MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 11 Columbia Avenue, Takoma Park Meeting Date: 10/9/2024

Resource: Non-Contributing Resource **Report Date:** 10/2/2024

Takoma Park Historic District

Public Notice: 9/25/2024

Applicant: Ronald Levine

Juan Hernandez, Agent

Review: HAWP **Tax Credit:** n/a

Proposal: Construction of Screened-In Porch

STAFF RECOMMENDATION

Staff recommends that the Historic Preservation Commission (HPC) <u>approve with one condition</u> the HAWP application with final approval authority delegated to staff:

1. Detailed door specifications must be submitted to Staff for review and approval before the final approval documents can be released.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Non-Contributing Resource within the Takoma Park Historic District

STYLE: Colonial Revival

DATE: c.1977

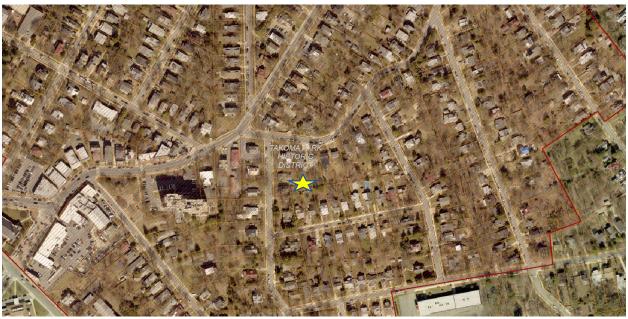


Figure 1: The subject property is located in the middle of the block on Columbia Ave.

PROPOSAL

The applicant proposes to enclose a portion of the rear deck to create a screened-in porch.

APPLICABLE GUIDELINES

When reviewing alterations and additions for new construction to Contributing Resources within the Takoma Park Historic District, decisions are guided by the Takoma Park Historic District Design Guidelines (*Design Guidelines*) and Montgomery County Code Chapter 24A (*Chapter 24A*) and the Secretary of the Interior's Standards for Rehabilitation (*The Standards*).

Takoma Park Historic District Design Guidelines

There are two very general, broad planning and design concepts which apply to all categories. These are:

The design review emphasis will be restricted to changes that are at all visible from the public right-of-way, irrespective of landscaping or vegetation (it is expected that the majority of new additions will be reviewed for their impact on the overall district), and,

The importance of assuring that additions and other changes to existing structures act to reinforce and continue existing streetscape, landscape, and building patterns rather than to impair the character of the district.

Non-Contributing/Out-of-Period Resources should receive the most lenient level of design review. Most alterations and additions to Non-Contributing/Out-of-Period Resources should be approved as a matter of course. The only exceptions would be major additions and alterations to the scale and massing of Non-Contributing/Out-of-Period Resources which affect the surrounding streetscape and/or landscape and could impair character of the district as a whole.

Montgomery County Code, Chapter 24A Historic Resources Preservation

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

Secretary of the Interior's Standards for Rehabilitation

- 2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
- 9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials,

- features, size, scale and proportions, and massing to protect the integrity of the property and its environment.
- 10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

The subject property is a two-story, side-gable house with a brick first floor and aluminum siding covering the second floor. At the rear of the house, there is a wood deck with a pergola that creates a carport below. The applicant proposes to remove the pergola and to enclose a portion of the deck to create a screened-in porch. Minor modifications are proposed to the existing deck structure, but those changes will not be visible from the right-of-way.

Additionally, the applicant proposes to remove the existing rear glass door and replace it with a pair of multilight French Doors. All of the changes are at the rear and will not be at all visible from the public right-of-way.

The proposed screened-in porch will create 166 ft² (one hundred sixty-six square feet) of enclosed space. The enclosed area will be 14' 9" × 11' 10" (fourteen feet, nine inches wide by eleven feet, ten inches deep). The rear-facing gable roof will be supported by wood posts and will be covered in architectural shingles. At the rear of the screened-in porch, there will be a 36" (thirty-six inch wide) wood-framed screen door. The gable ridge will be approximately 18" (eighteen inches) lower than the house gable ridge. Staff finds the proposed screened-in porch is compatible with the character of the house and will not detract from the character of the property or surrounding district. Additionally, Staff finds wood is the appropriate material for a screened-in porch in the Takoma Park Historic District. Staff supports the proposed screened-in porch under the *Design Guidelines*, 24A-8(b)(2) and (d), and Standards 2, 9, and 10.

At the rear of the house, there is a single swing glass door with a stationary panel. The applicant proposes to replace this door with a pair of French doors with a matching 3×5 light pattern. Material specifications for the proposed French doors were not included in the application materials. The size of the opening will not change. Staff finds removing and replacing the door will not impact any historic fabric, and as this is on the rear, will result in not visual change to the resource. Staff recommends the HPC approve the door replacement and add a condition that the applicant provide detailed door specifications to Staff for review and approval before approval documents can be released. With the recommended condition, Staff finds the door replacement is appropriate under the *Design Guidelines*; 24A-8(b)(2) and (d); and Standards 2, 9, and 10.

STAFF RECOMMENDATION

Staff recommends that the Commission <u>approve with one condition</u> the HAWP with final approval authority delegated to staff:

1. Detailed door specifications must be submitted to Staff for review and approval before the final approval documents can be released;

under the Criteria for Issuance in Chapter 24A-8(b)(2), and (d), having found that the proposal, as modified by the condition, is consistent with the *Takoma Park Historic District Guidelines* and the purposes of Chapter 24A;

and with the Secretary of the Interior's Standards for Rehabilitation #2, #9, and #10.

and with the general condition that the applicant shall present an electronic set of drawings, if

applicable, to Historic Preservation Commission (HPC) staff for review and stamping prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make any alterations to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or dan.bruechert@montgomeryplanning.org to schedule a follow-up site visit.





DATE ASSIGNED_ **APPLICATION FOR** HISTORIC AREA WORK PERMIT HISTORIC PRESERVATION COMMISSION 301.563.3400

APPLICANT:

Name: Ronald Levine		E-mail: RonSL	.evine@verizon.net		
Address: 11 Columbia Ave		City: Takoma Pa	ırk Zip:_	20912	
Daytime Phone: <u>301-613-0904</u>	Tax Account	Tax Account No.: 01060590			
AGENT/CONTACT (if applic	able):				
Name: Juan Hernandez		E-mail: Juan@	Rozaic.com		
Address: 310 Springloch Rd		City: Silver Spi	ring Zip:	MD	
Daytime Phone: <u>301-569-3575</u>		Contractor R	Contractor Registration No.: 1356540		
LOCATION OF BUILDING/P	REMISE: MIHP # of His	storic Property <u>M:37</u>	<u>'-3</u>		
Is there an Historic Preserva map of the easement, and d No Are other Planning and/or H (Conditional Use, Variance, F supplemental information. Building Number:	ocumentation from the earing Examiner Appro Record Plat, etc.?) If YES No Street:	nmental Easemen Easement Holder vals /Reviews Rec S, include informa	r supporting this app quired as part of this tion on these review	f YES, include a plication. Application? s as	
Lot: Block: _	Subdivisi	on: Parce	d:		
TYPE OF WORK PROPOSEI for proposed work are su be accepted for review. Cl New Construction Addition Demolition Grading/Excavation I hereby certify that I have t and accurate and that the c agencies and hereby ackno	bmitted with this app neck all that apply: Deck/Porch Fence Hardscape/La Roof he authority to make the	indscape	lete Applications of Shed/Garage/According Tree removal/plan Window/Door Other:cation, that the appliced and approved by	will not essory Structure ting ication is correctation	

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFING

[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address	Owner's Agent's mailing address				
Ronald Levine 11 Columbia Ave, Takoma Park, MD 20912	Juan Hernandez 310 Springloch Rd, Silver Spring, MD 20904				
Adjacent and confronting Property Owners mailing addresses					
7 Columbia Avenue, Takoma Park MD 20912	8 Montgomery Avenue, Takoma Park MD 20912				
8 Columbia Avenue, Takoma Park MD 20912	10 Montgomery Avenue, Takoma Park MD 20912				
13 Columbia Avenue, Takoma Park MD 20912	12 Montgomery Avenue, Takoma Park MD 20912				
,					

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:
The home is a typical 1970's split level rancher built in 1977; with a gabled brick main entrance and a large deck/ car port and shed added to the home at some point. The lower half of the home is parged block foundation and the top is metal siding. The home has double hung windows and vinyl shutters.
Description of Work Proposed: Please give an overview of the work to be undertaken:
Adding a gabled roof, screened-in porch to roughly half of the existing deck structure at the rear of the home.

Work Item 1: Screened-in porch addition	
Description of Current Condition:	Proposed Work:
A single swing door with a stationary panel (3x5 lites) leads to the deck. The current 14'9" x 24'x0" pressure treated deck is in sound structural conditions. It has a membrane floor that serves as a roof for the car port underneath. There is an existing weathered pergola. The home has parged block foundation and 5" metal siding on the second level.	The sliding glass door will be replaced with a new french door that will match the existing 3x5 lite doors. The pergola will be removed to give way to the proposed 11'10" x 14'0" covered screened-in porch with a gabled roof. The structure of the screened-in porch will consist of pressure treated posts, wraped with painted trim boards. The roof will match the rest of the home, 3 tab shingle. Screens will be black mesh with aluminum trim.
Work Item 2:	
Description of Current Condition:	Proposed Work:
Work Item 3:	
	L 1717 1
Description of Current Condition:	Proposed Work:

SCOPE AND PURPOSE OF PROJECT:

RENOVATING A SINGLE FAMILY HOUSE TO INCLUDE ADDING A COVERED SCREENED IN PORCH TO AN EXISTING DECK FROM GRADE.

CONTRACTOR TO REMOVE THE FOLLOWING:

- EXISTING WOODEN PERGOLA PER THE ARCHITECTURAL PLANS.
 EXISTING PATIO DOORS PER THE ARCHITECTURAL PLANS.
- 3. EXISTING ROOF FRAMING PER THE STRUCTURAL PLANS.

- CONTRACTOR TO INSTALL THE FOLLOWING:

 1. NEW FRENCH DOORS PER THE ARCHITECTURAL PLANS.
- 2. NEW P.T. 6x6 POST AND CONCRETE FOOTER PER THE ARCHITECTURAL AND
- 3. NEW 11'-10"x14'-0" COVERED SCREENED IN PORCH PER THE ARCHITECTURAL AND
- 4. NEW ROOF FRAMING PER THE STRUCTURAL PLANS.

