

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	11 Columbia Avenue, Takoma Park	Meeting Date:	10/9/2024
Resource:	Non-Contributing Resource Takoma Park Historic District	Report Date:	10/2/2024
Applicant:	Ronald Levine Juan Hernandez, Agent	Public Notice:	9/25/2024
Review:	HAWP	Tax Credit:	n/a
Permit Number:	1086775	Staff:	Dan Bruechert
Proposal:	Construction of Screened-In Porch		

STAFF RECOMMENDATION

Staff recommends that the Historic Preservation Commission (HPC) **approve with one condition** the HAWP application with final approval authority delegated to staff:

1. Detailed door specifications must be submitted to Staff for review and approval before the final approval documents can be released.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Non-Contributing Resource within the Takoma Park Historic District
STYLE: Colonial Revival
DATE: c.1977

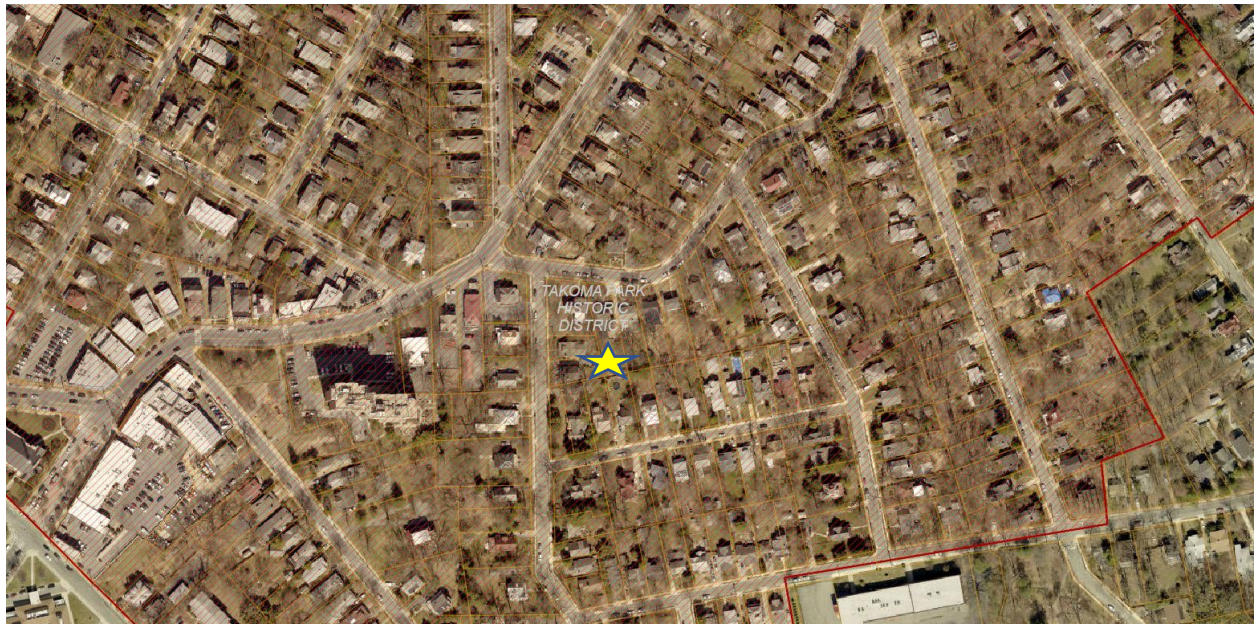


Figure 1: The subject property is located in the middle of the block on Columbia Ave.

PROPOSAL

The applicant proposes to enclose a portion of the rear deck to create a screened-in porch.

APPLICABLE GUIDELINES

When reviewing alterations and additions for new construction to Contributing Resources within the Takoma Park Historic District, decisions are guided by the Takoma Park Historic District Design Guidelines (*Design Guidelines*) and Montgomery County Code Chapter 24A (*Chapter 24A*) and the Secretary of the Interior's Standards for Rehabilitation (*The Standards*).

Takoma Park Historic District Design Guidelines

There are two very general, broad planning and design concepts which apply to all categories. These are:

The design review emphasis will be restricted to changes that are at all visible from the public right-of-way, irrespective of landscaping or vegetation (it is expected that the majority of new additions will be reviewed for their impact on the overall district), and,

The importance of assuring that additions and other changes to existing structures act to reinforce and continue existing streetscape, landscape, and building patterns rather than to impair the character of the district.

Non-Contributing/Out-of-Period Resources should receive the most lenient level of design review. Most alterations and additions to Non-Contributing/Out-of-Period Resources should be approved as a matter of course. The only exceptions would be major additions and alterations to the scale and massing of Non-Contributing/Out-of-Period Resources which affect the surrounding streetscape and/or landscape and could impair character of the district as a whole.

Montgomery County Code, Chapter 24A Historic Resources Preservation

(b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:

- (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
- (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or

(d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

Secretary of the Interior's Standards for Rehabilitation

2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials,

features, size, scale and proportions, and massing to protect the integrity of the property and its environment.

10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

The subject property is a two-story, side-gable house with a brick first floor and aluminum siding covering the second floor. At the rear of the house, there is a wood deck with a pergola that creates a carport below. The applicant proposes to remove the pergola and to enclose a portion of the deck to create a screened-in porch. Minor modifications are proposed to the existing deck structure, but those changes will not be visible from the right-of-way.

Additionally, the applicant proposes to remove the existing rear glass door and replace it with a pair of multilight French Doors. All of the changes are at the rear and will not be at all visible from the public right-of-way.

The proposed screened-in porch will create 166 ft² (one hundred sixty-six square feet) of enclosed space. The enclosed area will be 14' 9" × 11' 10" (fourteen feet, nine inches wide by eleven feet, ten inches deep). The rear-facing gable roof will be supported by wood posts and will be covered in architectural shingles. At the rear of the screened-in porch, there will be a 36" (thirty-six inch wide) wood-framed screen door. The gable ridge will be approximately 18" (eighteen inches) lower than the house gable ridge. Staff finds the proposed screened-in porch is compatible with the character of the house and will not detract from the character of the property or surrounding district. Additionally, Staff finds wood is the appropriate material for a screened-in porch in the Takoma Park Historic District. Staff supports the proposed screened-in porch under the *Design Guidelines*, 24A-8(b)(2) and (d), and Standards 2, 9, and 10.

At the rear of the house, there is a single swing glass door with a stationary panel. The applicant proposes to replace this door with a pair of French doors with a matching 3 × 5 light pattern. Material specifications for the proposed French doors were not included in the application materials. The size of the opening will not change. Staff finds removing and replacing the door will not impact any historic fabric, and as this is on the rear, will result in not visual change to the resource. Staff recommends the HPC approve the door replacement and add a condition that the applicant provide detailed door specifications to Staff for review and approval before approval documents can be released. With the recommended condition, Staff finds the door replacement is appropriate under the *Design Guidelines*; 24A-8(b)(2) and (d); and Standards 2, 9, and 10.

STAFF RECOMMENDATION

Staff recommends that the Commission **approve with one condition** the HAWP with final approval authority delegated to staff:

1. Detailed door specifications must be submitted to Staff for review and approval before the final approval documents can be released; under the Criteria for Issuance in Chapter 24A-8(b)(2), and (d), having found that the proposal, as modified by the condition, is consistent with the *Takoma Park Historic District Guidelines* and the purposes of Chapter 24A;

and with the *Secretary of the Interior's Standards for Rehabilitation* #2, #9, and #10.

and with the general condition that the applicant shall present an electronic set of drawings, if

applicable, to Historic Preservation Commission (HPC) staff for review and stamping prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make any alterations to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or dan.bruechert@montgomeryplanning.org to schedule a follow-up site visit.



APPLICATION FOR HISTORIC AREA WORK PERMIT HISTORIC PRESERVATION COMMISSION 301.563.3400

FOR STAFF ONLY: HAWP# 1086775 DATE ASSIGNED

APPLICANT:

Name: Ronald Levine

E-mail: RonSLevine@verizon.net

Address: 11 Columbia Ave

City: Takoma Park Zip: 20912

Daytime Phone: 301-613-0904

Tax Account No.: 01060590

AGENT/CONTACT (if applicable):

Name: Juan Hernandez

E-mail: Juan@Rozaic.com

Address: 310 Springloch Rd

City: Silver Spring Zip: MD

Daytime Phone: 301-569-3575

Contractor Registration No.: 1356540

LOCATION OF BUILDING/PREMISE: MIHP # of Historic Property M:37-3

Is the Property Located within an Historic District? X Yes/District Name Takoma Park Historic District No/Individual Site Name

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application. No

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information. No

Building Number: Street:

Town/City: Nearest Cross Street:

Lot: Block: Subdivision: Parcel:

TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:

- Checklist of work types: New Construction, Addition, Demolition, Grading/Excavation, Deck/Porch, Fence, Hardscape/Landscape, Roof, Shed/Garage/Accessory Structure, Solar, Tree removal/planting, Window/Door, Other.

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent Date 5

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
 [Owner, Owner's Agent, Adjacent and Confronting Property Owners]

<p>Owner's mailing address</p> <p>Ronald Levine 11 Columbia Ave, Takoma Park, MD 20912</p>	<p>Owner's Agent's mailing address</p> <p>Juan Hernandez 310 Springloch Rd, Silver Spring, MD 20904</p>
<p align="center">Adjacent and confronting Property Owners mailing addresses</p>	
<p>7 Columbia Avenue, Takoma Park MD 20912</p> <p>8 Columbia Avenue, Takoma Park MD 20912</p> <p>13 Columbia Avenue, Takoma Park MD 20912</p>	<p>8 Montgomery Avenue, Takoma Park MD 20912</p> <p>10 Montgomery Avenue, Takoma Park MD 20912</p> <p>12 Montgomery Avenue, Takoma Park MD 20912</p>

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

The home is a typical 1970's split level rancher built in 1977; with a gabled brick main entrance and a large deck/ car port and shed added to the home at some point. The lower half of the home is parged block foundation and the top is metal siding. The home has double hung windows and vinyl shutters.

Description of Work Proposed: Please give an overview of the work to be undertaken:

Adding a gabled roof, screened-in porch to roughly half of the existing deck structure at the rear of the home.

Work Item 1: Screened-in porch addition

Description of Current Condition:

 A single swing door with a stationary panel (3x5 lites) leads to the deck. The current 14'9" x 24'x0" pressure treated deck is in sound structural conditions. It has a membrane floor that serves as a roof for the car port underneath. There is an existing weathered pergola. The home has parged block foundation and 5" metal siding on the second level.

Proposed Work:

 The sliding glass door will be replaced with a new french door that will match the existing 3x5 lite doors. The pergola will be removed to give way to the proposed 11'10" x 14'0" covered screened-in porch with a gabled roof. The structure of the screened-in porch will consist of pressure treated posts, wrapped with painted trim boards. The roof will match the rest of the home, 3 tab shingle. Screens will be black mesh with aluminum trim.

Work Item 2: _____

Description of Current Condition:

Proposed Work:

Work Item 3: _____

Description of Current Condition:

Proposed Work:

SCOPE AND PURPOSE OF PROJECT:
 RENOVATING A SINGLE FAMILY HOUSE TO INCLUDE ADDING A COVERED SCREENED IN PORCH TO AN EXISTING DECK FROM GRADE.

CONTRACTOR TO REMOVE THE FOLLOWING:
 1. EXISTING WOODEN PERGOLA PER THE ARCHITECTURAL PLANS.
 2. EXISTING PATIO DOORS PER THE ARCHITECTURAL PLANS.
 3. EXISTING ROOF FRAMING PER THE STRUCTURAL PLANS.

CONTRACTOR TO INSTALL THE FOLLOWING:
 1. NEW FRENCH DOORS PER THE ARCHITECTURAL PLANS.
 2. NEW P.T. 6x6 POST AND CONCRETE FOOTER PER THE ARCHITECTURAL AND STRUCTURAL PLANS.
 3. NEW 11'-10"x14'-0" COVERED SCREENED IN PORCH PER THE ARCHITECTURAL AND STRUCTURAL PLANS.
 4. NEW ROOF FRAMING PER THE STRUCTURAL PLANS.

