### $\frac{\textbf{MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION}}{\textbf{STAFF REPORT}}$

Address: 5918 Cedar Parkway, Chevy Chase Meeting Date: 10/23/2024

**Resource:** Non-Contributing Resource **Report Date:** 10/16/2024

**Chevy Chase Village Historic District** 

**Public Notice:** 10/9/2024

**Applicant:** Rebecca & Rob Nichols

(Angela Koloszar, Agent) Tax Credit: n/a

**Review:** 1088225 **Staff:** Dan Bruechert

**Proposal:** Hardscape Alteration for outdoor fireplace construction, grill island, post installation,

and trash enclosure

#### **STAFF RECOMMENDATION**

Staff recommends the HPC <u>approve</u> the HAWP application.

#### **ARCHITECTURAL DESCRIPTION:**

SIGNIFICANCE: Non-Contributing Resource within the Chevy Chase Village Historic District

STYLE: Modern/Neo-Colonial

DATE: 1976

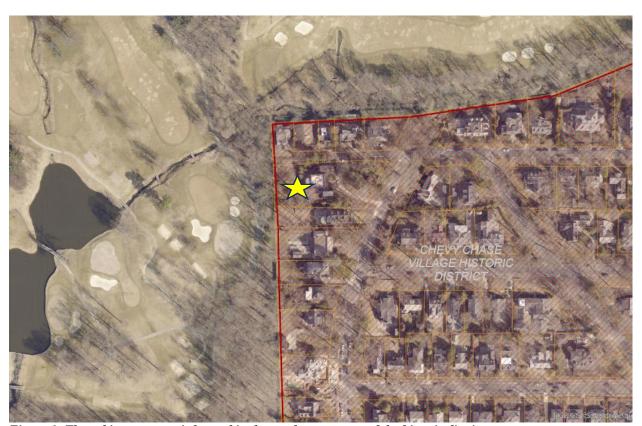


Figure 1: The subject property is located in the northwest corner of the historic district.

#### **PROPOSAL**

The applicant proposes to make several changes to the hardscape in the rear of the house including:

- A firepit;
- A grill island;
- The installation of several posts; and
- Construction of a new trash enclosure.

#### **APPLICABLE GUIDELINES**

When reviewing alterations and new construction within the Chevy Chase Village Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and adopted amendment for the Chevy Chase Village Historic District (*Guidelines*), *Montgomery County Code Chapter 24A* (*Chapter 24A*), and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

#### Chevy Chase Village Historic District Guidelines

The *Guidelines* break down specific projects into three levels of review - Lenient, Moderate and Strict Scrutiny.

- "Lenient Scrutiny" means that the emphasis of the review should be on issues of general massing and scale, and compatibility with the surrounding streetscape, and should allow for a very liberal interpretation of preservation rules. Most changes should be permitted unless there are major problems with massing, scale or compatibility.
- "Moderate Scrutiny" involves a higher standard of review than "lenient scrutiny." Besides issues of massing, scale and compatibility, preserving the integrity of the resource is taken into account. Alterations should be designed so that the altered structure still contributes to the district. Use of compatible new materials, rather than the original building materials, should be permitted. Planned changes should be compatible with the structure's existing design, but should not be required to replicate its architectural style.
- "Strict Scrutiny" means that the planned changes should be reviewed to insure that the integrity of the significant exterior architectural or landscaping features and details is not compromised. However, strict scrutiny should not be "strict in theory but fatal in fact" i.e. it does not mean that there can be no changes but simply that the proposed changes should be reviewed with extra care.
  - o <u>Fences</u> should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not.
  - o <u>Gazebos and other garden structures</u> should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not.
  - o <u>Lamposts and other exterior lights</u> should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not.
  - o <u>Lot coverage</u> should be subject to strict scrutiny, in view of the critical importance of preserving the Village's open park-like character.
  - The *Guidelines* state five basic policies that should be adhered to, including:

- Preserving the integrity of the Chevy Chase Village Historic District. Any alterations should, at a minimum, perpetuate the ability to perceive the sense of time and place portrayed by the district.
- Preserving the integrity of contributing structures. Alterations should be designed in such a way that the altered structure still contributes to the district.
- o Maintaining the variety of architectural styles and the tradition of architectural excellence.
- O Design review emphasis should be restricted to changes that will be visible from the front or side public right-of-way, or that would be visible in the absence of vegetation or landscaping.
- Alterations to the portion of a property that are not visible from the public-right-of-way should be subject to a very lenient review. Most changes to the rear of the properties should be approved as a matter of course.

#### Montgomery County Code; Chapter 24A-8

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
  - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
  - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district.

#### Secretary of the Interior's Standards for Rehabilitation:

#2: The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.