RENOVATING A SINGLE FAMILY **HOUSE TO INCLUDE ADDING A COVERED SCREENED IN PORCH TO AN EXISTING DECK FROM GRADE**

11 COLUMBIA AVENUE **TAKOMA PARK, MARYLAND 20912**

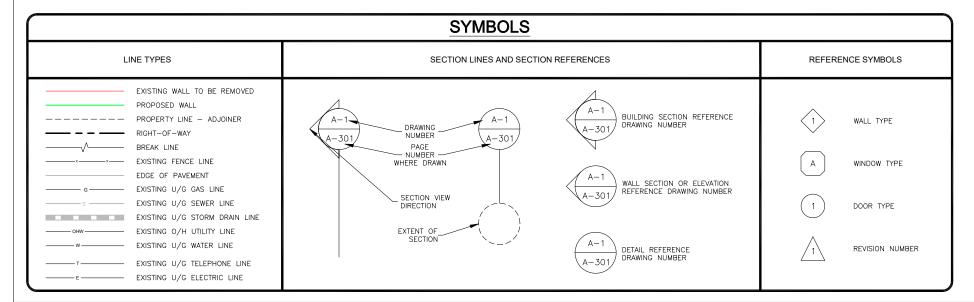
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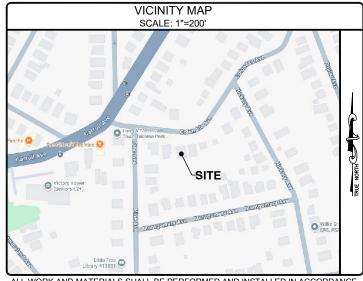
RONALD S. TR. LEVINE DISTRICT: 13 ACCOUNT #: 01060590 11 COLUMBIA AVENUE TAKOMA PARK, MARYLAND 20912 AREA: 0.22AC± ACRES ZONING: R-60

HOLLOW CORE

ABBREVIATIONS

AFF ABOVE FINISH FLOOR CLO CLOSET ELEV ELEVATION AIR CONDITIONING AH AIR HANDLER CLG CEILING EOC EVERY OTHER COURSE A! AIR INTAKE CMU CONCRETE MASONRY UNIT EWC ELECTRIC WATERCOOLER ID INSIDE DIAMETER ALT ALTERNATE CO CLEAN OUT EXH EXHAUST INS INSULATION ALUINI ALUMINUM COL COLUMN EXP EXPANSION INT INTERIOR AP ACCESS PANEL CONC CONCRETE EXP JT EXPANSION JOINT ARCH ARCHITECTURAL COND CONDENSOR EQ EQUAL JB JUNCTION BOX	A/C AC ADJ	AIR CONDITIONING ACOUSTICAL ADJACENT	CAB CER CJT	CABINET CERAMIC CONTROL JOINT	E EA ELEC	EAST EACH ELECTRIC	HGHT HM HVAC	HEIGHT HOLLOW METAL HEATING VENTILATION/
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ARCH ARCHITECTURAL COND CONDENSOR EQ EQUAL JB JUNCTION BOX						EXPANSION	INT	INTERIOR
	ARCH	ARCHITECTURAL	COND	CONDENSOR	EQ	EQUAL		
ASPH ASPHALT CONST CONSTRUCTION EXSTG EXISTING JT JOINT	ASPH	ASPHALT	CONST	CONSTRUCTION	EXSTG	EXISTING	JT	JOINT
ATTN ATTENUATION CONT CONTINUOUS EXT EXTERIOR	ATTN	ATTENUATION	CONT	CONTINUOUS	EXT	EXTERIOR		
CONV CONVECTOR LAM LAMINANT			CONV	CONVECTOR				
BB BLACKBOARD CPT CARPET FC FIRE CODE LAV LAVATORY	BB	BLACKBOARD	CPT	CARPET	FC	FIRE CODE	LAV	LAVATORY
BC BRICK COURSE FD FLOOR PLAN LB POUND	BC	BRICK COURSE			FD	FLOOR PLAN	LB	POUND
BD BOARD DEM DEMOLISH FEC FIRE EXTINGUISHER CABINET LT LIGHT	BD	BOARD	DEM	DEMOLISH	FEC	FIRE EXTINGUISHER CABINET	LT	LIGHT
BET BETWEEN DJA DIAMETER FIN FINISH LVR LOUVER	BET	BETWEEN	DJA	DIAMETER	FIN	FINISH	LVR	LOUVER
BEY BEYOND DIM DIMENSION FL FLOOR	BEY	BEYOND	DIM	DIMENSION	FL	FLOOR		
BIT BITUMINOUS DN DOWN FT FOOT MAX MAXIMUM	BIT	BITUMINOUS	DN	DOWN	FT	FOOT	MAX	MAXIMUM
BLDG BUILDING DP DAMPROOF FTG FOOTING MECH MECHANICAL	BLDG	BUILDING	DP	DAMPROOF	FTG	FOOTING	MECH	MECHANICAL
BLK BLOCK DTL DETAIL FURR FURRING MIN MINIMUM	BLK	BLOCK	DTL	DETAIL	FURR	FURRING	MIN	MINIMUM
BLKG BLOCKING DWG DRAWING MISC MISCELLANEOUS	BLKG	BLOCKING	DWG	DRAWING			MISC	MISCELLANEOUS
BM BEAM GA GAUGE MO MASONRY OPENING	BM	BEAM			GA	GAUGE	MO	MASONRY OPENING
BSMT BASEMENT GAL GALVANIZED MPH MILES PER HOUR	BSMT	BASEMENT			GAL	GALVANIZED	MPH	MILES PER HOUR
BUR BUILT UP ROOF GL GLASS MSNRY MASONRY	BUR	BUILT UP ROOF				GLASS	MSNRY	MASONRY
BV BRICK VENT GR GRADE	BV	BRICK VENT			GR	GRADE		
GYP BD GYPSUM BOARD N NORTH							N	NORTH
NO NUMBER							NO	NUMBER
NTS NOT TO SCALE							NTS	NOT TO SCALE





ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THE LATEST EDITIONS OF THE FOLLOWING CODES.

- 2018 INTERNATIONAL BUILDING CODE
- 2017 NFPA 70, NATIONAL ELECTRICAL CODE
- 2021 NFPA 101, LIFE SAFETY CODE
- 2018 INTERNATIONAL FIRE CODE
- 2019 ACI 318, BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE
- 2016 ACI 530, BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES
- 2016 AISC 360, SPECIFICATIONS FOR STRUCTURAL STEEL BUILDINGS
- ANSI/TIA-222-G