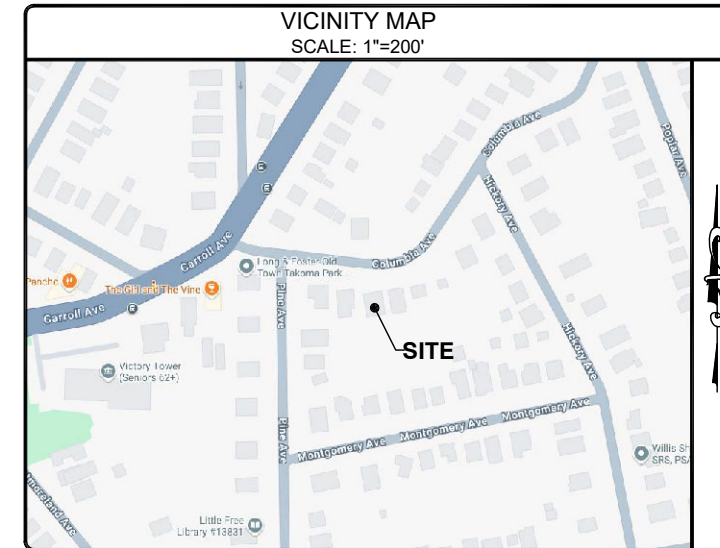
RENOVATING A SINGLE FAMILY HOUSE TO INCLUDE ADDING A COVERED SCREENED IN PORCH TO AN EXISTING DECK FROM GRADE

**11 COLUMBIA AVENUE
 TAKOMA PARK, MARYLAND 20912
 MONTGOMERY COUNTY, MARYLAND**

RONALD S. TR. LEVINE
 DISTRICT: 13 ACCOUNT #: 01060590
 11 COLUMBIA AVENUE
 TAKOMA PARK, MARYLAND 20912
 AREA: 0.22AC± ACRES
 ZONING: R-60

ABBREVIATIONS

A/C	AIR CONDITIONING	CAB	CABINET	E	EAST	HC	HOLLOW CORE
AC	ACOUSTICAL	CER	CERAMIC	EA	EACH	HGHT	HEIGHT
ADJ	ADJACENT	CJT	CONTROL JOINT	ELEC	ELECTRIC	HM	HOLLOW METAL
AFF	ABOVE FINISH FLOOR	CLO	CLOSET	ELEV	ELEVATION	HVAC	HEATING VENTILATION/ AIR CONDITIONING
AH	AIR HANDLER	CLG	CEILING	EOC	EVERY OTHER COURSE	ID	INSIDE DIAMETER
AI	AIR INTAKE	CMU	CONCRETE MASONRY UNIT	EWC	ELECTRIC WATERCOOLER	INS	INSULATION
ALT	ALTERNATE	CO	CLEAN OUT	EXH	EXHAUST	INT	INTERIOR
ALU/VI	ALUMINUM	COL	COLUMN	EXP	EXPANSION	JB	JUNCTION BOX
AP	ACCESS PANEL	CONC	CONCRETE	EXP JT	EXPANSION JOINT	JT	JOINT
ARCH	ARCHITECTURAL	COND	CONDENSOR	EQ	EQUAL	LAM	LAMINANT
ASPH	ASPHALT	CONST	CONSTRUCTION	EXSTG	EXISTING	LAV	LAVATORY
ATTN	ATTENUATION	CONT	CONTINUOUS	EXT	EXTERIOR	LB	POUND
		CONV	CONVECTOR			LT	LIGHT
		CPT	CARPET			LVR	LOUVER
BB	BLACKBOARD			FC	FIRE CODE	MAX	MAXIMUM
BC	BRICK COURSE			FD	FLOOR PLAN	MECH	MECHANICAL
BD	BOARD	DEM	DEMOLISH	FEC	FIRE EXTINGUISHER CABINET	MIN	MINIMUM
BET	BETWEEN	DJA	DIAMETER	FIN	FINISH	MISC	MISCELLANEOUS
BEY	BEYOND	DIM	DIMENSION	FL	FLOOR	MO	MASONRY OPENING
BIT	BITUMINOUS	DN	DOWN	FT	FOOT	MPH	MILES PER HOUR
BLDG	BUILDING	DP	DAMPProof	FTG	FOOTING	MSNRY	MASONRY
BLK	BLOCK	DTL	DETAIL	FURR	FURRING		
BLKG	BLOCKING	DWG	DRAWING			N	NORTH
BM	BEAM			GA	GAUGE	NO	NUMBER
BSMT	BASEMENT			GAL	GALVANIZED	NTS	NOT TO SCALE
BUR	BUILT UP ROOF			GL	GLASS		
BV	BRICK VENT			GR	GRADE		
				GYP BD	GYPsum BOARD		



ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THE LATEST EDITIONS OF THE FOLLOWING CODES.

- 2018 INTERNATIONAL BUILDING CODE
- 2017 NFPA 70, NATIONAL ELECTRICAL CODE
- 2021 NFPA 101, LIFE SAFETY CODE
- 2018 INTERNATIONAL FIRE CODE
- 2019 ACI 318, BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE
- 2016 ACI 530, BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES
- 2016 AISC 360, SPECIFICATIONS FOR STRUCTURAL STEEL BUILDINGS
- ANSI/TIA-222-G

INDEX OF DRAWINGS

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C-2	PROPOSED FLOOR PLANS
C-3	EXISTING & PROPOSED REAR ELEVATIONS
C-4	EXISTING & PROPOSED SIDE ELEVATIONS
C-5	EXISTING & PROPOSED SIDE ELEVATIONS
S-1	STRUCTURAL NOTES
S-2	PROPOSED FRAMING PLANS
S-3	PROPOSED ROOF FRAMING PLAN
S-4	STRUCTURAL DETAILS
S-5	CONNECTION DETAILS
S-6	WALL BRACING PLAN & DETAILS

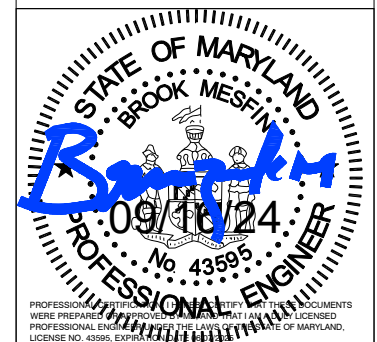
(OWNER)
RONALD S TR. LEVINE
 11 COLUMBIA AVENUE
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REVISIONS

REV	DATE	DESCRIPTION	BY
0	09/16/24	FINAL	JTD

PROFESSIONAL STAMP



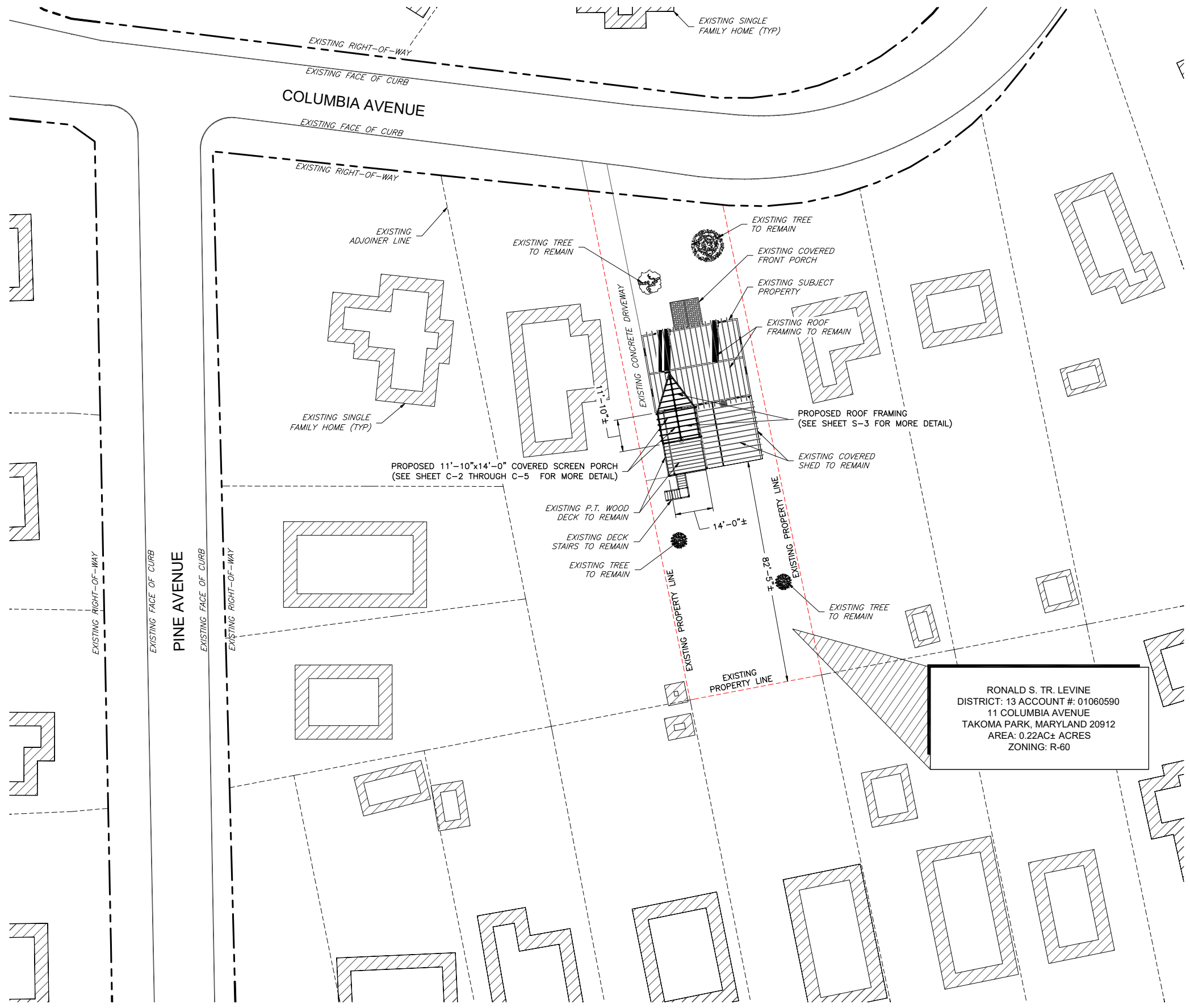
BROOK MESFIN, P.E.
 MD PROFESSIONAL ENGINEER LIC. #43595

TITLE PAGE

T-1

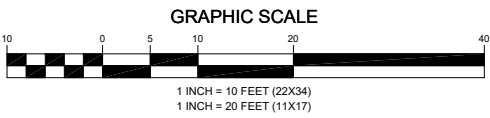
SYMBOLS

LINE TYPES	SECTION LINES AND SECTION REFERENCES	REFERENCE SYMBOLS
<ul style="list-style-type: none"> — (Red) — EXISTING WALL TO BE REMOVED — (Green) — PROPOSED WALL - - - - - PROPERTY LINE - ADJOINER - - - - - RIGHT-OF-WAY — (Wavy) — BREAK LINE - x - x - EXISTING FENCE LINE — (Dashed) — EDGE OF PAVEMENT — (G) — EXISTING U/G GAS LINE — (S) — EXISTING U/G SEWER LINE — (Dashed) — EXISTING U/G STORM DRAIN LINE — (OHW) — EXISTING O/H UTILITY LINE — (W) — EXISTING U/G WATER LINE — (T) — EXISTING U/G TELEPHONE LINE — (E) — EXISTING U/G ELECTRIC LINE 		<ul style="list-style-type: none"> ◇ 1 WALL TYPE ⬡ A WINDOW TYPE ○ 1 DOOR TYPE △ 1 REVISION NUMBER



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1 SITE PLAN
 SP-1
 SCALE: 1" = 10' (22X34)
 SCALE: 1" = 20' (11X17)

