

Preliminary Consultation
MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	8827 Hawkins Lane, Chevy Chase	Meeting Date:	10/9/2024
Resource:	Contributing Resource Hawkins Lane Historic District	Report Date:	10/2/2024
Applicant:	Adisra Jittipun	Public Notice:	9/25/2024
Review:	Preliminary Consultation	Staff:	Dan Bruechert
PROPOSAL:	Building Addition, Trim and Siding Replacement, and Window Replacement		

STAFF RECOMMENDATION

Staff recommends the applicant make any changes recommended by the HPC and return for a HAWP or a second preliminary consultation.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Contributing Resource within the Hawkins Lane Historic District
STYLE: Vernacular Cottage
DATE: c.1938



Figure 1: The subject property is located near the northern end of Hawkins Lane.

PROPOSAL

The applicant proposes to construct a rear addition, replace siding and trim as needed, and replace the existing windows.

APPLICABLE GUIDELINES

When reviewing alterations and new construction within the Hawkins Lane Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the *Hawkins Lane Historic District Development Guidelines Handbook (Design Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.¹

Hawkins Lane Historic District Development Guidelines Handbook

Existing Buildings

- Exterior alteration and additions should be compatible with in scale and massing and materials with the existing building;
- The massing of a new addition should defer to and complement the massing of the existing structure, not obliterate or overwhelm it;
- Architectural elements which contribute to a building's character, including front porches, should be retained;
- Additions should be placed to the rear of existing buildings, whenever possible, to make them less obtrusive;
- Additions or alterations to existing outbuildings should follow the same guidelines as additions or alterations to residential structures, that is, they should be compatible with the existing structures in terms of scale, massing, and material.
- Where an outbuilding has particular historic significance because of its date of erection or other factors (as with the shed at the rear of 4113 Jones Bridge Road) every effort should be made to maintain and preserve it.

Montgomery County Code; Chapter 24A-8

- (a) The commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate, inconsistent with or detrimental to the preservation, enhancement or ultimate protection of the historic site or historic resource within an historic district, and to the purposes of this chapter.
- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to ensure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or

¹ A copy of the full *Design Guidelines* is available here: <https://montgomeryplanning.org/wp-content/uploads/2019/09/Hawkins-Lane-HD-Development-Guidelines-Handbook.pdf>.

- (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
 - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
 - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
 - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
 - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style.
 - (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

Secretary of the Interior's Standards for Rehabilitation:

The Secretary of the Interior defines rehabilitation as “the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values.” The *Standards* are as follows:

- 2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
- 5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.
- 6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
- 9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
- 10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

Text from the *Hawkins Lane Historic District Design Guidelines Handbook*, January 1991:

“The Hawkins Lane Historic District is a very special place. Located in a heavily-developed area with a substantial number of large, expensive homes, the district has a quiet, rural atmosphere and its residences are modest in both size and price. District property owners, moreover, are concerned with preserving their community and protecting those features that make it such a special place in which to live.

In 1987, their concern led to the establishment of The Ad Hoc Committee to Save Hawkins Lane. The goal of the Committee (composed of historic district and area property owners) is to maintain and protect the district's existing character while, at the same time, allowing for compatible growth and change. The Committee has a vision of a community in which both the "new" and the "old" coexist compatibly, thanks to careful planning and extensive community involvement in the planning process.

The Hawkins Lane Historic District Development Guidelines Handbook was prepared to help the Committee achieve this vision and to assist district property owners and residents in preserving the quiet, small-scale, intimate character of their community. The Handbook describes those qualities which contribute to the district's visual character; includes information on the County's Historic Preservation Ordinance and the Historic Area Work Permit (HAWP) process; and provides guidelines for district property owners planning alterations or new construction and county agencies (such as the Historic Preservation Commission) which must review and approve such plans.

The development guidelines are general in nature, to allow for flexibility in application, and they are to be used in conjunction with county land use regulations and The Secretary of the Interior's Standards for Rehabilitation, previously adopted by the county's Historic Preservation Commission (HPC). The Ad Hoc Committee proposes that the Montgomery County HPC also formally adopt the Guidelines for use in reviewing Historic Area Work Permit applications in the Hawkins Lane Historic District.

The History of Hawkins Lane

County land records indicate that the site of the Hawkins Lane Historic District was once part of a 700 acre tract called "Clean Drinking", granted to Colonel John Courts in 1700 by Charles, Lord Baron of Baltimore. The tract was purchased by Charles Jones in 1750, and the association of Clean Drinking (which at one point included some 1400 acres) with the Jones family continued well into the twentieth century; it is memorialized in the names of two area streets, Jones Mill Road and Jones Bridge Road.

The first Hawkins to be associated with the property was a prosperous white farmer from Prince George's County named James Hawkins, who, in 1825, bought for \$10,000 " all that part of a tract of land called Clean Drinking, a total of 400 acres " from Clement Smith, who had acquired the property from a descendant of Charles Jones [Montgomery County Land Records, Y/80]. In 1867 Hawkins' relatives sold approximately 93 acres of the tract to the Reverend John Hamilton Chew of Washington, D.C., a prominent Episcopalian minister. It was the Reverend Chew's widow, Sophia, who, in February of 1893, sold three acres of Clean Drinking for \$300 to James H. Hawkins, an ex-slave who had been employed (as a freedman) by her husband; the sale set the stage for the development of a small black community on the site.

By 1897, Hawkins had erected a two-story frame house for himself at the southwest corner of what later became Hawkins Lane and Jones Bridge Road. The first residence built on the Lane; it was destroyed by fire in the early 1920's.

After James H. Hawkins' death in 1928, his property was (in accordance with his will) divided equally among his twelve children; the Lane and the adjoining section of Jones Bridge Road were soon populated with homes built by members of the Hawkins family for themselves or for relatives and friends.

The history of the district's association with the Hawkins' family is a lengthy one, continuing to the present. All but six of the houses on the Lane were built by the children of James H. Hawkins for their own use, and they remained in the family for many years. Two of the Hawkins Lane properties are still owned by members of the Hawkins family, and James Hawkins' granddaughter, octogenarian Ella Hawkins, occupies one of them. On Jones Bridge Road, several properties still remain in the Hawkins family, while others were not sold to "outsiders" until the mid-1970's.

Established by a black, with the majority of dwellings built by --and for -- blacks, the Hawkins Lane Historic District remained a black residential enclave and "kinship community" for well over half a century, with the houses owned and occupied primarily by one family. Although the community is now racially mixed, a number of the properties are still black-owned and the Hawkins family is still represented in the district. And, in spite of changes in the racial composition of the district, it has retained the strong sense of community cohesiveness which was originally based on ties of kinship.

The district continues to be an important link to an earlier period in the county's history, and a tangible record of the efforts of the county's black citizens to establish themselves economically and socially."

The subject property is a contributing resource to the Hawkins Lane Historic District. It is a small side-gable cottage with a concrete foundation, shake siding, exposed rafter tails, and a small front porch. The house retains its six-over-six wood sash windows and half-light wood door. The house to the south (8825

Hawkins Lane) is a twin to the subject property.



Figure 2: The subject property is a small cottage near the north end of the Hawkins Lane Historic District.

The applicant proposes to construct a rear addition, replace the existing windows, and repair trim and siding in kind. Based on Staff's observations during a recent site visit, it appears the roof shingles are damaged and will also need to be replaced.

Rear Addition

The small cottage is 20' × 22' (twenty feet wide by twenty-two feet deep), and the applicant proposes to construct a two-story addition to the rear that measures 20' × 20' (twenty feet by twenty feet). The proposed rear addition will be covered by a very low-sloped rear-facing gable roof covered in three-tab asphalt shingles. The addition will have a parged CMU block foundation with shake siding on the first and second floors. The addition's windows will be a combination of six-over-six aluminum-clad sash windows and twelve light aluminum-clad casements. The windows will have simulated divided lites with permanently affixed exterior and interior grilles with a spacer bar between the panes of glass. On the rear of the addition, the applicant proposes to install a pair of aluminum-clad wood sliding-glass doors in the basement and a larger sliding-glass door on the first floor that provides access to a small wood balcony.

Staff finds the proposal is similar to the 2009 approved addition at 8825 Hawkins Lane.² That addition

² The Staff Report and application materials for the 2009 HAWP at 8825 Hawkins Lane is available here: https://mcatlas.org/tiles/06_HistoricPreservation_PhotoArchives/Padlock/HAR60640008/Box062/35-54-09A_Hawkins%20Lane%20Historic%20District_8825%20Hawkins%20Lane_07-09-2009.pdf.

measures 16' × 19' (sixteen feet deep by nineteen feet wide) and utilizes large shed dormers on both sides of the rear-facing gable roof to create the second-floor living space. The original proposal at that property proposed a large rear-facing shed roof (see pages 45-49 of the linked application materials). At the initial hearing, the HPC determined the shed roof form was incompatible with the character of the property and surrounding district and required revisions prior to approval.



Figure 3: The subject property (left) and 8825 Hawks Lane with the approved rear addition (right).

Staff finds the proposed materials, including asphalt shingles, cedar shake siding, and parged concrete foundation match the existing house materials and are appropriate in this application, per 24A-8(b)(1). Staff finds the proposed aluminum-clad wood windows and doors are generally appropriate for building additions and new construction as their finish and profiles are an acceptable substitute for divided light wood sash windows, per 24A-8(b)(2) and (d). Detailed window specifications that include measurements, not just the product line information, should be provided with the HAWP application. The proposed aluminum-clad sliding glass doors are on the house's rear elevation and will not be visible from the right-of-way. Staff finds these doors are an appropriate material and their limited visibility supports a lenient level of review, per 24A-8(d). The submitted elevations do not show the proposed roof slope in the rear. The shingle manufacturer states their shingles can be installed on roofs with a pitch as low as 2:12 provided there is a double layer of deck protection installed under the shingles. However, the pitch of the roof on the rear addition is not notated, so Staff is unable to provide additional feedback about the appropriateness of the proposed three-tab shingles.