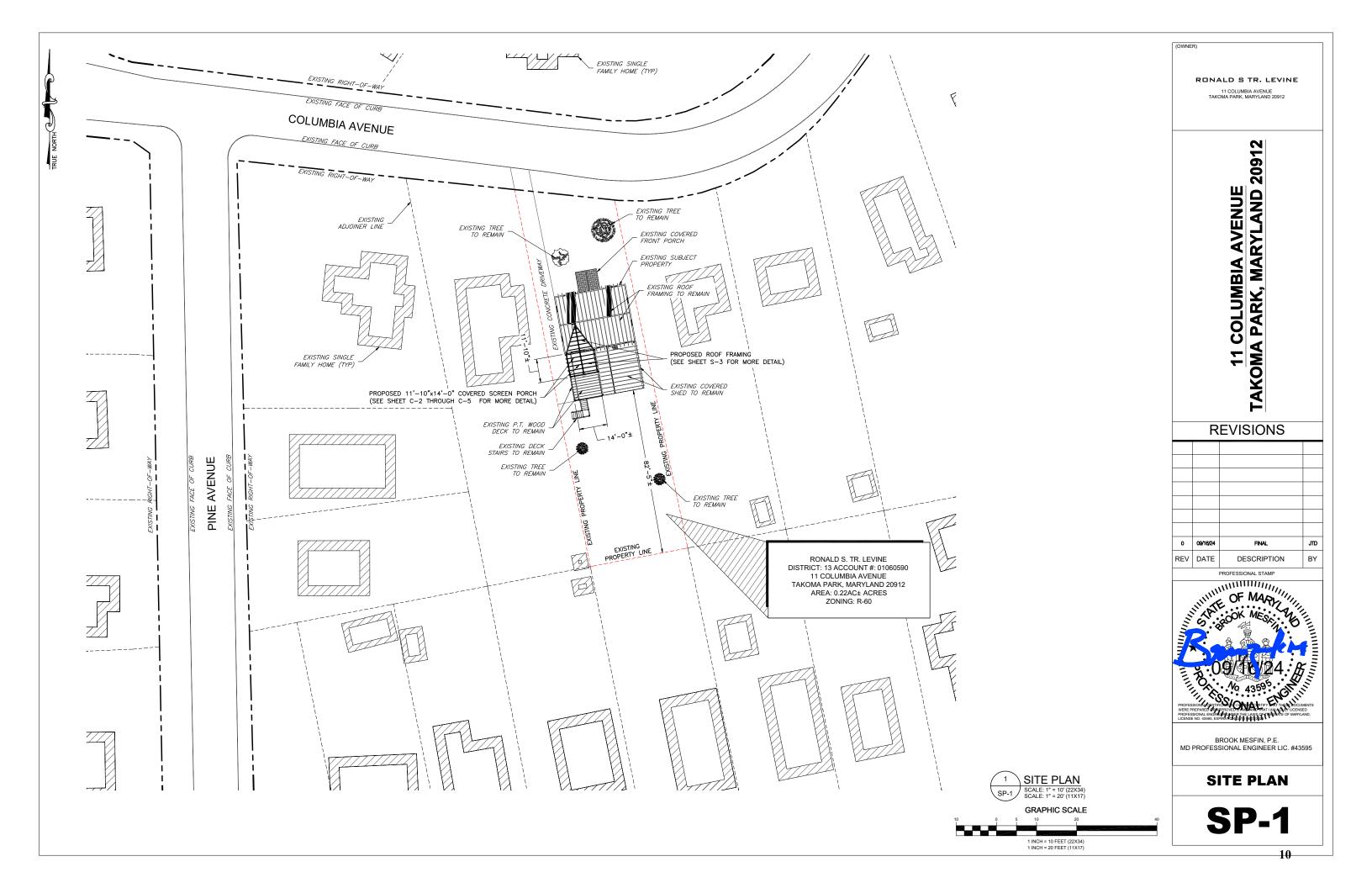
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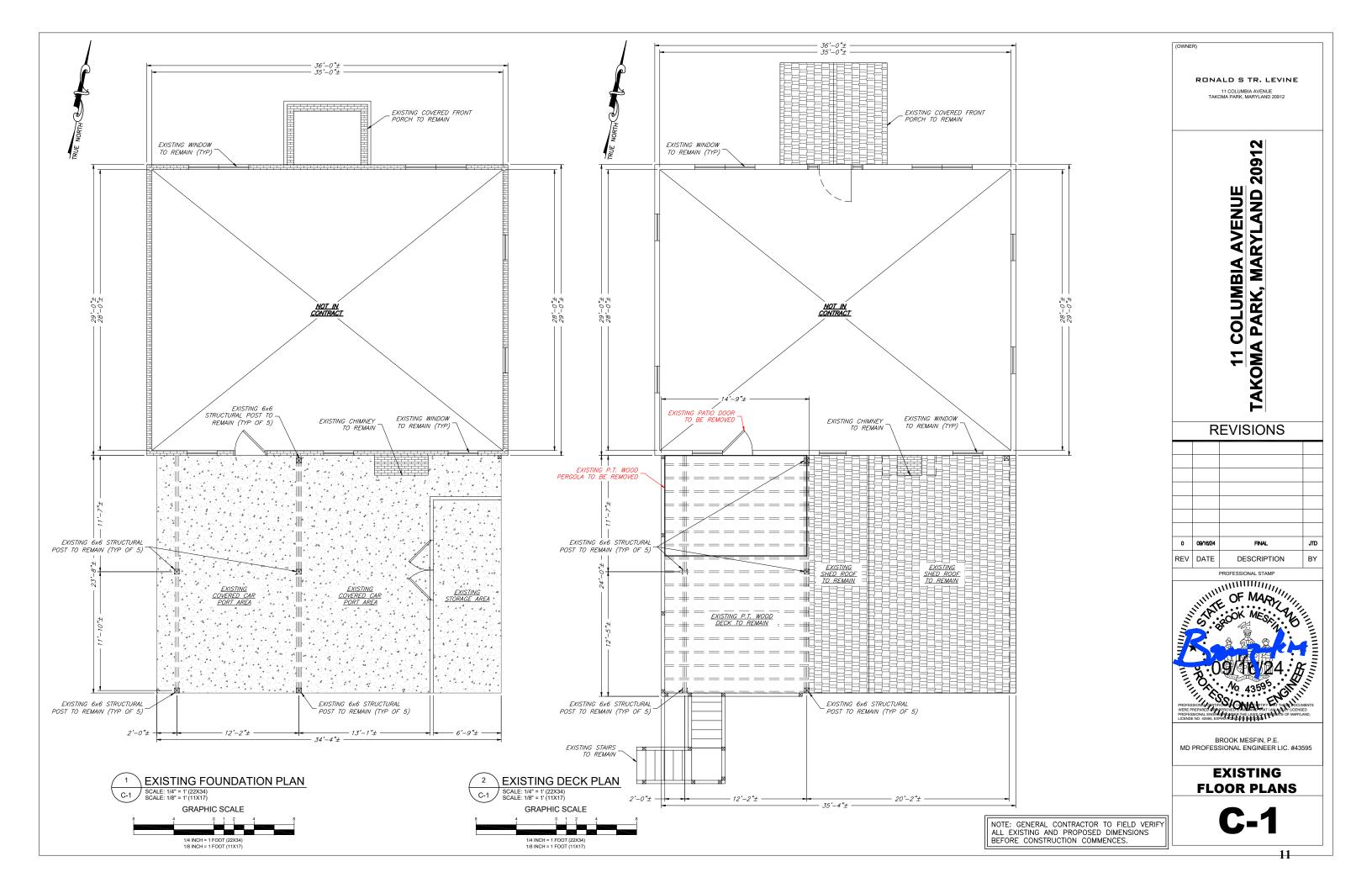
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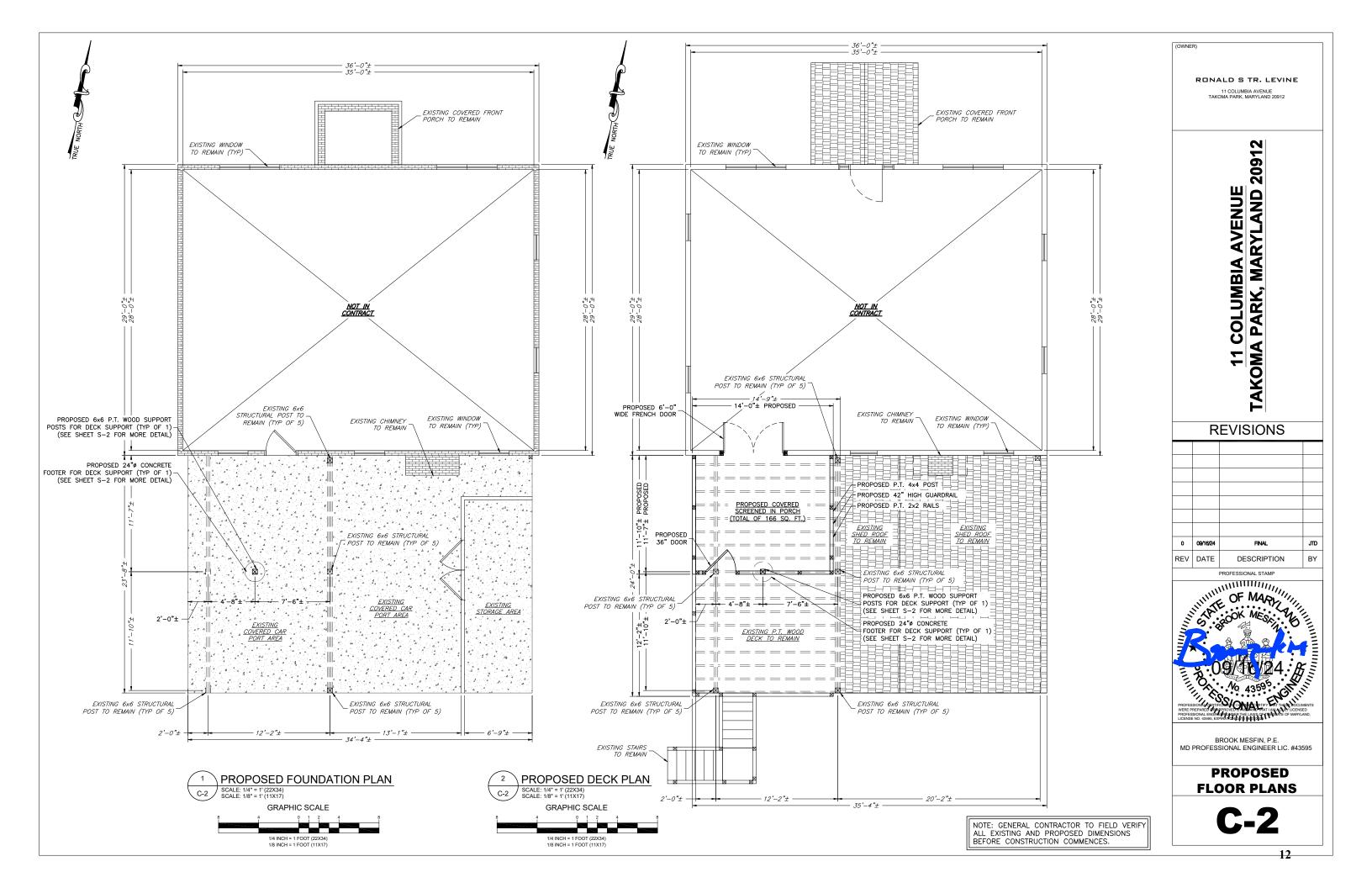
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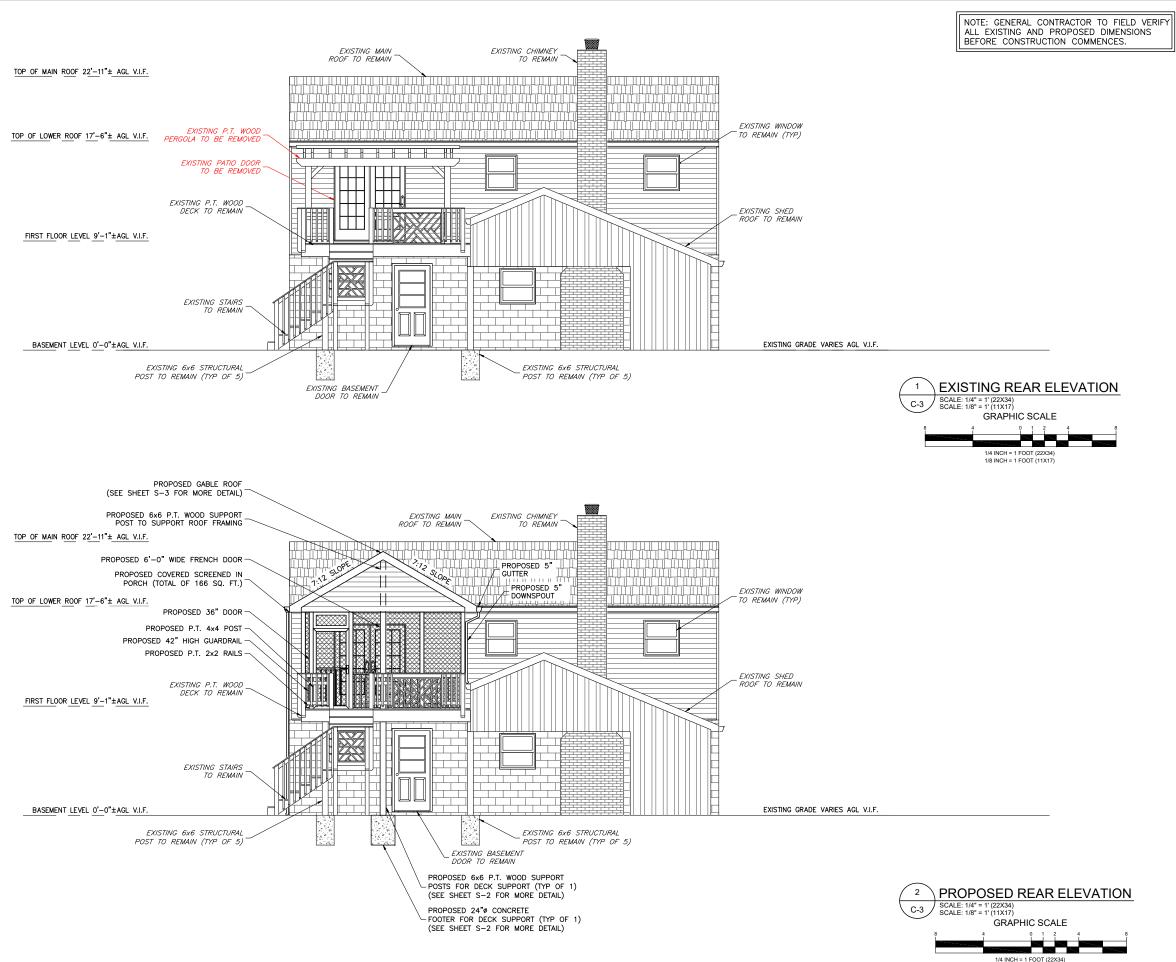
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(OWNER)