#9: New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

#10: New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

#### STAFF DISCUSSION

The subject property is a two-story brick house with a U-shaped plan set back a significant distance from the street. The house is accessed from a long gravel driveway that connects Cedar Parkway and Lenox St. The HPC has reviewed two HAWP at the subject property as part of incremental landscape work. The

<sup>&</sup>lt;sup>1</sup> A HAWP for bollards was approved by the HPC on May 22,2024: <a href="https://montgomeryplanning.org/wp-content/uploads/2024/05/I.B-5918-Cedar-Parkway-Chevy-Chase-1067000.pdf">https://montgomeryplanning.org/wp-content/uploads/2024/05/I.B-5918-Cedar-Parkway-Chevy-Chase-1067000.pdf</a>. A HAWP for the replacement of a

applicant proposes work on four items:

- 1. Construction of an outdoor fireplace;
- 2. Replacement posts for outdoor lighting;
- 3. A new grill island; and
- 4. Enlarging the existing trash corral.

Staff finds the impact on the historic district will be minimal and recommends the HPC approve the HAWP.

On the southwest side of the house, the applicant proposes to construct a gas fireplace. The fireplace will be 5' (five feet) tall and have a stucco finish with a bluestone hearth and cap. As a feature not visible from the public right-of-way, per the *Design Guidelines*, it is to be reviewed under lenient scrutiny. Staff finds the proposed fireplace will not have a significant impact on the character of the site or surrounding historic district and should be approved. Staff additionally finds that the fireplace could be removed at a future date without impacting any of the fabric on this 'Non-contributing' resource. Staff recommends the HPC approve the fireplace under the *Design Guidelines*, 24A-8(d), and Standards 2 and 10.

In the northwest corner of the subject property, there is a bocce court with four 4" × 4" (four-inch by four-inch) posts with lights strung between them. The applicant proposes to remove the existing post and install new 6" × 6" (six-inch by six-inch) posts. As 'lamposts', Staff finds the proposed posts, which are not visible from the public right-of-way should be reviewed under lenient scrutiny. Staff finds the proposed posts are in keeping with the character of the existing bocce court and will not detract from the character of the site or surrounding district and recommends the HPC approve the new posts under the *Design Guidelines*, 24A-8(d), and Standards 2 and 10.

To the northwest of the house, adjacent to the existing patio, the applicant proposes to construct a grill island. The proposed feature includes a grill and adjacent storage cabinets. The stucco finish is intended to mimic the stucco on the house and the proposed fireplace, as discussed above. Staff finds this feature should be reviewed as a "garden structure" that is not visible from the public right-of-way and should be reviewed under lenient scrutiny. Staff finds the proposed grill island will not detract from the character of the site or surrounding district and recommends the HPC approve the structure under the *Design Guidelines*, 24A-8(d), and Standards 2 and 10.

The final change proposed in this HAWP application is enlarging the existing trash enclosure. This work will include replacing a section of the existing enclosure that faces the garage. The existing trash enclosure is located to the north of the house at the property boundary. Application materials state the trashe enclosure will be enlarged and that the new panels will be 6' 5.5" (six feet, five and a half inches) tall. Comparing the drawings of the existing condition and the proposed show the trash enclosure will effectively double in size from about 8' × 5' (eight feet wide by five feet deep) to 8' × 10' (eight feet wide by ten feet deep). This size difference is largely irrelevant as the trash enclosure is behind a site wall, so it will not be at all visible from the public right-of-way. Under a lenient scrutiny review, Staff finds the proposed trash enclosure is appropriate and recommends the HPC approve the new enclosure under the *Design Guidelines*, 24A-8(d), and Standards 2 and 10.

#### STAFF RECOMMENDATION

Staff recommends that the Commission <u>approve</u> the HAWP application under the Criteria for Issuance in Chapter 24A-8(b)(2), and (d) having found that the proposal is compatible in character with the district and the purposes of Chapter 24A;

and with the Secretary of the Interior's Standards for Rehabilitation #2 and #10;

and with the general condition that the applicant shall present an electronic set of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or dan.bruechert@montgomeryplanning.org to schedule a follow-up site visit.



# **APPLICATION FOR** HISTORIC AREA WORK PERMIT HISTORIC PRESERVATION COMMISSION 301.563.3400

DATE ASSIGNED\_\_\_\_

FOR STAFF ONLY:

HAWP#\_

#### **APPLICANT:**

Name:	E-mail:
Address:	City: Zip:
Daytime Phone:	Tax Account No.:
AGENT/CONTACT (if applicable):	
Name:	E-mail:
Address:	City: Zip:
Daytime Phone:	Contractor Registration No.:
LOCATION OF BUILDING/PREMISE: MIHP # of	Historic Property
map of the easement, and documentation from Are other Planning and/or Hearing Examiner App (Conditional Use, Variance, Record Plat, etc.?) If supplemental information.	
	;
Lot: Block: Subdiv TYPE OF WORK PROPOSED: See the checklis for proposed work are submitted with this a	et on Page 4 to verify that all supporting items application. Incomplete Applications will not
☐ Grading/Excavation ☐ Roof I hereby certify that I have the authority to make and accurate and that the construction will com	Shed/Garage/Accessory Structure  Solar Tree removal/planting  /Landscape Window/Door Other:  e the foregoing application, that the application is correct apply with plans reviewed and approved by all necessary this to be a condition for the issuance of this permit.

