

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	5918 Cedar Parkway, Chevy Chase	Meeting Date:	10/9/2024
Resource:	Non-Contributing Resource Chevy Chase Village Historic District	Report Date:	10/2/2024
Applicant:	Rebecca & Rob Nichols (Angela Koloszar, Agent)	Public Notice:	9/25/2024
Review:	1084766	Tax Credit:	n/a
Proposal:	Pergola Construction	Staff:	Dan Bruechert

STAFF RECOMMENDATION

Staff recommends the HPC **approve** the HAWP application.

ARCHITECTURAL DESCRIPTION:

SIGNIFICANCE: Non-Contributing Resource within the Chevy Chase Village Historic District
STYLE: Modern/Neo-Colonial
DATE: 1976



Figure 1: The subject property is located in the northwest corner of the historic district.

PROPOSAL

The applicant proposes to construct a pergola at the rear of the house.

APPLICABLE GUIDELINES

When reviewing alterations and new construction within the Chevy Chase Village Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and adopted amendment for the Chevy Chase Village Historic District (*Guidelines*), *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Chevy Chase Village Historic District Guidelines

The *Guidelines* break down specific projects into three levels of review - Lenient, Moderate and Strict Scrutiny.

“Lenient Scrutiny” means that the emphasis of the review should be on issues of general massing and scale, and compatibility with the surrounding streetscape, and should allow for a very liberal interpretation of preservation rules. Most changes should be permitted unless there are major problems with massing, scale or compatibility.

“Moderate Scrutiny” involves a higher standard of review than “lenient scrutiny.” Besides issues of massing, scale and compatibility, preserving the integrity of the resource is taken into account. Alterations should be designed so that the altered structure still contributes to the district. Use of compatible new materials, rather than the original building materials, should be permitted. Planned changes should be compatible with the structure’s existing design, but should not be required to replicate its architectural style.

“Strict Scrutiny” means that the planned changes should be reviewed to insure that the integrity of the significant exterior architectural or landscaping features and details is not compromised. However, strict scrutiny should not be “strict in theory but fatal in fact” i.e. it does not mean that there can be no changes but simply that the proposed changes should be reviewed with extra care.

- *Gazebos and other garden structures* should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not.
- *Lot coverage* should be subject to strict scrutiny, in view of the critical importance of preserving the Village’s open park-like character.
- The *Guidelines* state five basic policies that should be adhered to, including:
 - Preserving the integrity of the Chevy Chase Village Historic District. Any alterations should, at a minimum, perpetuate the ability to perceive the sense of time and place portrayed by the district.
 - Preserving the integrity of contributing structures. Alterations should be designed in such a way that the altered structure still contributes to the district.
 - Maintaining the variety of architectural styles and the tradition of architectural excellence.
 - Design review emphasis should be restricted to changes that will be visible from the front or side public right-of-way, or that would be visible in the absence of vegetation or landscaping.

- Alterations to the portion of a property that are not visible from the public-right-of-way should be subject to a very lenient review. Most changes to the rear of the properties should be approved as a matter of course.

Montgomery County Code; Chapter 24A-8

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district.

Secretary of the Interior's Standards for Rehabilitation:

#2: The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.

#9: New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

#10: New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

The subject property is a two-story brick house with a U-shaped plan set back a significant distance from the street. The house is accessed from a long gravel driveway that connects Cedar Parkway and Lenox St. At the rear of the house, there is a metal pergola anchored to the brick walls, largely overgrown with greenery. The applicant proposes to construct a new pergola, matching the footprint of the existing. The new pergola will be supported by two brick piers, with steel beams. The applicant proposes to install a ceiling fan in the center of the pergola.

The pergola appears to be an original feature to the house, however, the subject property was constructed in 1976 and is a Non-Contributing Resource. The portion of the house and pergola that could be visible from Lenox St. are obscured by an existing fence. Under a lenient scrutiny review, Staff finds removing the pergola should be approved as a matter of course.

Staff finds the proposed pergola will not overwhelm the rear elevation of the Non-Contributing Resource. Staff additionally finds the design of the pergola, with its brick piers and steel structure is compatible with the character of the Neo-Colonial style house. As it is being constructed on top of an existing patio, there is no increase in lot coverage, making the proposal compatible with the strict scrutiny review for the district. Staff finds the pergola is appropriate for the character of the house and recommends the HPC approve it under 24A-8(d) and the *Design Guidelines, and Standards 2, 9, and 10*.



Figure 2: A view of the rear of the proposed pergola.

STAFF RECOMMENDATION

Staff recommends that the Commission **approve** the HAWP application under the Criteria for Issuance in Chapter 24A-8(b)(2), and (d) having found that the proposal is compatible in character with the district and the purposes of Chapter 24A;

and with the *Secretary of the Interior's Standards for Rehabilitation #2, #9, and #10*;

and with the general condition that the applicant shall present an electronic set of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or dan.bruechert@montgomeryplanning.org to schedule a follow-up site visit.



**APPLICATION FOR
HISTORIC AREA WORK PERMIT**
HISTORIC PRESERVATION COMMISSION
301.563.3400

FOR STAFF ONLY:
HAWP# _____
DATE ASSIGNED _____

APPLICANT:

Name: _____ E-mail: _____
Address: _____ City: _____ Zip: _____
Daytime Phone: _____ Tax Account No.: _____

AGENT/CONTACT (if applicable):

Name: _____ E-mail: _____
Address: _____ City: _____ Zip: _____
Daytime Phone: _____ Contractor Registration No.: _____

LOCATION OF BUILDING/PREMISE: MIHP # of Historic Property _____

Is the Property Located within an Historic District? Yes/District Name _____
 No/Individual Site Name _____

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: _____ Street: _____

Town/City: _____ Nearest Cross Street: _____

Lot: _____ Block: _____ Subdivision: _____ Parcel: _____

TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:

- | | | |
|---|--|--|
| <input type="checkbox"/> New Construction | <input type="checkbox"/> Deck/Porch | <input type="checkbox"/> Shed/Garage/Accessory Structure |
| <input type="checkbox"/> Addition | <input type="checkbox"/> Fence | <input type="checkbox"/> Solar |
| <input type="checkbox"/> Demolition | <input type="checkbox"/> Hardscape/Landscape | <input type="checkbox"/> Tree removal/planting |
| <input type="checkbox"/> Grading/Excavation | <input type="checkbox"/> Roof | <input type="checkbox"/> Window/Door |
| | | <input type="checkbox"/> Other: _____ |

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent

Date

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address	Owner's Agent's mailing address
Adjacent and confronting Property Owners mailing addresses	

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

Description of Work Proposed: Please give an overview of the work to be undertaken:

Work Item 1: _____	
Description of Current Condition:	Proposed Work:

Work Item 2: _____	
Description of Current Condition:	Proposed Work:

Work Item 3: _____	
Description of Current Condition:	Proposed Work:

**HISTORIC AREA WORK PERMIT
CHECKLIST OF
APPLICATION REQUIREMENTS**

	Required Attachments						
Proposed Work	I. Written Description	2. Site Plan	3. Plans/Elevations	4. Material Specifications	5. Photographs	6. Tree Survey	7. Property Owner Addresses
New Construction	*	*	*	*	*	*	*
Additions/Alterations	*	*	*	*	*	*	*
Demolition	*	*	*		*		*
Deck/Porch	*	*	*	*	*	*	*
Fence/Wall	*	*	*	*	*	*	*
Driveway/Parking Area	*	*		*	*	*	*
Grading/Excavation/Landscaping	*	*		*	*	*	*
Tree Removal	*	*		*	*	*	*
Siding/ Roof Changes	*	*	*	*	*		*
Window/Door Changes	*	*	*	*	*		*
Masonry Repair/Repoint	*	*	*	*	*		*
Signs	*	*	*	*	*		*

NICHOLS RESIDENCE

5918 CEDAR PARKWAY
CHEVY CHASE, MD 20815

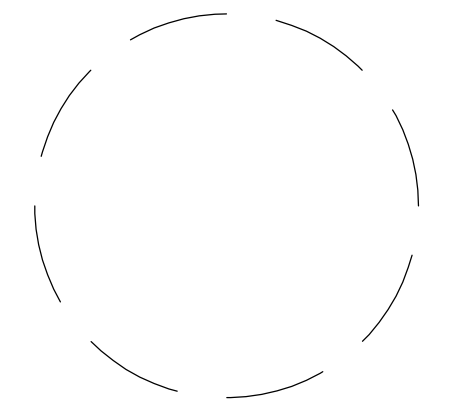
SEPTEMBER 11, 2024

HORN & C o.