RONALD S TR. LEVINE

11 COLUMBIA AVENUE TAKOMA PARK, MARYLAND 20912

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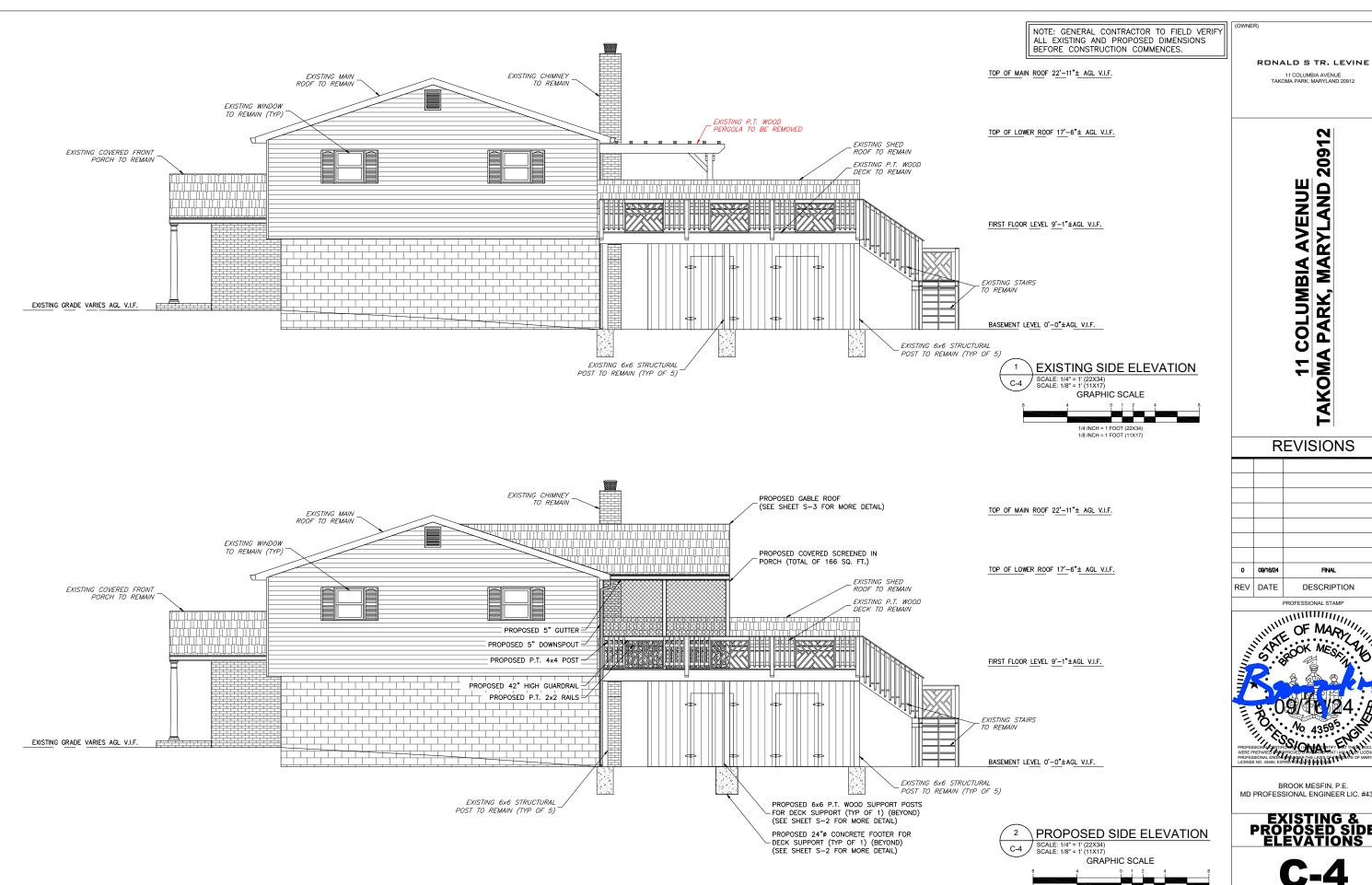
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EXISTING & PROPOSED REAR ELEVATIONS

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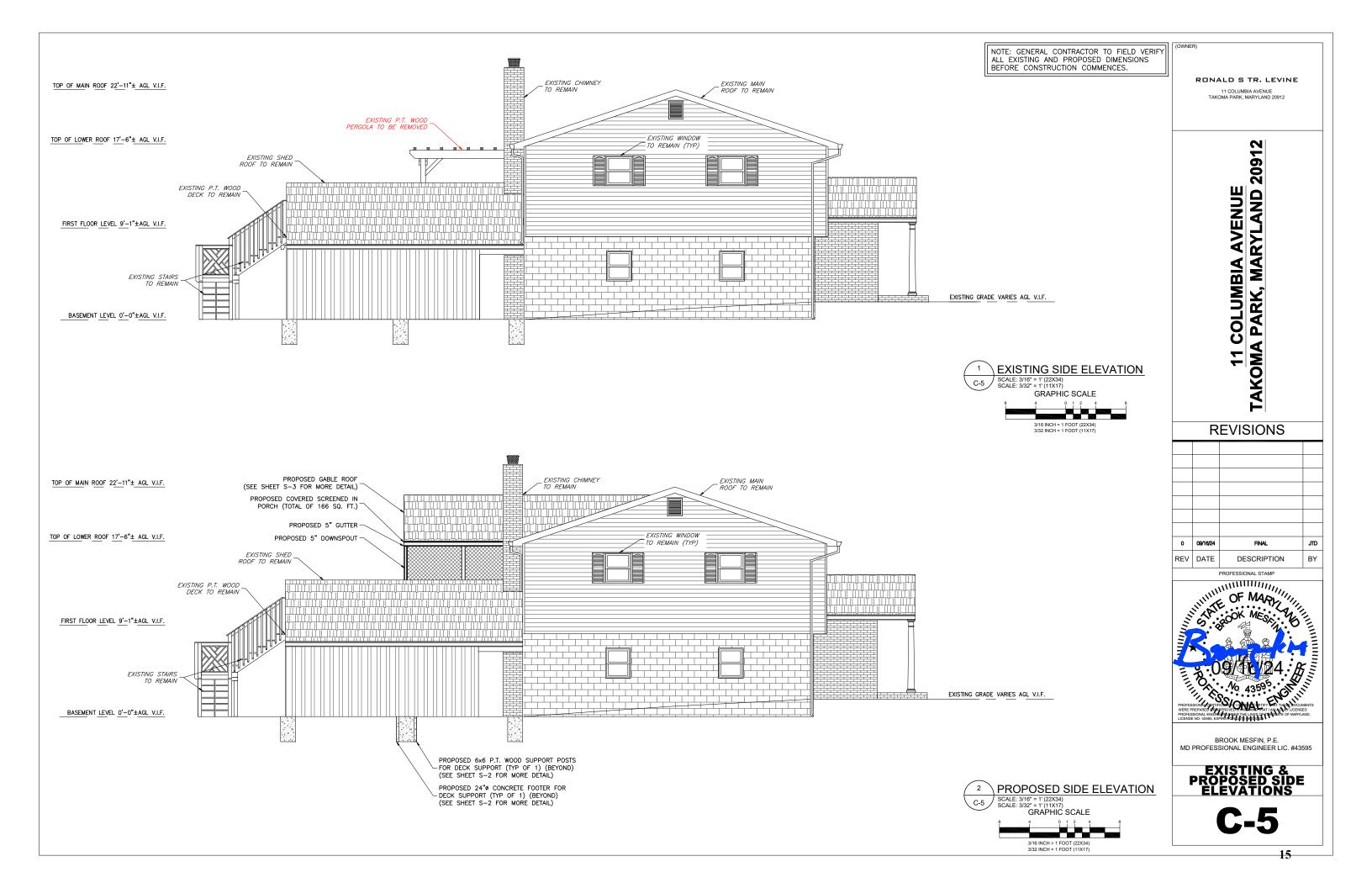
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MD PROFESSIONAL ENGINEER LIC. #43595

EXISTING & PROPOSED SIDE ELEVATIONS



STRUCTURAL NOTES

1.1 DESIGN LOADS

- THE STRUCTURE WAS DESIGNED FOR THE LIVE LOADS SHOWN BELOW AND A. THE STRUCTURE WAS DESIGNED FOR THE LIFE LOADS SHOWN BELOW AND DEAD LOADS AS REQUIRED BY CONSTRUCTION IN ACCORDANCE WITH IBC 2018. LOADS DUE TO SNOW LOAD BUILD—UP WERE CONSIDERED IN DESIGN OF STRUCTURAL COMPONENTS ADJACENT TO PARAPETS, HIGH BUILDING WALLS, ETC. INCREASE IN THESE LOADINGS, DUE TO CHANGE IN FUNCTION, CONSTRUCTION MATERIALS, ETC., TO HAVE WRITTEN APPROVAL FROM THE DESIGNING STRUCTURED. SHOWLED DESIGNING STRUCTURAL ENGINEER.
- B. THE BASIC STABILITY OF THE STRUCTURE IS DEPENDENT UPON THE DIAPHRAGM ACTION OF FLOORS, WALLS, AND ROOF ACTING TOGETHER. PROVIDE GUYS, BRACES, STRUTS, ETC., TO ACCOMMODATE LIVE, DEAD, AND WIND LOADS UNTIL FINAL CONNECTIONS BETWEEN THESE ELEMENTS ARE
- C. LIVE LOADS SHOWN BELOW ARE IN POUNDS PER SQUARE FOOT (PSF). ROOF LIVE LOAD: 30 GROUND SNOW LOAD (PG): 30 FLOOR LIVE LOAD: 30 FLAT ROOF SNOW LOAD(PF): 21 30 SNOW LOAD IMPORTANCE FACTOR: 1.0 SNOW EXPOSURE FACTOR (Ce): 0.7 DECK LL 40. DL 10
- D. WIND CRITERIA: ULTIMATE DESIGN WIND SPEED: 115 MPH (3 SECOND GUST)
 NOMINAL DESIGN WIND SPEED: 90 MPH (3 SECOND GUST) RISK CATEGORY: II WIND EXPOSURE CATEGORY: B
 INTERNAL PRESSURE COEFFICIENT: + 0.18 ROOF: 20.1 WALL: 14.1

1.2 SHORING:

- PROVIDE SHORING AS REQUIRED TO MAINTAIN STABILITY OF THE STRUCTURE, ADJACENT UTILITIES, CONSTRUCTION, AND EMBANKMENTS DURING THE CONSTRUCTION PERIOD. STRENGTH AND PLACEMENT OF SHORING IS TOTALLY THE RESPONSIBILITY OF THE CONTRACTOR.
- B. REMOVE FINISHES, SUCH AS PLASTER, STUCCO, ETC., SO THAT SHORING WILL BE IN DIRECT CONTACT WITH STRUCTURAL MEMBERS.
- C. WHERE SPACES BETWEEN SHORING AND EXISTING MEMBERS EXIST, DRIVE HARDWOOD WEDGES SNUG AND TOE NAIL TO SHORING

- A. EXPOSE EXISTING FRAMING AND NOTIFY ENGINEER PRIOR TO INSTALLATION
- B. CONTRACTOR MUST FIELD CHECK AND VERIFY DIMENSIONS AND ELEVATIONS OF EXISTING WORK PRIOR TO FABRICATION OF NEW MATERIALS.
- OF NEW HOLES TO MISS REINFORCING.
- D. RELOCATE EXISTING PLUMBING AND HVAC AS REQUIRED TO ALLOW INSTALLATION OF NEW FRAMING.

- A. DEMOLITION INCLUDES CONTROLLED DESTRUCTION OF STRUCTURES AND THE REMOVAL AND DISPOSAL OF DEMOLISHED MATERIALS AS SHOWN ON THE DRAWINGS AND INCLUDED IN THESE NOTES.
- B. PERFORM DEMOLITION IN SECTIONS SMALL ENOUGH TO PREVENT DAMAGE OF MATERIALS AND FACILITIES AND FOR EMBANKMENTS TO REMAIN IN PLACE.
- C. PROVIDE ADEQUATE SHORING, BRACING, AND PROTECTION TO PREVENT MOVEMENT, SETTLEMENT, COLLAPSE OR DAMAGE TO EXISTING MATERIALS AND FACILITIES AND FOR EMBANKMENTS TO REMAIN. SUBMIT COMPLETE DETAILS OF SHORING PROCEDURES SIGNED BY A PROFESSIONAL ENGINEER (REGISTERED IN THE JURISDICTION WHERE THE PROJECT IS LOCATED) PRIOR
- D. PROMPTLY REPAIR DAMAGES CAUSED BY THE DEMOLITION TO ADJACENT FACILITIES, MATERIALS, OR EMBANKMENTS AT NO COST TO THE OWNER.
- E. PROMPTLY REMOVE FROM SITE AND PROPERLY DISPOSE OF DEBRIS, RUBBISH, AND OTHER MATERIALS RESULTING FROM THE DEMOLITION.