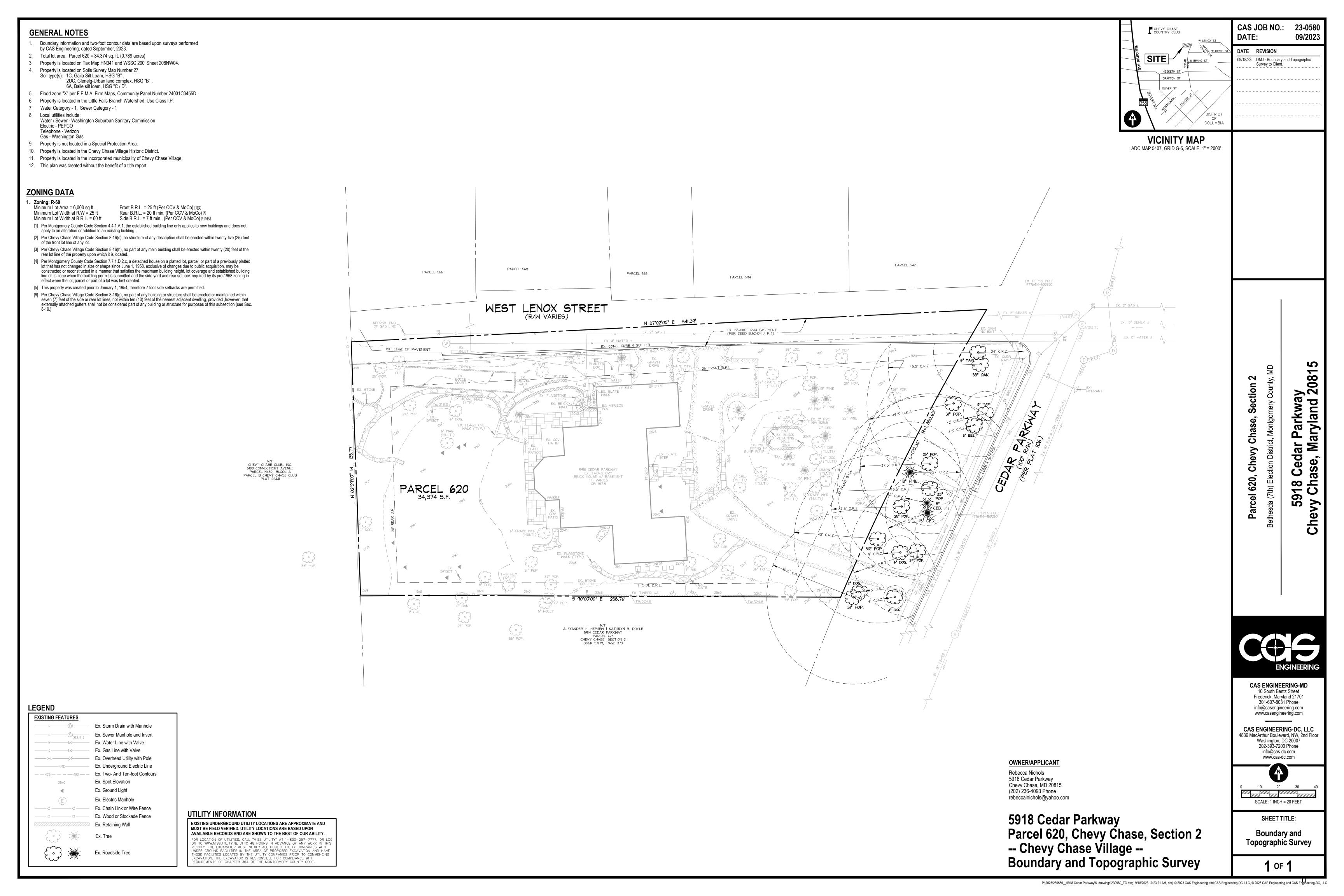
# HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFING [Owner, Owner's Agent, Adjacent and Confronting Property Owners] Owner's mailing address Owner's Agent's mailing address Adjacent and confronting Property Owners mailing addresses

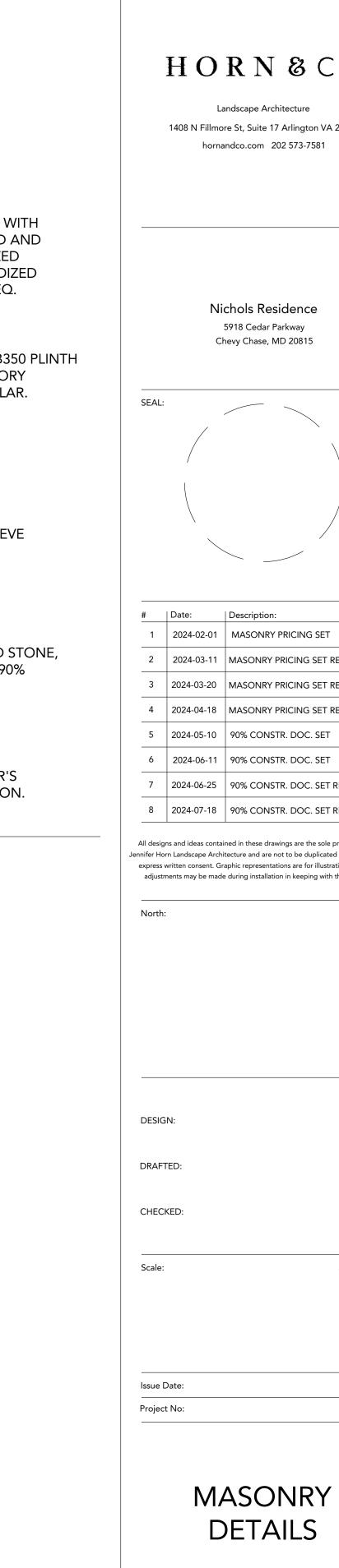
Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:
Description of Work Proposed: Please give an overview of the work to be undertaken:

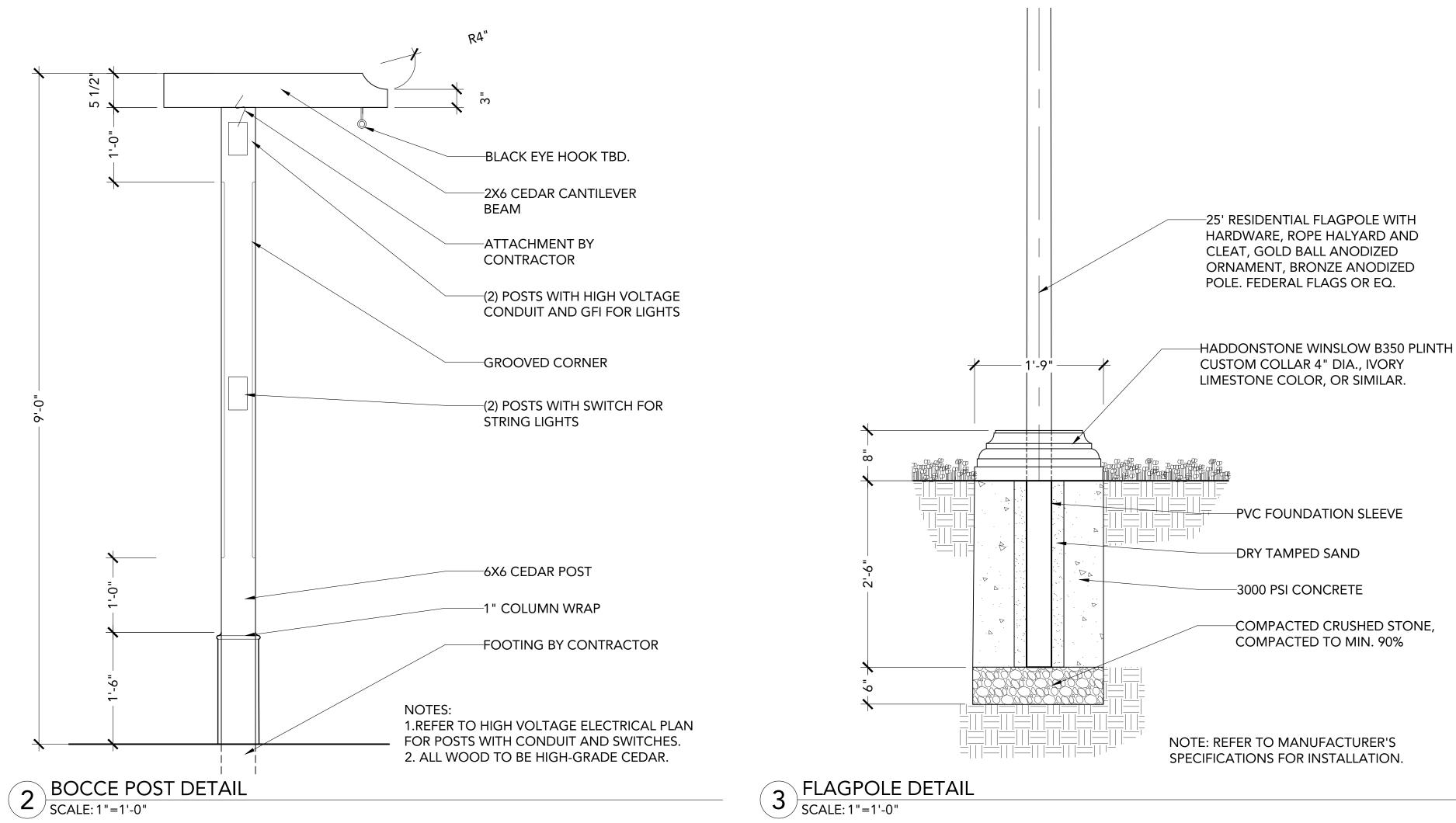
Work Item 1:	
Description of Current Condition:	Proposed Work:
Work Item 2:	
Description of Current Condition:	Proposed Work:
Work Item 3:	
Description of Current Condition:	Proposed Work:

# HISTORIC AREA WORK PERMIT CHECKLIST OF APPLICATION REQUIREMENTS

	Required Attachments						
Proposed Work	I. Written Description	2. Site Plan	3. Plans/ Elevations	4. Material Specifications	5. Photographs	6. Tree Survey	7. Property Owner Addresses
New Construction	*	*	*	*	*	*	*
Additions/ Alterations	*	*	*	*	*	*	*
Demolition	*	*	*		*		*
Deck/Porch	*	*	*	*	*	*	*
Fence/Wall	*	*	*	*	*	*	*
Driveway/ Parking Area	*	*		*	*	*	*
Grading/Exc avation/Land scaing	*	*		*	*	*	*
Tree Removal	*	*		*	*	*	*
Siding/ Roof Changes	*	*	*	*	*		*
Window/ Door Changes	*	*	*	*	*		*
Masonry Repair/ Repoint	*	*	*	*	*		*
Signs	*	*	*	*	*		*







**├** 10" **├** 

2" CLEAR EA. SIDE

MONOLITHIC STONE PIER DETAIL

TO FROST DEPT PER CODE

SCALE: 1"=1'-0"

ROUGH EDGE DIMENSIC AL BLUESTONE

-4" ENGRAY ZO ADDRESS NUMBER AND 2"

CONCRETE FOOTING, BY CONTRACTOR

LETTERS, FONT TBD.

UBMIT IMAGES

PIER, CONTRACTOR TA

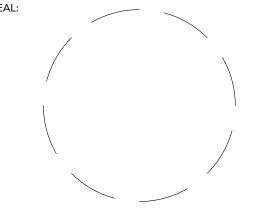
TO L.A. FOR APPRO

**ENGRAY** 

HORN&Co.

1408 N Fillmore St, Suite 17 Arlington VA 22201 hornandco.com 202 573-7581

> Nichols Residence Chevy Chase, MD 20815



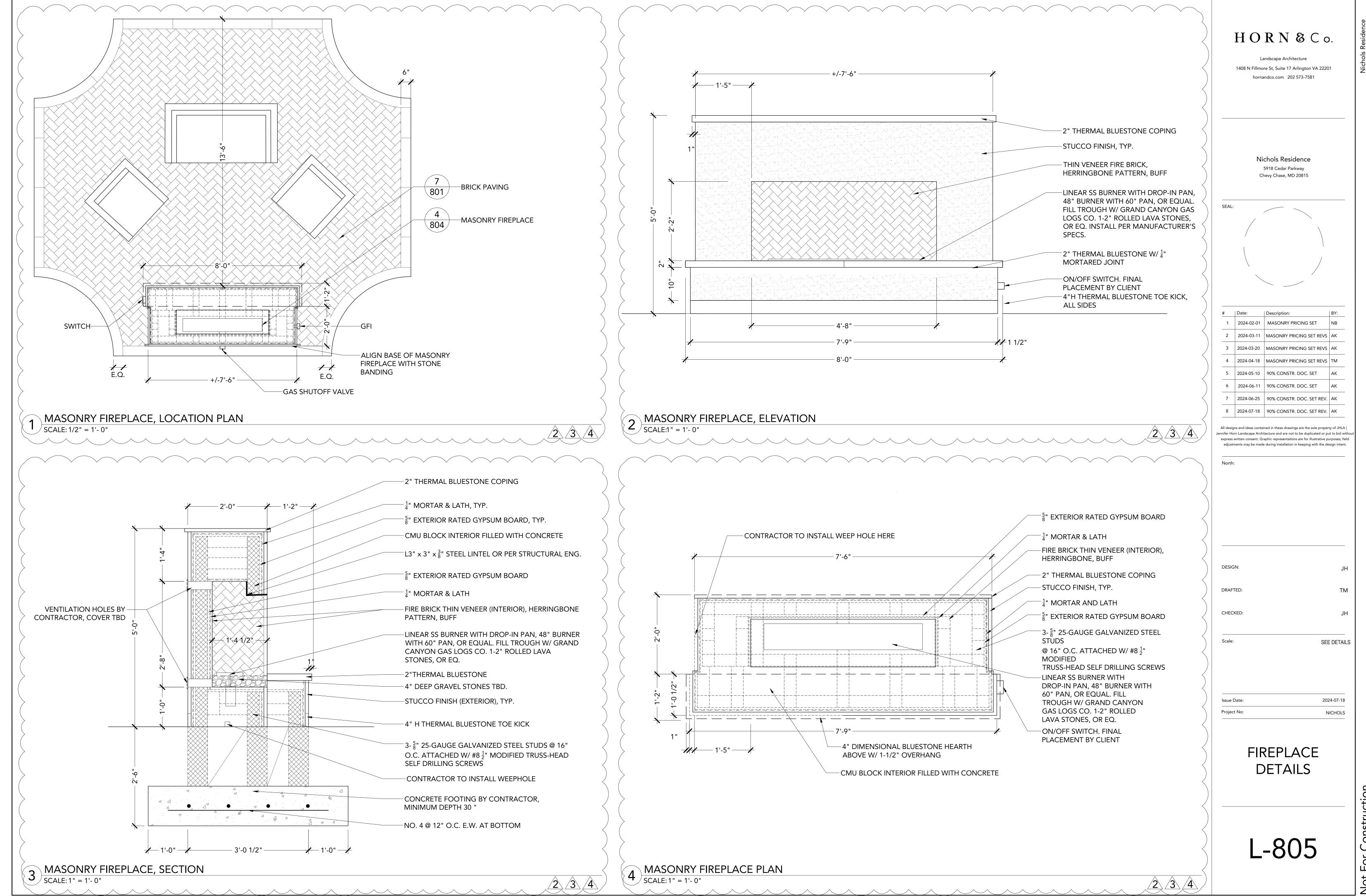
i	#	Date:	Description:	BY:
	1	2024-02-01	MASONRY PRICING SET	NB
	2	2024-03-11	MASONRY PRICING SET REVS	AK
-	3	2024-03-20	MASONRY PRICING SET REVS	AK
-	4	2024-04-18	MASONRY PRICING SET REVS	ТМ
	5	2024-05-10	90% CONSTR. DOC. SET	AK
	6	2024-06-11	90% CONSTR. DOC. SET	AK
	7	2024-06-25	90% CONSTR. DOC. SET REV.	AK
	8	2024-07-18	90% CONSTR. DOC. SET REV.	AK

