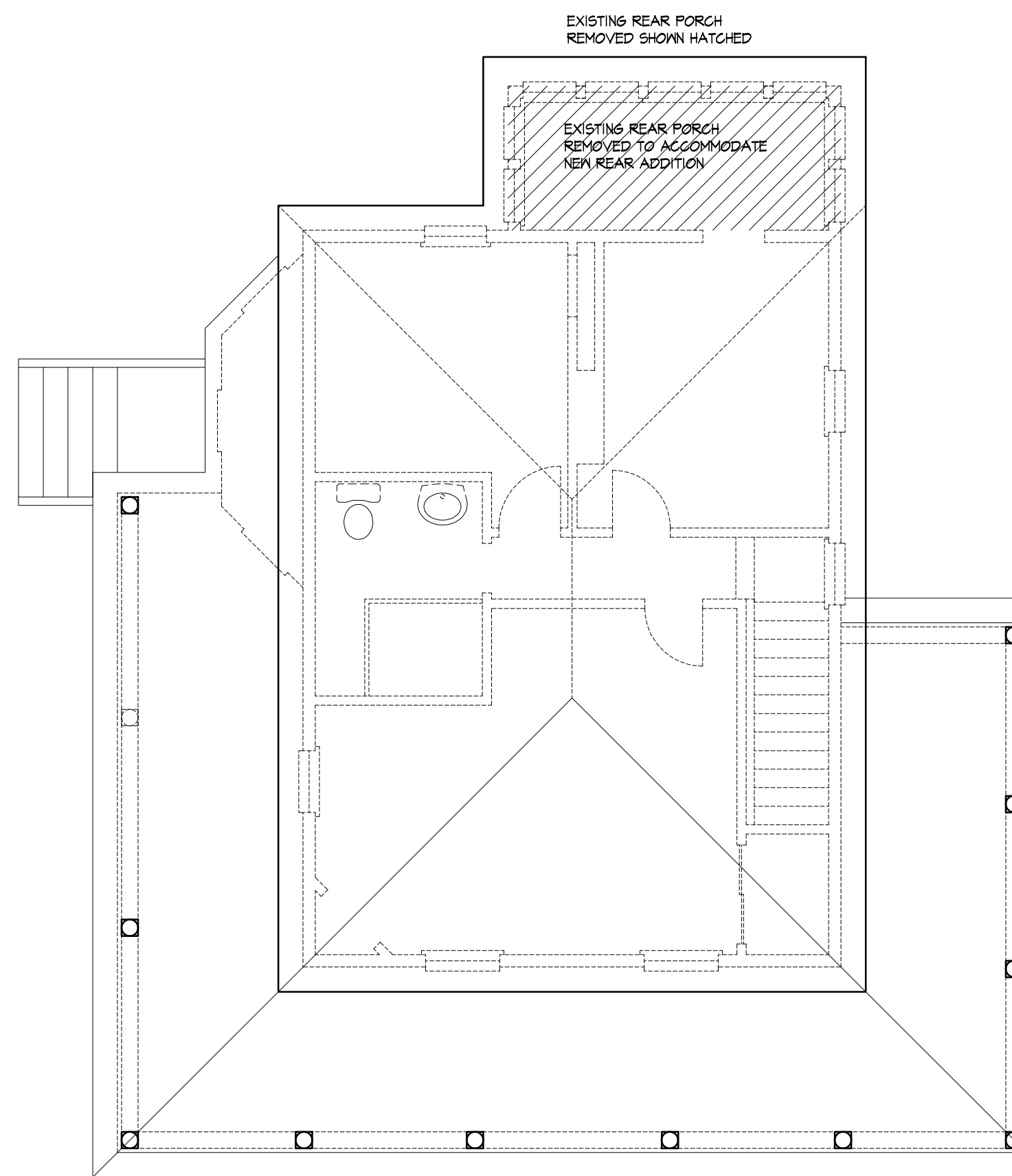
1 EXISTING LOWER FLOOR PLAN  
DI SCALE 1/4"=1'-0"