2.3 FOUNDATIONS

A. A SOIL BEARING CAPACITY OF 2000 PSF WAS USED FOR FOOTING DESIGN. ENGAGE THE SERVICES OF A GEOTECHNICAL ENGINEER TO VERIFY EXCAVATIONS AND SOIL BEARING CAPACITY. IF SOIL OF THIS CAPACITY IS NOT ENCOUNTERED AT ELEVATIONS INDICATED, CONTACT ENGINEER OF RECORD (EOR).

A. UNLESS GOVERNED BY BUILDING CODE OR LOCAL AMENDMENTS: CONCRETE WORK INCLUDING FORMING, MIXING, PLACING, AND CURING SHALL BE IN ACCORDANCE WITH ACI 301. PLACEMENT OF REINFORCING SHALL BE IN ACCORDANCE WITH ACI 315 AND 318. WHEN THERE IS A CONFLICT, THE MOST STRINGENT IS TO APPLY.

- B. SUBMIT COMPLETE SHOP AND ERECTION DRAWINGS FOR REVIEW PRIOR TO FABRICATION OR ERECTION. REPRINTS OF CONTRACT DRAWINGS ARE NOT ACCEPTABLE. SUBMIT DESIGN MIXES FOR EACH CLASS OF CONCRETE PRIOR
- C. CONCRETE REINFORCING: ASTM A-615, GRADE 60.
- D. WELDED WIRE REINFORCEMENT: ASTM A-1064
- E. PORTLAND CEMENT: ASTM C-150, TYPE I
- F. BLENDED HYDRAULIC CEMENT: ASTM C-595.
- G. FLY ASH: ASTM C-618, CLASS F (30% MAX.)
- H. AGGREGATE: ASTM C-33. 1" MAXIMUM FOR FOOTINGS, WALLS, AND SLABS ON GRADE, 1/2" MAXIMUM FOR THIN SLABS, AND 3/8" FOR WALL
- I. CONCRETE SHALL HAVE A 28 DAY COMPRESSIVE STRENGTH OF: 3,000 PSI.
- J. EXTERIOR CONCRETE TO BE AIR-ENTRAINED AND SHALL HAVE A 28 DAY
- K. WATER CEMENT RATIO NOT TO EXCEED 0.54 FOR 3,000 PSI CONCRETE AND 0.45 FOR AIR ENTRAINED CONCRETE.
- INSTALL WELDED WIRE REINFORCEMENT 2" BELOW UPPER SURFACE OF
- M. REINFORCING FOR FOOTINGS AND OTHER CONCRETE USING EARTH FORMS SHALL HAVE 3" CONCRETE COVER. REINFORCING FOR CONCRETE EXPOSED TO GROUND OR WEATHER AFTER REMOVAL OF FORMS SHALL HAVE 2" CONCRETE COVER. REINFORCING SHALL HAVE 3/4" CONCRETE COVER FOR SLABS AND WALLS AND 1 1/2" COVER FOR BEAMS, GIRDERS, AND
- N. USE A WATER REDUCING ADMIXTURE IN ALL CONCRETE.
- O. USE A MINIMUM OF 5 1/2 BAGS OF CEMENT AND A MAXIMUM OF 6 1/2 GALLONS OF WATER PER BAG FOR EACH CUBIC YARD OF CONCRETE.
- P. SLUMP AS REQUIRED BY ACI (211.1), EXCEPT THAT SLABS—ON—GRADE AND THIN—FRAMED SLABS SHALL HAVE A MAXIMUM SLUMP OF 4". SHOULD EXTRA WATER BE REQUIRED BEFORE DEPOSITING CONCRETE AND WATER/CEMENT RATIO OF ACCEPTED MIX DESIGN HAS NOT BEEN EXCEEDED, GENERAL CONTRACTOR'S SUPERINTENDENT SHALL HAVE SOLE AUTHORITY TO AUTHORIZE ADDITION OF WATER. ANY ADDITIONAL WATER ADDED TO MIX AFTER LEAVING BATCH PLANT SHALL BE INDICATED ON THE TRUCK TICKET AND SIGNED BY PERSON RESPONSIBLE. SUBMIT COPY OF TRUCK TICKET FOR
- Q. AIR ENTRAIN EXTERIOR EXPOSED CONCRETE 5% +/- 1%.
- R. NO CALCIUM CHLORIDE WILL BE PERMITTED IN CONCRETE

- A. WOOD FRAMING AND FASTENERS COMPLY WITH THE RECOMMENDATIONS OF THE AMERICAN WOOD COUNCIL (AWC).
- B. SPACING OF NAILS OR SCREWS FOR FLOOR OR ROOF PANELS: PANEL EDGES AT 12" O/C AND 16" O/C ON EACH INTERIOR SUPPORT.
- C. SPACING OF NAILS OR SCREWS FOR WALL PANELS: PANEL EDGES AT $8\ensuremath{\text{"}}$ O/C and 16\ensuremath{\text{"}} O/C on each interior support.
- D. PROVIDE DOUBLE STUD AT VERTICAL PANEL JOINTS FOR WALL APPLICATIONS AND SPACE PANELS MINIMUM $1/8^{\circ}$.
- E. PLYWOOD: APA THE ENGINEERED WOOD ASSOCIATION GRADE TRADE MARKED MEETING THE REQUIREMENTS OF THE LATEST EDITION, PER CODE, OF U.S. PRODUCT STANDARD PS-1.
- F. PANEL THICKNESS AND IDENTIFICATION INDEX SHALL BE AT LEAST EQUAL TO THAT SHOWN ON THE DRAWINGS. INSTALL AND CONNECT IN ACCORDANCE WITH THE RECOMMENDATIONS OF APA THE ENGINEERED WOOD
- G. ATTACH PLYWOOD FLOOR SHEATHING USING GLUE AND NAILS.
- H. UNLESS OTHERWISE NOTED ON DRAWINGS, ATTACH PLYWOOD TO FRAMING WITH MIN. 8d NAILS AT 6" O/C ON EDGES OF SHEET AND 12" O/C ON EACH INTERIOR SUPPORT.
- I. FOR PLYWOOD 1/2" IN THICKNESS AND LESS, USE H CLIPS AT MIDPOINT FOR SPANS GREATER THAN 16" O/C. FOR PLYWOOD 5/8" AND THICKER, USE TONGUE AND GROOVE EDGES OR H CLIPS AT MIDPOINT FOR SPANS GREATER THAN 16" O/C. FOR 48" SPANS, PROVIDE 2-H CLIPS AT 1/3 POINTS OF SPAN OR PROVIDE TONGUE AND GROOVE PLYWOOD.
- J. STRUCTURAL LUMBER (2"-4" THICK, EXCEPT NONBEARING STUDS AND PLATES) Spruce Pine Fir No.1 OR BETTER WITH 19% MAXIMUM MOISTURE CONTENT IN USE AND SHALL HAVE THE FOLLOWING MINIMUM UNFACTORED PROPERTIES:
- PROPERTIES:

 = 1,400,000 PSI fe = 425 PSI

 b = 900 PSI ft = 450 PSI

 c (PARALLEL TO GRAIN) = 1,150 PSI fv = 135 PSI

 STRUCTURAL LUMBER (5"X5" AND LARGER) SPIUCE PINE FIR. NO. 1 OR

 BETTER WITH 19% MAXIMUM MOISTURE CONTENT IN USE AND SHALL HAVE

 THE FOLLOWING MINIMUM UNFACTORED PROPERTIES:

 E = 1,300,000 PSI ft = 425 PSI

 b = 850 PSI ft = 550 PSI (PARALLEL TO GRAIN) = 700 PSI fv = 125 PSI
- K. PRESSURE TREATED LUMBER SOUTHERN PINE #1 WITH THE FOLLOWING RETENTION LEVELS: FOR ABOVE GROUND USE - 0.4 PCF FOR PROCESSES USING ACQ AND CBA-A, 0.2 FOR PROCESS USING CA-B.
- L. INSTALL DOUBLE JOISTS UNDER PARTITIONS PARALLEL TO FRAMING.
- M. ATTACH MULTIPLE MEMBERS TOGETHER AS FOLLOWS: (2) 2X: 2 ROWS 16d NAILS @ 16" O/C TOP LOADED WITH 3_2X: 2 ROWS 16d NAILS @ 16" O/C SIDE LOADED 3_2X10 AND 3_2X12: 3 ROWS- 6d NAILS @ 12" O/C
- N. PROVIDE FLUSH FRAMED JOISTS AND HEADERS WITH A PREFABRICATED GALVANIZED (SADDLE TYPE) METAL CONNECTOR UNLESS NOTED OTHERWISE. HANGERS SHALL BE 18 GAGE MINIMUM THICK AND HAVE CAPACITY TO RESIST 500# MINIMUM FOR EACH 2X MEMBER IN SHEAR FOR SPECIES OF WOOD

- O. BRIDGING FOR WOOD JOISTS (ROOF AND FLOOR) TO BE DIAGONAL WOOD SPACED AS FOLLOWS: SPANS OVER $8^\prime\!-\!0^{\prime\prime}$ ONE ROW
- P. EXPOSED STRUCTURAL FRAMING MEMBERS IN ABOVE GROUND USE AND WOOD PLATES IN CONTACT WITH SLABS ON GRADE TO BE PRESSURE TREATED LUMBER. TREAT WOOD WITH A WATERBORNE PRESERVATIVE MATERIAL WITH ONE OF THE FOLLOWING: ALKALINE COPPER QUAT (ACQ) TYPES B OR D, OR COPPER AZOLE (CBA-A, CA-B).
- O. STEFL MATERIALS IN CONTACT WITH PRESSURE TREATED LUMBER TO BE HOT DIPPED GALVANIZED. MINIMUM GALVANIZED COATING FOR PREFABRICATED METAL CONNECTORS TO BE G-185 PER ASTM A-653. CONNECTORS, HOT DIPPED GALVANIZED AFTER FABRICATION, IN ACCORDANCE WITH ASTM A-123. FASTENERS HOT DIPPED GALVANIZED AFTER FABRICATION IN ACCORDANCE WITH ASTM A-153. MECHANICALLY GALVANIZED FASTENERS IN ACCORDANCE WITH ASTM B-695, CLASS 55.
- R. PROVIDE SOLID (CONTINUOUS) BRIDGING AT BEARING POINTS.
- S. INSTALL DOUBLE STUD EACH END OF WOOD BEAMS, UNLESS NOTED
- T. ATTACH WOOD BLOCKING, NAILERS, ETC., TO STEEL OR CONCRETE FRAMING WITH POWER ACTUATED FASTENERS UNLESS NOTED OTHERWISE. SPACE FASTENERS AT 2'-0" MAXIMUM O/C, STAGGERED. MINIMUM CAPACITY OF EACH FASTENER SHALL BE 100 POUNDS IN SHEAR AND PULLOUT,
- U. EXTERIOR WALL SHEATHING THERMO-PLY INSULATIVE SHEATHING AS U. EATERIOR WALL SHEATING - HERMO-PET INSULATIVE AS MANUFACTURED BY SIMPLEX PRODUCTS DIVISION, ADRIAN, MICHIGAN 49221. USE STRUCTURAL GRADE (RED PRINT) FOR STUD SPACING OF 16" O/C. USE SUPER STRENGTH (BLUE PRINT) FOR STUD SPACING OF 24" O/C.
- V. SHIP AND INSTALL THERMO-PLY SHEATHING IN COMPLIANCE WITH MANUFACTURERS RECOMMENDATIONS. INSTALL 48" X 96" SHEETS WITH 1/8" TO 1/16" GAP BETWEEN PANELS. INSTALL 48 3/4" X 96" SHEETS WITH A 3/4" OVERLAP. NAIL THROUGH THERMO-PLY INTO STUDS USING 11 GAUGE X 1 1/8 GALVANIZED ROOFING NAILS. FASTEN RED PRINT THERMO-PLY AT 3" O/C AT PERIMETER (WHERE EDGE OF PANEL IS UNSUPPORTED BETWEEN STUDS, PROVIDE BLOCKING) AND 6" O/C TO INTERMEDIATE STUDS. FASTEN BLUE PRINT THERMO-PLY AT 3" O/C TO BOTH PERIMETER AND INTERMEDIATE STUDS AND TO BLOCKING AT PANEL EDGES.