The proposed addition will effectively double the size of the existing house; from 20' × 22' (twenty feet wide by twenty-two feet deep) to 20' × 42' (twenty feet wide by forty-two feet deep). The low-pitched rear gable roof meets the existing side gable at its ridge, allowing all of the proposed second floor to become occupiable space. The proposed addition is entirely behind the existing house, and will not

project above the 17' 3" (seventeen feet, three inches) historic roof, however, the neighbors to the north and south will see a three-story wall plane from the rear of their properties.

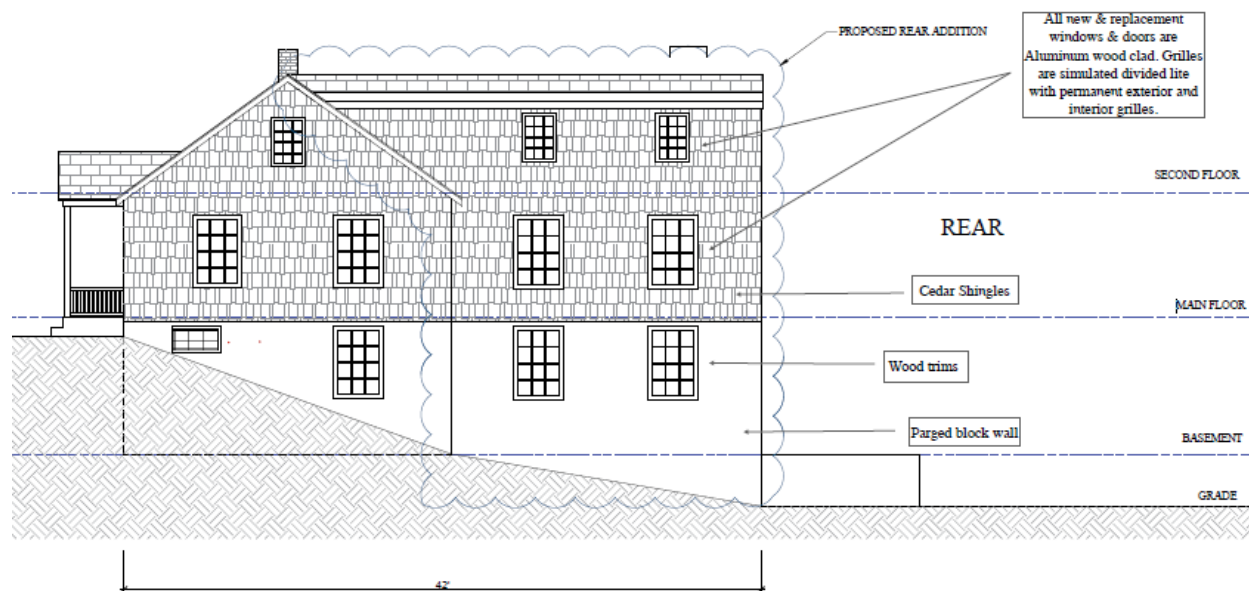


Figure 4: Proposed right-side elevation of the subject property.

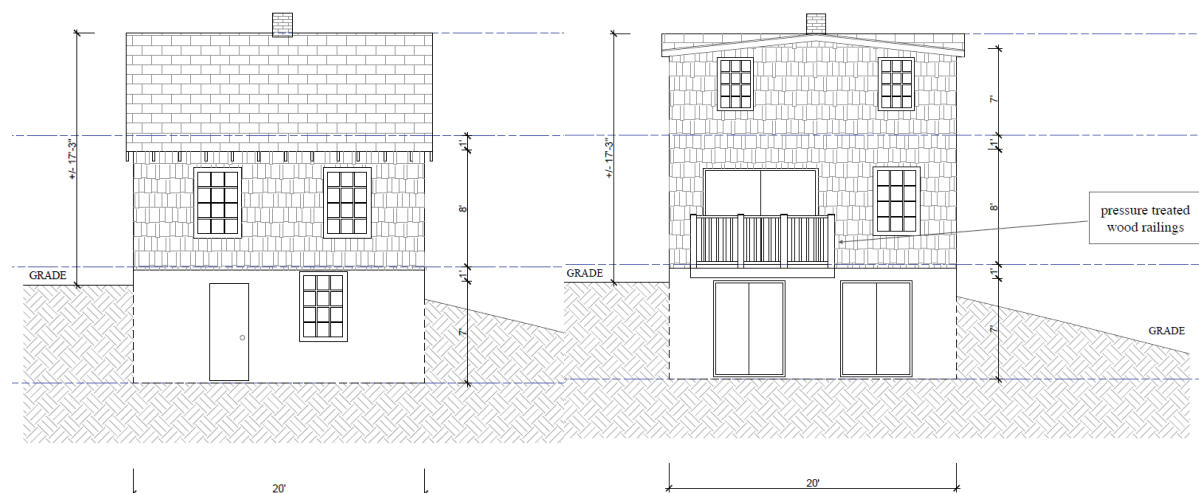


Figure 5: Existing rear elevation (left) and proposed rear elevation (right).

While the HPC usually does not approve additions that will effectively double the size of a historic resource – so that the historic resource retains primacy – Staff finds there are several factors supporting a building addition of the size proposed. First, the location of the house within the historic district and the setbacks of the adjacent houses will limit the visibility of the proposed addition. Second, Staff finds the addition can be placed so that it doesn't overwhelm the historic resource; even taking into consideration the 'small-scale' appearance identified in the *Design Guidelines*. Third, Staff finds the historic building is small by modern and historic standards, and even with the proposed addition, the subject property will not overwhelm the character of the surrounding district.

Though Staff finds the size of the proposed addition is appropriate, Staff does not find the proposed roof form to be compatible with the character of the historic resource or surrounding district. The minimally sloped rear gable roof is incompatible with the much steeper historic gable and the house's vernacular

character. Staff finds this proposed roof form does not ‘complement the massing of the existing structure’ as required in the *Design Guidelines* and recommends revisions to the roof form. Staff finds shed dormers, like the ones approved at 8825 Hawkins Lane, or even wall dormers with a steeper-pitched rear-facing gable would be more compatible with the character of the house and surrounding district.

Questions for the HPC on the building addition:

- Does the HPC find the proposed roof form to be compatible with the character of the house and surrounding district or are revisions recommended?
 - If the HPC recommends revisions to the roof form, do they concur with Staff’s recommendation or should the applicant consider alternate solutions?
- Does the HPC concur with Staff’s finding that the proposed materials are appropriate for the character of the house and surrounding district?
- Any other recommended revisions or alterations?

Staff questions:

- Will any existing basement windows need to be enlarged or altered to satisfy egress requirements?
- The chimney is shown on the proposed elevations, however, the interior floor plan does not show the chimney flue. Will the proposal keep the chimney?
 - Staff recommends the chimney be kept, even if the flue is removed.
- It appears the new basement stairs will cross a historic basement window on the south elevation. What is the proposed treatment for the stairs how will they impact the existing window?
- The site plan shows two trees will be removed, but that is not part of the subject application. A HAWP is required to remove any tree larger than 6” d.b.h. (six inches in diameter at breast height). Details of these trees including size, species, and a photograph of either are required with the final HAWP materials.
 - Are any additional tree plantings proposed to mitigate the loss of these trees?

Additional information required for a complete HAWP application:

- Lot coverage calculation; and
- The submitted site plans do not show any additional hardscaping or paving. New or replacement paving and hardscaping require an approved HAWP and must be consistent with the *Design Guidelines*.

Window Replacement

The applicant proposes to remove the existing wood sash windows and replace them with aluminum-clad wood windows that match the existing in size and configuration. No detailed information regarding the condition of the existing windows was included in the submitted materials.

The HPC typically does not allow the removal of historic wood windows unless they have deteriorated beyond reasonable repair. This is in keeping with the requirements of Standards 5 and 6. Staff recognizes that the subject property has not been occupied in quite some time and has visibly suffered from deferred maintenance. However, the applicant is required to satisfy the burden of persuasion for all work in a HAWP and Staff does not find they have satisfied that burden with the materials submitted thus far. More information regarding the condition of the windows is required with the final HAWP submission.

Hawkins Lane is unique within the county’s designated historic districts, in that its significance is its development as an African-American kinship community and its overall rural character, not as representative examples of historic architecture. The *Guidelines* stress the impact changes will have to the setting of the surrounding district to ensure all of the buildings on Hawkins Lane “clearly reflect a

sense of historic time and place.”

Because the significance of the district is its social and community development and overall character, the HPC may find a less rigorous level of documentation than is typically required may be appropriate in this instance. The HPC approved a window replacement at 4201 Jones Bridge Rd. in 2017.³ In that instance, many of the windows were obvious replacements and the HPC approved the window replacement based on the photographs submitted in the application, Staff’s observation from a site visit, and Staff’s interpretation of the *Guidelines*.

If the HPC finds the applicant has satisfied the requirements to justify the removal of the existing windows, Staff finds the proposed aluminum-clad casement windows are an appropriate replacement, provided the size and profiles match. Measured drawings of an existing window and one of the proposed replacements should be submitted with the final HAWP material to verify the dimensions and profiles are consistent.

Questions for the HPC:

- Does the HPC concur with Staff’s finding that the applicant has not met their burden of persuasion to remove the existing wood windows?
- What level of documentation is necessary for the HPC to evaluate the condition of the existing windows?
- Does the HPC concur with Staff’s requirement that the applicant present measured drawings of an existing and proposed window to effectively evaluate the proposed replacement windows?

Trim and Siding Replacement

The applicant proposes to replace any damaged siding and trim in kind. This work does not require a HAWP, but Staff notes the work is eligible for the County’s Historic Preservation Tax Credit program. More information about that program is available here:

<https://montgomeryplanning.org/planning/historic/tax-credit-program/>.