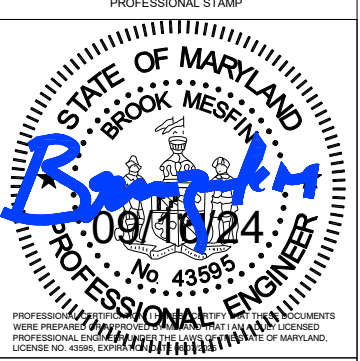


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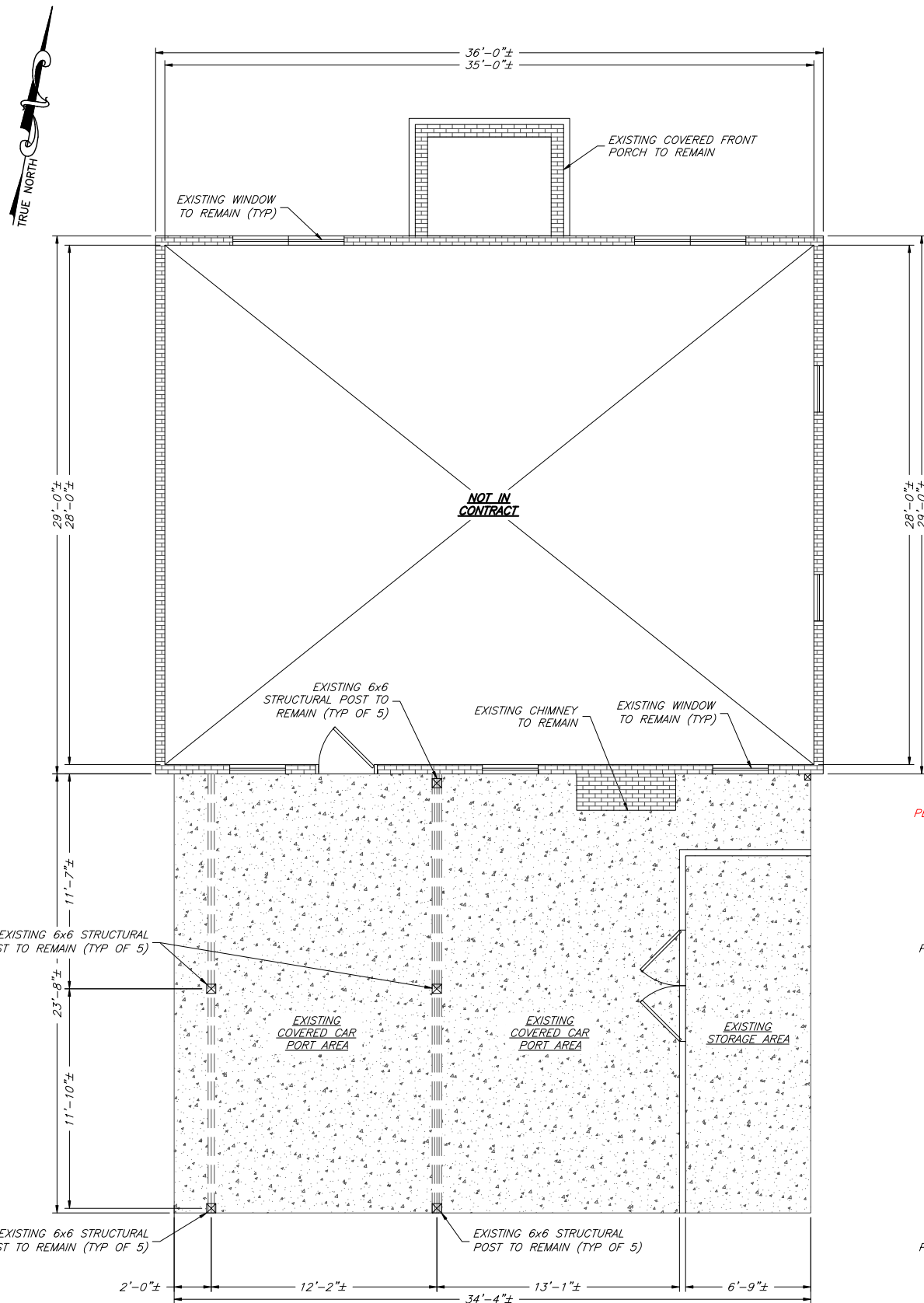
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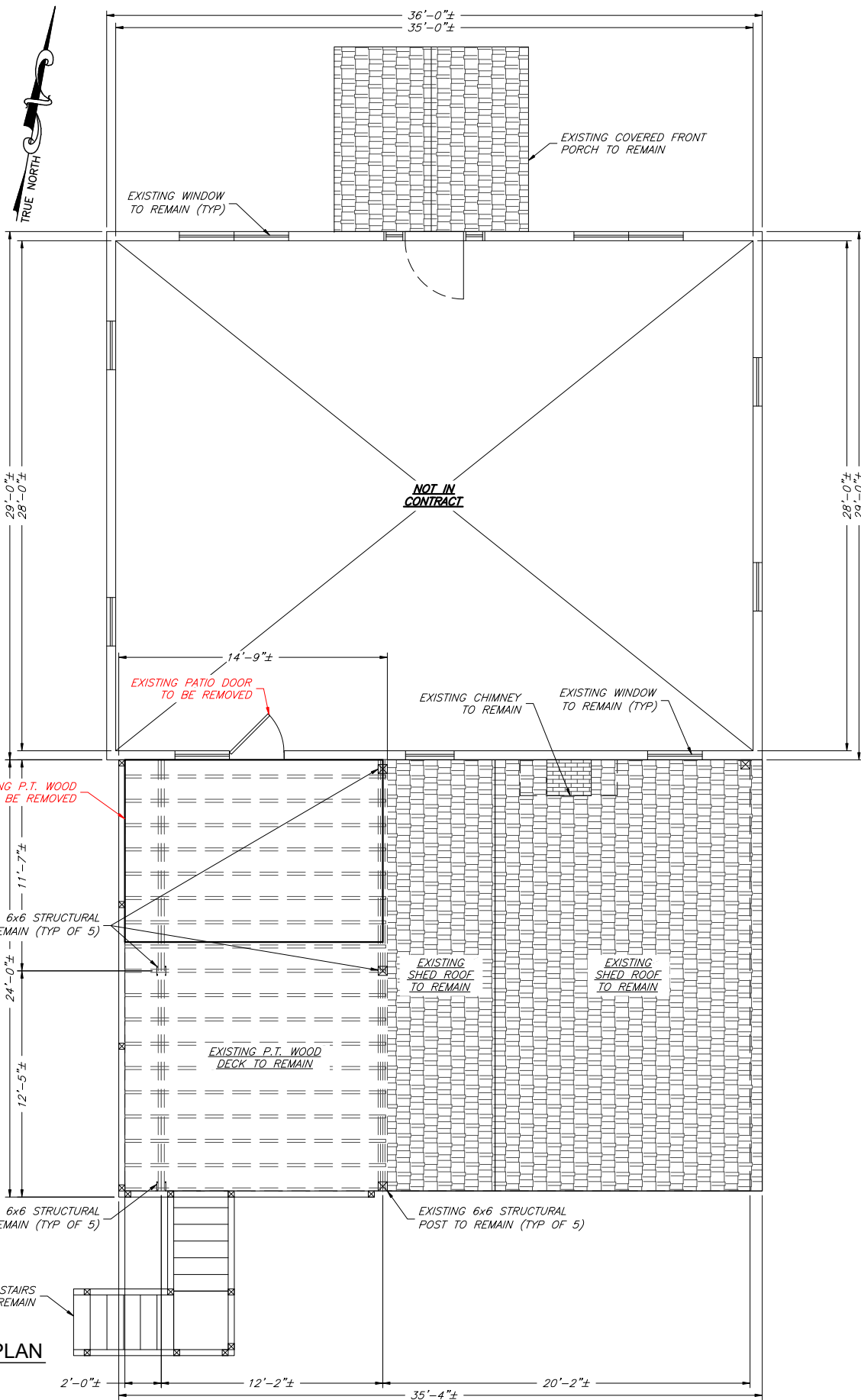
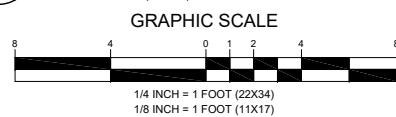


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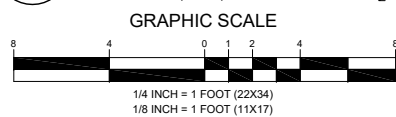
SITE PLAN
SP-1



1 EXISTING FOUNDATION PLAN
SCALE: 1/4" = 1' (22X34)
SCALE: 1/8" = 1' (11X17)



2 EXISTING DECK PLAN
SCALE: 1/4" = 1' (22X34)
SCALE: 1/8" = 1' (11X17)



NOTE: GENERAL CONTRACTOR TO FIELD VERIFY ALL EXISTING AND PROPOSED DIMENSIONS BEFORE CONSTRUCTION COMMENCES.

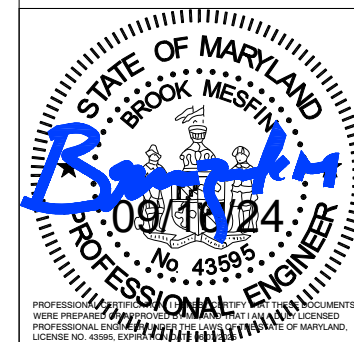
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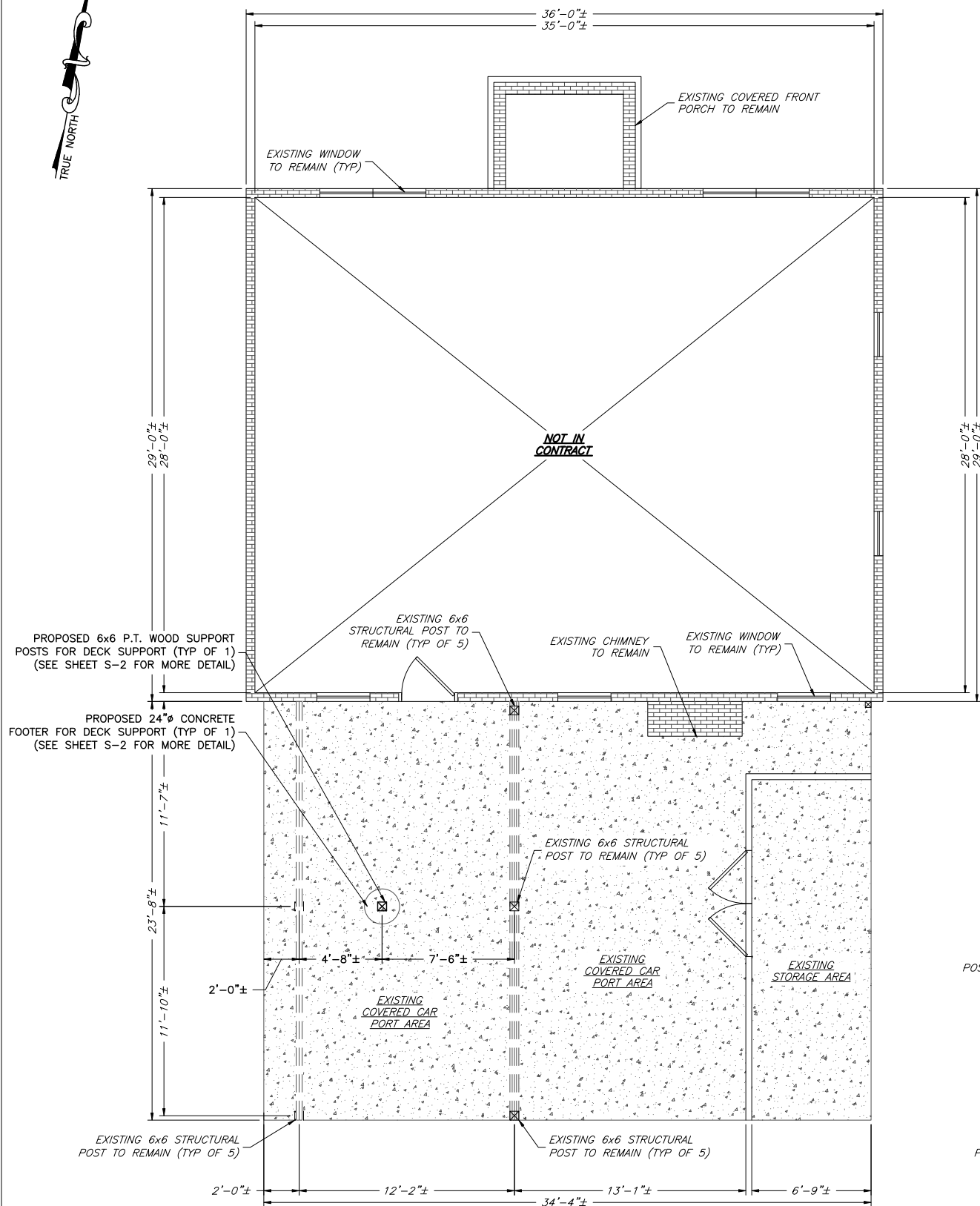
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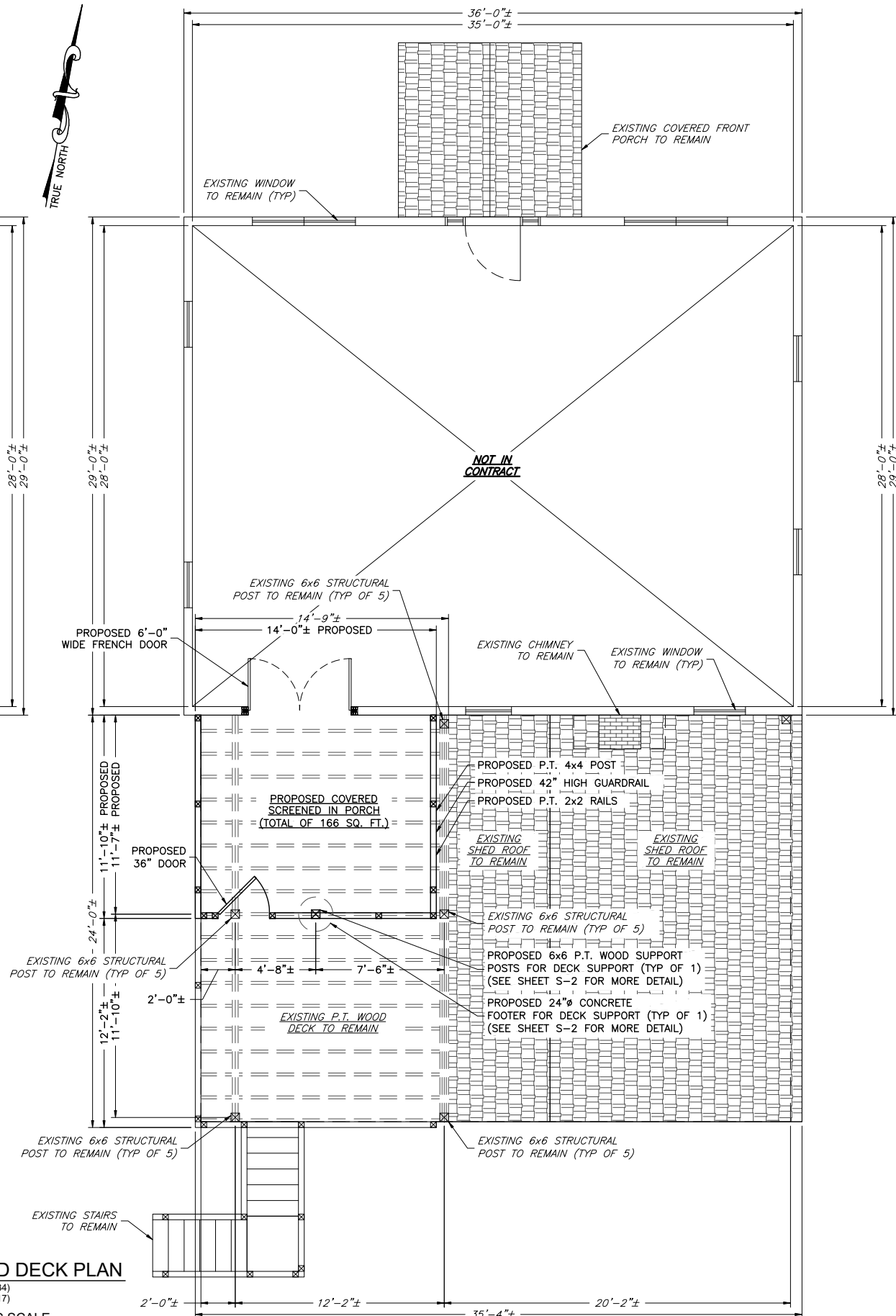
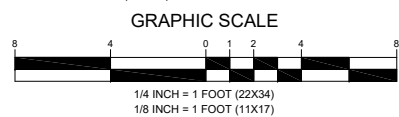
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**EXISTING
FLOOR PLANS**