Landscape Architecture
1408 N Fillmore St, Suite 17 Arlington VA 22201
hornandco.com 202 573-7581

Nichols Residence
5918 Cedar Parkway
Chevy Chase, MD 20815

SEAL:



#	Date:	Description:	BY:
1	2024-09-06	PERGOLA HAWP	SB

LEGEND

	EXISTING INTERMEDIATE CONTOUR		MATERIAL OR DETAIL CALLOUT		MISC. LIGHTS
	EXISTING INDEX CONTOUR		ELEVATION CALLOUT		WALL LIGHT
	PROPOSED INTERMEDIATE CONTOUR		SECTION CALLOUT		STEP LIGHT
	PROPOSED INDEX CONTOUR		EXISTING TREE TO REMOVE		UP LIGHT
x 0.00	EXISTING SPOT GRADE		EXISTING PLANT TO REMIAN		DOWN LIGHT
+ 0.00	PROPOSED SPOT GRADE		TRANSPLANT PLANT		PATH LIGHT
	EASEMENT		PROPOSED PLANT		WELL LIGHT
	SILT FENCE		PROPOSED PLANT MASSES		GFI OUTLET
	PROPERTY LINE				ELECTRICAL SWITCH
	LIMIT OF DISTURBANCE				HOSE BIB
	EXISTING FENCE				DOWNSPOUT TILED OUT
	EXISTING FENCE				DOWNSPOUT NO TILE
	TREE PROTECTION FENCE				
	PROPOSED FENCING				
	STEP				
	SLOPE ARROW				

GENERAL NOTES

- DO NOT SCALE THESE DRAWINGS.
- DIMENSIONS ARE FROM BACK OF CURB, TO FACE OF WALL, TO OUTSIDE EDGE OF PAVEMENTS; FROM COLUMN CENTERLINES TO HARDSCAPE CENTERLINES, TO CENTERLINE OF PAVEMENTS, TO OUTSIDE EDGE OF PAVEMENTS, TO CENTERLINES OF STAIRS; FROM EDGE OF PAVEMENT TO FACE OF WALL UNLESS OTHERWISE SPECIFIED.
- ALL CURVES TO BE TRUE RADII WITHOUT STRAIGHT SEGMENTS.
- ALL ANGLES ARE 90° UNLESS OTHERWISE NOTED.
- CHANGES IN LAYOUT MAY BE MADE TO ACCOMMODATE DESIGN INTENT OR FIELD CONDITIONS. NO ADDITIONAL PAYMENT WILL BE MADE TO THE CONTRACTOR FOR THIS WORK.
- CONTRACTOR TO NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES FOUND IN PLANS AND ANY CONFLICTS ENCOUNTERED IN FIELD.
- QUANTITIES REFERENCED IN PLANS ARE SHOWN AS A COURTESY ONLY. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ELEVATIONS PRIOR TO CONSTRUCTION.
- ALL WALLS, SIDEWALKS, PATHWAYS, FENCES, AND STAIRWAYS SHALL BE COMPLETELY LAID OUT AND STAKED WITH VISIBLE MARKERS. THE STAKES SHALL BE APPROVED IN THE FIELD BY LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT 48 HOURS PRIOR TO SITE VISIT.
- CONTRACTOR IS RESPONSIBLE FOR ALL WIRING, CONDUIT, FOOTINGS, PERMITS, ETC. NECESSARY TO COMPLETE SITE LIGHTING INSTALLATION. CONTRACTOR TO COORDINATE POWER CONNECTIONS WITH ELECTRICAL ENGINEER AND OWNER.

SHEET INDEX

NUMBER	SHEET NAME	INCLUDED
L-001	COVER SHEET	●
L-101	EXISTING CONDITIONS	●
L-102	PERGOLA SITE PLAN	●
L-103	PROPOSED ELEVATIONS	●
L-201	PERGOLA DETAIL	●
L-202	PERGOLA DETAIL	●

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North:

DESIGN: JH

DRAFTED: SB

CHECKED: JH

Scale:

Issue Date: 2024-09-11

Project No: NICHOLS

COVER SHEET

L-001

MATERIAL GRAPHICS

	CONCRETE		SOIL / COMPACTED SOIL / UNDISTURBED SUBGRADE		MORTAR NEXT TO SAND SETTING BED		STONE
	COMPACTED AGGREGATE SUB-BASE		STEEL / IRON		BRICK / PAVER		ASPHALT CONCRETE W/ NEOPRENE TACK COAT
	SAND		WOOD		DRAINAGE GRAVEL		
	MORTAR		MULCH		RIGID INSULATION W/ OPEN JOINTS FOR DRAINAGE		
	STRUCTURAL / PLANTING / LIGHTWEIGHT SOIL		METAL		SLEEVING		

LOCATION MAP



Nichols Residence

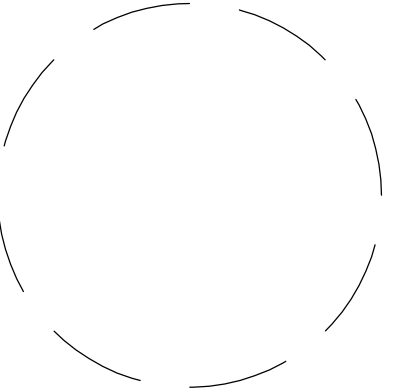
Not For Construction

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 Chevy Chase, MD 20815

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1	2024-09-06	PERGOLA HAWP	SB

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North: SEE DETAILS

DESIGN: JH

DRAFTED: XX

CHECKED: JH

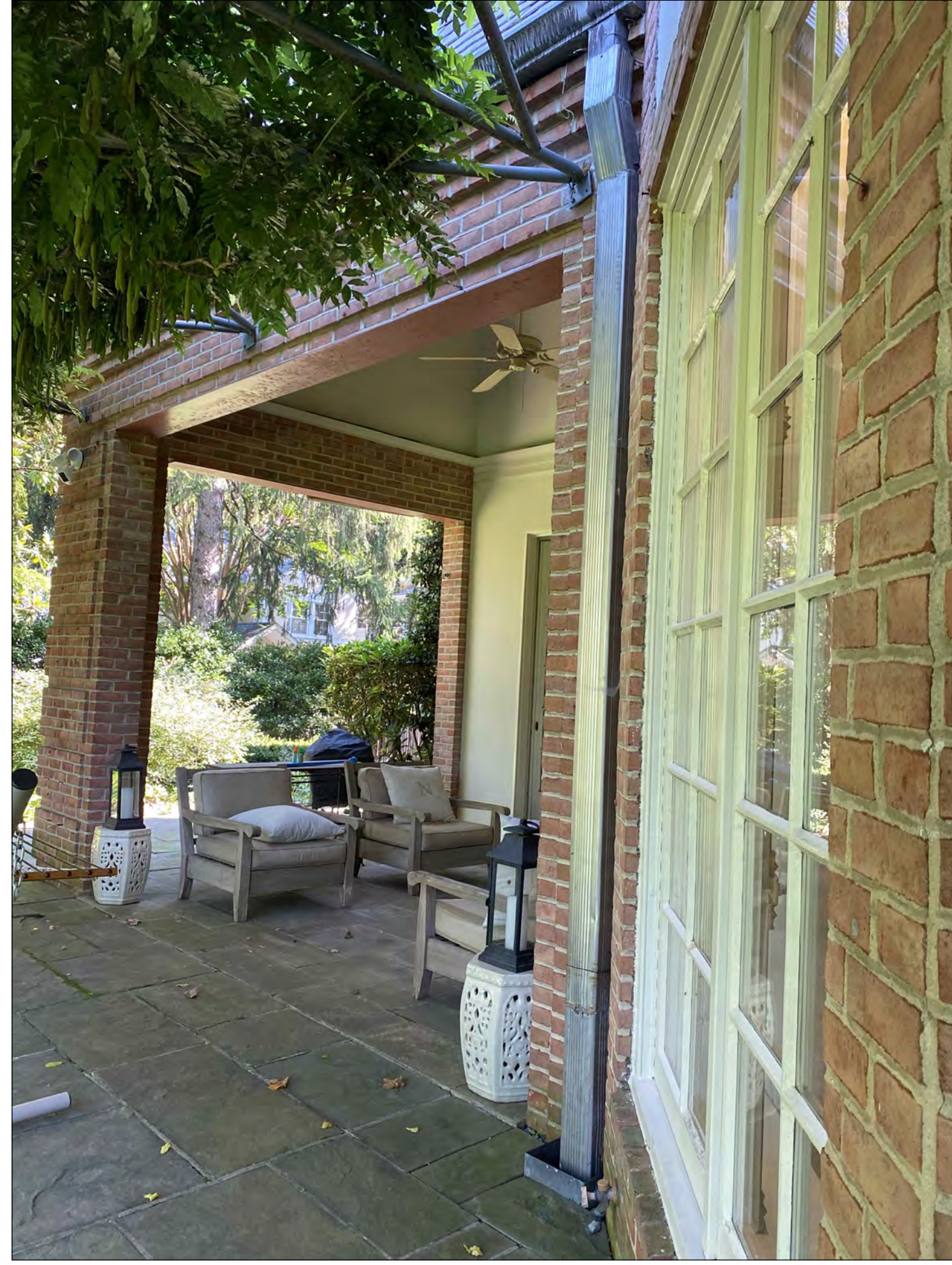
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Issue Date: 2024-09-11

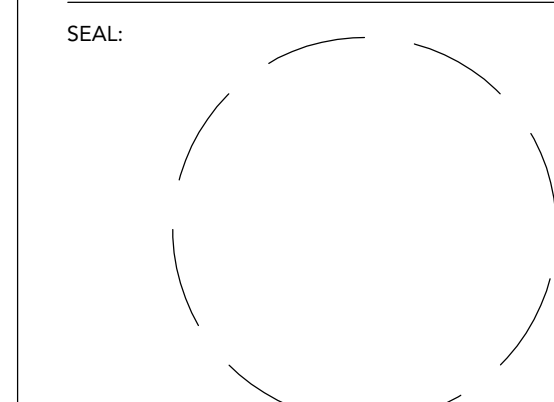
Project No: NICHOLS

**EXISTING
 CONDITIONS**

L-101



SEAL:



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1	2024-09-06	PERGOLA HAWP	SB

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North: SEE DETAILS

DESIGN: JH

DRAFTED: SB

CHECKED: JH

Scale: SCALE: 1/16" = 1'-0"