All designs and ideas contained in these drawings are the sole property of JHLA | Jennifer Horn Landscape Architecture and are not to be duplicated or put to bid withou express written consent. Graphic representations are for illustrative purposes; field adjustments may be made during installation in keeping with the design intent.

SEE DETAILS

2024-07-18 NICHOLS

**DETAILS** 



-1/2" MORTAR AND LATH

1 1/2" TYP.

**|-----||----**

FINAL KITCHEN SPECIFICATIONS BY MANUFACTURER.

CONTRACTOR TO INSTALL BRICK VENEER ON ALL SIDES OF GRILL ISLAND.

=========

36" GRILL, SEE ELEVATION

INTERIOR GFI FOR GRILL

-SINGLE ACCESS DOOR BELOW, SEE ELEVATION

CONTRACTOR TO PROVIDE VENTS FOR GRILL PER MANUFACTURER SPECIFICATIONS.

- 7'-0" -

**①** 

— 3'**-**0" -

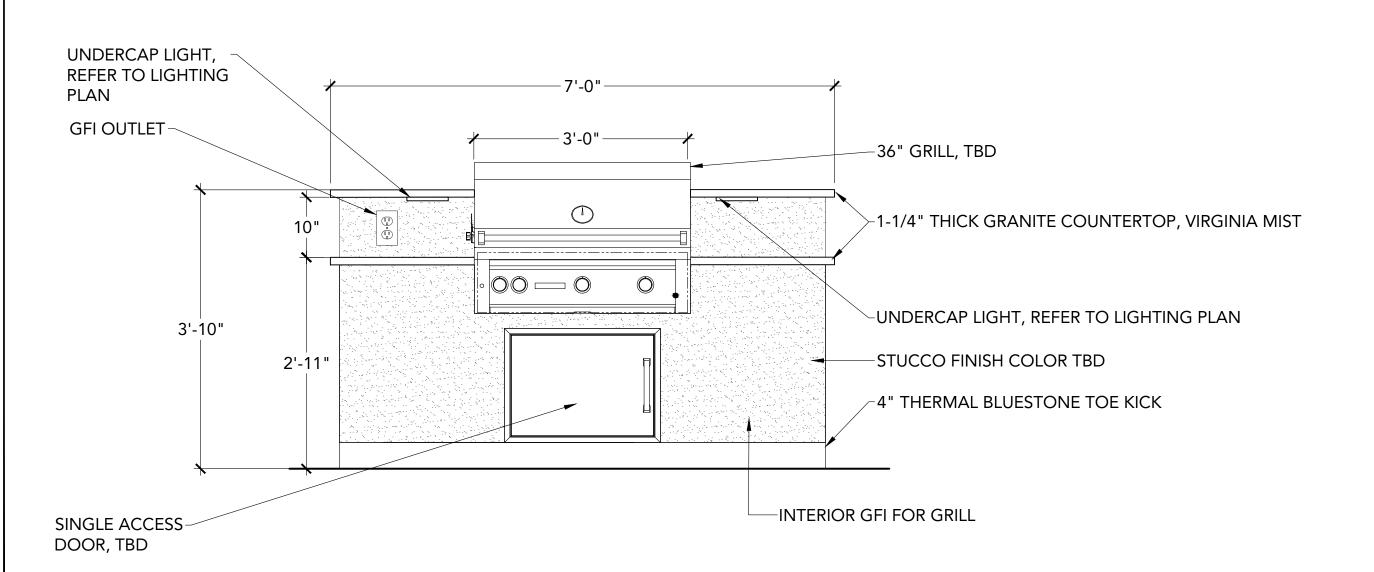
CONTRACTOR TO PROVIDE ELECTRICAL AND GAS CONNECTIONS FOR

KITCHEN.