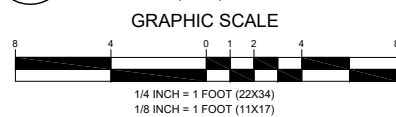
C-1



1 PROPOSED FOUNDATION PLAN
SCALE: 1/4" = 1' (22X34)
SCALE: 1/8" = 1' (11X17)



2 PROPOSED DECK PLAN
SCALE: 1/4" = 1' (22X34)
SCALE: 1/8" = 1' (11X17)



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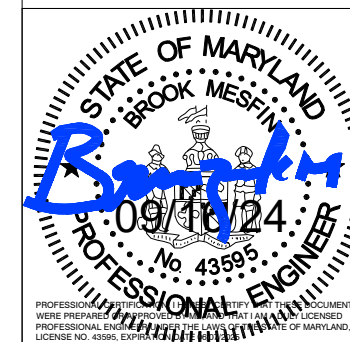
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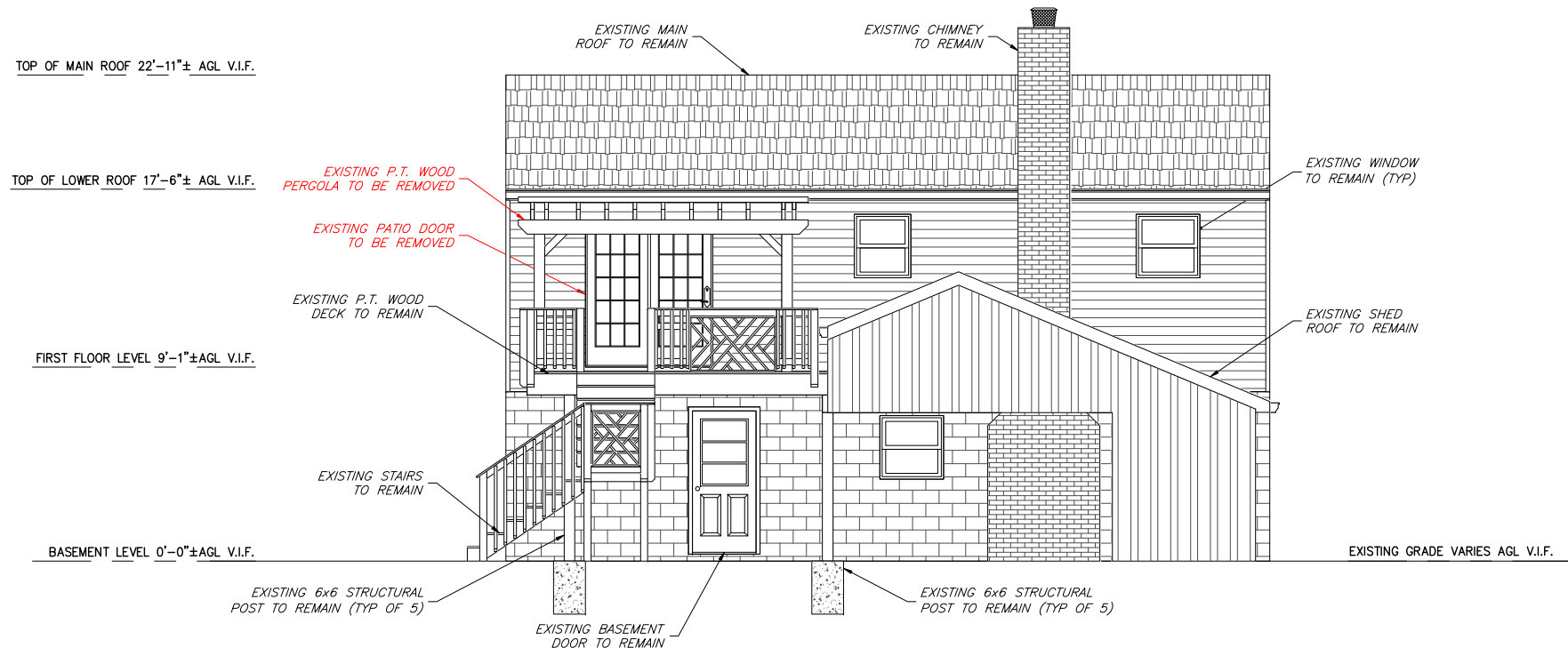
**PROPOSED
FLOOR PLANS**

C-2

NOTE: GENERAL CONTRACTOR TO FIELD VERIFY ALL EXISTING AND PROPOSED DIMENSIONS BEFORE CONSTRUCTION COMMENCES.

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 TAKOMA PARK, MARYLAND 20912

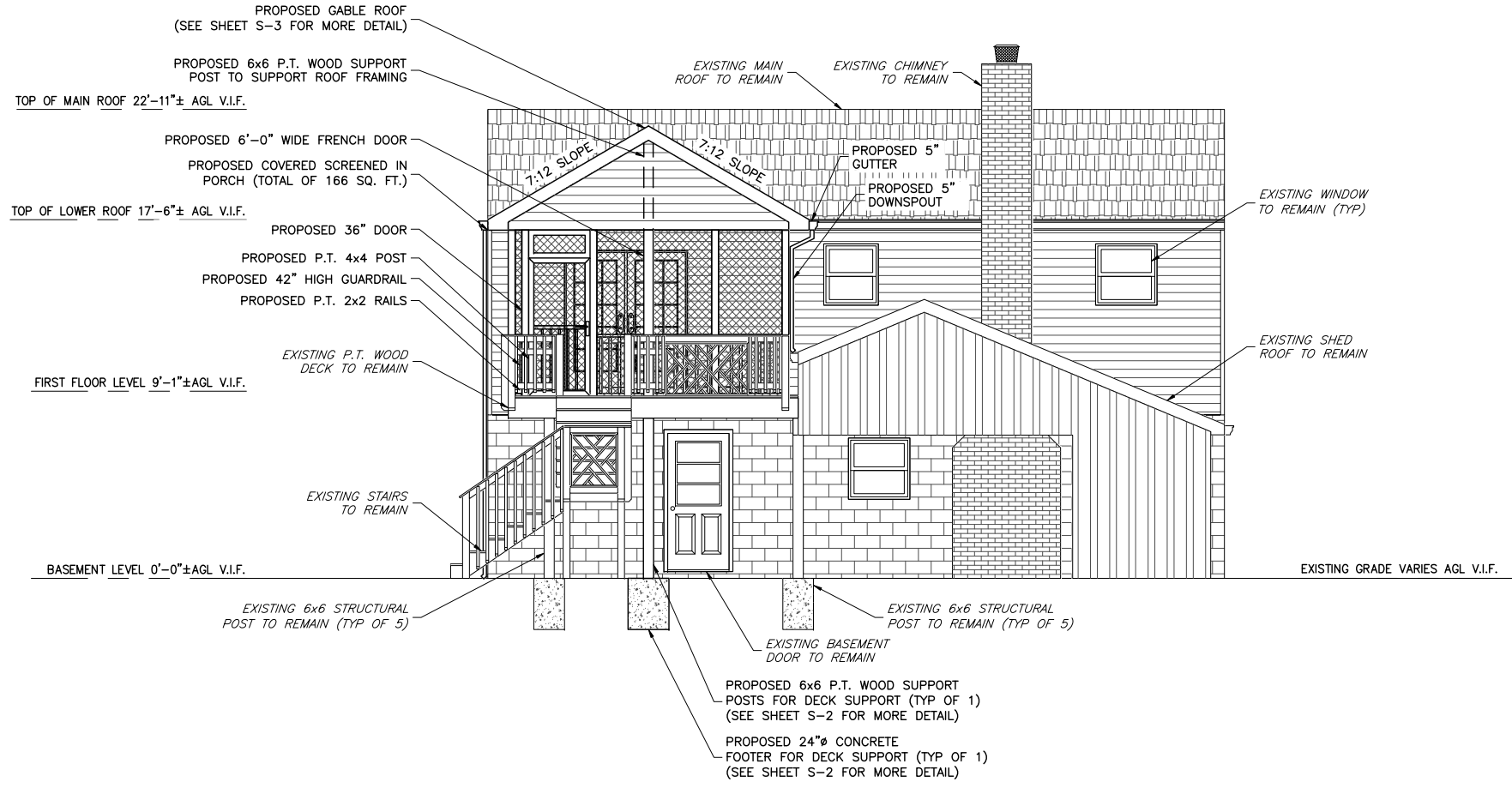
**11 COLUMBIA AVENUE
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1 EXISTING REAR ELEVATION
 SCALE: 1/4" = 1' (22X34)
 SCALE: 1/8" = 1' (11X17)
 GRAPHIC SCALE
 1/4 INCH = 1 FOOT (22X34)
 1/8 INCH = 1 FOOT (11X17)

REVISIONS

REV	DATE	DESCRIPTION	BY
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2 PROPOSED REAR ELEVATION
 SCALE: 1/4" = 1' (22X34)
 SCALE: 1/8" = 1' (11X17)
 GRAPHIC SCALE
 1/4 INCH = 1 FOOT (22X34)
 1/8 INCH = 1 FOOT (11X17)

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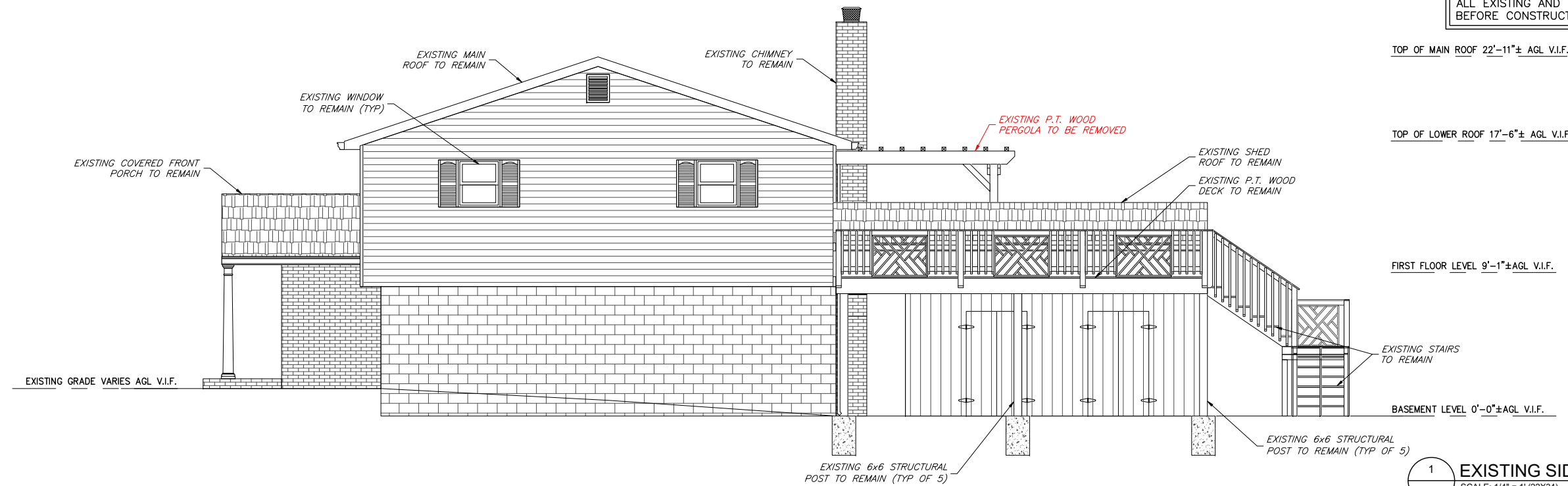
EXISTING & PROPOSED REAR ELEVATIONS

C-3

NOTE: GENERAL CONTRACTOR TO FIELD VERIFY ALL EXISTING AND PROPOSED DIMENSIONS BEFORE CONSTRUCTION COMMENCES.