If the applicant can satisfy the burden of persuasion regarding the windows in the historic house, discussed above, those window replacements are likely eligible for the tax credit as well.

STAFF RECOMMENDATION

Staff the applicant to make any revisions recommended by the HPC and return for a HAWP or a second preliminary consultation.

³ The Staff Report and application materials for the 2017 HAWP at 4201 Jones Bridge Rd., Chevy Chase is available here: https://mcatlas.org/files6/06_HistoricPreservation_PhotoArchives/HAWP/01-05-2022/I.N%20-%204201%20Jones%20Bridge%20Road,%20Bethesda.pdf.



APPLICATION FOR HISTORIC AREA WORK PERMIT
HISTORIC PRESERVATION COMMISSION
301.563.3400

FOR STAFF ONLY:
HAWP# _____
DATE ASSIGNED _____

APPLICANT:

Name: _____ E-mail: _____
Address: _____ City: _____ Zip: _____
Daytime Phone: _____ Tax Account No.: _____

AGENT/CONTACT (if applicable):

Name: _____ E-mail: _____
Address: _____ City: _____ Zip: _____
Daytime Phone: _____ Contractor Registration No.: _____

LOCATION OF BUILDING/PREMISE: MIHP # of Historic Property _____

Is the Property Located within an Historic District? ___Yes/District Name _____
___No/Individual Site Name _____

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: _____ Street: _____

Town/City: _____ Nearest Cross Street: _____

Lot: _____ Block: _____ Subdivision: _____ Parcel: N808

TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:

- Checklist of work types: New Construction, Addition, Demolition, Grading/Excavation, Deck/Porch, Fence, Hardscape/Landscape, Roof, Shed/Garage/Accessory Structure, Solar, Tree removal/planting, Window/Door, Other.

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

Adisra Jittipun

Signature of owner or authorized agent

Date

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address	Owner's Agent's mailing address
Adjacent and confronting Property Owners mailing addresses	

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

Description of Work Proposed: Please give an overview of the work to be undertaken:

Work Item 1: _____	
Description of Current Condition:	Proposed Work:

Work Item 2: _____	
Description of Current Condition:	Proposed Work:

Work Item 3: _____	
Description of Current Condition:	Proposed Work:

**HISTORIC AREA WORK PERMIT
CHECKLIST OF
APPLICATION REQUIREMENTS**

	Required Attachments						
Proposed Work	I. Written Description	2. Site Plan	3. Plans/ Elevations	4. Material Specifications	5. Photographs	6. Tree Survey	7. Property Owner Addresses
New Construction	*	*	*	*	*	*	*
Additions/ Alterations	*	*	*	*	*	*	*
Demolition	*	*	*		*		*
Deck/Porch	*	*	*	*	*	*	*
Fence/Wall	*	*	*	*	*	*	*
Driveway/ Parking Area	*	*		*	*	*	*
Grading/Excavation/ Landscaping	*	*		*	*	*	*
Tree Removal	*	*		*	*	*	*
Siding/ Roof Changes	*	*	*	*	*		*
Window/ Door Changes	*	*	*	*	*		*
Masonry Repair/ Repoint	*	*	*	*	*		*
Signs	*	*	*	*	*		*

HAWKINS LANE RENOVATION

8827 Hawkins Lane Chevy Chase, MD 20815

CODE AUTHORITIES

BUILDING CODE: 2021 International Residential Code
 MECHANICAL CODE: 2021 International Mechanical Code
 PLUMBING CODE: 2021 International Plumbing Code
 ELECTRICAL CODE: 2021 NFPA NEC, 2021 International Energy Conservation Code
 LIFE SAFETY: 2021 NFPA 101

BUILDING CODE & ZONING DATA

IBC-2021 and NFPA 101 2021	EXISTING BUILDING
Building group classification per IBC- 2021	R-2 (HOUSE)
Occupancy classification per NFPA 101-2021	RESIDENTIAL
Separated mixed use per IBC/NFPA	NO
Construction type per IBC-2021	II-B
Number of stories above grade	2
High rise	NO
Fire alarm system	NO
Fully sprinkled & monitored	NO



SCOPE OF WORK
 The property owner is requesting a preliminary approval for additions to be made to an existing residence located at the above address.

DRAWING INDEX

C01	COVER SHEET
Z01	SITE PLANS AND AERIAL VIEW
A01	EXISTING FLOOR PLANS
A02	EXISTING FRONT AND REAR ELEVATIONS
A03	EXISTING SIDE ELEVATIONS
A04	PROPOSED FLOOR PLANS
A05	PROPOSED FRONT AND REAR ELEVATIONS
A06	PROPOSED SIDE ELEVATIONS

GENERAL NOTES

- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE NATIONAL, STATE, AND LOCAL CODES, REGULATIONS, AND FHA/VA MPS. CONTRACTORS SHALL VERIFY ALL CONDITIONS, DIMENSIONS, AND WINDOW/DOOR SCHEDULES AT SITE BEFORE BEGINNING CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO ARCHIVAL DESIGNS, INC. FOR JUSTIFICATION AND/OR CORRECTION BEFORE PROCEEDING WITH WORK. CONTRACTORS SHALL ASSUME RESPONSIBILITY FOR ERRORS THAT ARE NOT REPORTED.
- ALL DIMENSIONS SHALL BE READ OR CALCULATED AND NEVER SCALED.
- ALL FOOTINGS TO BE BELOW FROST LINE (SEE LOCAL CODE) AND MUST REST ON UNDISTURBED SOIL CAPABLE OF HANDLING THE BUILDING. CONSULT LOCAL ENGINEER FOR PROPER FOOTING AND REINFORCING SIZES.
- CONTRACTOR SHALL INSURE COMPATIBILITY OF THE BUILDING WITH ALL SITE REQUIREMENTS.
- IF BACKFILL EXCEEDS 4' AGAINST ANY FOUNDATION WALL, REINFORCE AS PER CODE.
- ALL FOUNDATION AND STRUCTURAL MEMBERS SHOULD BE VERIFIED AND STAMPED BY AN ENGINEER IN THE STATE WHERE CONSTRUCTION IS OCCURRING DUE TO WIDE VARIANCE IN LOCAL CODES, SOIL BEARING CONDITIONS, FOREST LINE DEPTH, GEOLOGICAL AND WEATHER CONDITIONS, ETC. THE CONTRACTOR IS RESPONSIBLE FOR ADJUSTING AND VERIFYING ALL STRUCTURAL DETAILS AND CONDITIONS TO MEET ALL LOCAL CODES AND TO INSURE A QUALITY A SAFE STRUCTURE.
- ALL WOOD, CONCRETE, AND STEEL STRUCTURAL MEMBERS SHALL BE OF A GOOD GRADE AND QUALITY AND MEET ALL NATIONAL, STATE AND LOCAL BUILDING CODES WHERE APPLICABLE.
- ALL COLUMNS OR SOLID FRAMING SHOULD BE DESIGNED TO CARRY LOADS AND SHOULD EXTEND DOWN THRU THE LEVELS BELOW AND TERMINATE AT THE BASEMENT FLOOR OR AT OTHER BEARING POINTS DESIGNED TO CARRY THE LOAD.
- THIS DESIGN LICENSE IS RELEASED FOR ONE (1) BUILT STRUCTURE ONLY AND IS NOT TOO ANOTHER INDIVIDUAL OR COMPANY.
- RENOVATION DRAFTING IS THE SOLE OWNER OF THIS AND ANY DERIVATIVE MODIFICATION OF THIS COPYRIGHT PROTECTED PLAN.
- RENOVATION DRAFTING ASSUMES ENGINEERED FLOOR SYSTEM IS NOT TO EXCEED 14" IN DEPTH. ENGINEERN SHALL RELATE FLOOR DEPTH TO STAIR DESIGN AND MODIFY ACCORDINGLY. NOTE: FLOOR SYSTEMS DEEPER THAN 14" CAN ADVERSELY IMPACT FLOOR PLAN DESIGN.

GENERAL FRAMING NOTES

THE FOLLOWING NOTES ARE SUGGESTED MINIMUM REQUIREMENTS ONLY.
 DUE TO A VARIANCE OF CODES PER REGION, PLEASE REFER AND COMPLY WITH ALL YOUR LOCAL CODES.
 CONSULT WITH LOCAL ENGINEERS FOR ALL STRUCTURAL REQUIREMENTS.

- PROVIDE PURLINS AT MID HEIGHT OF ALL WALLS.
- ALL JOISTS AND RAFTERS SHALL BE ALIGNED OVER STUDS BELOW.
- ALL HEADERS SHALL BE 2-2x10's WITH 1/2" PLYWOOD FLITCH PLATE UNLESS OTHERWISE NOTED.
- FRAMER TO INSTALL DOUBLE FLOOR JOIST UNDER PARTITION WALL PARALLEL TO JOIST DIRECTION.
- PROVIDE 1x4 CROSS BRIDGING AT MID POINT OF SPAN OR 8'-0" O.C. MAXIMUM IN ALL FLOORS.
- ALL EXTERIOR CORNERS (INSIDE AND OUTSIDE CORNERS) SHALL BE BRACED WITH 1/2" CDX PLYWOOD. NAILING SCHEDULE SHALL BE 8d COMMONS AT 6" O.C. AT ALL EDGES AND 8d COMMONS AT 12" O.C. AT ALL INTERMEDIATE STUDS. (OPTION - APPROVED DIAGONAL CORNER BRACES BOTH DIRECTIONS AT ALL CORNERS).
- ALL COLUMNS OR SOLID FRAMING SHALL EXTEND DOWN THRU ALL LEVELS AND TERMINATE AT THE BASEMENT FLOOR AND BE SUPPORTED BY A THICKENED SLAB, GRADE BEAM, OR FOOTING DESIGNED TO CARRY LOAD.
- PROVIDE DOUBLE 2x8 STRONGBACK AT MID SPAN FOR CEILING JOISTS WITH SPAN GREATER THAN 10'-0".