2 EXISTING FIRST FLOOR PLAN  
DI SCALE 1/4"=1'-0"



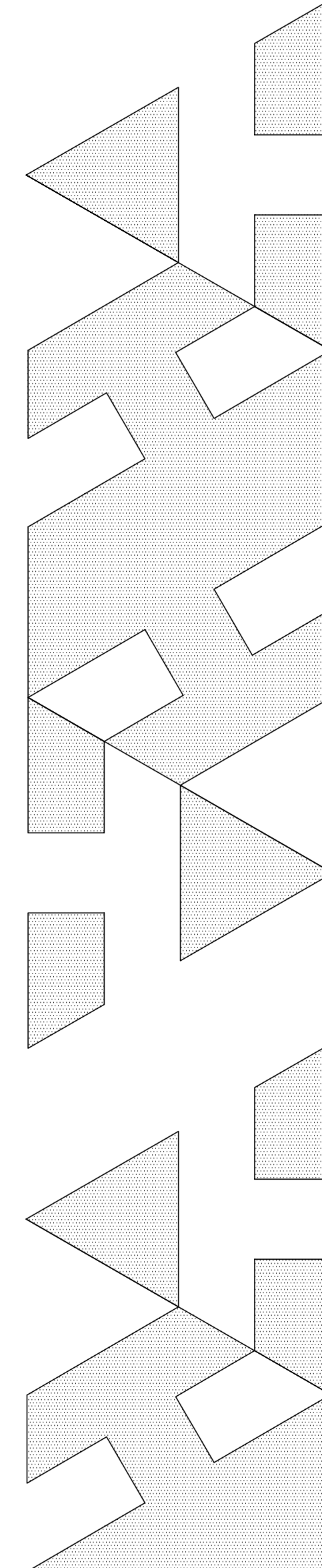
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DI SCALE 1/4"=1'-0"



4 EXISTING ROOF PLAN  
DI SCALE 1/4"=1'-0"



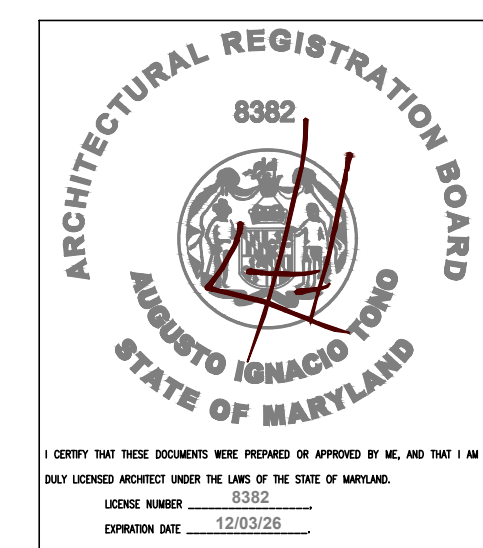
5 EXISTING CONDITIONS  
DI SCALE N.T.S.



ARCHITECTURE BY  
TONO, INC.  
11605 SILENT VALLEY LANE  
NORTH POTOMAC, MD - 20878  
PHONE 301 618-1801  
E-MAIL: atono@architono.com

ADDITION REMODELING WORK  
TWO STORY ADDITION  
10220 CAPITOL VIEW AVENUE  
SILVER SPRING, MD 20910

|                     |
|---------------------|
| EXISTING CONDITIONS |
| FLOOR PLANS         |
| EXISTING PHOTOS     |
| ISSUED FOR HAMP     |



|           |              |
|-----------|--------------|
| DATE:     | SEPTEMBER 24 |
| DATE:     | DECEMBER 24  |
| APPROVAL: | SHEET        |
|           | DE 1         |