6.1A WOOD LINTEL SCHEDULE

A. FOR STUD WALL OPENINGS NOT SPECIFICALLY SHOWN IN PLAN (OPENINGS FOR MECHANICAL TRADES, OPENINGS IN BEARING AND NON BEARING WALLS, ETC.) PROVIDE WL-1, WL-2, OR WL-3 AS DIRECTED BY THE ARCHITECT.

B. PROVIDE ONE BEARING STUD AND ONE FULL HEIGHT JAMB STUD EACH END OF WOOD LINTELS AND HEADERS, UNLESS NOTED OTHERWISE. FOR OPENINGS OVER 7'-0", PROVIDE TWO BEARING STUDS AND ONE FULL HEIGHT JAMB STUD, UNLESS NOTED OTHERWISE.

C. LOOSE ANGLE LINTELS SUPPORTING BRICK VENEER AND SPANNING 4'-0" OR MORE SHALL HAVE PRE-PUNCHED HOLES SPACED AT 2'-0" MAXIMUM O/C IN VERTICAL LEG OF ANGLE FOR 10d NAIL ATTACHMENT TO WOOD

MARK	MATERIAL	REMARKS
WL-1	2-2x8 FOR 4" STUD WALL 3-2x6 FOR 6" STUD WALL	FOR OPENINGS UP TO 4'-6"
WL-2	2-2x10 FOR 4" STUD WALL 3-2x8 FOR 6" STUD WALL	FOR OPENINGS 4'-7" TO 5'-6"
WL-3	2-2x12 FOR 4" STUD WALL 3-2x10 FOR 6" STUD WALL	FOR OPENINGS 5'-7" TO 7'-0"
WL-4	3-2x12 FOR 6" STUD WALL	FOR OPENINGS 7'-1" TO 8'-4"

6.3 PREFABRICATED WOOD TRUSSES

- A. DESIGN AND INSTALL TRUSSES, BRACING, AND CONNECTORS FOR TRUSSES IN STRICT ACCORDANCE WITH APPLICABLE BUILDING CODE REQUIREMENTS AS WELL AS THE STRUCTURAL BUILDING COMPONENTS ASSOCIATION (SBCA) AND BY THE TRUSS PLATE INSTITUTE (TPI), UNLESS NOTED OTHERWISE ON THE
- B. DESIGN TRUSSES TO RESIST LOADS SHOWN ON THE DRAWINGS. ONLY THE OUTLINES OF THE TRUSSES HAVE BEEN SHOWN. WEB CONFIGURATION SHALL BE THE RESPONSIBILITY OF THE MANUFACTURER.
- C. TRUSSES TO BE DESIGNED FOR DEFLECTIONS AS FOLLOWS: ROOF: LIVE LOAD L/240, L/360 WITH PLASTER OR STUCCO CEILINGS. TOTAL LOAD L/240.
- D. PROVIDE TRUSSES WITH CAMBER IN ACCORDANCE WITH "DESIGN SPECIFICATIONS FOR LIGHT METAL PLATE CONNECTED WOOD TRUSSES," LATEST EDITION PER CODE, TPI-85P AND PCT-85.
- E. INSTALL BRACING OF WOOD TRUSSES IN ACCORDANCE WITH MANUFACTURERS DESIGN, SBCA, AND TPI, UNLESS NOTED OTHERWISE. THE MINIMUM BRACING ELEMENTS NOTED BELOW ARE TO REMAIN IN PLACE IN THE FINISHED STRUCTURES
- E FINISHED STRUCTURE:
 CONTINUOUS LATERAL BRACING REQUIRED BY TRUSS DESIGN INCLUDING
 DIAGONAL BRACING AT ENDS OF THE BUILDING AND AT 16'-0" MAXIMUM
 INTERVALS IN THE LENGTH OF THE BUILDING. WER MEMBER PLANE BRACING
- BOTTOM CHORD PLANE BRACING
- F. TRUSS SUPPLIER SHALL TAKE SPECIAL CARE TO DESIGN AND SUPPLY LATERAL BRACING FOR COMPRESSION MEMBERS OF TRUSSES SHIPPED IN MULTIPLE PIECES AND FIELD CONNECTED.
- G. LUMBER SHALL CONFORM TO THE RECOMMENDATIONS OF THE "NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION," LATEST EDITION PER CODE, AS PUBLISHED BY THE AMERICAN WOOD COUNCIL. EACH PIECE SHALL BE GRADE MARKED.

 $\mbox{H.}\mbox{ TRUSS}$ MANUFACTURER SHALL COORDINATE PLATE MATERIAL WITH ANY SPECIFIED TREATMENT PROCESS.

I. CONNECT ROOF TRUSSES AT EACH BEARING POINT WITH PREFABRICATED GALVANIZED METAL CONNECTORS AT EACH TRUSS, UNLESS OTHERWISE NOTED. EACH CONNECTOR SHALL BE 18 GAGE MINIMUM THICK AND SHALL HAVE THE UPLIFT AND SHEAR CAPACITY AS REQUIRED BY THE TRUSS MANUFACTURER, BUT SHALL NOT BE LESS THAN 350\mathbb{H} UPLIFT AND 130\mathbb{\#} SHEAR (EQUIVALENT TO 2 - H2.5A SIMPSON ANCHORS) FOR THE SPECIES OF WOOD LIST.

J. TRUSS-TO-TRUSS AND TRUSS-TO-HEADER CONNECTIONS SHALL BE DESIGNED BY TRUSS MANUFACTURER.

K. THE BASIC STABILITY OF THE STRUCTURE IS DEPENDENT UPON THE DIAPHRAGM ACTION OF FLOORS, WALLS, AND ROOF ACTING TOGETHER. CONTRACTOR TO PROVIDE GUYS, BRACES, STRUTS, ETC., AS REQUIRED TO ACCOMMODATE LIVE, DEAD, AND WIND LOADS UNTIL FINAL CONNECTIONS BETWEEN THESE ELEMENTS ARE MADE. PERMANENT BRIDGING REQUIRED BY TRUSS DESIGN SHALL BE SIZED AND SUPPLIED BY TRUSS MANUFACTURER. SPECIAL CARE SHALL BE TAKEN TO SIZE AND SUPPLY LATERAL BRACING REQUIRED FOR COMPRESSION MEMBERS OF TRUSSES SHIPPED IN TWO PIECES AND SIJE ONNECTED. PIECES AND FIELD CONNECTED.

L. BRIDGING, MEMBER BRACING, ETC., SHALL BE AS REQUIRED BY MANUFACTURERS DESIGN AND SHALL BE INSTALLED BY CONTRACTOR IN STRICT ACCORDANCE WITH MANUFACTURERS REQUIREMENTS.

M. ENGAGE THE SERVICES OF AN INDEPENDENT INSPECTION AGENCY TO VISUALLY INSPECT TRUSSES BEFORE AND AFTER ERECTION. INSPECTION AGENCY SHALL CERTIFY THAT THE TRUSSES, CONNECTIONS, AND BRACING HAVE BEEN INSTALLED IN COMPLIANCE WITH THE REQUIREMENTS OF THE CONTRACT DOCUMENTS.

6.4 LAMINATED VENEER LUMBER

A. LVL SHALL BE OF WIDTH, DEPTH, AND OF MULTIPLES AS SHOWN ON PLANS.

B. EACH LVL BEAM SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES: E = 2,000,000 PSI

= 2,900 PSI = 2,900 PSI (PARALLEL TO GRAIN) = 3,200 PSI = 750 PSI = 1,800 PSI

C. WRAP EACH LVL BEAM WITH A WATERPROOF COVERING UNTIL AREA WHERE BEAM IS PLACED IS PROTECTED FROM THE ELEMENTS.

D. ATTACH MULTIPLE MEMBERS TOGETHER AS FOLLOWS: SIDE LOADED: 3- LVL MEMBERS- 2 ROWS 1/2" BOLTS @ 16" O/C.

E. HOLES, NOTCHES, ETC., SHALL BE APPROVED BY THE LVL MANUFACTURER.

6.6 WOOD STAIRS, GUARDRAILS, & HANDRAILS

A. STAIR SUPPLIER SHALL DESIGN STAIR FRAMING INCLUDING HANDRAILS AND GUARDRAILS TO SUPPORT THE FOLLOWING DESIGN LOADS:

STAIR:

- DEAD LOAD - AS REQUIRED BY CONSTRUCTION.

- LIVE LOAD - 100 PSF OR 300-POUND CONCENTRATED LOAD APPLIED ON A 4-SQUARE-INCH AREA AT CENTER OF TREAD OR AT ANY POINT ON A

HANDRAILS: A LIVE LOAD OF 20 POUNDS PER LINEAL FOOT OR 200-POUND CONCENTRATED LOAD, WHICHEVER IS GREATER, APPLIED AT ANY POINT AND IN ANY DIRECTION. THESE LIVE LOADS NEED NOT BE ASSUMED TO ACT

GUARDRAILS: A LIVE LOAD OF 200-POUND CONCENTRATED LOAD, APPLIED AT ANY POINT AND IN ANY DIRECTION TO TOP RAIL, AND 50-POUND CONCENTRATED LOAD APPLIED ON A 1-SQUARE-FOOT AREA AT ANY POINT FOR REMAINING GUARDRAIL INFILL COMPONENTS. THESE LIVE LOADS NEEDS NOT BE ASSUMED TO ACT CONCURRENTLY, EXTERIOR GUARDRAILS SHALL BE DESIGNED TO RESIST APPLICABLE COMPONENTS & CLADDING WIND LOADS IN CONJUNCTION WITH THE LIVE LOADS LISTED ABOVE.

B. PROVIDE HANGERS, CLIP ANGLES, ETC., AS REQUIRED FOR CONNECTION OF STAIR FRAMING TO SURROUNDING FRAMING. SUBMIT SHOP AND ERECTION DRAWINGS INDICATING FRAMING SIZES AND WOOD GRADES AS WELL AS CONNECTIONS OF STAIR COMPONENTS.