SEAL

PROJECT

**HAWKINS
 LANE
 RENOVATION**
 8827 Hawkins Lane
 Chevy Chase, MD 20815

RENOVATION DRAFTING

RENOVATIONDRAFTING@GMAIL.COM
 240-478-9277

RENOVATION DRAFTING IS NOT AN ARCHITECTURAL, STRUCTURAL OR MECHANICAL ENGINEERING FIRM. RENOVATION DRAFTING ASSUMES NO RESPONSIBILITY FOR THE CALCULATIONS CONTAINED IN THESE PLANS. THIS REFERS TO STRUCTURAL OR MECHANICAL ADVISORIES THAT MAY OR MAY NOT BE INCLUDED, SUCH AS LOAD BEARING BEAMS, FLOOR SYSTEMS, HEADERS, LEDGERS, ROOF ASSEMBLY, AND LOAD BEARING FRAMING, MECHANICAL LOADS, ETC. THESE PLANS ARE PROVIDED AS A COURTESY ONLY.

SHEET TITLE

COVER PAGE

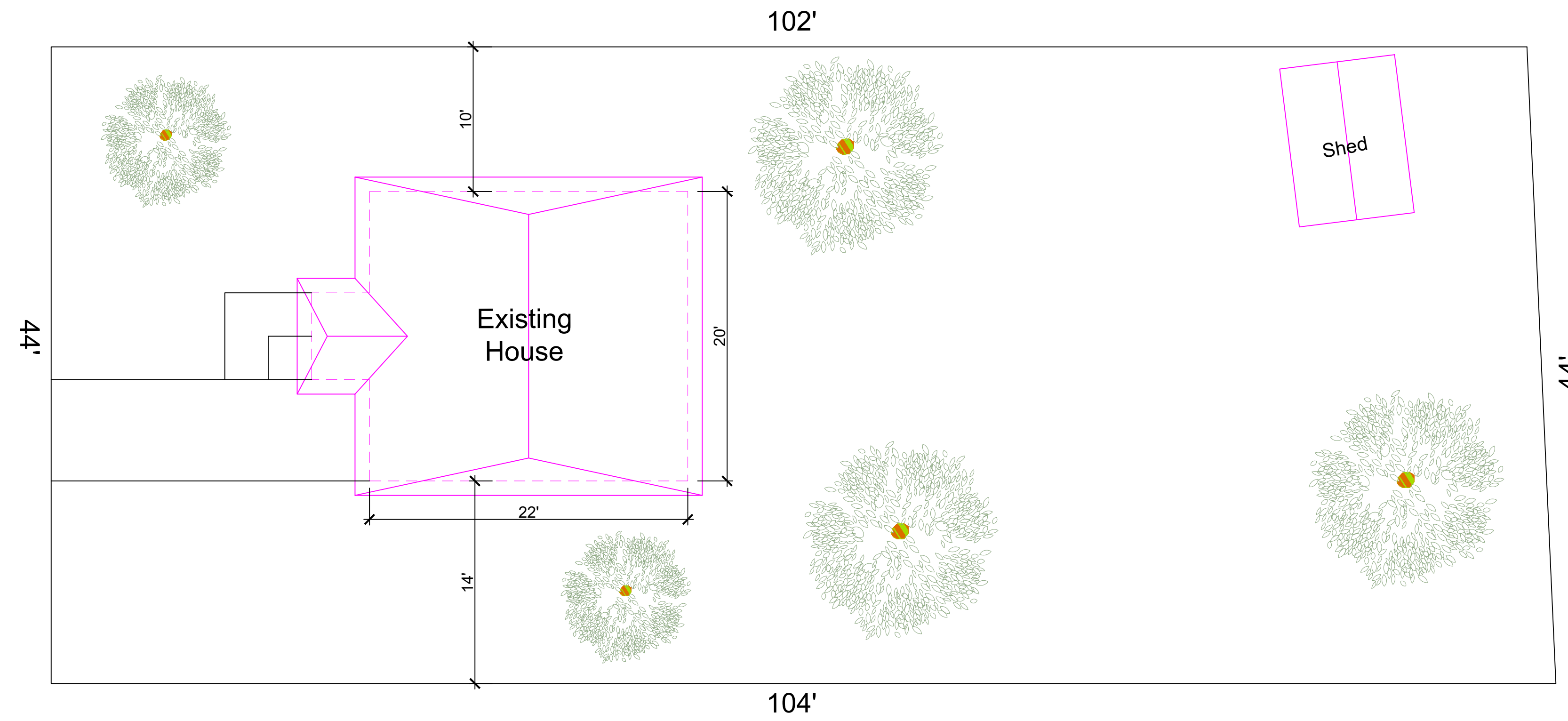
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C01
16