1 EXISTING FRONT ELEVATION  
D2 SCALE 1/4"=1'-0"



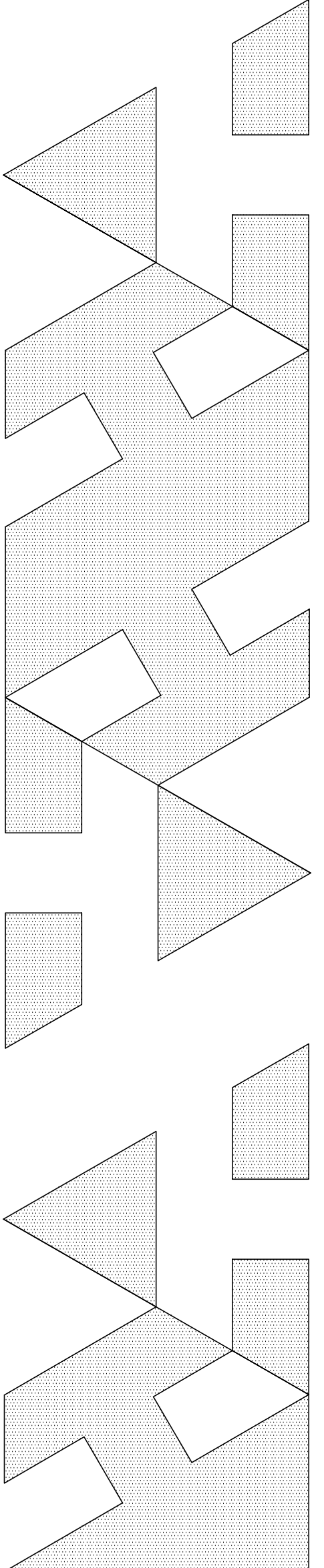
2 EXISTING RIGHT SIDE ELEVATION  
D2 SCALE 1/4"=1'-0"



3 EXISTING REAR ELEVATION  
D2 SCALE 1/4"=1'-0"



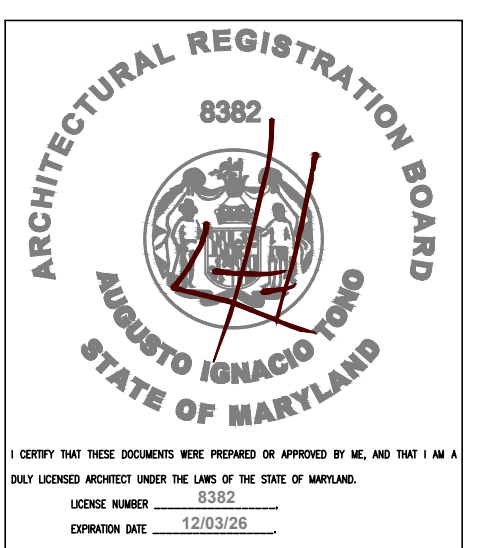
4 EXISTING LEFT SIDE ELEVATION  
D2 SCALE 1/4"=1'-0"



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|                     |                     |                 |                 |
|---------------------|---------------------|-----------------|-----------------|
| EXISTING CONDITIONS | EXISTING ELEVATIONS | EXISTING PHOTOS | ISSUED FOR HAMP |
|---------------------|---------------------|-----------------|-----------------|