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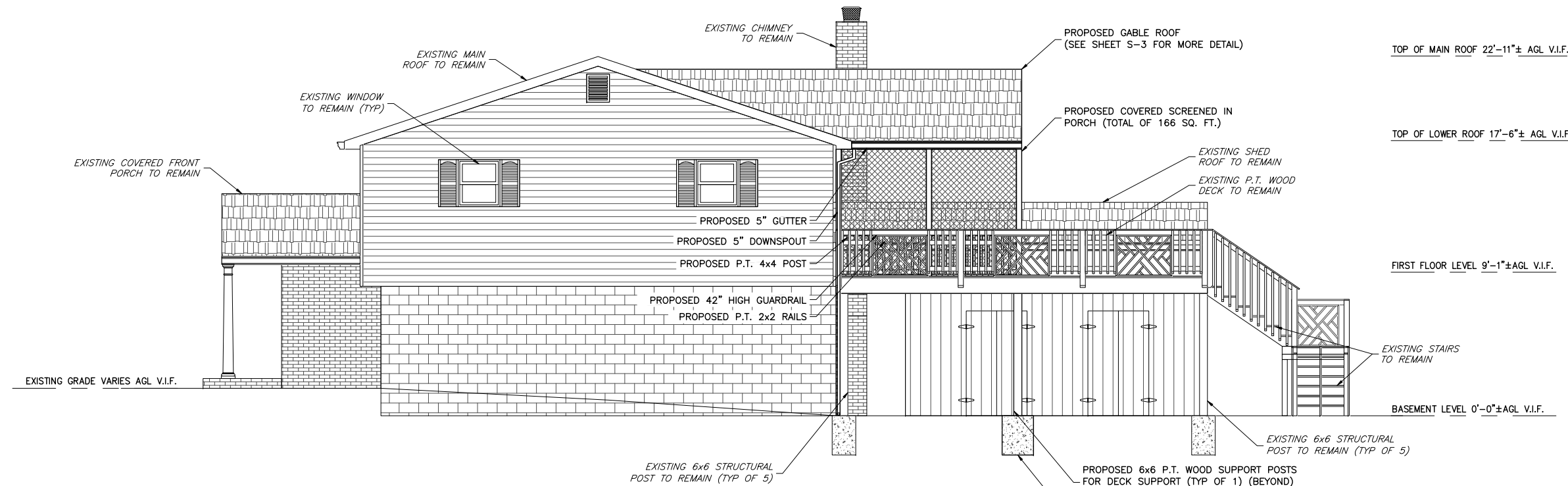
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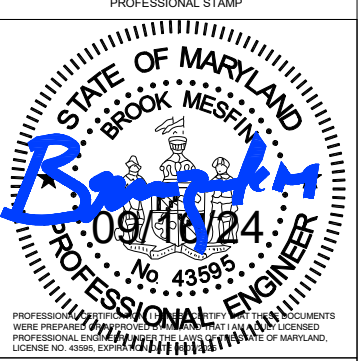
1 EXISTING SIDE ELEVATION
 SCALE: 1/4" = 1' (22X34)
 SCALE: 1/8" = 1' (11X17)
 GRAPHIC SCALE
 1/4 INCH = 1 FOOT (22X34)
 1/8 INCH = 1 FOOT (11X17)

REVISIONS

REV	DATE	DESCRIPTION	BY
0	09/16/24	FINAL	JTD



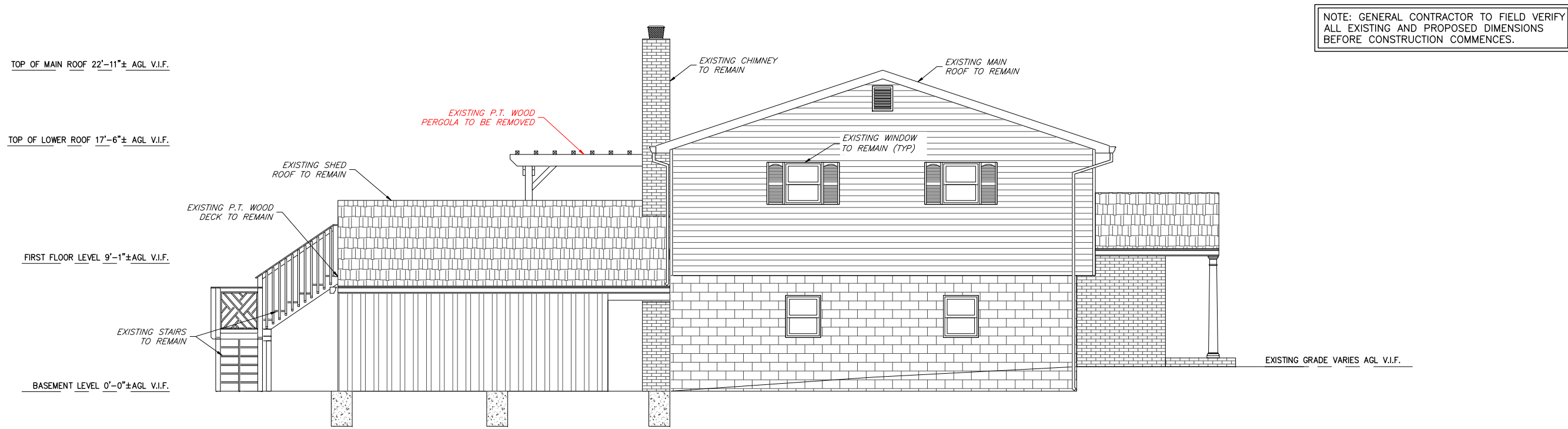
2 PROPOSED SIDE ELEVATION
 SCALE: 1/4" = 1' (22X34)
 SCALE: 1/8" = 1' (11X17)
 GRAPHIC SCALE
 1/4 INCH = 1 FOOT (22X34)
 1/8 INCH = 1 FOOT (11X17)



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EXISTING & PROPOSED SIDE ELEVATIONS

C-4



NOTE: GENERAL CONTRACTOR TO FIELD VERIFY ALL EXISTING AND PROPOSED DIMENSIONS BEFORE CONSTRUCTION COMMENCES.

(OWNER)
RONALD S TR. LEVINE
 11 COLUMBIA AVENUE
 TAKOMA PARK, MARYLAND 20912

**11 COLUMBIA AVENUE
 TAKOMA PARK, MARYLAND 20912**

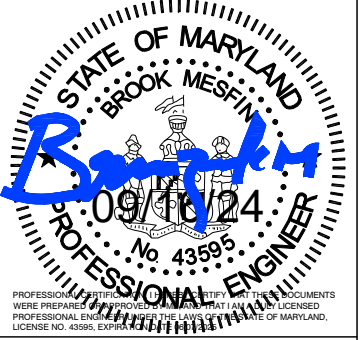
1 EXISTING SIDE ELEVATION
 SCALE: 3/16" = 1' (22X34)
 SCALE: 3/32" = 1' (11X17)
 GRAPHIC SCALE

3/16 INCH = 1 FOOT (22X34)
 3/32 INCH = 1 FOOT (11X17)