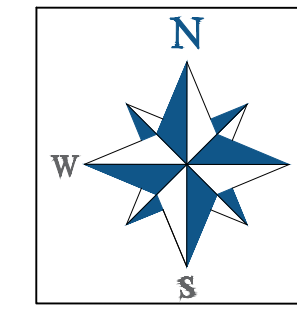
HAWKINS LANE RENOVATION

8827 Hawkins Lane Chevy Chase, MD 20815

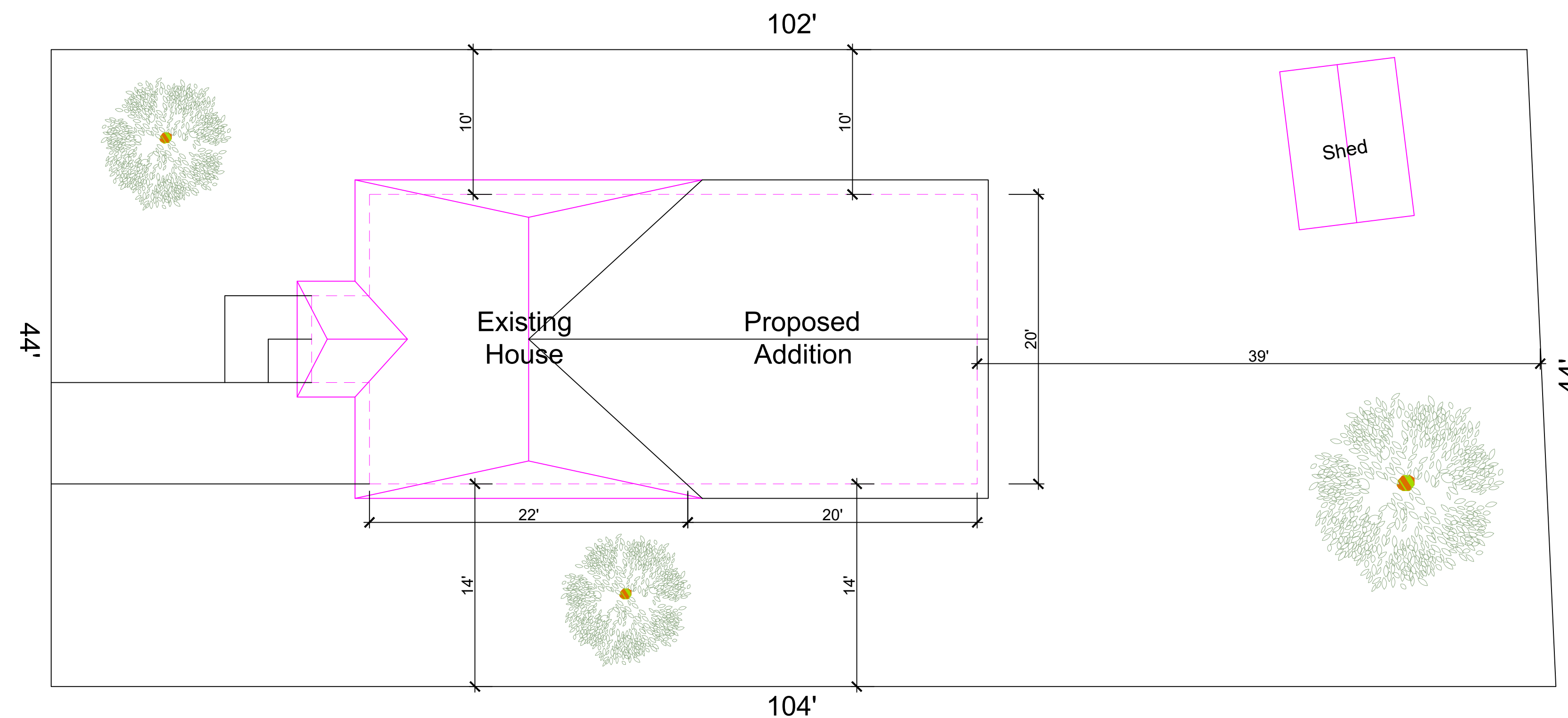
SEAL



EXISTING SITE PLA



AERIAL VIEW



PROPOSED SITE PLAN

PROJECT

**HAWKINS
LANE
RENOVATION**
8827 Hawkins Lane
Chevy Chase, MD 20815

RENOVATION DRAFTING

RENOVATIONDRAFTING@GMAIL.COM
240-478-9277

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SHEET TITLE

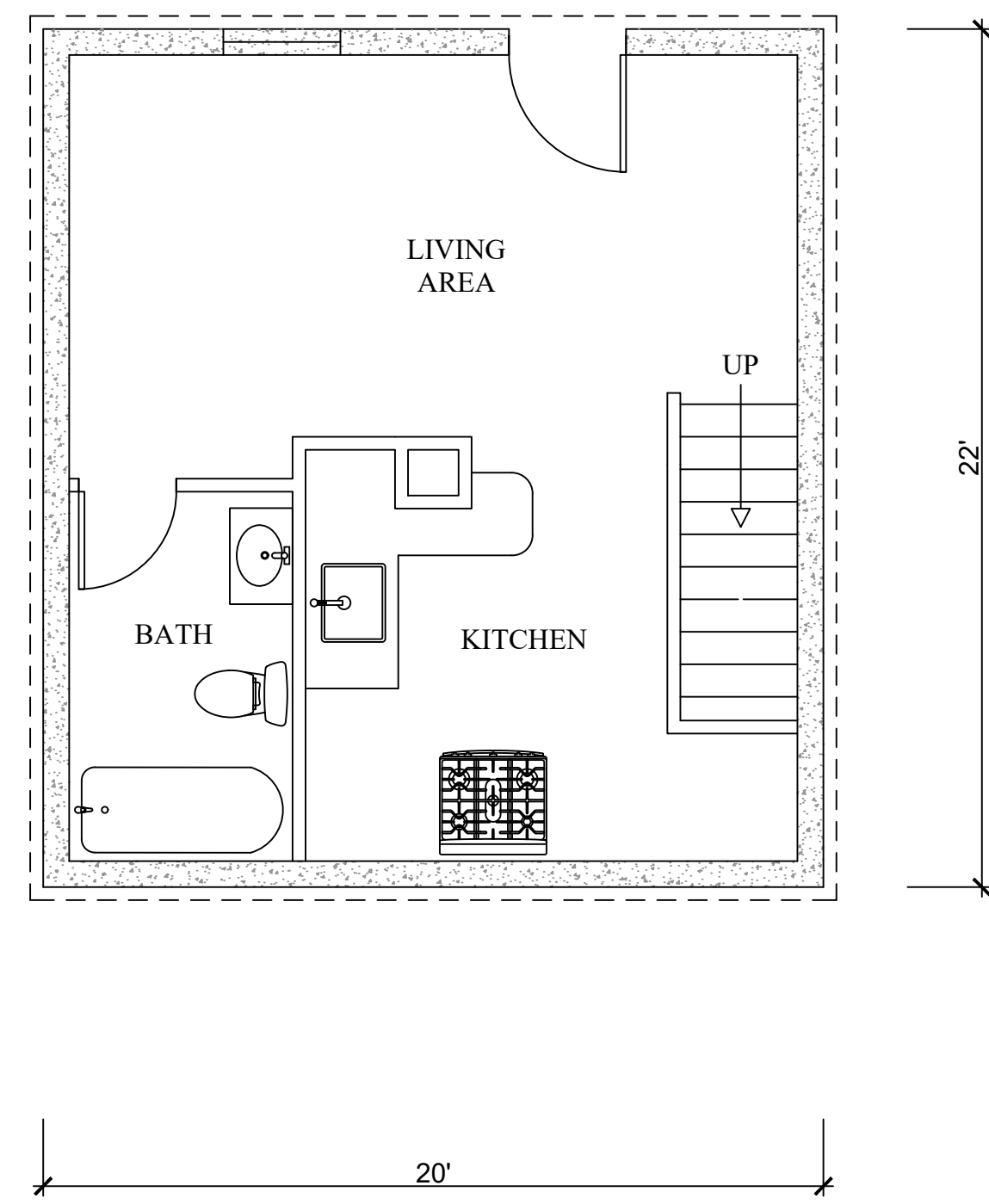
**SITE PLANS AND
AERIAL VIEW**

DRAWING SHEET NO.

Z01



REAR



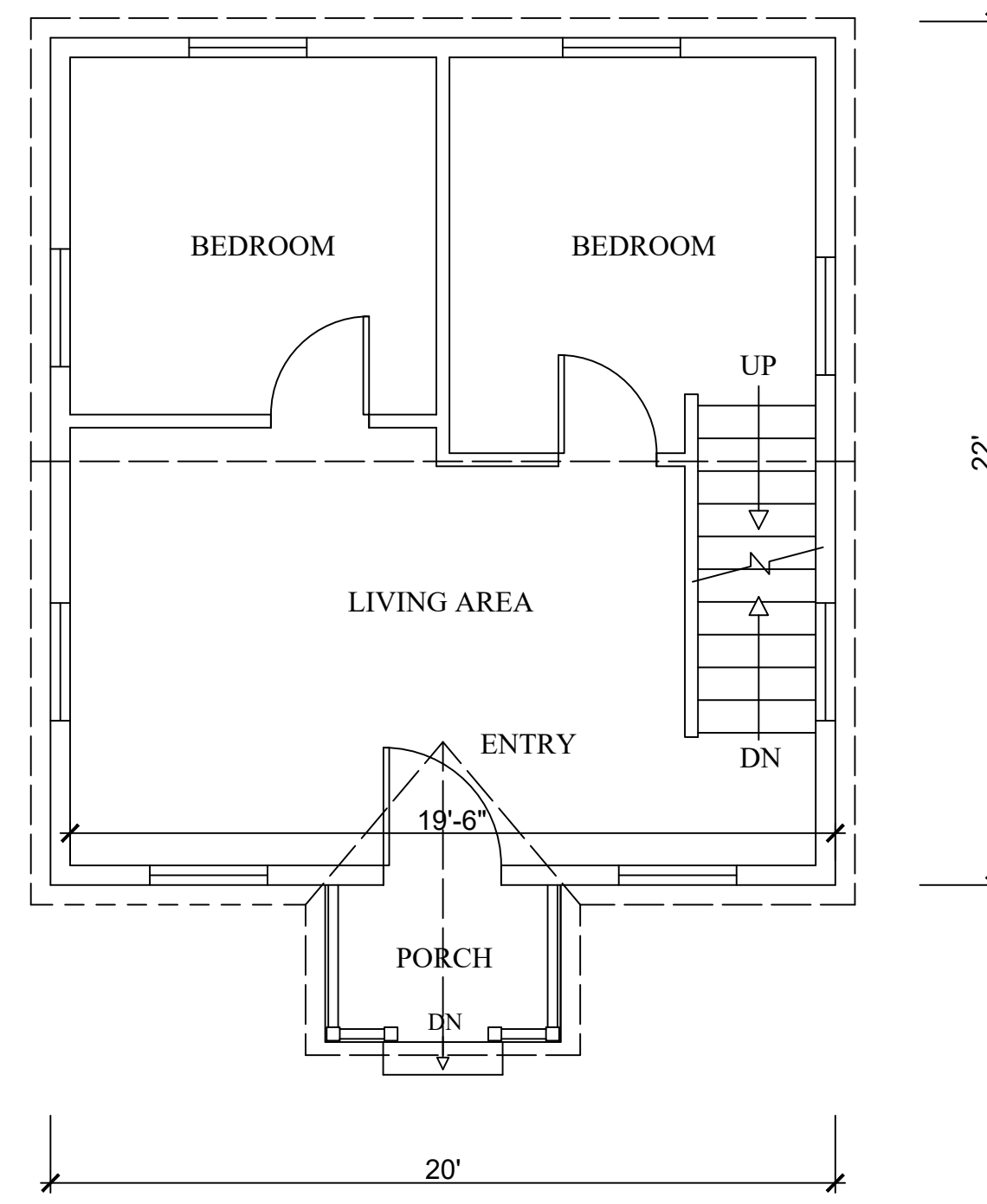
FRONT

EXISTING BASEMENT FLOOR PLAN

SCALE 1/4" = 1'0"