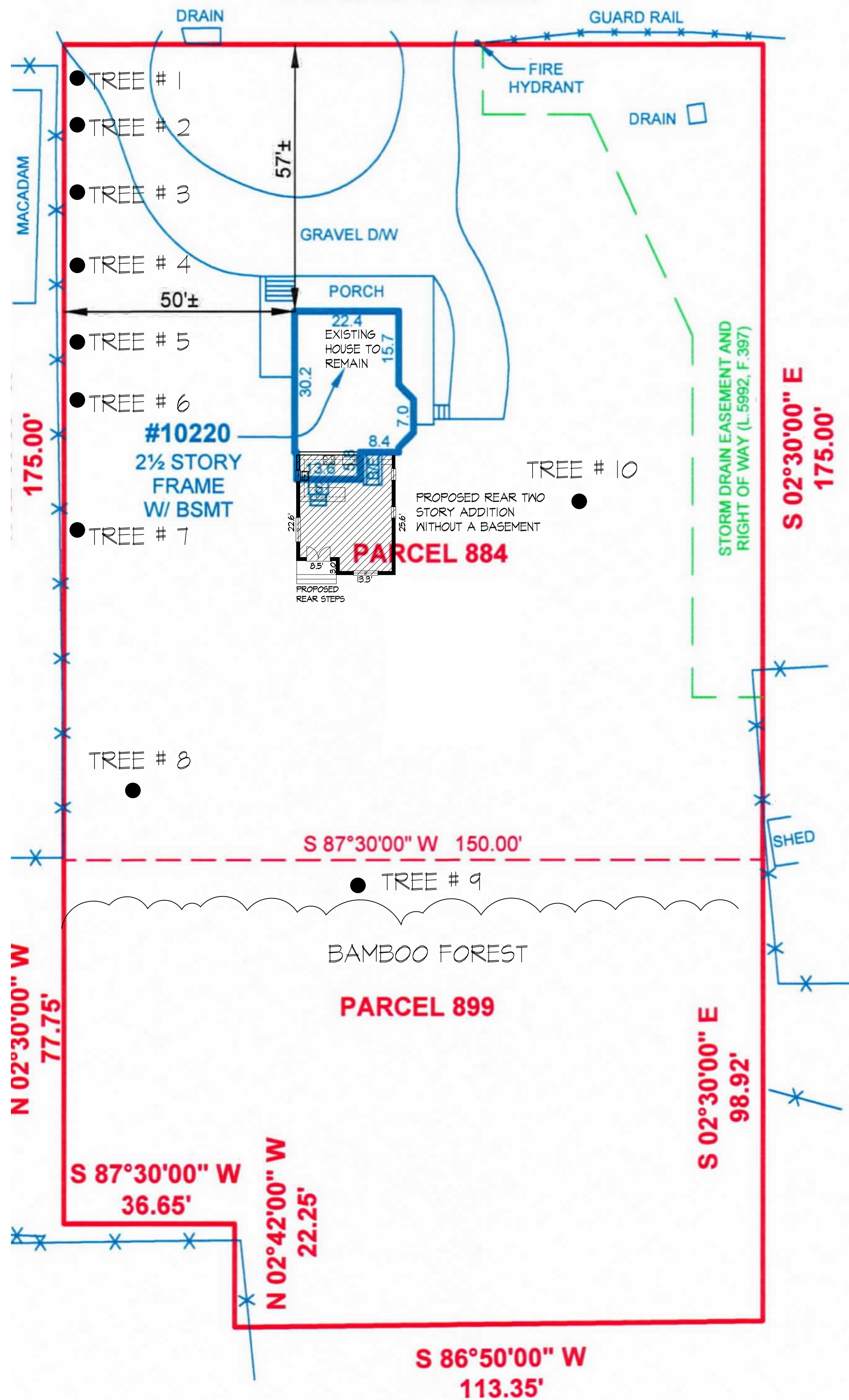


|           |              |
|-----------|--------------|
| DATE:     | SEPTEMBER 24 |
| DATE:     | JANUARY 25   |
| APPROVAL: | SHEET        |
|           | DE2          |

5 EXISTING CONDITIONS  
D1 SCALE N.T.S.

# CAPITOL VIEW AVENUE

N 87°30'00" E 150.00'



TREE CARE, LLC 1864 East Queens Ct. Crofton, Maryland 21114 • 301-735-9703 Cell 443-306-3037 bartontree@verizon.net

- |                       |                |
|-----------------------|----------------|
| Tree Removal          | Line Cleaning  |
| Pruning               | Crane Service  |
| Storm Damage Clean-up | Stump Grinding |
| Insurance Claims      | Lot Clearing   |
| Tree Transplanting    | Cabling        |

## Tree Survey Report for EPA submission:

**Project:** Construction of Addition  
**Location:** 10220 Capitol View, Silver Spring, MD  
**Date of Survey:** 12/14/2024  
**Surveyor's Name:** Edward Barton III, 443-306-3037 MD Tree expert 133  
**Barton's Tree Care, LLC, 1864 E. Queens Ct, Crofton, MD 21114**

### Purpose of Survey:

The purpose of this survey is to identify and assess the trees located on the property plat in Relation to the proposed construction of an addition. This report provides details about the tree species, health, size and their proximity to the construction pathway.