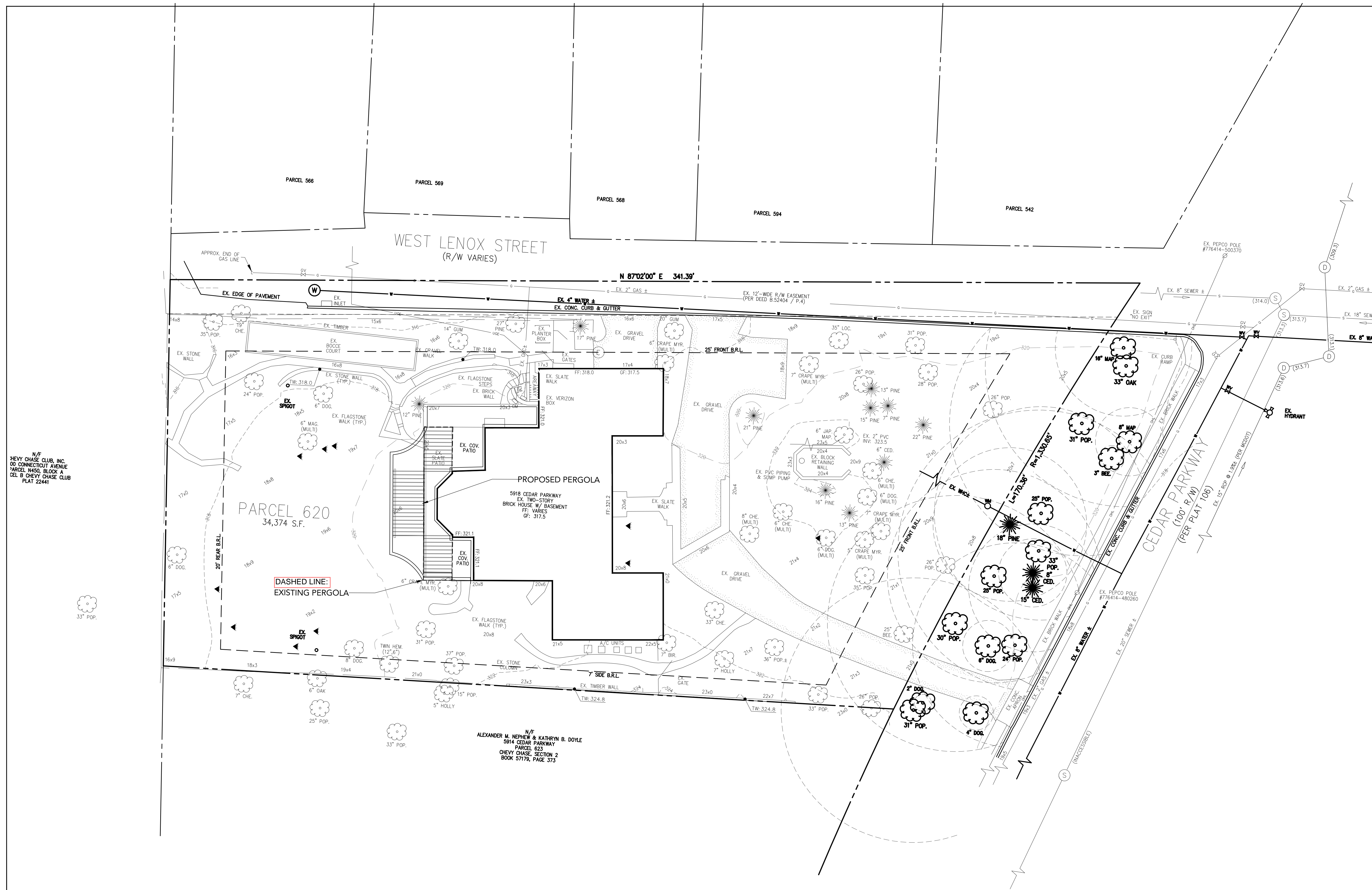


Issue Date: 2024-09-11

Project No: NICHOLS

PERGOLA SITE PLAN

L-102

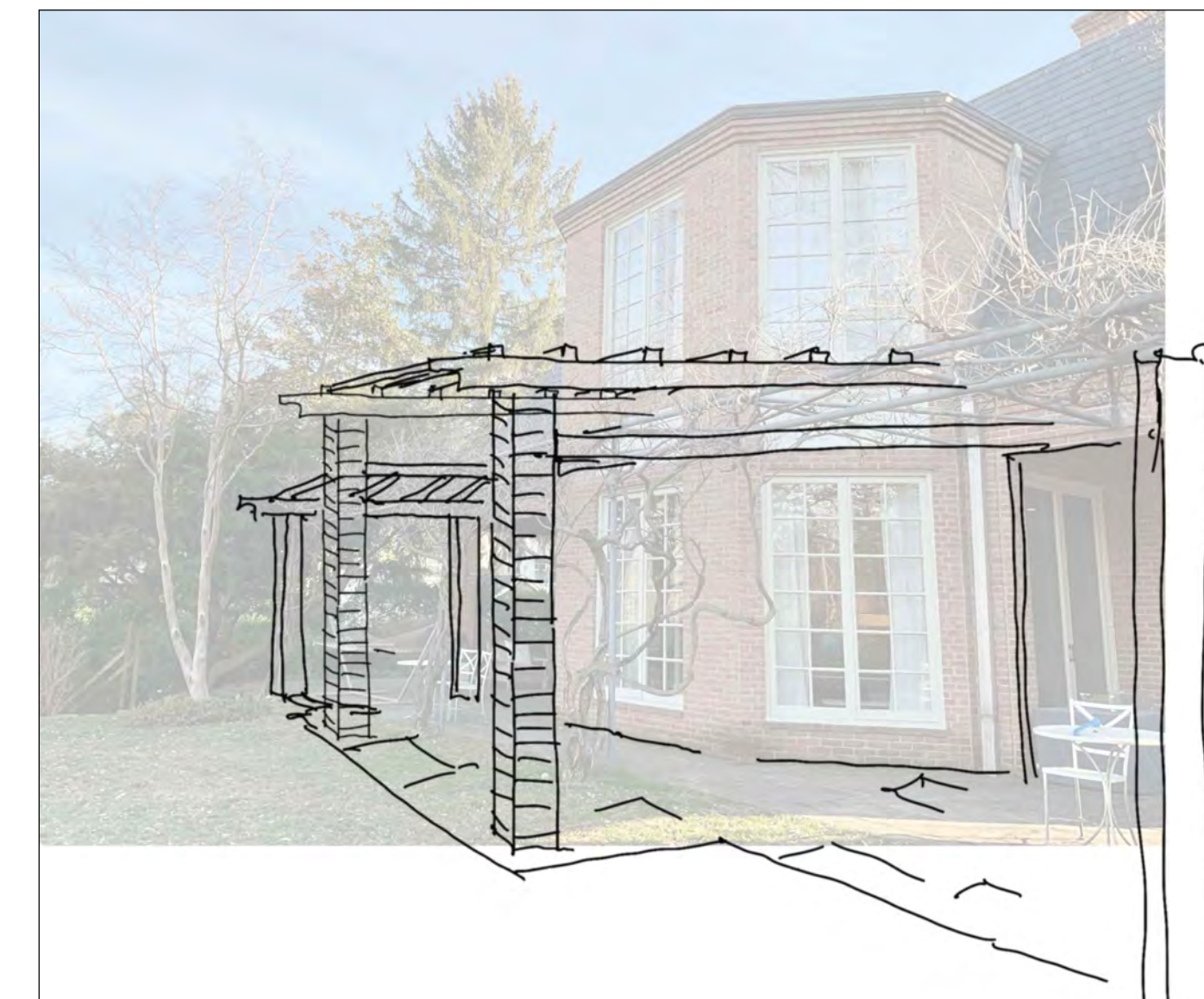
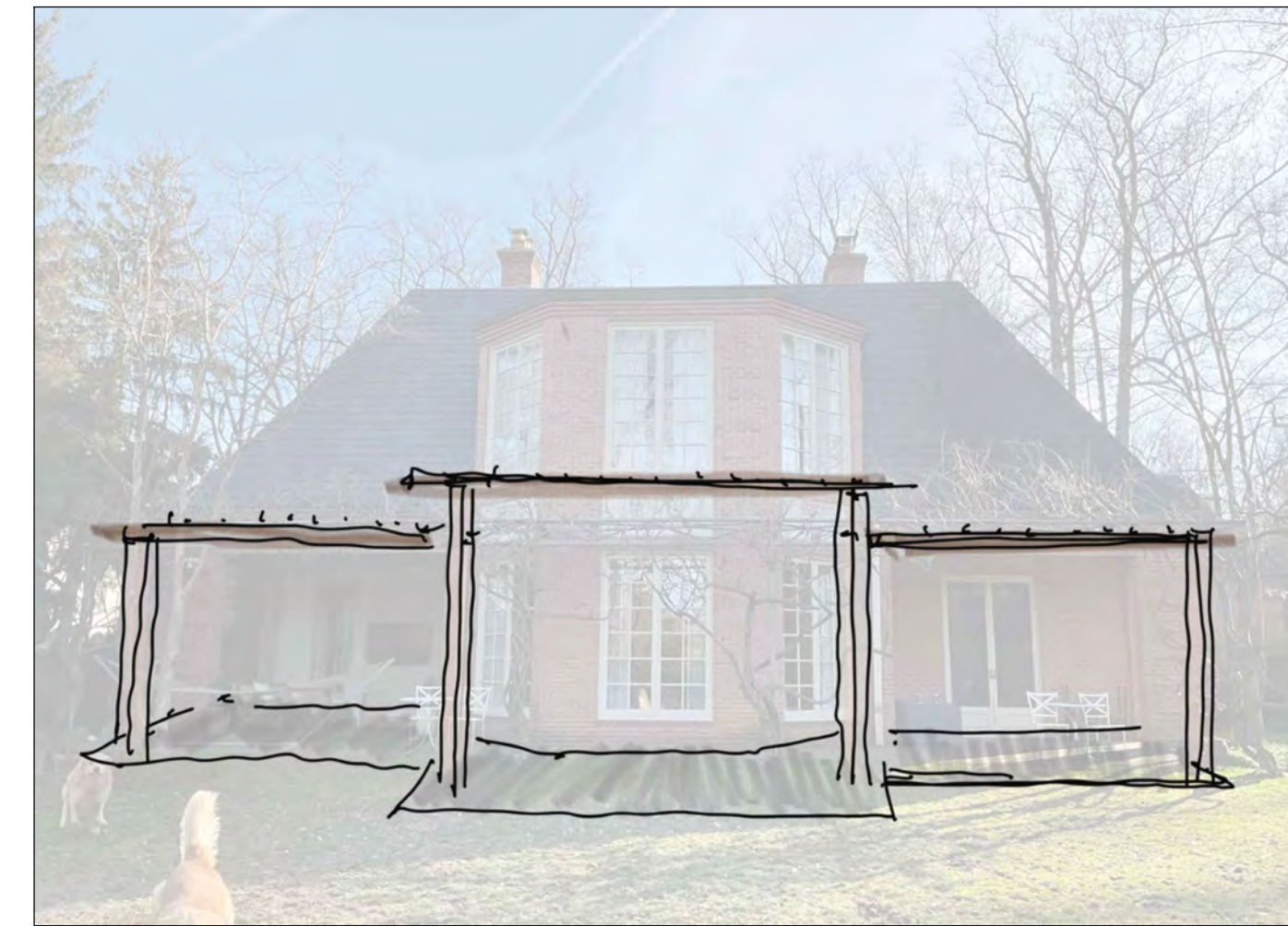