REAR



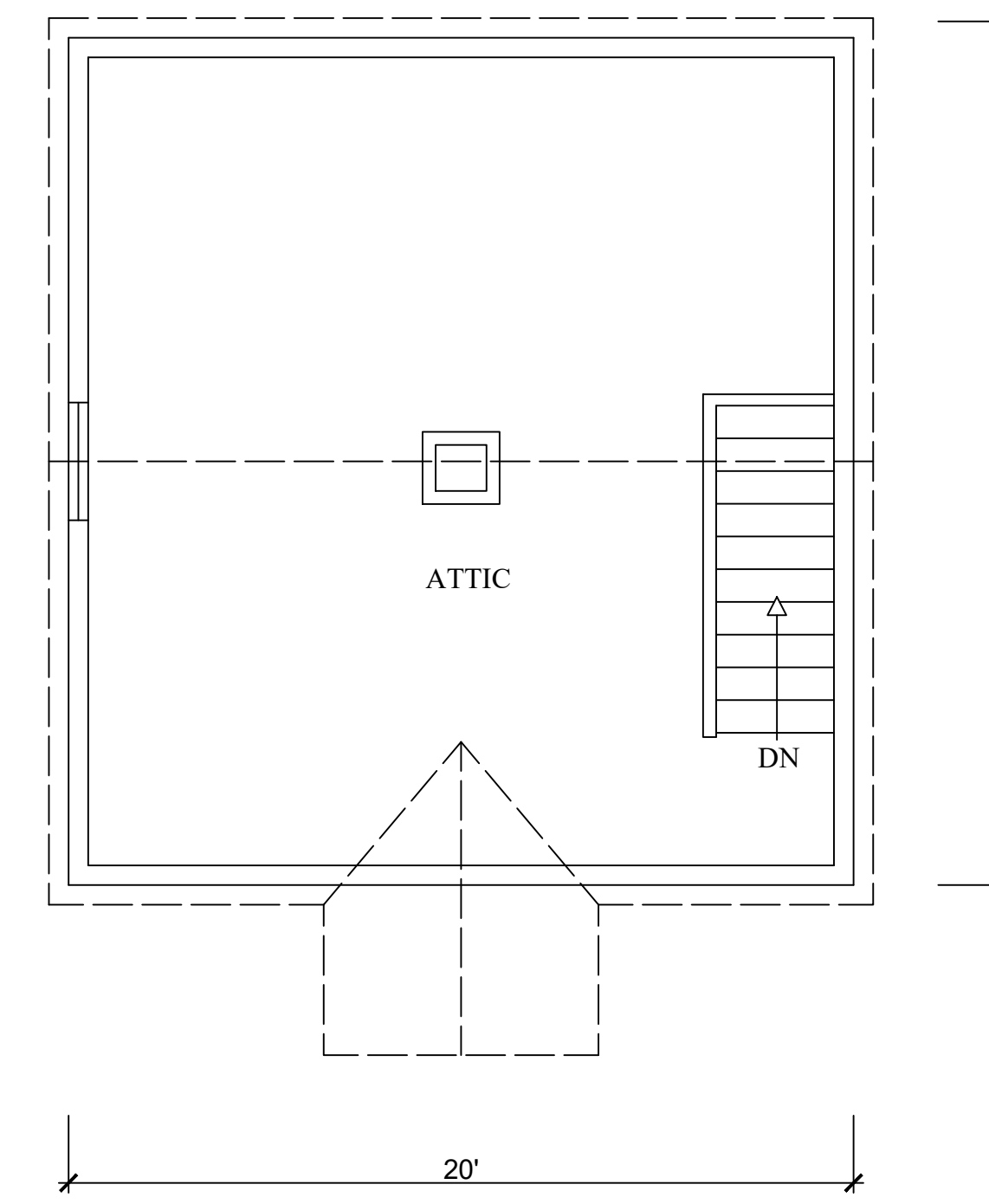
FRONT

EXISTING FIRST FLOOR PLAN

SCALE 1/4" = 1'0"



REAR



FRONT

EXISTING SECOND FLOOR PLAN

SCALE 1/4" = 1'0"

ACTUAL FIELD CONDITIONS OF ALL DIMENSIONS AND MATERIALS TO BE VERIFIED BY CONTRACTOR

SEAL

PROJECT

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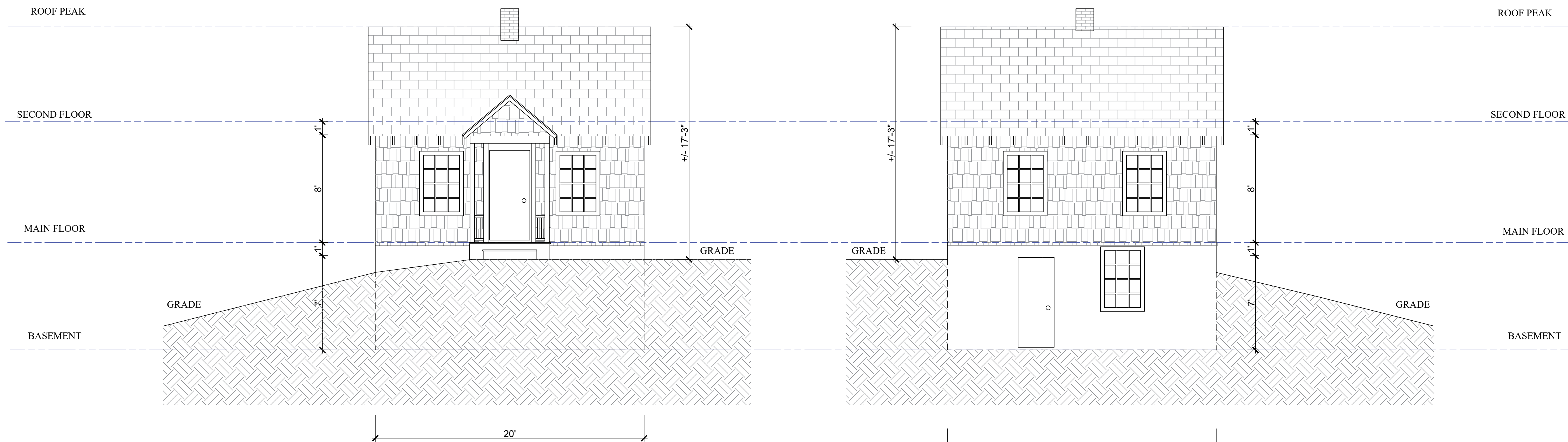
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SHEET TITLE

**EXISTING
FLOOR PLANS**

DRAWING SHEET NO.

A01



EXISTING FRONT ELEVATION

SCALE 1/4" = 1'0"

EXISTING REAR ELEVATION

SCALE 1/4" = 1'0"

ACTUAL FIELD CONDITIONS OF ALL DIMENSIONS AND MATERIALS TO BE VERIFIED BY CONTRACTOR

SEAL

PROJECT

HAWKINS LANE RENOVATION
8827 Hawkins Lane
Chevy Chase, MD 20815

RENOVATION DRAFTING

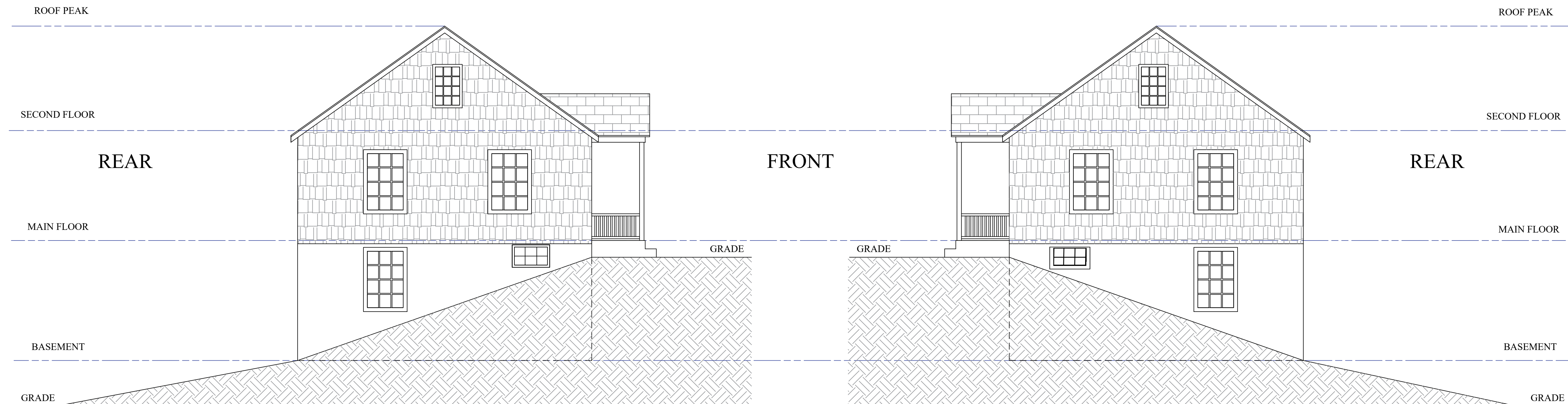
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SHEET TITLE
EXISTING FRONT AND REAR ELEVATIONS

DRAWING SHEET NO.

A02
19



EXISTING LEFT SIDE ELEVATION

SCALE 1/4" = 1'0"

EXISTING RIGHT SIDE ELEVATION

SCALE 1/4" = 1'0"

ACTUAL FIELD CONDITIONS OF ALL DIMENSIONS AND MATERIALS TO BE VERIFIED BY CONTRACTOR

SEAL

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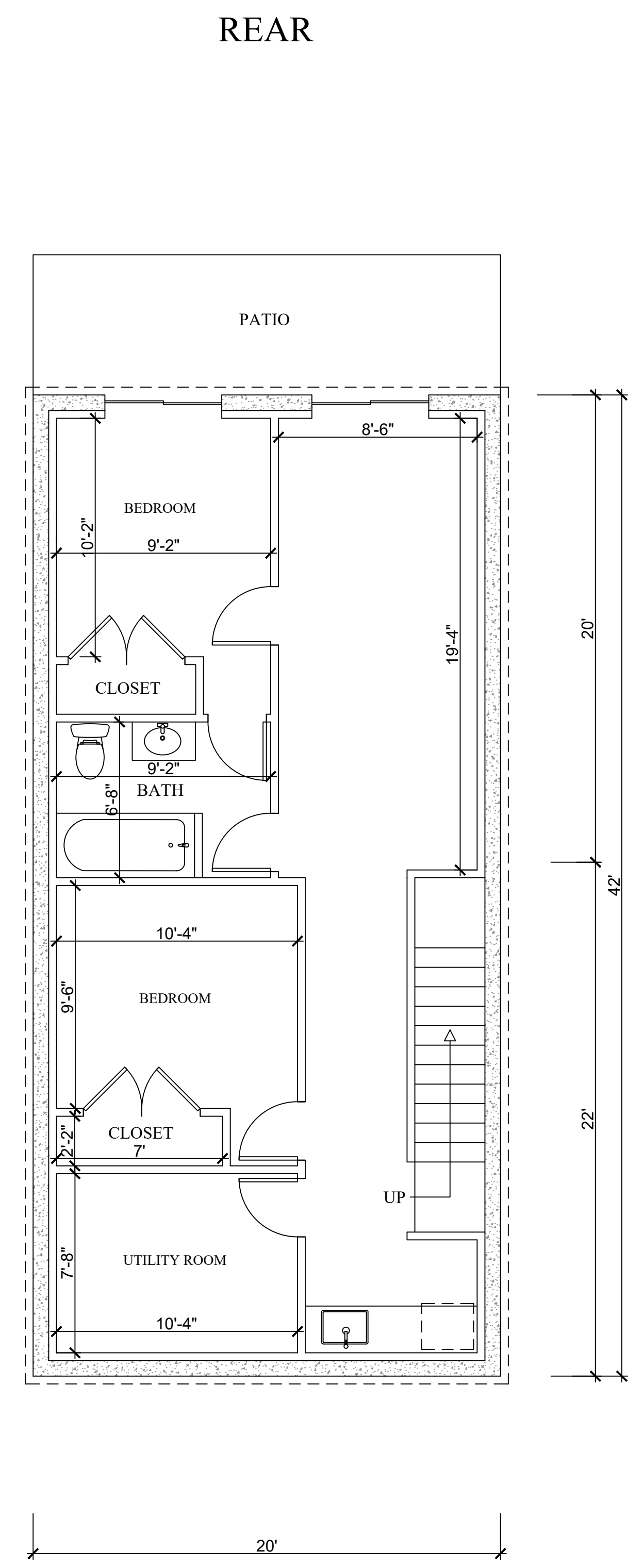
SHEET TITLE