6.7 STEEL

- THE STRUCTURAL STEEL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ANCHOR BOLT LOCATIONS, ELEVATION OF TOP OF CONCRETE AND BEARING PLATES, ALIGNMENT ETC. PRIOR TO START OF STEEL ERECTION.
- THE LATEST EDITION OF THE FOLLOWING SPECIFICATIONS SHALL GOVERN:
 A. AISC "ALLOWABLE STRESS DESIGN SPECIFICATION FOR STRUCTURAL, STEEL BUILDINGS".
 B. AISC "CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES".
 C. AWS "D1.1 STRUCTURAL WELDING CODE STEEL".
- 3. MATERIAL, UNLESS OTHERWISE NOTED, SHALL CONFORM TO THE FOLLOWING ASTM SPECIFICATIONS

STRUCTURAL WIDE FLANGE & M SHAPES OTHER STRUCTURAL SHAPES AND PLATES STRUCTURAL TUBING HIGH STRENGTH BOLTS THREADED RODS ANCHOR BOLTS PIPE (HANDRAIL) PIPE (COLUMN)

A992 OR A572 Fy = 50KSI A36, Fy = 36 KSI A500, GRADE B Fy = 46 KSI A325, GRADE BC A325, GRADE BC A325, GRADE BC SCH 80 PIPE

- ALL WELDING SHALL BE IN ACCORDANCE WITH AWS D1.1 USING E70XX ELECTRODES. UNLESS OTHERWISE NOTED PROVIDE CONTINUOUS MINIMUM SIZED FILLET WELDS PER AISC REQUIREMENT.
- HOLES IN STEEL SHALL BE DRILLED OR PUNCHED. ALL SLOTTED HOLES SHALL BE PROVIDED WITH SMOOTH EDGES. BURNING OF HOLES AND TORCH CUTTING AT THE SITE IS NOT PERMITTED. ALL HOLES IN BEARING PLATES SHALL BE DRILLED.
- 6. ALL STEEL TO BE HOT-DIPPED GALVANIZED AFTER FABRICATION PER ASTM A123.
- 7. EPOXY ANCHORS TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
- 8. ALL BOLTS SHALL BE TIGHTENED USING TURN-OF-THE-NUT METHOD PER AISC SPECIFICATIONS USING STANDARD HOLES.
- 9. CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS AND FIT PRIOR TO FABRICATION.
- 10. THE FABRICATOR SHALL FURNISH CHECKED SHOP AND ERECTION DRAWINGS TO THE ENGINEER. AND OBTAIN APPROVAL PRIOR TO FABRICATING ANY STRUCTURAL STEEL SHOP DRAWINGS SHALL CONFORM TO AISC "DETAILING FOR STEEL CONSTRUCTION".

(OWNER)

RONALD S TR. LEVINE

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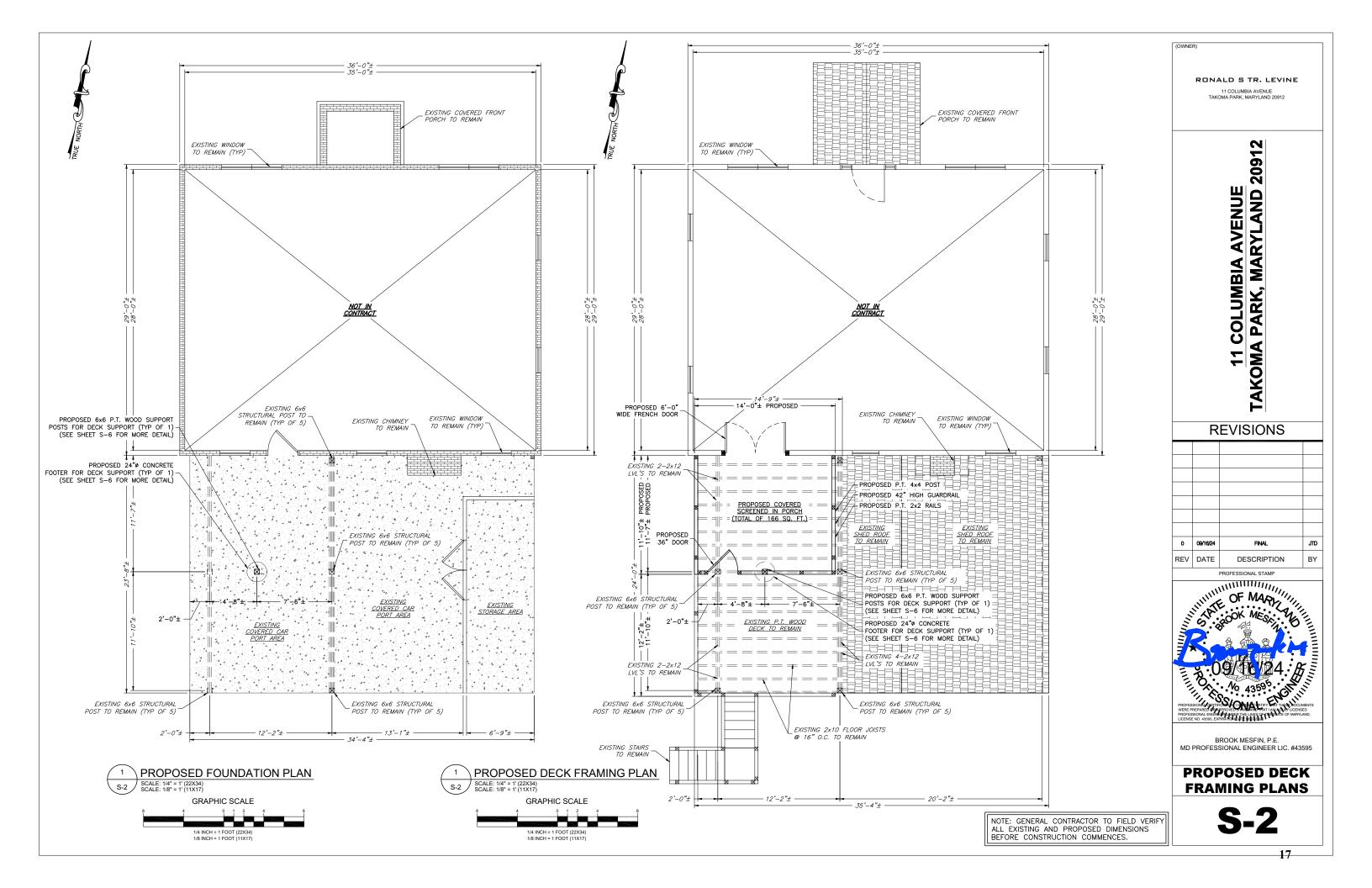
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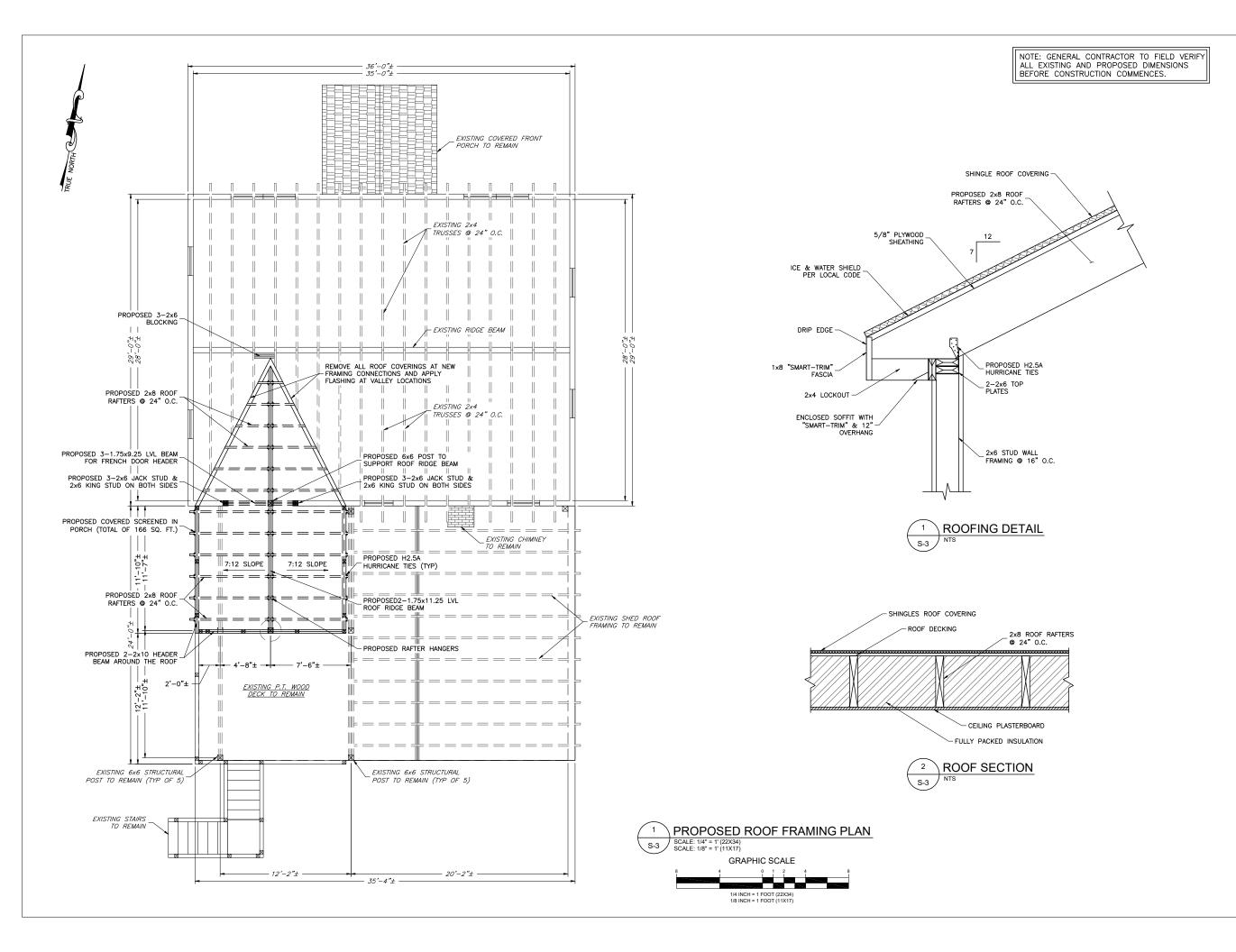
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STRUCTURAL NOTES