N/F CHEVY CHASE CLUB, INC. 50 CONNECTICUT AVENUE PARCEL 1450, BLOCK A CEL B CHEVY CHASE CLUB PLAT 22441

N/F ALEXANDER M. NEPHEW & KATHRYN B. DOYLE 5914 CEDAR PARKWAY PARCEL 623 CHEVY CHASE SECTION 2 BOOK 57179, PAGE 373

Nichols Residence

Not For Construction

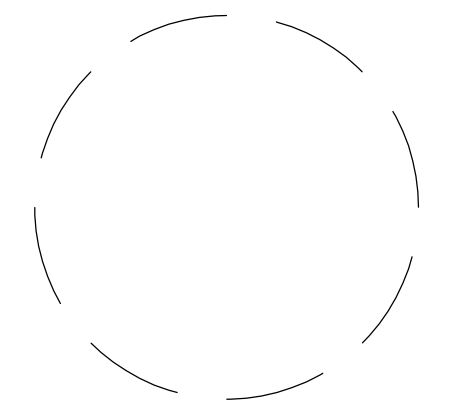


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North: SEE DETAILS

DESIGN: JH

DRAFTED: SB

CHECKED: JH

Scale: SEE DETAILS

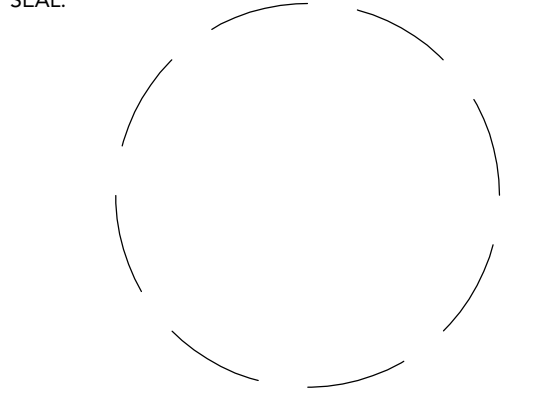
Issue Date: 2024-09-11

Project No: NICHOLS

PROPOSED ELEVATIONS

L-103

SEAL:



#	Date:	Description:	BY:
1	2024-09-06	PERGOLA HAWP	SB

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North:

DESIGN: JH

DRAFTED: AK

CHECKED: JH

Scale: SEE DETAILS

Issue Date: 2024-09-11

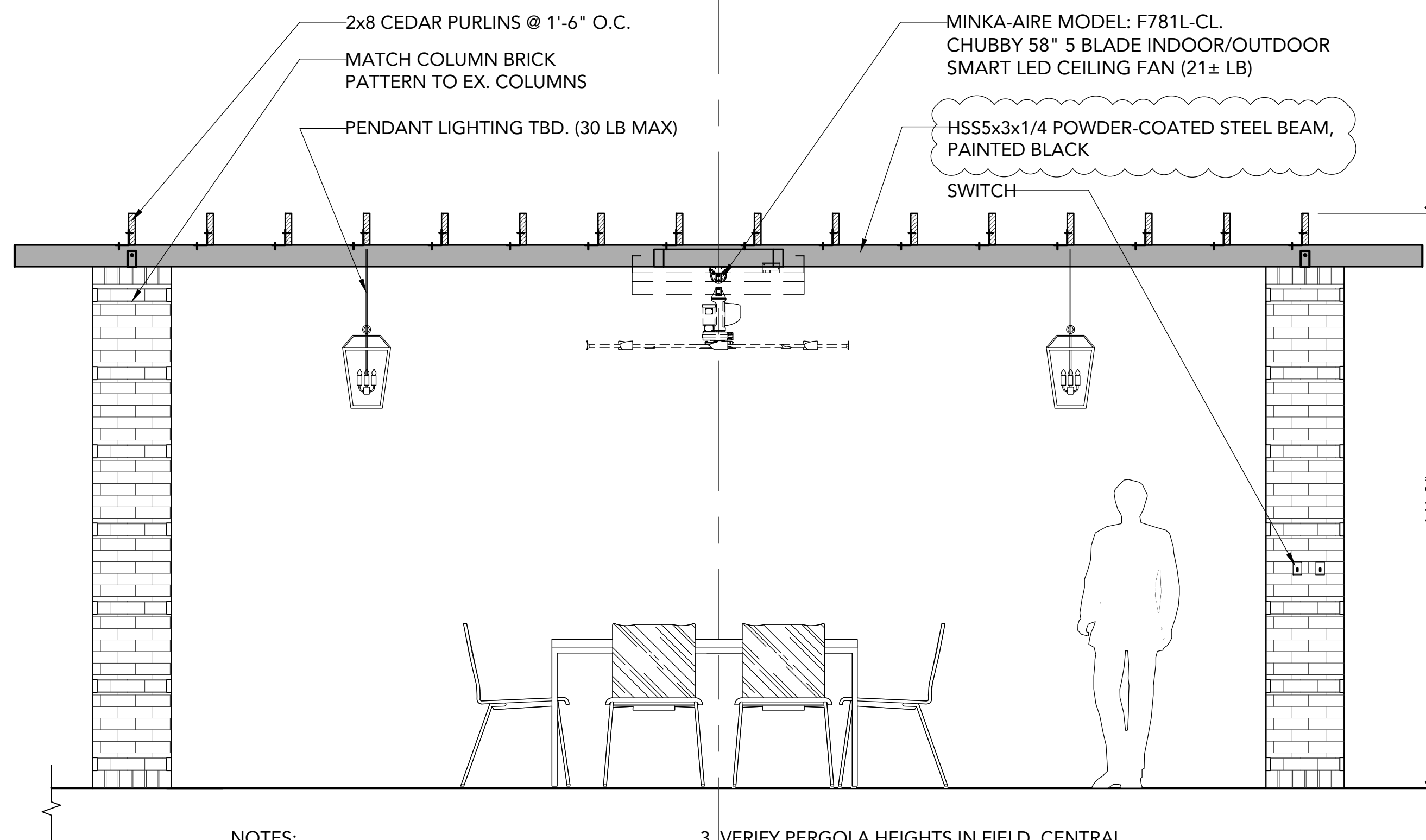
Project No: NICHOLS

PERGOLA DETAILS

L-201

Nichols Residence

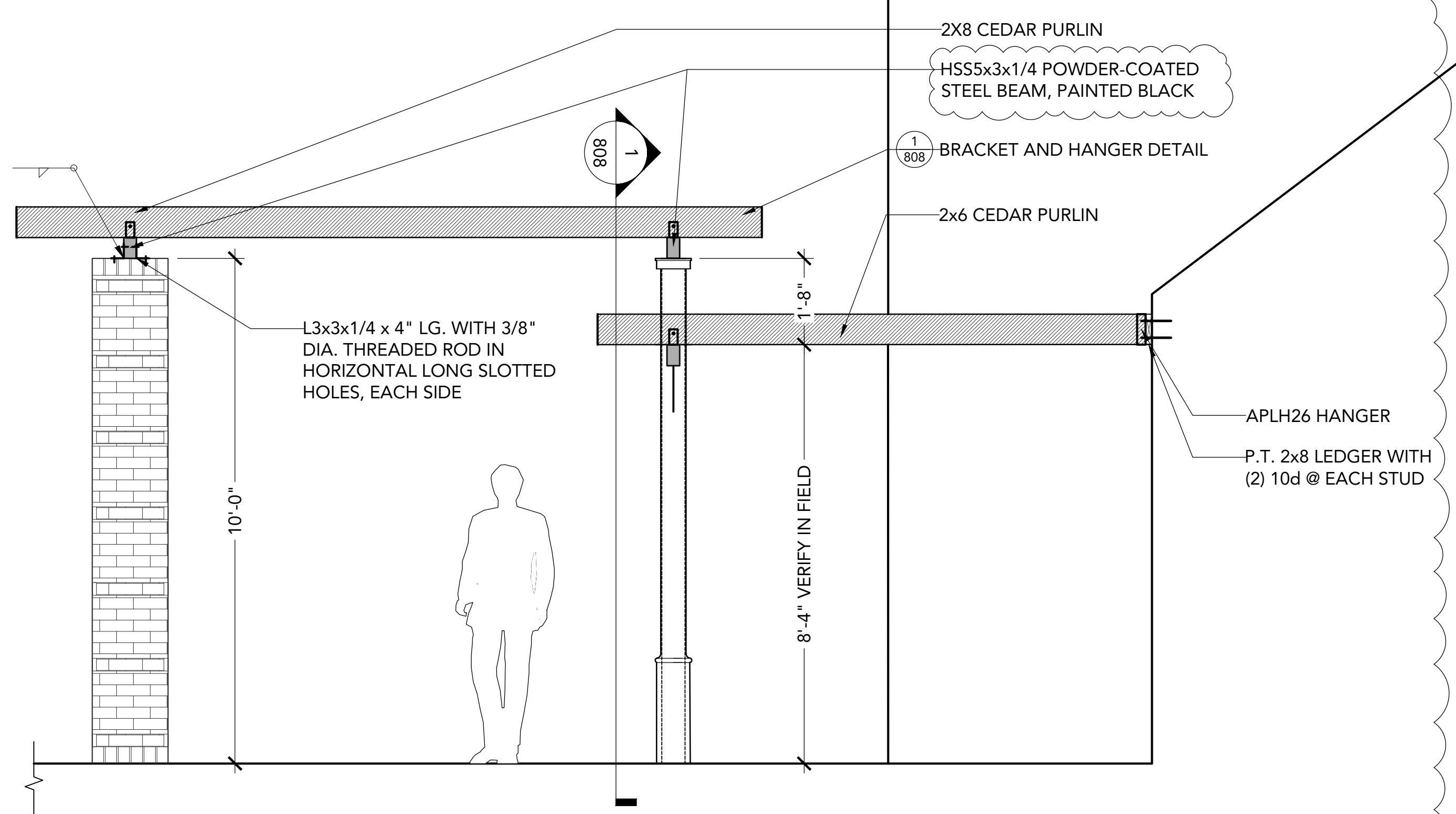
Not For Construction



NOTES:
1. ELECTRICAL WIRING FOR FAN AND PENDANTS TO RUN THROUGH INTERIOR OF COLUMNS.
2. HIGH-GRADE CLEAR CEDAR TO BE USED FOR ALL CARPENTRY ELEMENTS.
3. VERIFY PERGOLA HEIGHTS IN FIELD. CENTRAL PERGOLA TO SIT ABOVE BAS RELIEF PANELS ON HOUSE.

1 PERGOLA ELEVATION
SCALE: 1/2" = 1'-0"

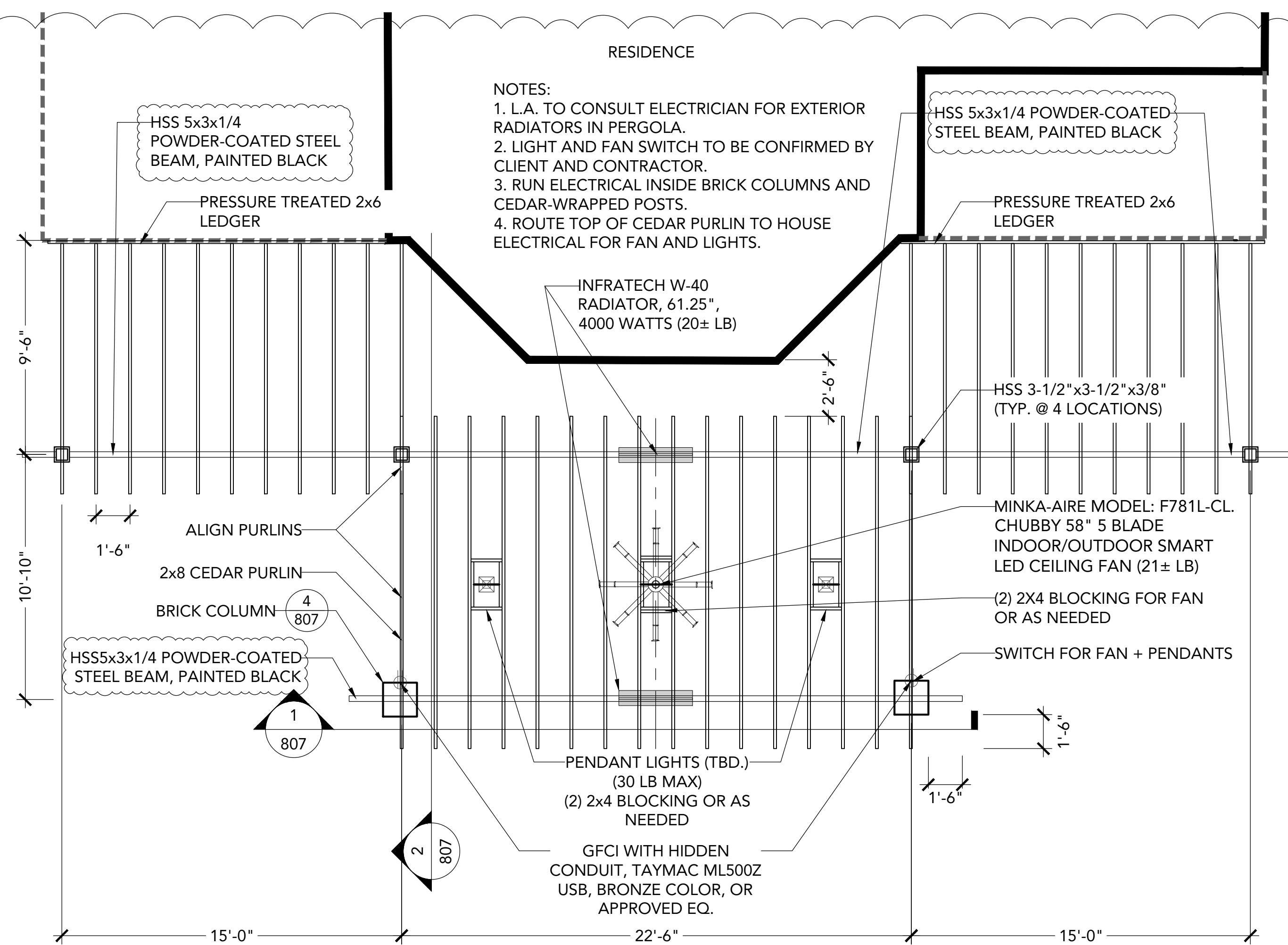
6 7 8



NOTES:
1. ELECTRICAL WIRING FOR FAN AND PENDANTS TO RUN THROUGH INTERIOR OF COLUMNS.
2. HIGH-GRADE CLEAR CEDAR TO BE USED FOR ALL CARPENTRY ELEMENTS.
3. VERIFY PERGOLA HEIGHTS IN FIELD. CENTRAL PERGOLA TO SIT ABOVE BAS RELIEF PANELS ON HOUSE.

2 PERGOLA SECTION
SCALE: 1/2" = 1'-0"

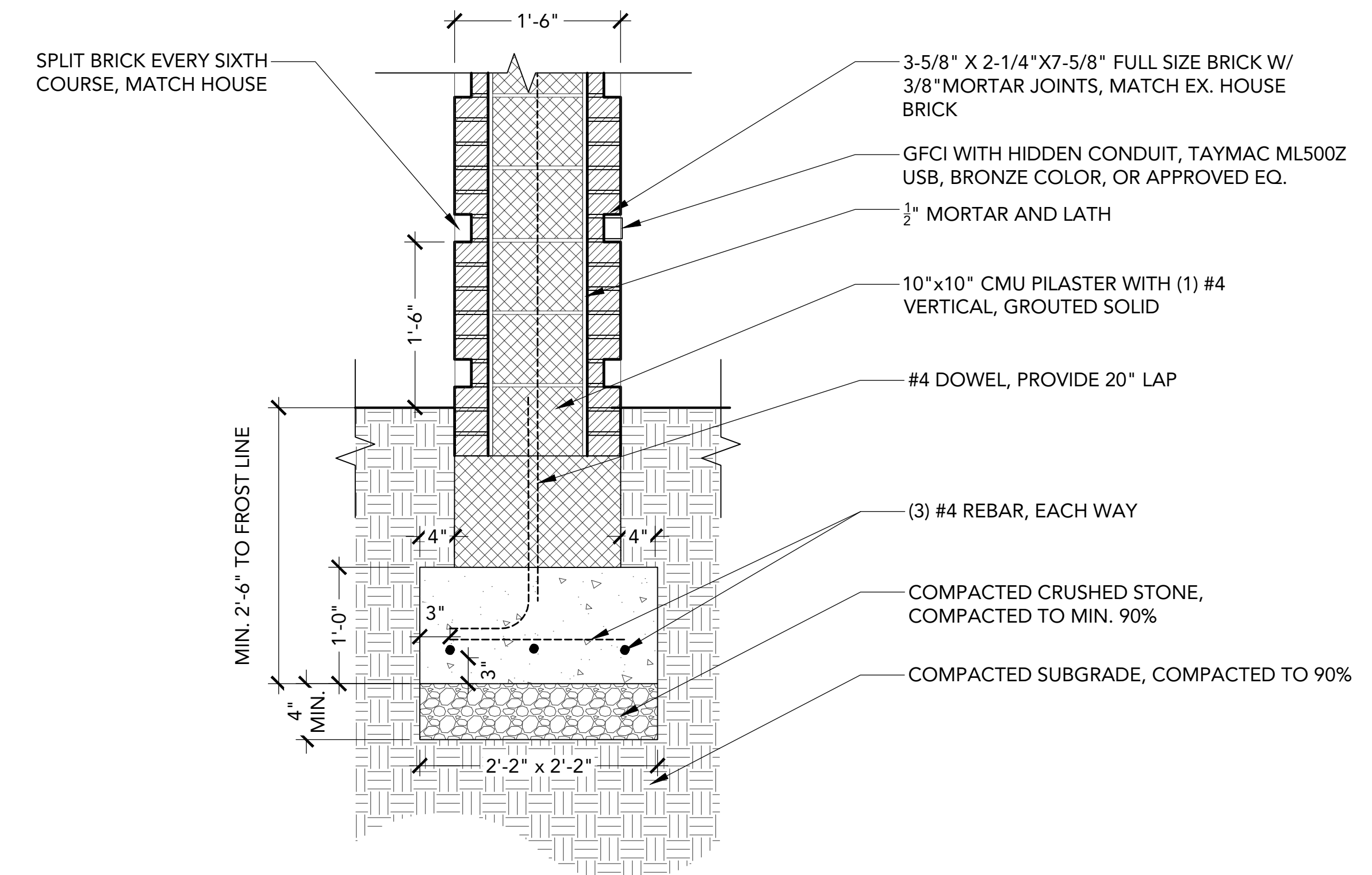
6 7 8



NOTES:
1. L.A. TO CONSULT ELECTRICIAN FOR EXTERIOR RADIATORS IN PERGOLA.
2. LIGHT AND FAN SWITCH TO BE CONFIRMED BY CLIENT AND CONTRACTOR.
3. RUN ELECTRICAL INSIDE BRICK COLUMNS AND CEDAR-WRAPPED POSTS.
4. ROUTE TOP OF CEDAR PURLIN TO HOUSE ELECTRICAL FOR FAN AND LIGHTS.