REVISIONS

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0	09/16/24	FINAL	JTD

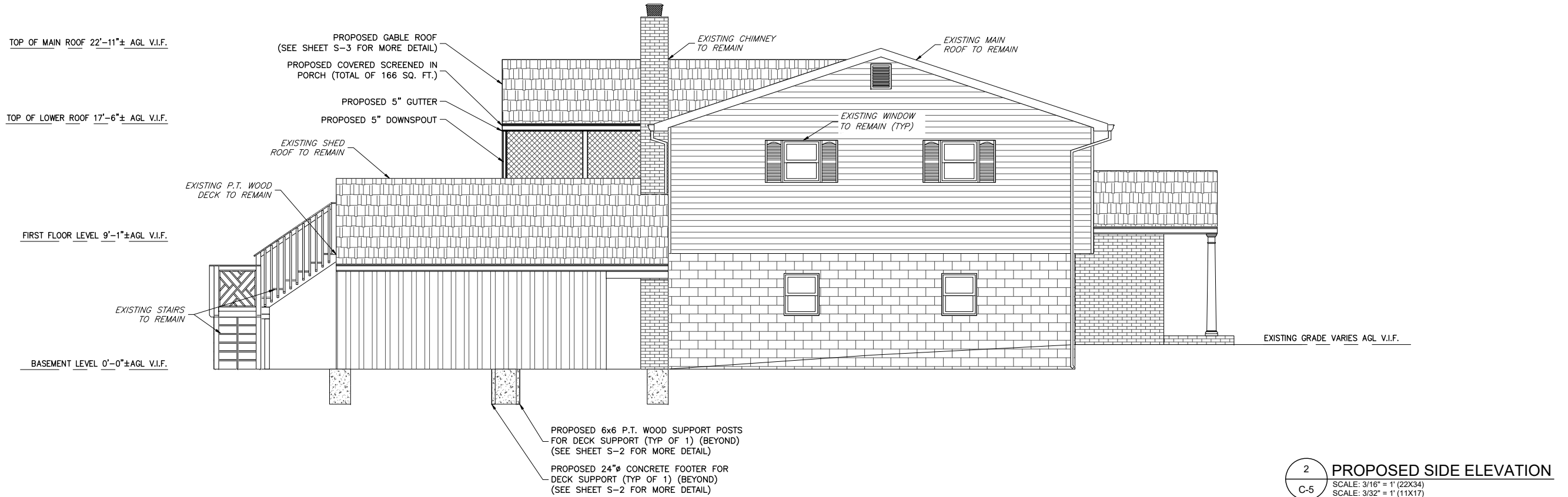
PROFESSIONAL STAMP



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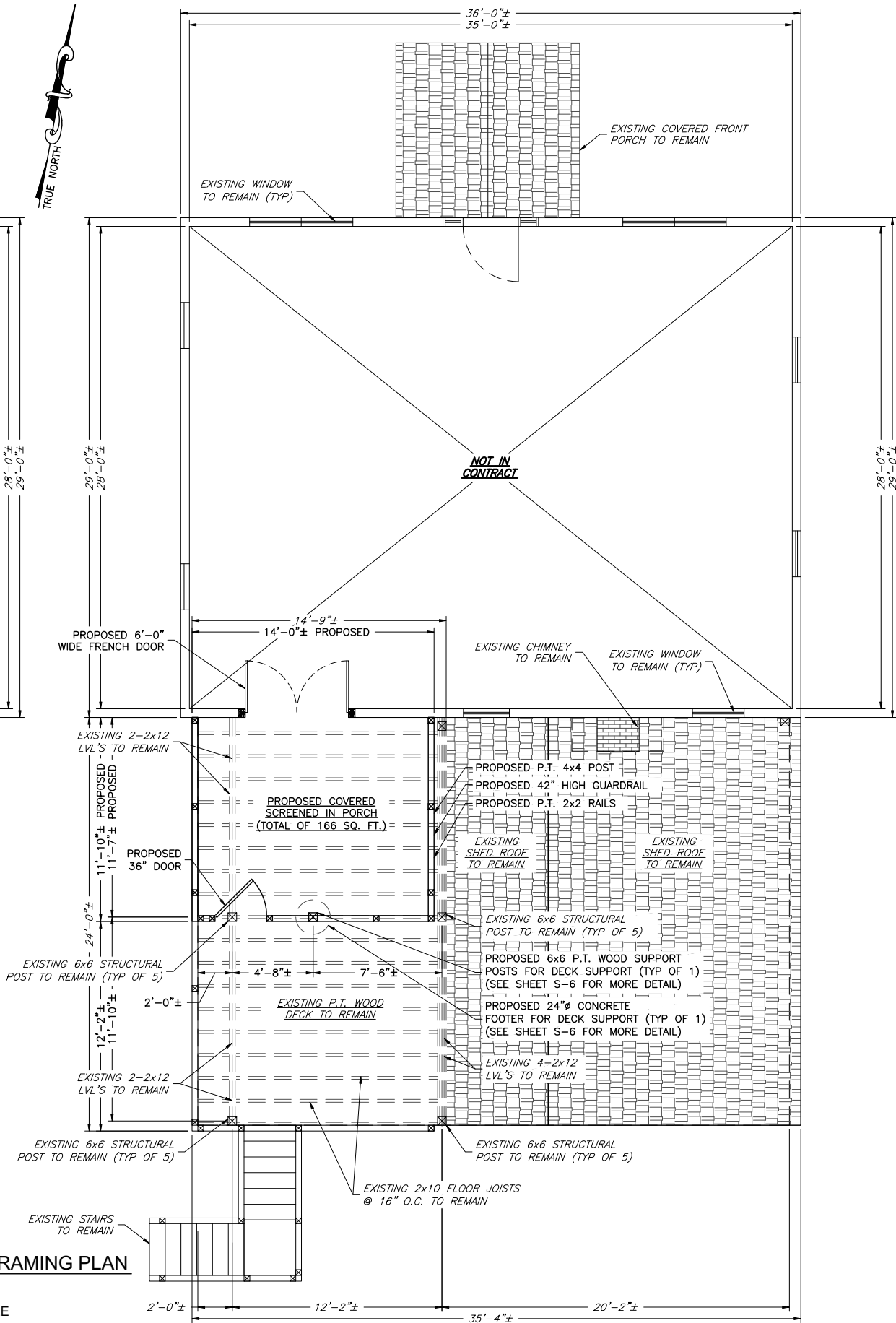
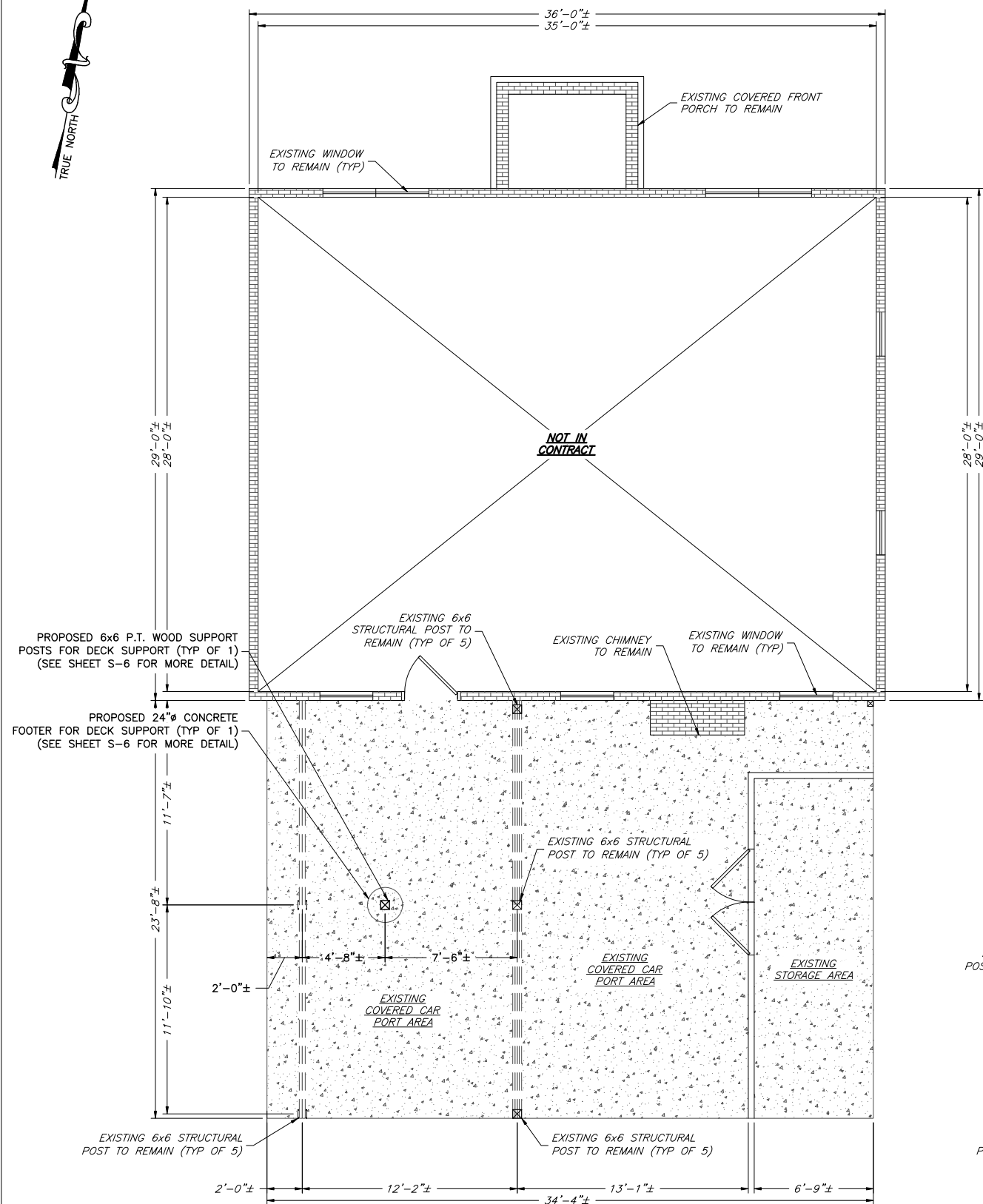
**EXISTING &
 PROPOSED SIDE
 ELEVATIONS**

C-5



2 PROPOSED SIDE ELEVATION
 SCALE: 3/16" = 1' (22X34)
 SCALE: 3/32" = 1' (11X17)
 GRAPHIC SCALE

3/16 INCH = 1 FOOT (22X34)
 3/32 INCH = 1 FOOT (11X17)



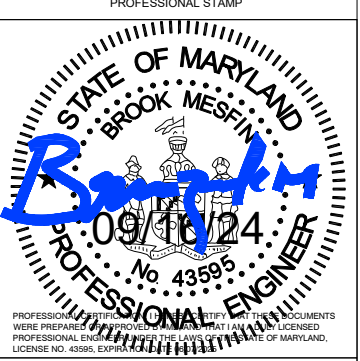
NOTE: GENERAL CONTRACTOR TO FIELD VERIFY ALL EXISTING AND PROPOSED DIMENSIONS BEFORE CONSTRUCTION COMMENCES.

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 11 COLUMBIA AVENUE
 TAKOMA PARK, MARYLAND 20912

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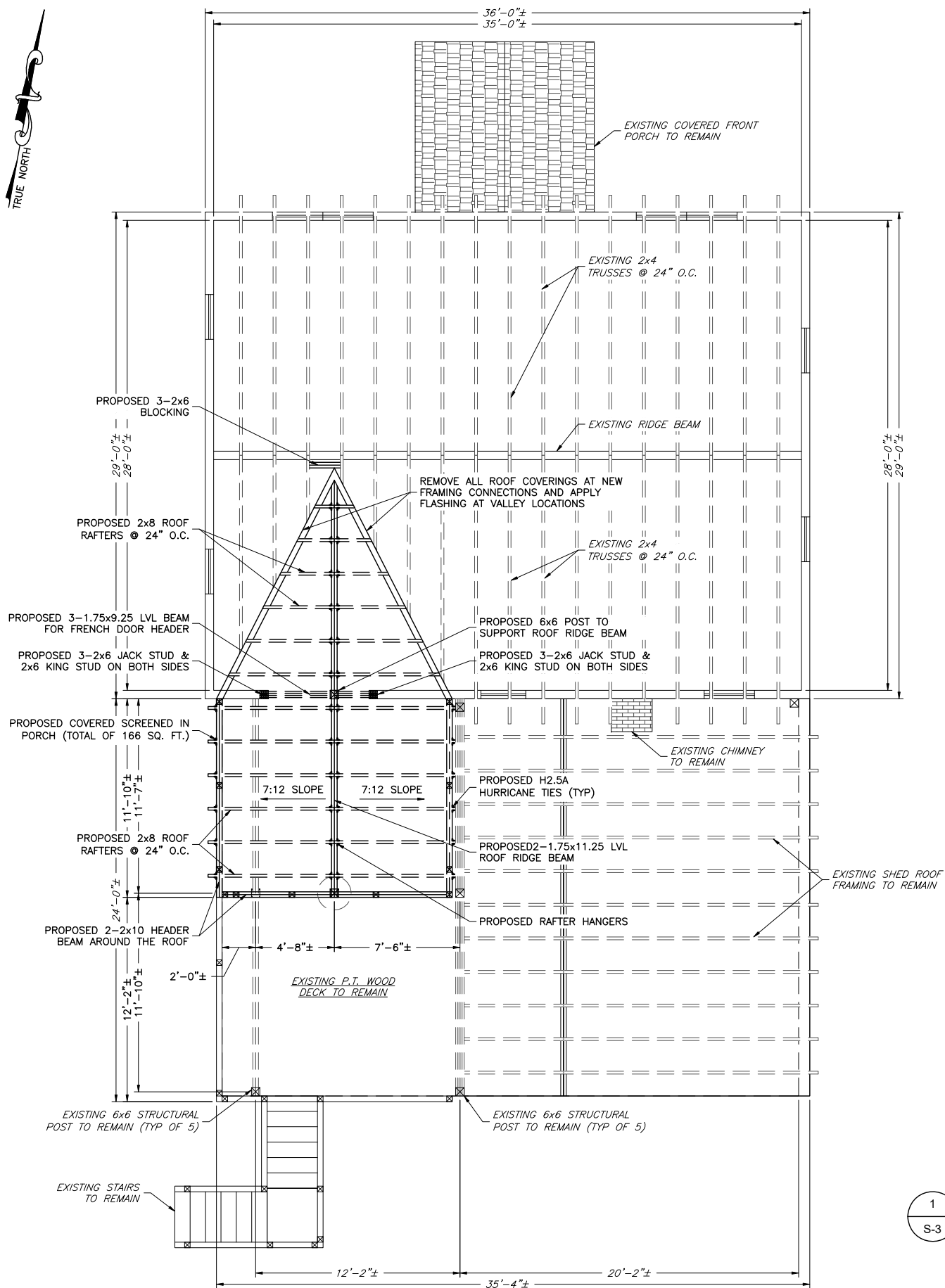
REV	DATE	DESCRIPTION	BY
0	09/16/24	FINAL	JTD



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**PROPOSED DECK
 FRAMING PLANS**

S-2

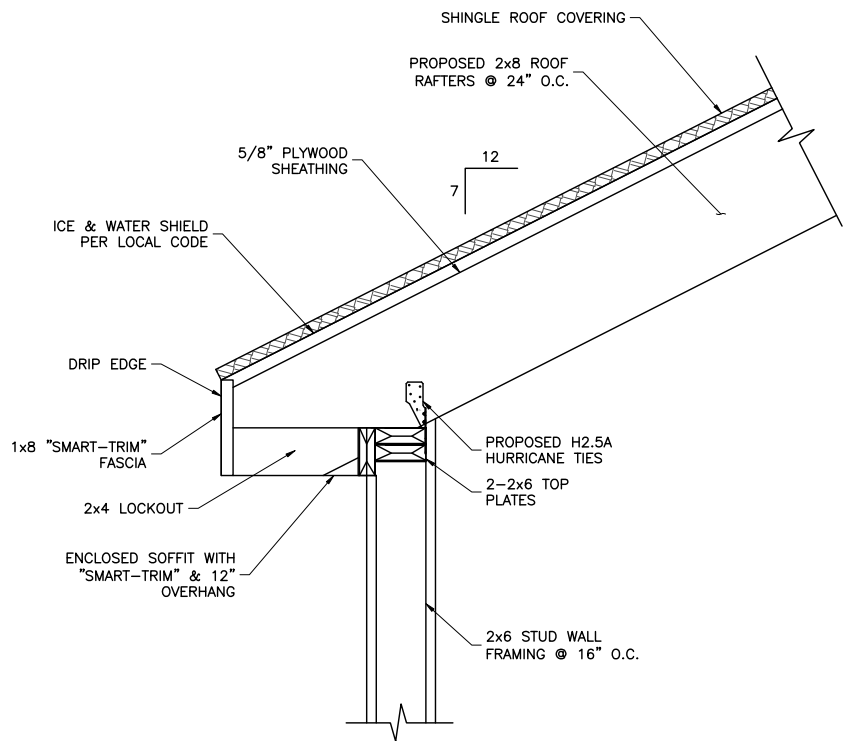


1 PROPOSED ROOF FRAMING PLAN
 SCALE: 1/4" = 1' (22X34)
 SCALE: 1/8" = 1' (11X17)

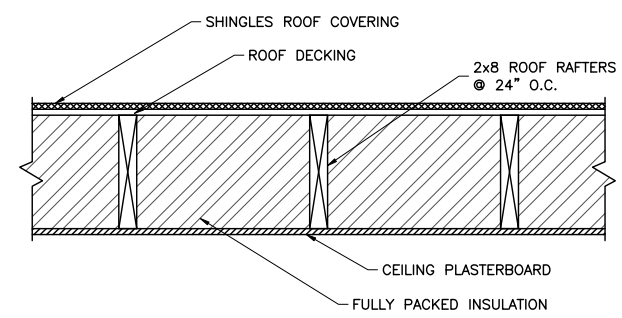
GRAPHIC SCALE

1/4 INCH = 1 FOOT (22X34)
 1/8 INCH = 1 FOOT (11X17)

NOTE: GENERAL CONTRACTOR TO FIELD VERIFY ALL EXISTING AND PROPOSED DIMENSIONS BEFORE CONSTRUCTION COMMENCES.