### Tree Inventory:

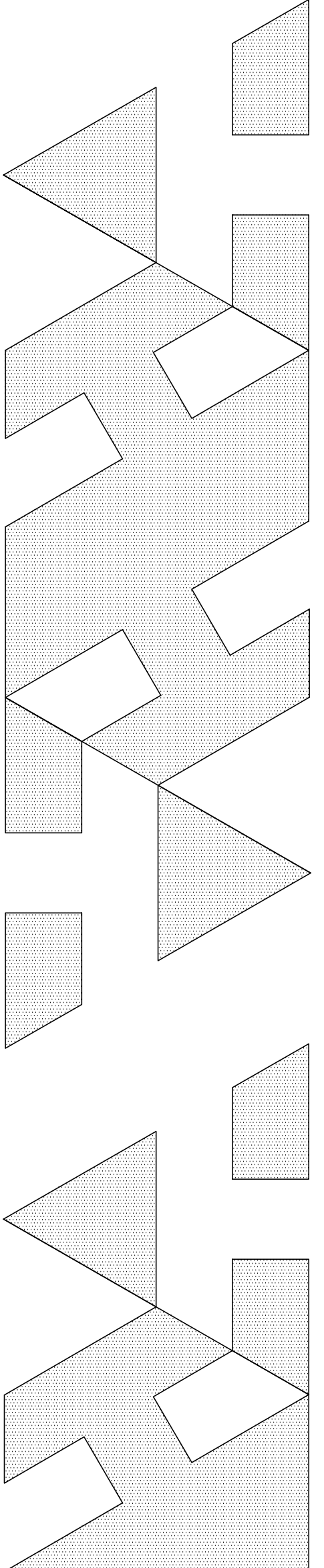
1. Poplar Tree- DBH 21inch-Health Good, location: right side along fence line.
2. Norway Maple- DBH 20inch-Health Good: right side along fence line.
3. Poplar Tree-DBH 21inch- Health Good: right side along fence line.
4. Ashe Tree- DBH 24 inch- Health Good: right side along fence line.
5. Ashe Tree- DBH 12inch- Health Good: right side along fence line.
6. Maple Tree- DBH 32inch- Health Good: right side along fence line.
7. Maple Tree- DBH 32 inch-Health Good: right side along fence line.
8. Poplar Tree- DBH 32 inch- Health Good: right side back yard
9. Ashe Tree- DBH 12 inch- Health Good: right side back yard
10. Ashe Tree- DBH 10 ich- Health Good: left side edge of wood line.

### Findings:

**Root system Assessment:** A thorough examination confirmed that there are no tree root systems with 15 feet of the designated pathways leading to and from the listed trees.  
**Impact Assessment:** The proposed construction is unlikely to adversely affect the health of the identified trees based on current measurements and assessments.

### Recommendations:

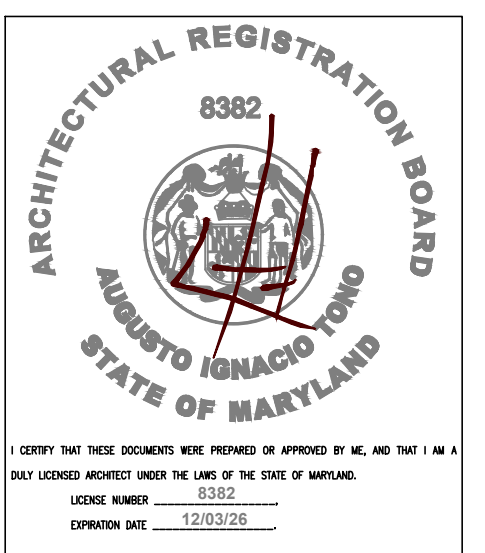
**Tree Protection:** Implement protective measures during construction to safeguard the trees identified in this survey.  
**Monitoring:** It is recommended that the health of the trees be monitored throughout the construction process to ensure no unforeseen impacts occur.



ARCHITECTURE BY  
**TONO, INC.**  
 11605 SILENT VALLEY LANE  
 NORTH POTOMAC, MD - 20878  
 PHONE 301 618 - 1601  
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ADDITION REMODELING WORK  
 TWO STORY ADDITION  
 10220 CAPITOL VIEW AVENUE  
 SILVER SPRING, MD 20910

|           |             |                 |
|-----------|-------------|-----------------|
| SITE PLAN | TREE SURVEY | ISSUED FOR HAMP |
|-----------|-------------|-----------------|



|           |              |
|-----------|--------------|
| DATE:     | SEPTEMBER 24 |
|           | JANUARY 25   |
| APPROVAL: | SHEET        |
|           | <b>SPI</b>   |