3 PERGOLA PLAN
SCALE: 1/4" = 1'-0"

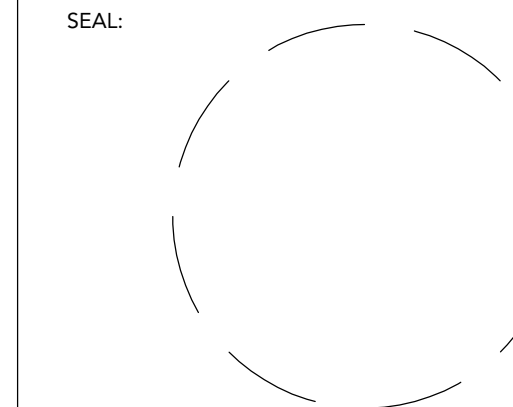
4 6 7 8



4 PERGOLA BRICK COLUMN DETAIL
SCALE: 1" = 1'-0"

4 6 7

SEAL:



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North:

DESIGN: JH

DRAFTED: AK

CHECKED: JH

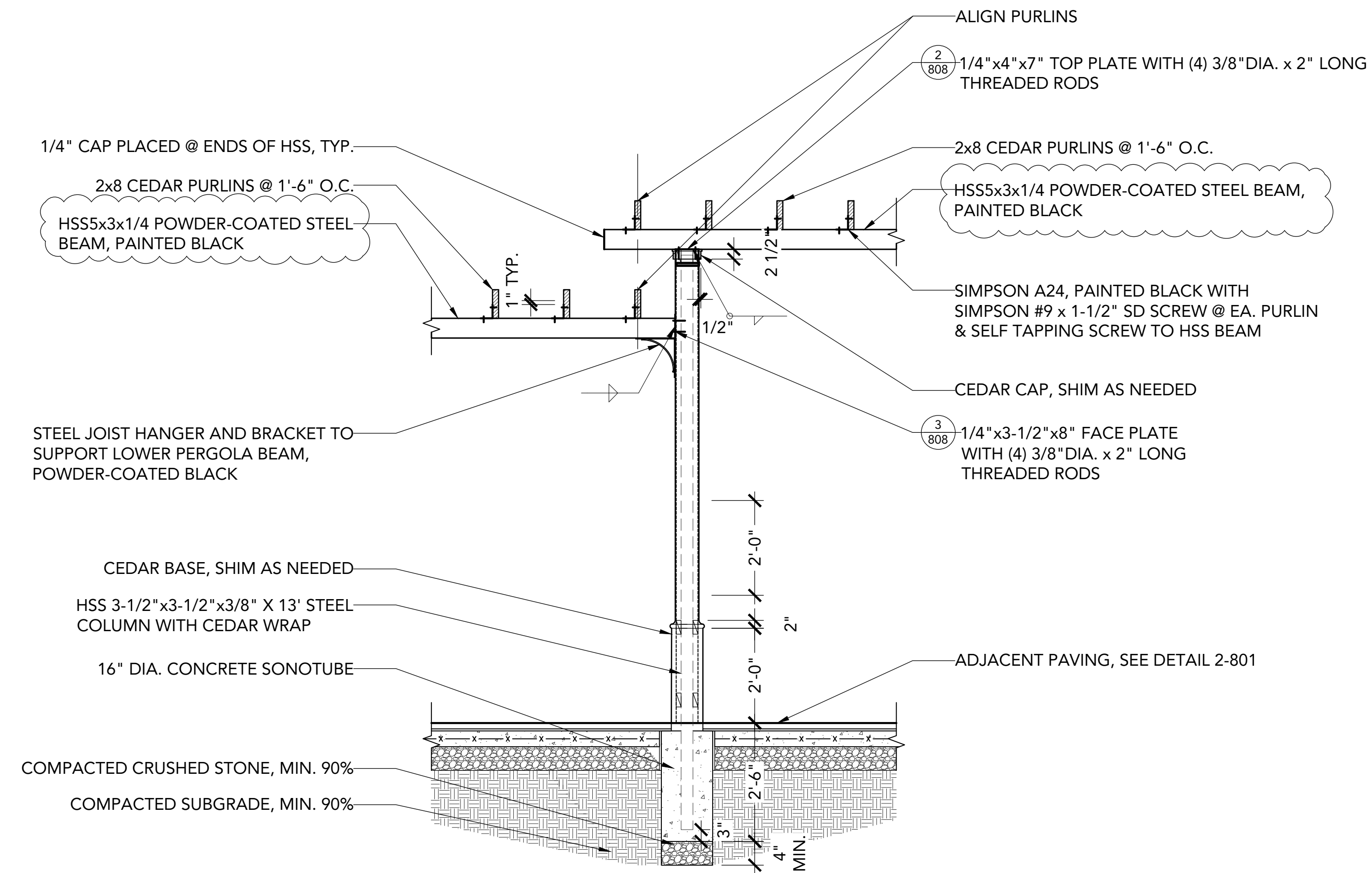
Scale: SEE DETAILS

Issue Date: 2024-09-11

Project No: NICHOLS

PERGOLA DETAILS

L-202

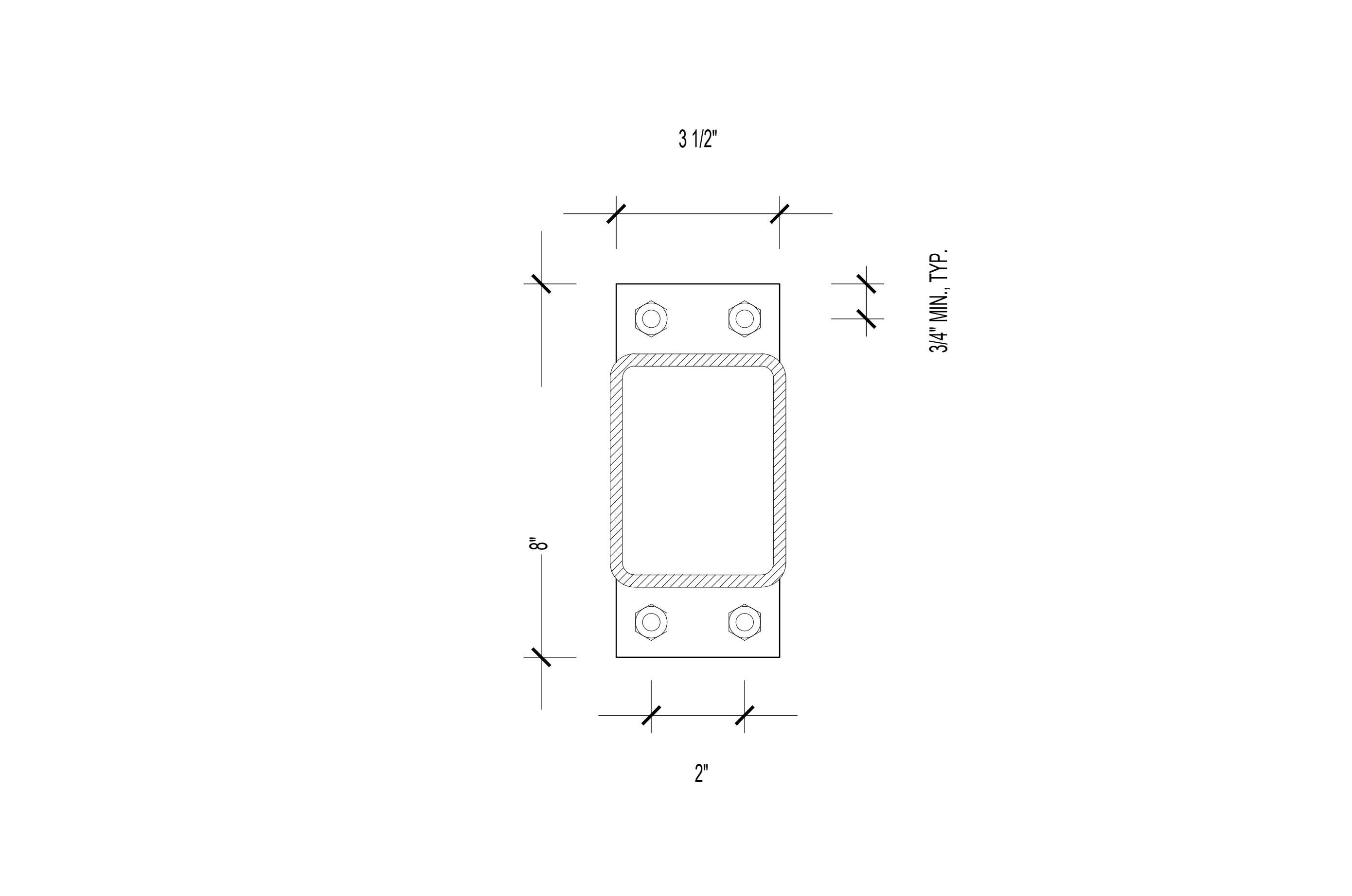


1 PERGOLA DETAIL
SCALE: 1/2" = 1'-0"

6 7 8

2 1/4"x4"x7" TOP PLACED WITH (4) 3/8" DIA. x 2" LONG THREADED RODS
SCALE: 1/2" = 1"