1 ROOFING DETAIL
 S-3 NTS



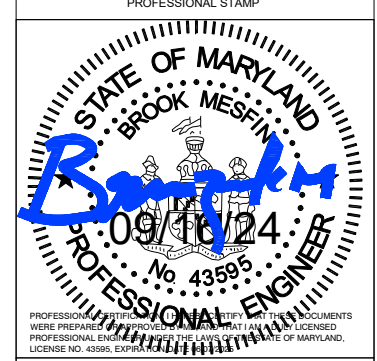
2 ROOF SECTION
 S-3 NTS

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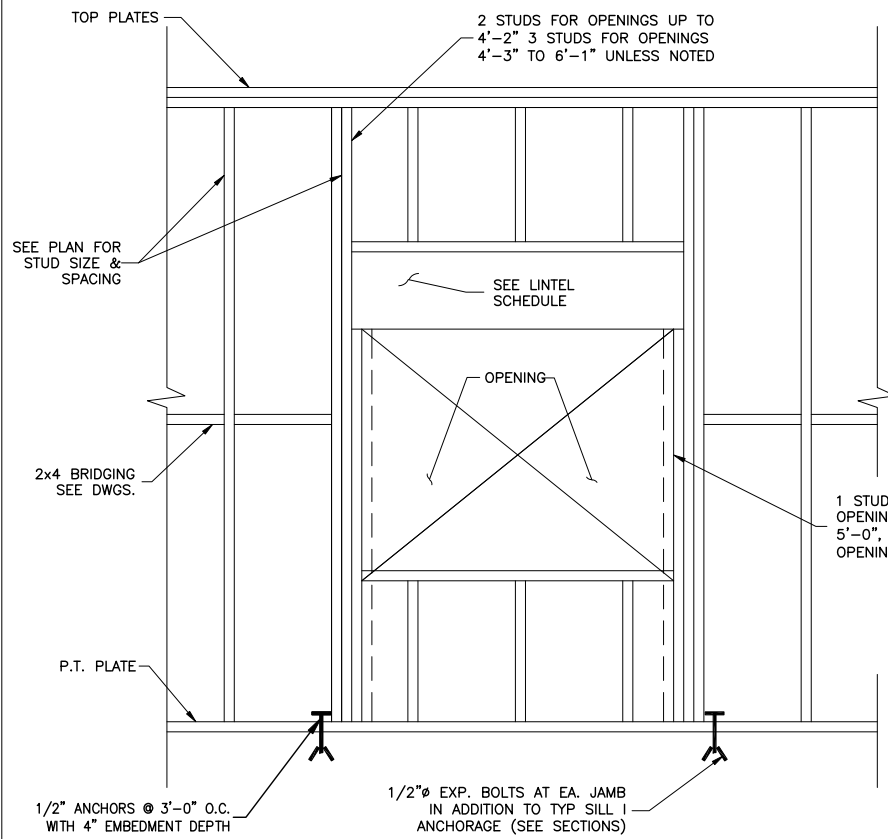
REV	DATE	DESCRIPTION	BY
0	09/16/24	FINAL	JTD



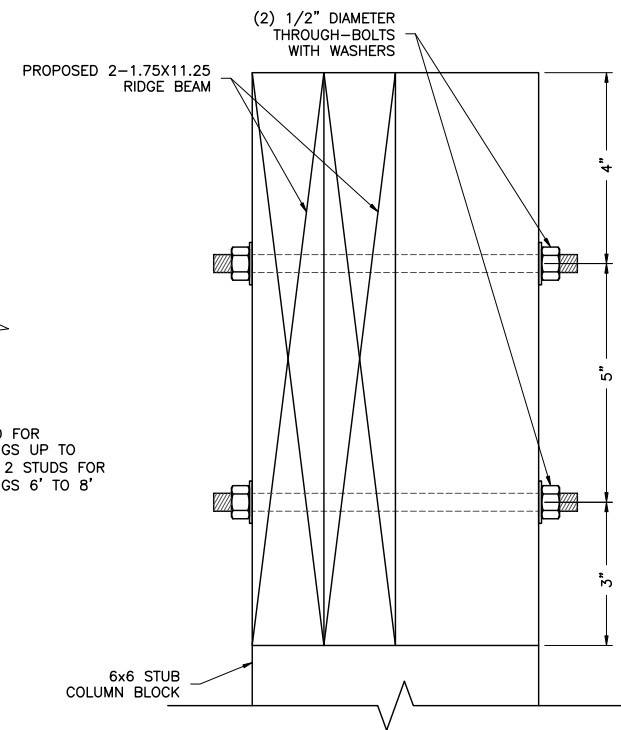
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PROPOSED ROOF FRAMING PLAN

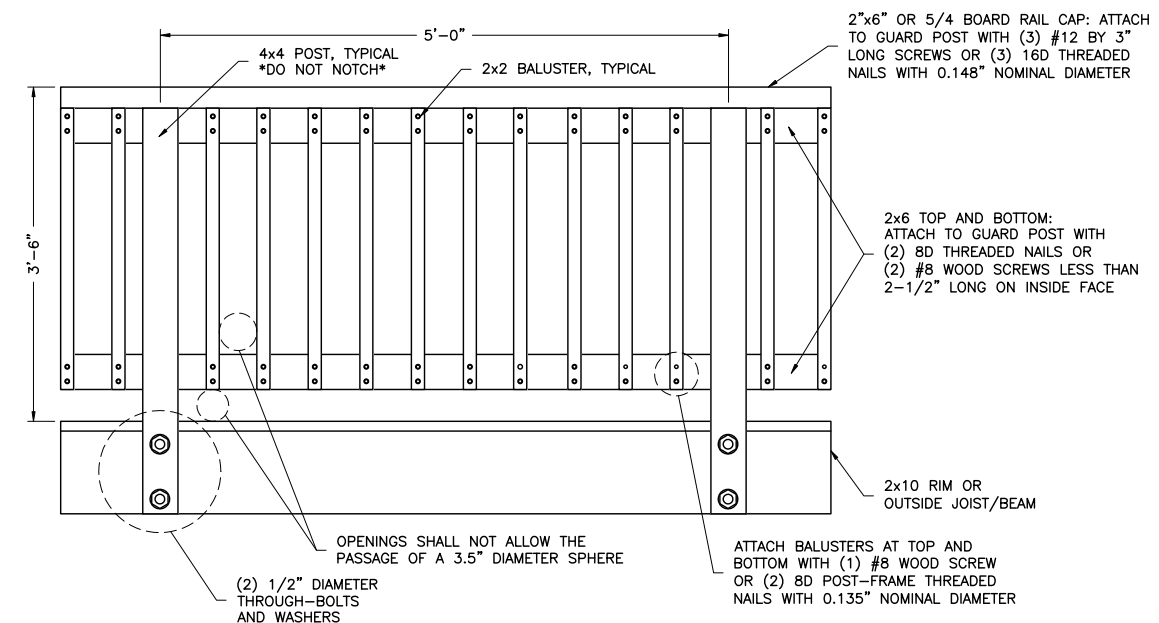
S-3



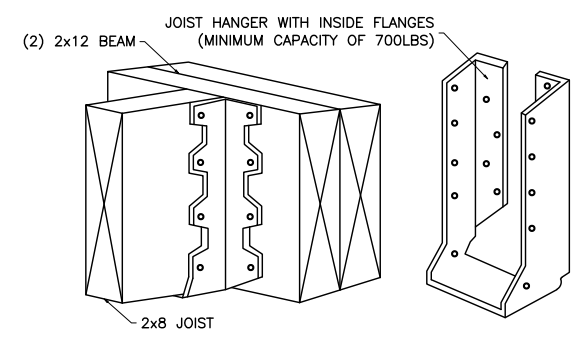
1 PRIVACY AREA UNDER DECK
S-4 NTS



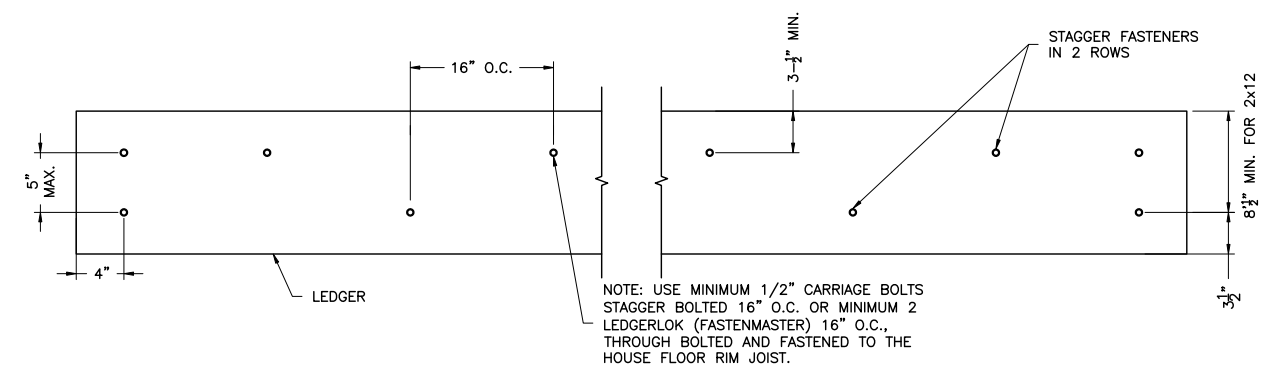
2 BEAM TO POST CONNECTION DETAIL
S-4 NTS



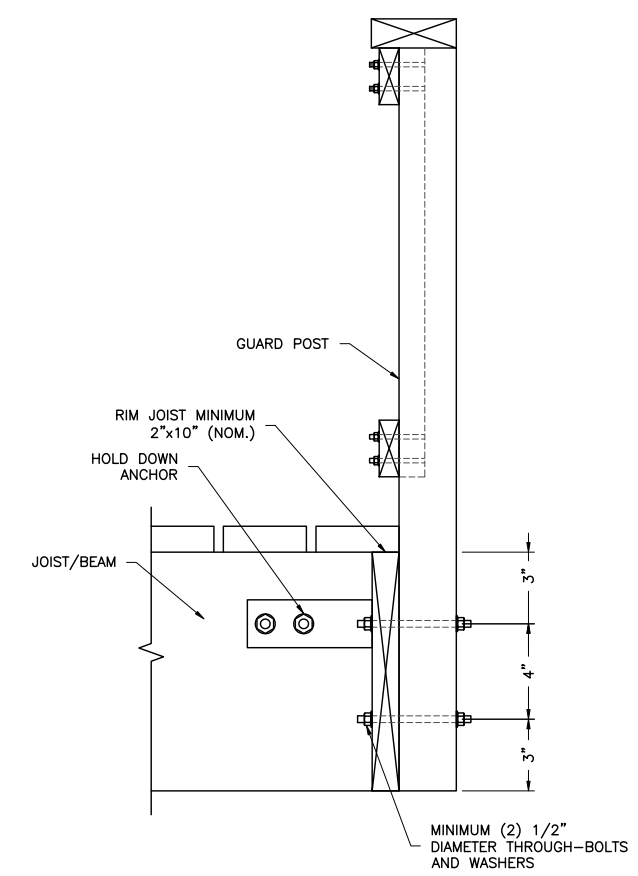
3 GUARD RAIL DETAIL
S-4 NTS



4 TYPICAL JOIST HANGERS
S-4 NTS



5 LEDGER BOARD FASTENER SPACING AND CLEARANCES
S-4 NTS



6 GUARD POST TO RIM JOIST DETAIL
S-4 NTS

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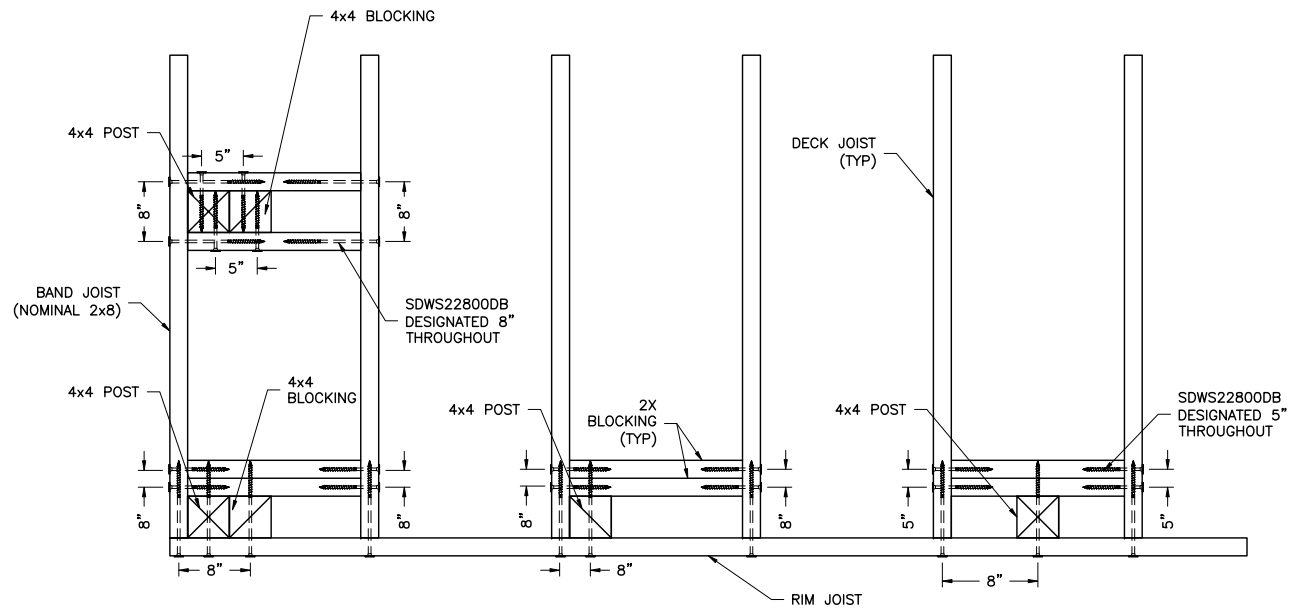
PROFESSIONAL STAMP