EXISTING
SIDE ELEVATIONS

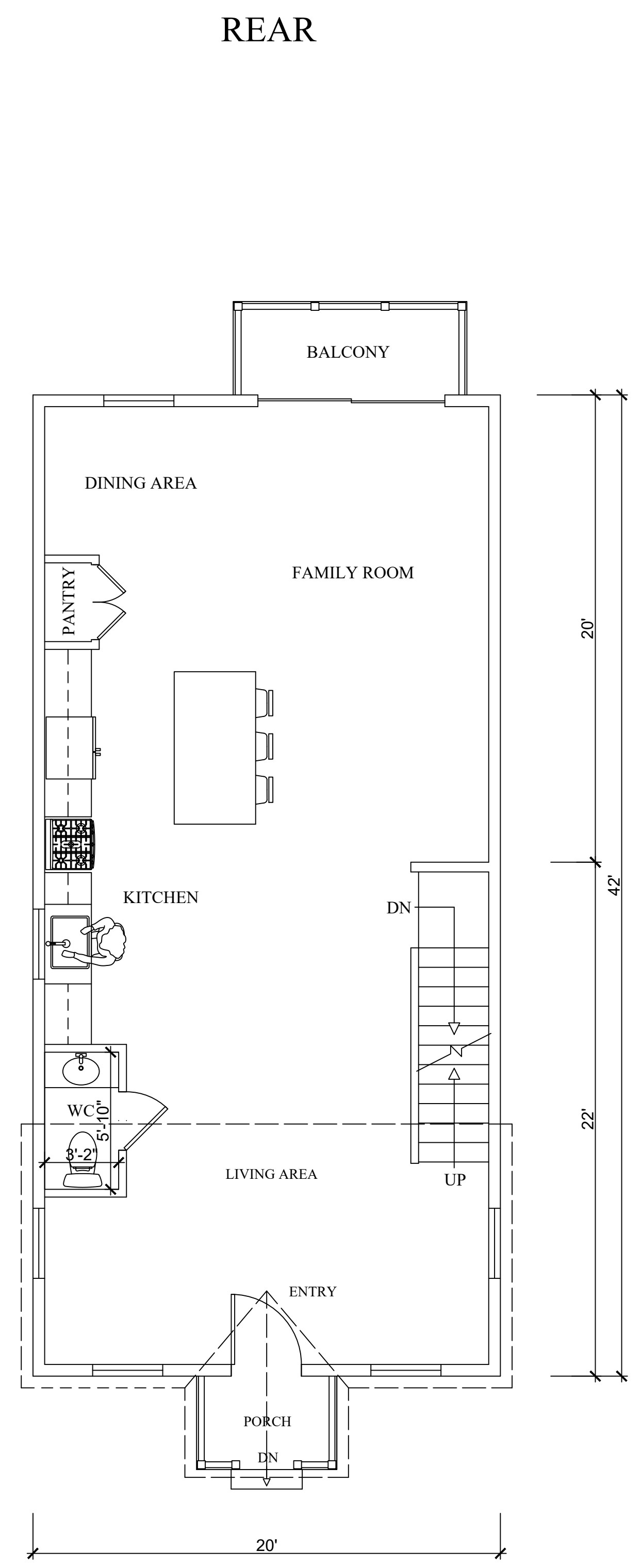
DRAWING SHEET NO.

A03

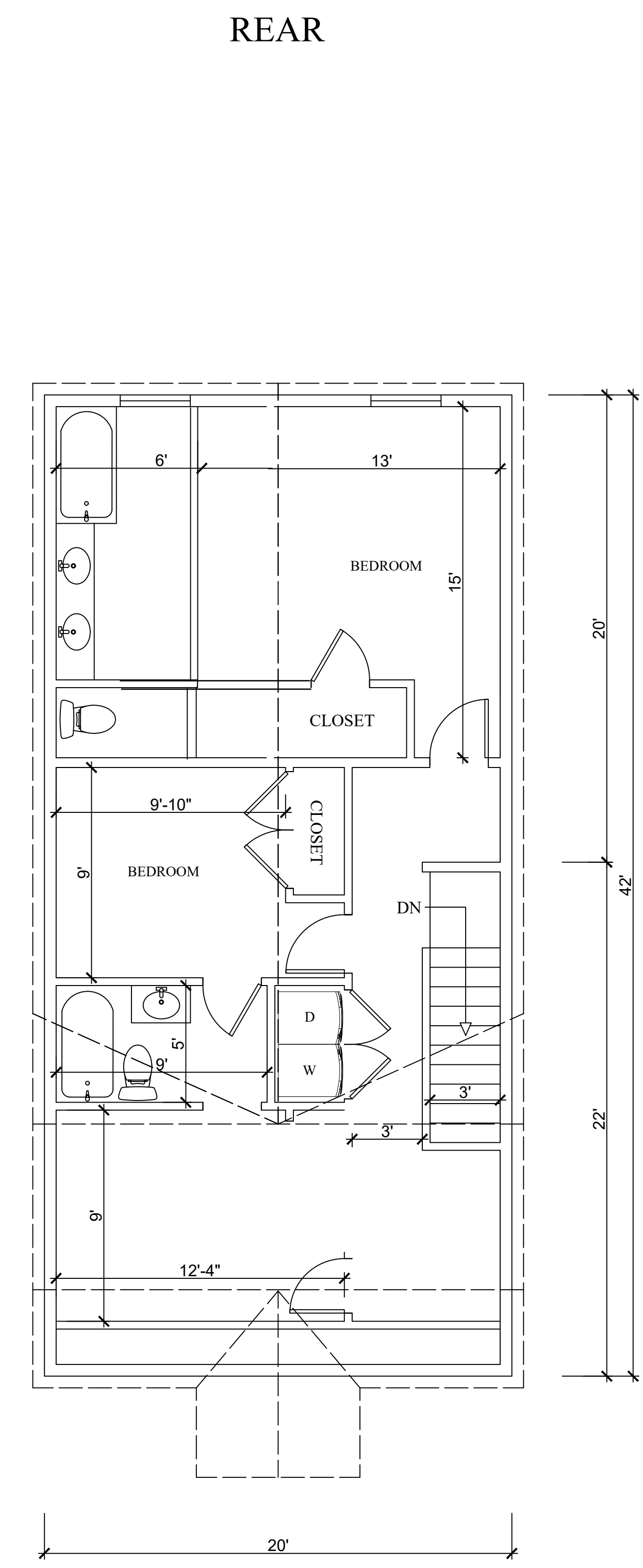
SEAL



PROPOSED BASEMENT FLOOR PLAN
SCALE 1/4" = 1'0"



PROPOSED FIRST FLOOR PLAN
SCALE 1/4" = 1'0"



PROPOSED SECOND FLOOR PLAN
SCALE 1/4" = 1'0"

PROJECT

HAWKINS LANE RENOVATION
8827 Hawkins Lane
Chevy Chase, MD 20815

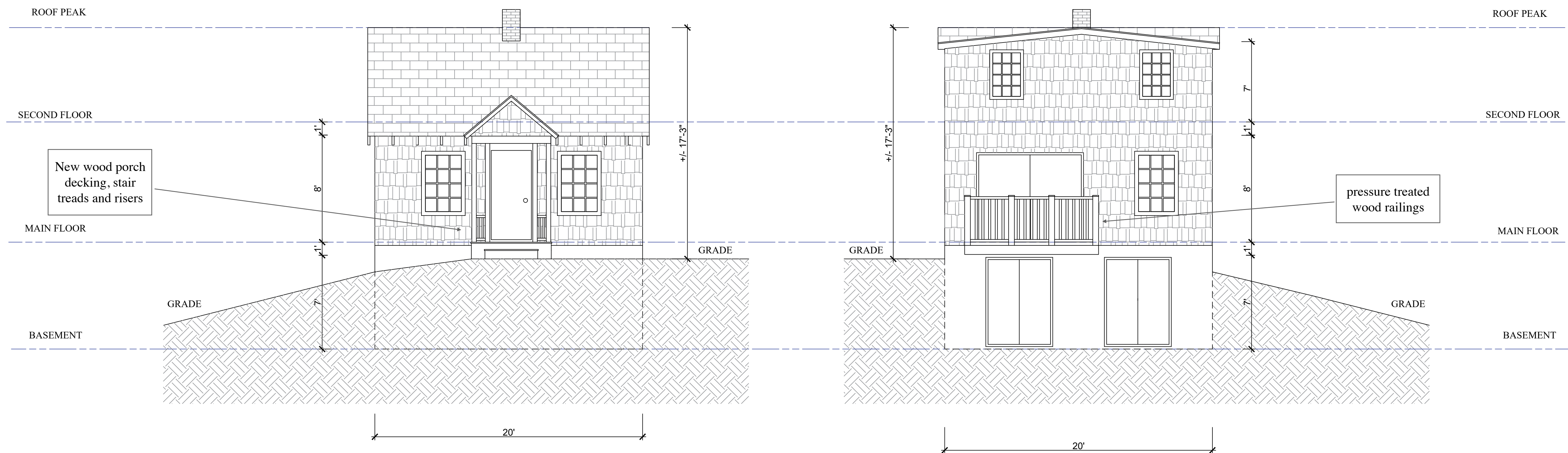
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SHEET TITLE
PROPOSED FLOOR PLANS