7 8



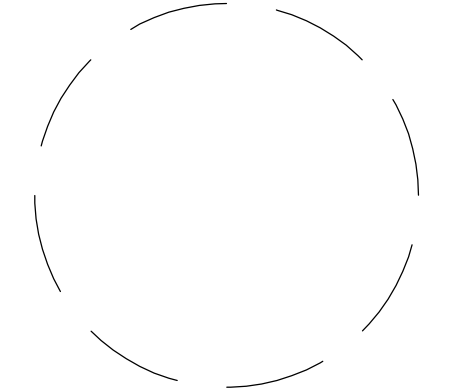
3 1/4"x3-1/2"x8" FACE PLACED WITH (4) 3/8" DIA. x 2" LONG THREADED RODS
SCALE: 1/2" = 1"

7 8



E BRICK PHOTO DETAIL
SCALE: NTS

SEAL:



#	Date:	Description:	BY:
1	2024-02-01	MASONRY PRICING SET	NB
2	2024-03-11	MASONRY PRICING SET REVS	AK
3	2024-03-20	MASONRY PRICING SET REVS	AK
4	2024-04-18	MASONRY PRICING SET REVS	TM
5	2024-05-10	90% CONSTR. DOC. SET	AK
6	2024-06-11	90% CONSTR. DOC. SET	AK
7	2024-06-25	90% CONSTR. DOC. SET REV.	AK
8	2024-07-18	90% CONSTR. DOC. SET REV.	AK

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North:

DESIGN: JH

DRAFTED: AK

CHECKED: JH

Scale: SEE DETAILS

Issue Date: 2024-07-18

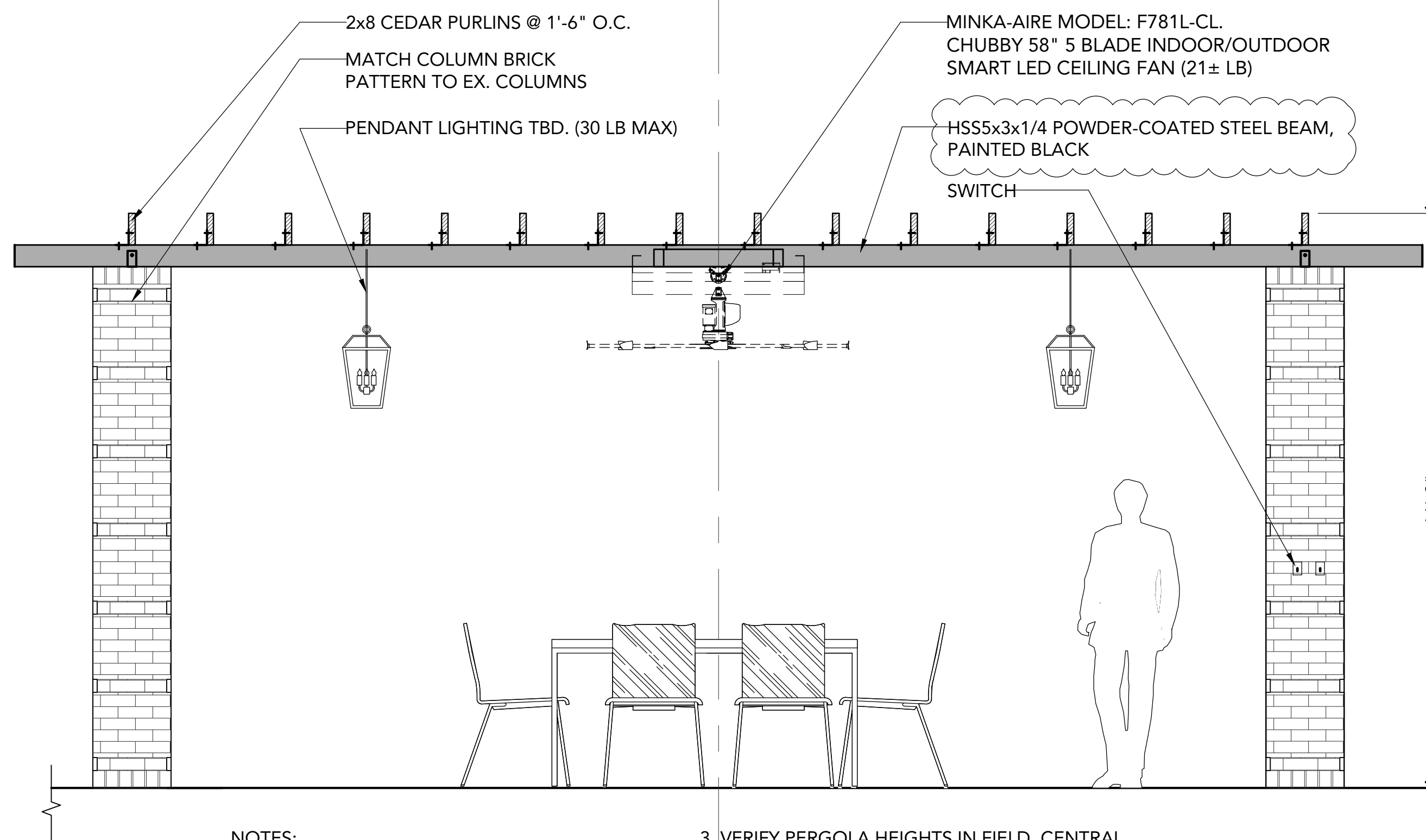
Project No: NICHOLS

PERGOLA DETAILS

L-807

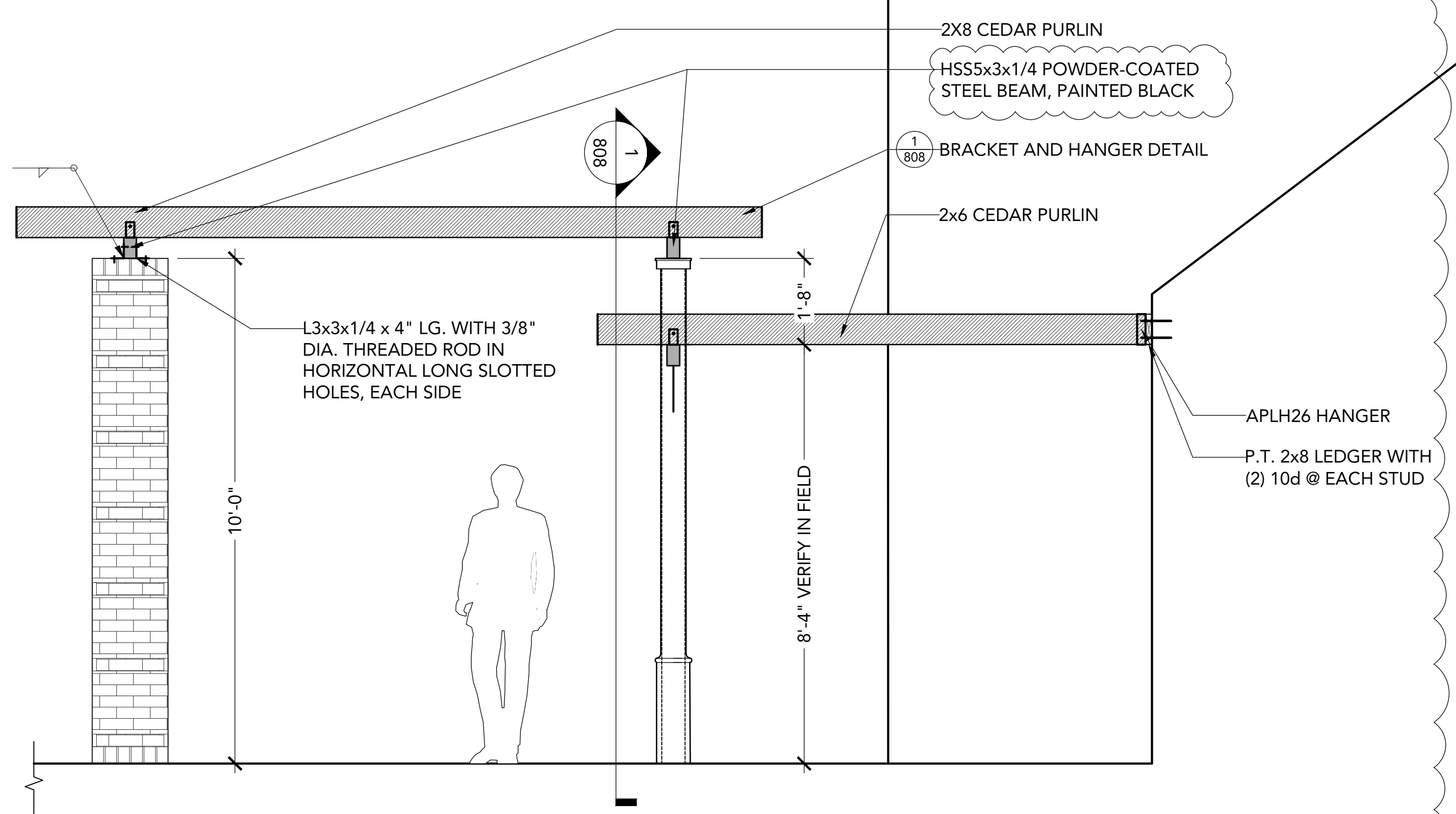
Nichols Residence

Not For Construction



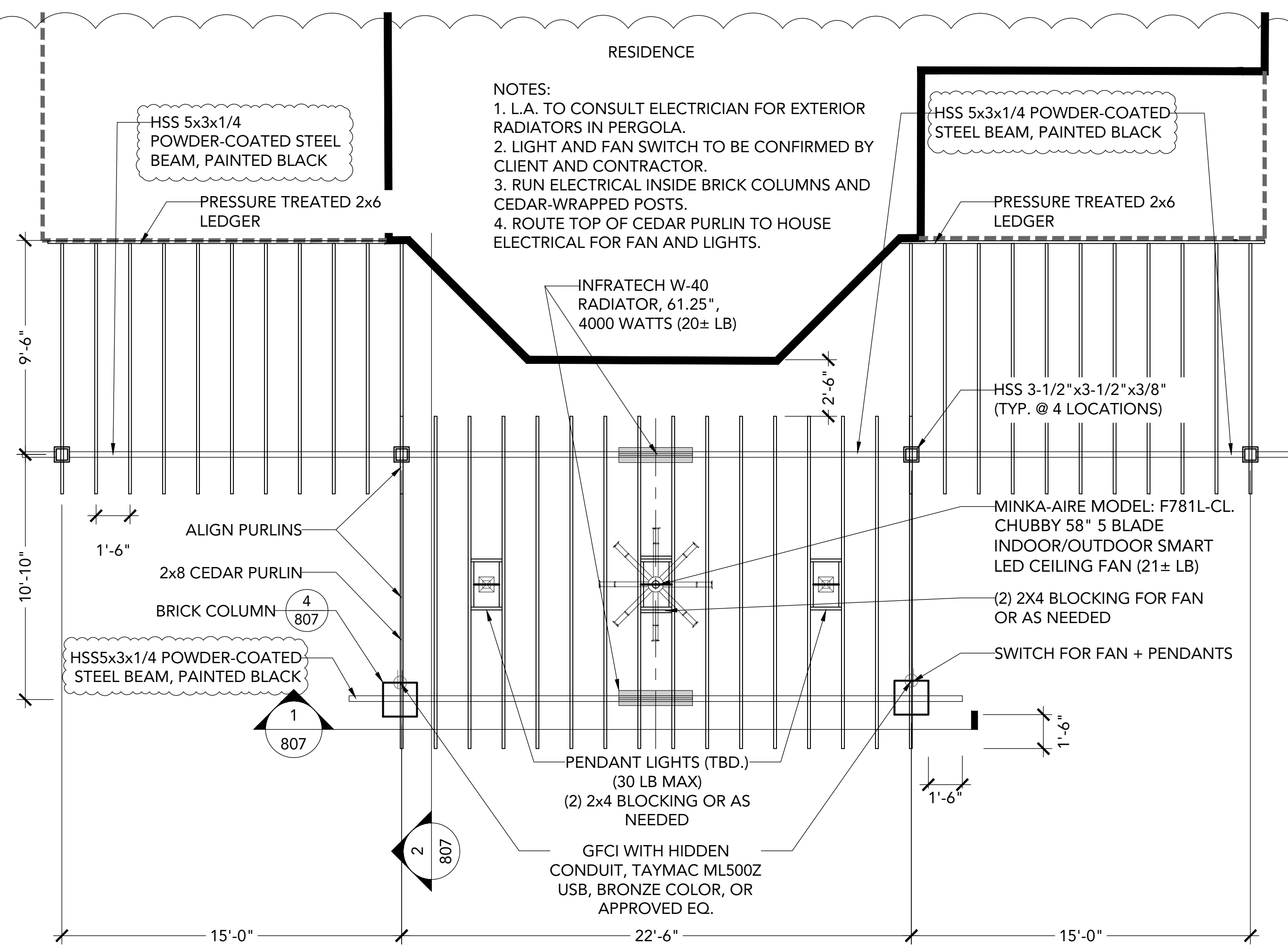
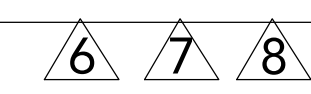
NOTES:
1. ELECTRICAL WIRING FOR FAN AND PENDANTS TO RUN THROUGH INTERIOR OF COLUMNS.
2. HIGH-GRADE CLEAR CEDAR TO BE USED FOR ALL CARPENTRY ELEMENTS.
3. VERIFY PERGOLA HEIGHTS IN FIELD. CENTRAL PERGOLA TO SIT ABOVE BAS RELIEF PANELS ON HOUSE.

1 PERGOLA ELEVATION
SCALE: 1/2" = 1'-0"



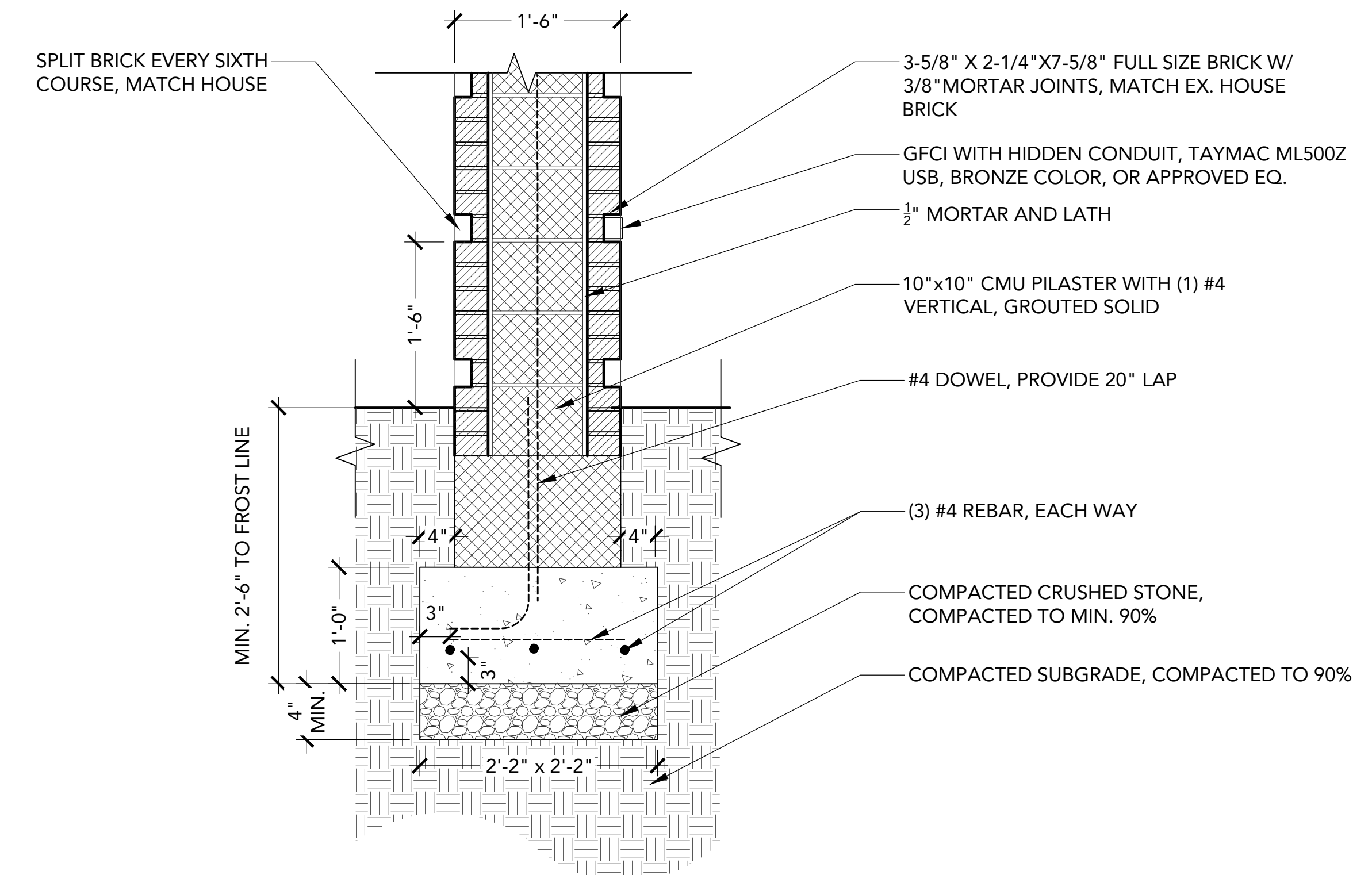
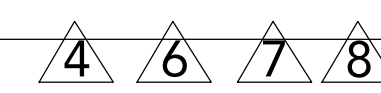
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2 PERGOLA SECTION
SCALE: 1/2" = 1'-0"



NOTES:
1. L.A. TO CONSULT ELECTRICIAN FOR EXTERIOR RADIATORS IN PERGOLA.
2. LIGHT AND FAN SWITCH TO BE CONFIRMED BY CLIENT AND CONTRACTOR.
3. RUN ELECTRICAL INSIDE BRICK COLUMNS AND CEDAR-WRAPPED POSTS.
4. ROUTE TOP OF CEDAR PURLIN TO HOUSE ELECTRICAL FOR FAN AND LIGHTS.

3 PERGOLA PLAN
SCALE: 1/4" = 1'-0"



4 PERGOLA BRICK COLUMN DETAIL
SCALE: 1" = 1'-0"