PROFESSIONAL ENGINEER
No. 43595
09/16/24

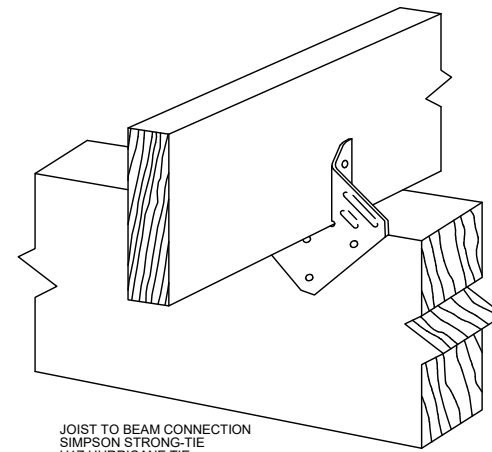
BROOK MESFIN, P.E.
MD PROFESSIONAL ENGINEER LIC. #43595

**STRUCTURAL
DETAILS**

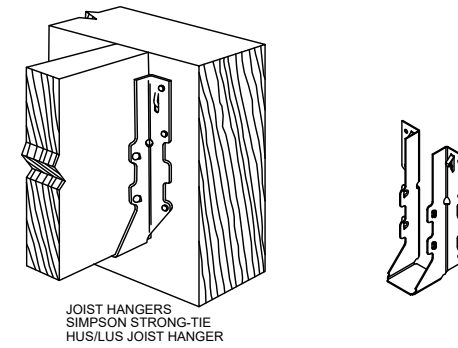
S-4



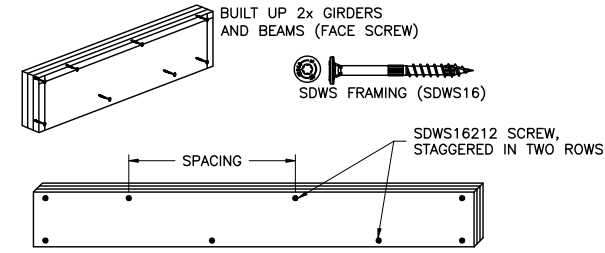
1 INTERNAL POST TO FLOOR JOIST CONNECTION
S-5 NTS (ALIGN POSTS ABOVE FOUNDATION FOOTING)



2 JOIST TO BEAM CONNECTION
S-5 NTS



3 JOIST HANGER CONNECTION
S-5 NTS



4 BEAM ASSEMBLY
S-5 NTS

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PROFESSIONAL STAMP

STATE OF MARYLAND
BROOK MESFIN
09/16/24
No. 43595
PROFESSIONAL ENGINEER

PROFESSIONAL ENGINEER HAS REVIEWED THESE DOCUMENTS AND HAS APPROVED THEM FOR CONSTRUCTION. THESE DOCUMENTS WERE PREPARED OR APPROVED BY AN ENGINEER THAT IS A LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 43595, EXPIRES 09/16/24.

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MD PROFESSIONAL ENGINEER LIC. #43595

**CONNECTION
DETAILS**

S-5

FOUNDATION CONCRETE

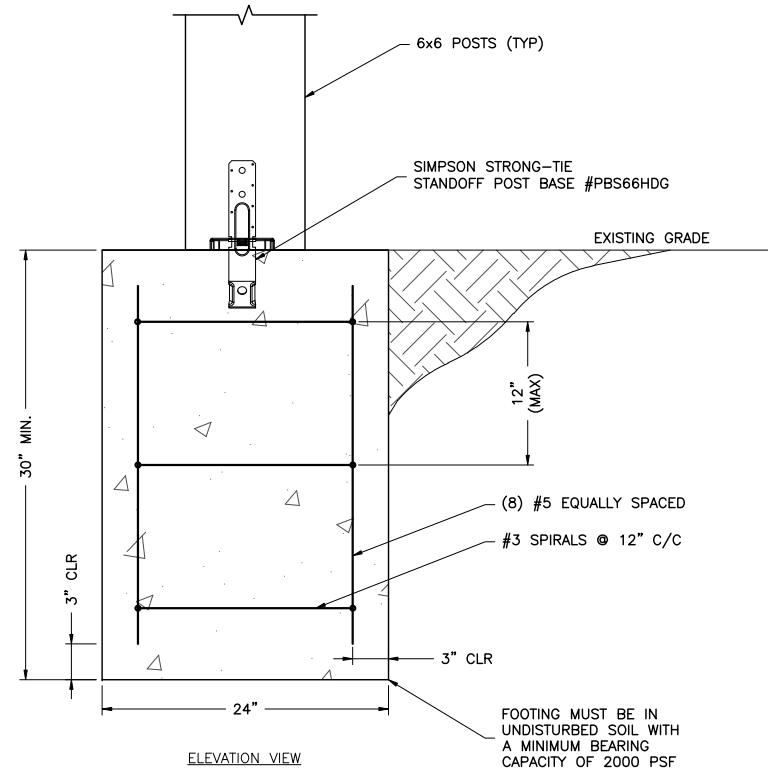
1. WORK SHALL BE IN ACCORDANCE WITH THE LATEST VERSION OF ACI 318 – BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE SPECIFICATIONS.
2. PROPORTIONS OF CONCRETE MATERIALS SHALL BE SUITABLE FOR THE INSTALLATION METHOD UTILIZED AND SHALL RESULT IN DURABLE CONCRETE FOR RESISTANCE TO LOCAL ANTICIPATED AGGRESSIVE ACTIONS. THE DURABILITY REQUIREMENTS OF ACI 318 CHAPTER 4 SHALL BE SATISFIED BASED ON THE CONDITIONS EXPECTED AT THE SITE. AS A MINIMUM, CONCRETE SHALL DEVELOP A COMPRESSIVE STRENGTH OF 4000 PSI IN 28 DAYS.
3. CONCRETE SHALL BE PLACED IN A MANNER THAT WILL PREVENT SEGREGATION OF CONCRETE MATERIALS, INFILTRATION OF WATER OR SOL, AND OTHER OCCURRENCES THAT MAY DECREASE THE STRENGTH OR DURABILITY OF THE CONCRETE.
4. LOOSE MATERIAL SHALL BE REMOVED FROM BOTTOM OF EXCAVATION PRIOR TO CONCRETE PLACEMENT. CONCRETE SHALL BE PLACED ON UNDISTURBED SOIL, AND LOOSE CUTTINGS SHALL BE REMOVED FROM SIDES OF EXCAVATION PRIOR TO CONCRETE PLACEMENT. UNDER NO CIRCUMSTANCES SHALL CONCRETE FALL THROUGH WATER.
5. IN COLD WEATHER CONDITIONS, WORK SHALL BE IN ACCORDANCE WITH ACI 306.1-90 (REAPPROVED 2002). SEE ACI 306 FOR DESCRIPTION OF COLD WEATHER CONDITIONS.
6. SULFATE RESISTANT CEMENT SHALL BE USED IN AREAS WHICH ARE KNOWN TO HAVE HIGH SULFATES IN SOIL AND GROUND WATER.

FOUNDATION REINFORCEMENT

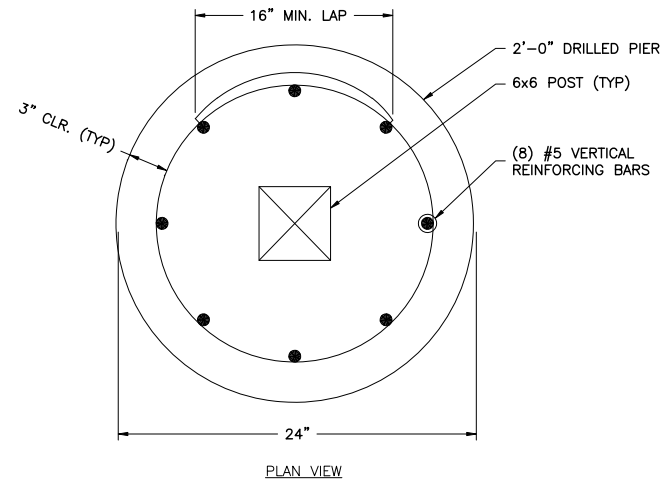
1. REINFORCEMENT SHALL BE DEFORMED AND CONFORM TO THE REQUIREMENTS OF ASTM A615 GRADE 60 UNLESS OTHERWISE NOTED, SPLICES IN REINFORCEMENT SHALL NOT BE ALLOWED UNLESS OTHERWISE NOTED.
2. REINFORCEMENT SHALL BE PROPERLY PLACED PRIOR TO ANY CONCRETE PLACEMENT. REINFORCING SHALL BE BRACED TO RETAIN PROPER DIMENSIONS DURING HANDLING AND THROUGHOUT PLACEMENT OF CONCRETE.
3. WELDING IS PROHIBITED ON REINFORCING STEEL AND EMBEDMENTS, UNLESS NOTED OTHERWISE.
4. MINIMUM CONCRETE COVER FOR REINFORCEMENT SHALL BE 3 INCHES. REBAR CHAIRS MUST BE USED TO ENSURE THE 3 INCH MINIMUM COVER. CONCRETE BLOCKS ARE NOT TO BE USED TO OBTAIN MINIMUM COVER.

FOUNDATION NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL CODES AND ORDINANCES.
2. PROCEDURES FOR THE PROTECTION OF EXCAVATIONS, EXISTING CONSTRUCTION AND UTILITIES SHALL BE ESTABLISHED PRIOR TO FOUNDATION INSTALLATION.
3. THE CONTRACTOR MUST HAVE EXPERIENCE IN PERFORMANCE OF WORK DESCRIBED HEREIN. BY ACCEPTANCE OF THIS ASSIGNMENT, THE CONTRACTOR IS ATTESTING THAT THEY HAVE SUFFICIENT EXPERIENCE, ABILITY, AND KNOWLEDGE OF WORK TO BE PERFORMED AND THAT THEY ARE PROPERLY LICENSED, REGISTERED, AND/OR ENSURED TO PERFORM THIS WORK.
4. CONTRACTOR IS SOLELY RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION, INCLUDING BUT NOT LIMITED TO, INITIATING, MAINTAINING, LAYOUT, AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK. CONTRACTOR IS SOLELY RESPONSIBLE FOR ENSURING THE WORK COMPLIES WITH ALL APPLICABLE SAFETY CODES AND REGULATIONS.
5. ALL DIMENSIONS AND/OR ELEVATIONS, OR SIMILAR EXISTING CONDITIONS SHOWN ON THE DRAWING ARE TO BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO THE BEGINNING ANY ORDERING, FABRICATION, OR CONSTRUCTION WORK. ANY DISCREPANCIES ARE TO BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER/OWNER. DISCREPANCIES MUST BE RESOLVED BEFORE CONTRACTOR IS TO PROCEED WITH THE WORK.
6. THOROUGHLY COMPACT ALL FOOTING EXCAVATIONS PRIOR TO PLACING ANY CONCRETE.
7. FOUNDATION SUB-GRADE SOIL SHALL HAVE A MINIMUM BEARING CAPACITY OF 2000 PSF.



NOTE: ALL WOOD TO BE PRESSURE TREATED.



1 FOUNDATION DETAIL FOR DECK
S-6 NTS

(OWNER)
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TAKOMA PARK, MARYLAND 20912

**11 COLUMBIA AVENUE
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MD PROFESSIONAL ENGINEER LIC. #43595

**FOUNDATION
DETAILS & NOTES**

S-6





DEPARTMENT OF PERMITTING SERVICES

Marc Elrich
County Executive

Rabbiah Sabbakhan
Director

HISTORIC AREA WORK PERMIT APPLICATION

Application Date: 9/17/2024

Application No: 1086775
AP Type: HISTORIC
Customer No: 1356540

Affidavit Acknowledgement

The Contractor is the Primary applicant authorized by the property owner
This application does not violate any covenants and deed restrictions

Primary Applicant Information

Address 11 COLUMBIA AVE
TAKOMA PARK, MD 20912

Othercontact Hernandez (Primary)

Historic Area Work Permit Details

Work Type ADD

Scope of Work Adding a covered screened-in porch to an existing deck at the rear of home.