DRAWING SHEET NO.
A04

SEAL



PROPOSED FRONT ELEVATION

SCALE 1/4" = 1'0"

PROPOSED REAR ELEVATION

SCALE 1/4" = 1'0"

PROJECT

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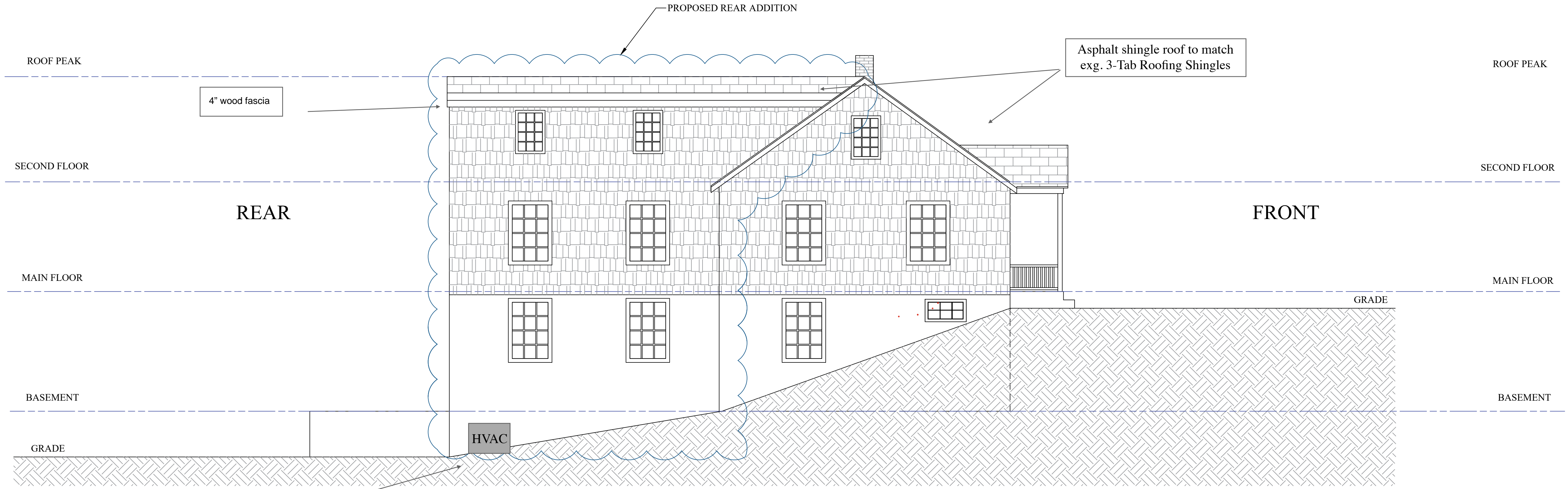
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SHEET TITLE

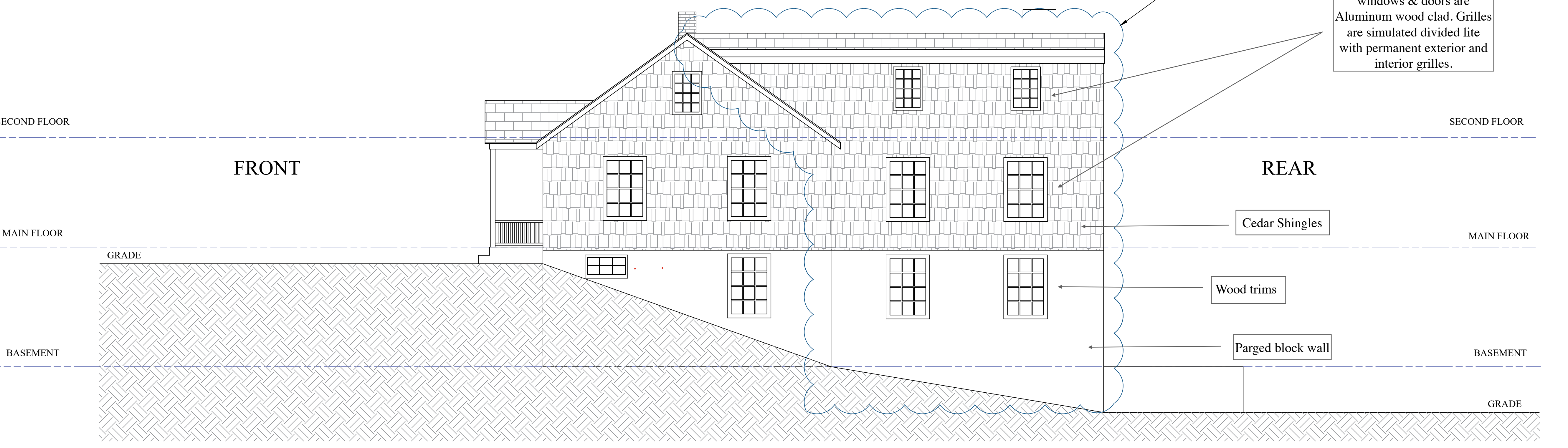
**PROPOSED FRONT AND
REAR ELEVATIONS**

DRAWING SHEET NO.

A05



PROPOSED LEFT SIDE ELEVATION
SCALE 1/4" = 1'0"



PROPOSED RIGHT SIDE ELEVATION
SCALE 1/4" = 1'0"

SEAL

PROJECT

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SHEET TITLE

**PROPOSED SIDE
ELEVATIONS**

DRAWING SHEET NO.

A06

Specification Sheet for Exterior Features

Windows

Aluminum Clad-Wood Windows. Grilles are simulated divided lite with permanent exterior and interior grilles.



- WINDOWS
- DOORS
- STYLE & DESIGN
- SUPPORT
- FOR PROS

Siteline® Clad-Wood Window: Double-Hung Sash Pack



Model Overview

PROJECT TYPE
New construction and replacement

MAINTENANCE LEVEL
Moderate

WARRANTY
20 Year Warranty

COLORS & FINISHES
28 Exterior Colors
11 Interior Colors
8 Interior Finish Options

SCREEN & TRIM OPTIONS
6 Exterior Trim Options

FRAME OPTIONS
Sash Replacement System

GLASS
Energy efficient, tinted, textured and protective.

DIVIDED LITES
Grilles between the glass.

HARDWARE
1 Lock Option in 9 finishes

Siteline® Clad-Wood Window: Double-Hung Sash Pack

- Materials
- Colors & Finishes
- Glass
- Divided Lites**
- Hardware
- Screens & Trim
- Construction & Framing
- Energy & Sustainability

SIMULATED DIVIDED LITES (SDL)



Simulated Divided Lites

Add architectural interest to your windows with our divided lite options. These options include simulated divided lites (SDL) for an authentic look. They feature grilles that are permanently attached to both the interior and exterior glass (aluminum for clad exteriors, wood for wood exteriors), metal bars placed between the pane of insulating glass to provide design detail.

GRILLE DESIGNS



Colonial Grille



No Grille

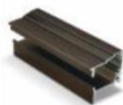


Prairie Grille



Top Down Grille

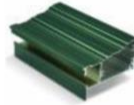
EXTERIOR TRIM



Brickmould for Clad Exterior



Flat Casing for Clad Exterior



Adams Casing for Clad Exterior



Brickmould for Wood Exterior



Flat Casing for Wood Exterior

CLAD-WOOD PATIO & BALCONY DOORS

JELD-WEN

WINDOWS

DOORS

STYLE & DESIGN

SUPPORT

Siteline® Clad-Wood Patio Door: Wide Stile Sliding



Cedar shingles



16 in. Eastern White Cedar Wood Grade D Utility Shingles



Roof Shingles

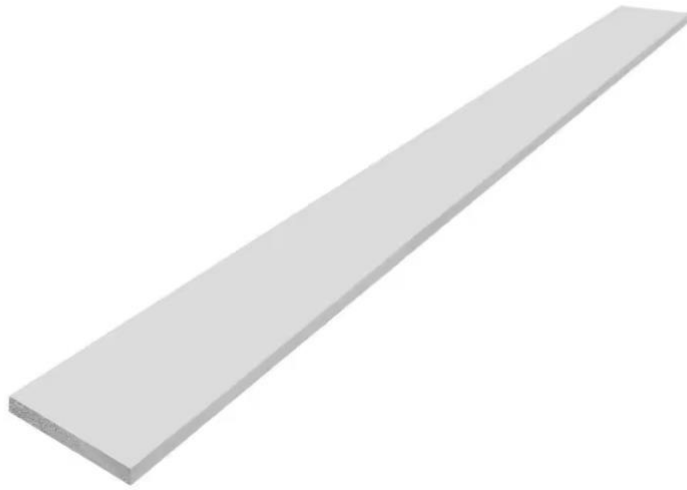
GAF - Royal Sovereign Charcoal Algae Resistant 3-Tab Roofing Shingles



Trim and Fascia

ANY TRIM OR SIDING THAT CANNOT BE REPAIRED IS TO BE REPLACED IN-KIND.

1 in. x 4 in. Primed Wood Fascia Trim Board





DEPARTMENT OF PERMITTING SERVICES

Marc Elrich
County Executive

Rabbiah Sabbakhan
Director

HISTORIC AREA WORK PERMIT APPLICATION

Application Date: 9/17/2024

Application No: 1086808
AP Type: HISTORIC
Customer No: 1502942

Comments

Add a rear addition to the existing house as it is too small for a family to habitate. Restore the existing house which has been abandoned for a long time.

Affidavit Acknowledgement

The Homeowner is the Primary applicant
This application does not violate any covenants and deed restrictions

Primary Applicant Information

Address 8827 Hawkins LN
Chevy Chase, MD 20815
Homeowner Jittipun (Primary)

Historic Area Work Permit Details

Work Type ADD
Scope of Work Restore the existing house. Add 20 ft addition to the existing house.