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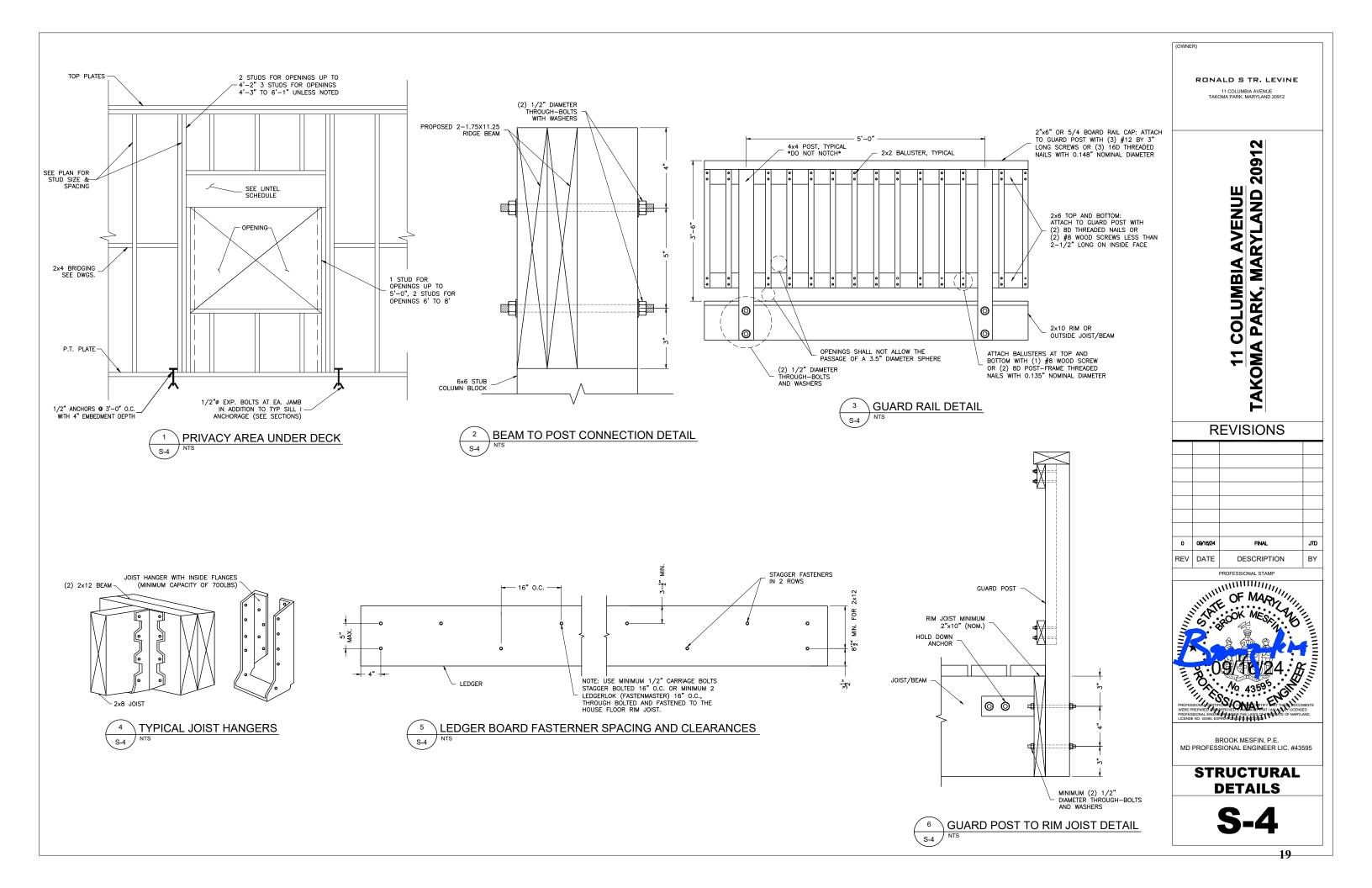
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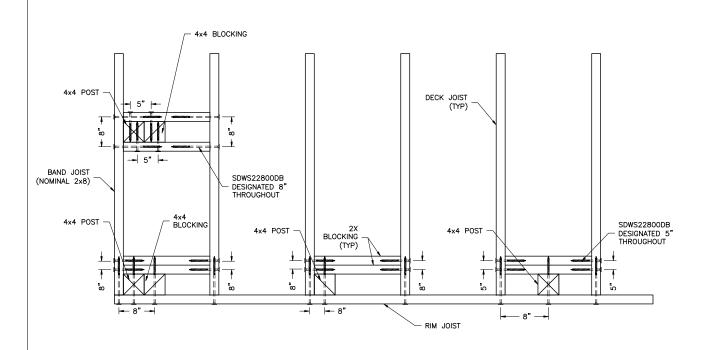
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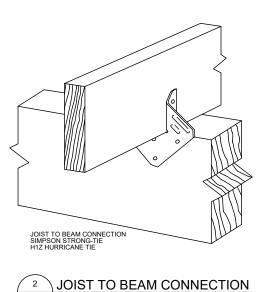
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PROPOSED ROOF **FRAMING PLAN**

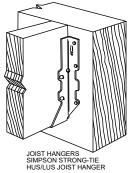




INTERNAL POST TO FLOOR JOIST CONNECTION

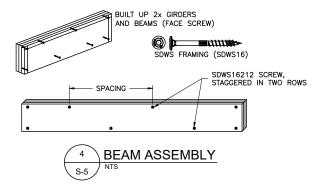


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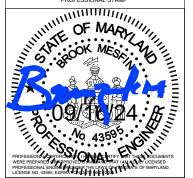
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CONNECTION DETAILS

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FOUNDATION CONCRETE

- WORK SHALL BE IN ACCORDANCE WITH THE LATEST VERSION OF ACI 318 BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE SPECIFICATIONS.
- PROPORTIONS OF CONCRETE MATERIALS SHALL BE SUITABLE FOR THE INSTALLATION METHOD UTILIZED AND SHALL RESULT IN DURABLE CONCRETE FOR RESISTANCE TO LOCAL ANTICIPATED AGGRESSIVE ACTIONS. THE DURABILITY 2. REQUIREMENTS OF ACI 318 CHAPTER 4 SHALL BE SATISFIED BASED ON THE CONDITIONS EXPECTED AT THE SITE. AS A MINIMUM, CONCRETE SHALL DEVELOP A COMPRESSIVE STRENGTH OF 4000 PSI IN 28 DAYS.
- 3. CONCRETE SHALL BE PLACED IN A MANNER THAT WILL PREVENT SEGREGATION OF CONCRETE MATERIALS, INFILTRATION OF WATER OR SOL, AND OTHER OCCURRENCES THAT MAY DECREASE THE STRENGTH OR DURABILITY OF 4.
- 4. LOOSE MATERIAL SHALL BE REMOVED FROM BOTTOM OF EXCAVATION PRIOR TO CONCRETE PLACEMENT. CONCRETE SHALL BE PLACED ON UNDISTURBED SOIL, AND LOOSE CUTTINGS SHALL BE REMOVED FROM SIDES OF EXCAVATION PRIOR TO CONCRETE PLACEMENT. UNDER NO CIRCUMSTANCES SHALL CONCRETE FALL THROUGH WATER.
- IN COLD WEATHER CONDITIONS, WORK SHALL BE IN ACCORDANCE WITH ACI 306.1-90 (REAPPROVED 2002). SEE ACI 306 FOR DESCRIPTION OF COLD WEATHER CONDITIONS.
- 6. SULFATE RESISTANT CEMENT SHALL BE USED IN AREAS WHICH ARE KNOWN TO HAVE HIGH SULFATES IN SOIL AND GROUND WATER.

FOUNDATION REINFORCEMENT

- 1. REINFORCEMENT SHALL BE DEFORMED AND CONFORM TO THE REQUIREMENTS OF ASTM A615 GRADE 60 UNLESS OTHERWISE NOTED, SPLICES IN REINFORCEMENT SHALL NOT BE ALLOWED UNLESS OTHERWISE NOTED.
- REINFORCEMENT SHALL BE PROPERLY PLACED PRIOR TO ANY CONCRETE PLACEMENT. REINFORCING SHALL BE BRACED TO RETAIN PROPER DIMENSIONS DURING HANDLING AND THROUGHOUT PLACEMENT OF CONCRETE.
- 3. WELDING IS PROHIBITED ON REINFORCING STEEL AND EMBEDMENTS, UNLESS
- MINIMUM CONCRETE COVER FOR REINFORCEMENT SHALL BE 3 INCHES. REBAR CHAIRS MUST BE USED TO ENSURE THE 3 INCH MINIMUM COVER. CONCRETE BLOCKS ARE NOT TO BE USED TO OBTAIN MINIMUM COVER.

FOUNDATION NOTES

- ALL WORK SHALL BE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL CODES AND ORDINANCES.
- PROCEDURES FOR THE PROTECTION OF EXCAVATIONS, EXISTING CONSTRUCTION AND UTILITIES SHALL BE ESTABLISHED PRIOR TO FOUNDATION INSTALLATION.
- THE CONTRACTOR MUST HAVE EXPERIENCE IN PERFORMANCE OF WORK DESCRIBED HEREIN. BY ACCEPTANCE OF THIS ASSIGNMENT, THE CONTRACTOR IS ATTESTING THAT THEY HAVE SUFFICIENT EXPERIENCE, ABILITY, AND KNOWLEDGE OF WORK TO BE PERFORMED AND THAT THEY ARE PROPERLY LICENSED, REGISTERED, AND/OR ENSURED TO PERFORM THIS WORK.
- CONTRACTOR IS SOLELY RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION, INCLUDING BUT NOT LIMITED TO, INITIATING, MAINTAINING, LAYOUT, AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK. CONTRACTOR IS SOLELY RESPONSIBLE FOR ENSURING THE WORK COMPLIES WITH ALL APPLICABLE SAFETY CODES AND REGULATIONS.
- ALL DIMENSIONS AND/OR ELEVATIONS, OR SIMILAR EXISTING CONDITIONS SHOWN ON THE DRAWING ARE TO BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO THE BEGINNING ANY ORDERING, FABRICATION, OR CONSTRUCTION WORK. ANY DISCREPANCIES ARE TO BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER/OWNER DISCREPANCIES MUST BE RESOLVED BEFORE CONTRACTOR IS TO PROCEED WITH THE WORK.
- 6. THOROUGHLY COMPACT ALL FOOTING EXCAVATIONS PRIOR TO PLACING ANY
- 7. FOUNDATION SUB-GRADE SOIL SHALL HAVE A MINIMUM BEARING CAPACITY OF 2000 PSF.

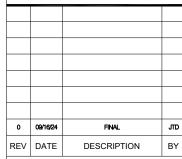
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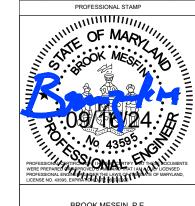
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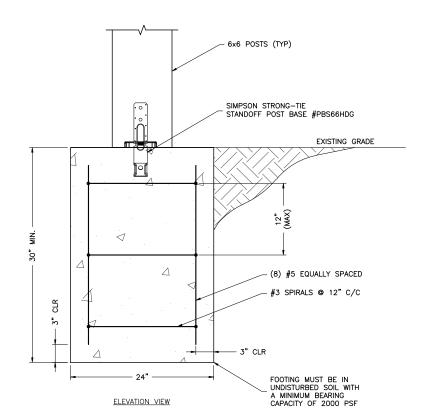


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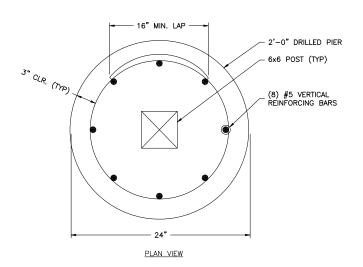


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FOUNDATION DETAILS & NOTES



NOTE: ALL WOOD TO BE PRESSURE TREATED.



FOUNDATION DETAIL FOR DECK





DEPARTMENT OF PERMITTING SERVICES

Marc Elrich
County Executive

Rabbiah Sabbakhan *Director*

HISTORIC AREA WORK PERMIT APPLICATION

Application Date: 9/17/2024

Application No: 1086775

AP Type: HISTORIC Customer No: 1356540

Affidavit Acknowledgement

The Contractor is the Primary applicant authorized by the property owner This application does not violate any covenants and deed restrictions

Primary Applicant Information

Address 11 COLUMBIA AVE

TAKOMA PARK, MD 20912

Othercontact Hernandez (Primary)

Historic Area Work Permit Details

Work Type ADD

Scope of Work Adding a covered screened-in porch to an existing deck at the rear of home.