GRILL ISLAND, PLAN

GFI OUTLET (EXTERIOR),

SCALE: 3/4" = 1'- 0"



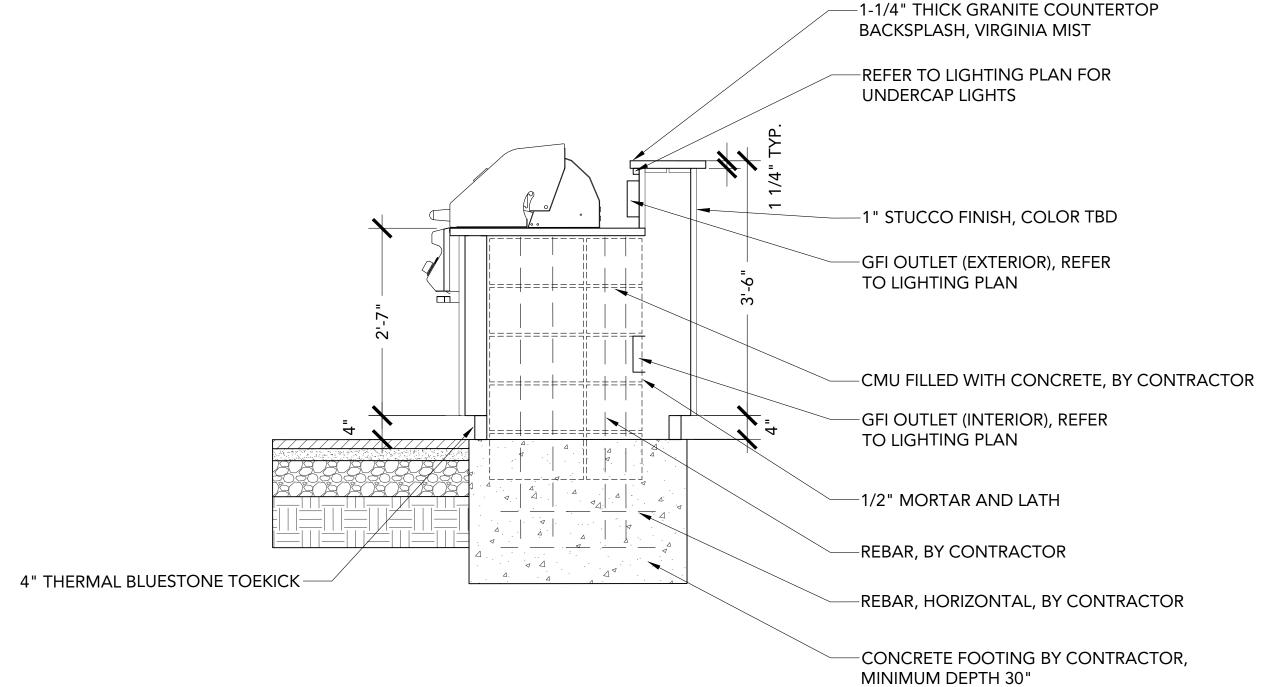
NOTE: GRILL ELEVATION FOR DESIGN PURPOSE ONLY. FINAL KITCHEN SPECIFICATIONS BY MANUFACTURER.

CONTRACTOR TO STUCCO ALL SIDES OF GRILL ISLAND.

CONTRACTOR TO PROVIDE VENTS AND APPROPRIATE CLEARANCES FOR GRILL PER MANUFACTURER SPECIFICATIONS.

CONTRACTOR TO PROVIDE ELECTRICAL AND GAS CONNECTIONS FOR KITCHEN.





CONTRACTOR TO ADJUST MEASUREMENTS OF CAVITY AND COUNTERTOP PENDING GRILL SELECTION

CONTRACTOR TO COORDINATE WITH THE LIGHTING CONTRACTOR ON ELECTRICAL STUB OUTS

CONTRACTOR TO STUCCO ALL SIDES OF GRILL ISLAND

CONTRACTOR TO PROVIDE APPROPRIATE CLEARANCES AND VENTS PER

MANUFACTURER'S SPECS

GRILL ISLAND, SECTION

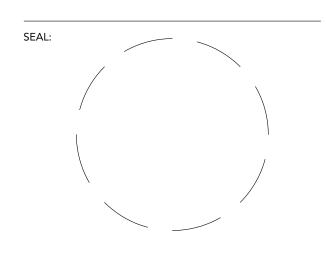
SCALE: 3/4" = 1'- 0"

HORN&Co. Landscape Architecture

1408 N Fillmore St, Suite 17 Arlington VA 22201

hornandco.com 202 573-7581

Nichols Residence 5918 Cedar Parkway Chevy Chase, MD 20815



#	Date:	Description:	BY:
1	2024-02-01	MASONRY PRICING SET	NB
2	2024-03-11	MASONRY PRICING SET REVS	AK
3	2024-03-20	MASONRY PRICING SET REVS	AK
4	2024-04-18	MASONRY PRICING SET REVS	ТМ
5	2024-05-10	90% CONSTR. DOC. SET	AK
6	2024-06-11	90% CONSTR. DOC. SET	AK
7	2024-06-25	90% CONSTR. DOC. SET REV.	AK
8	2024-07-18	90% CONSTR. DOC. SET REV.	AK

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DESIGN: CHECKED:

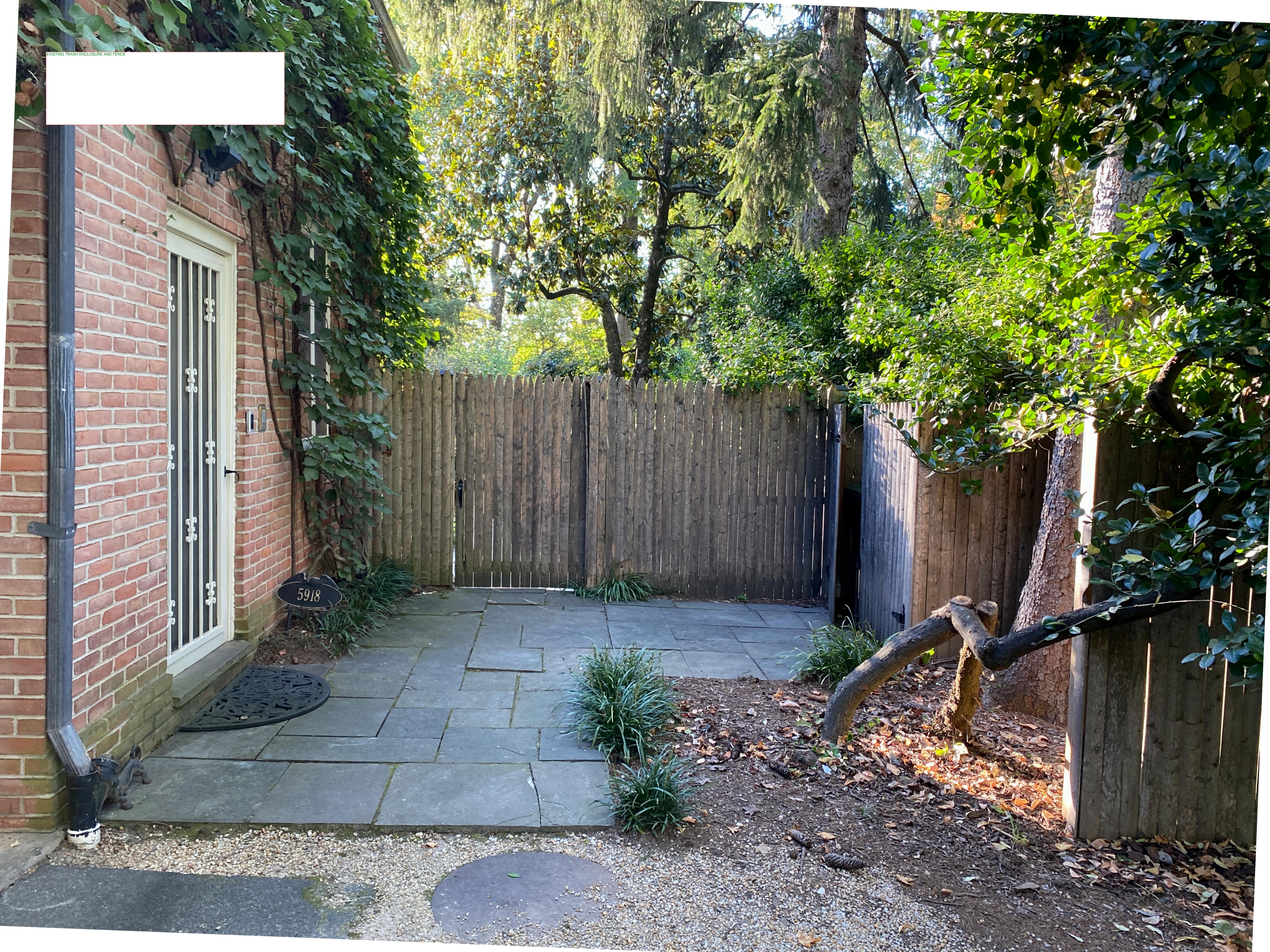
SEE DETAILS

2024-07-18 Project No: NICHOLS

> **GRILL ISLAND DETAILS**

Not For Construction











## Feather & Assoc.

Tolbert V. Feather, Ph.D.

Advisors for: Landscape Development

Landscape Management, Plant Pest Management

Chevy Chase Village 5906 Connecticut Avenue Chevy Chase, MD 20815 June 13, 2024 Revised 7-9-24

#### Tree Preservation Plan – 5918 Cedar Parkway

I recommend the issuance of the Building Permit conditioned on the Owner's compliance with the tree preservation plan shown on the attached sheet and as stated below.

Attached is a map of the tree preservation plan for the residence at 5918 Cedar Parkway

- 1. Tree preservation fencing shall be installed in the locations shown on the plan. The street tree shall be protected. Tree preservation fencing shall delineate the tree protection zones. Tree preservation fencing shall be 4' tall wire mesh supported with steel stakes no less than 8' apart.
- 2. The Owner/Contractor shall inform all on-site workers that the tree preservation zones shall not be entered. Neither materials nor equipment shall be stored within the tree preservation zones. No grading shall be done within the tree preservation zones. The grading outside the tree preservation zones shall not be changed to divert and collect water within tree preservation zones.
- 3. No super silt fencing shall be installed within 10' of protected trees.
- 4. No storage of materials or equipment within 15' of protected trees...
- 5. Where indicated, excavations shall be done by hand. Any live roots 2" or more in diameter shall be preserved.
- 6. If excavation exposes roots on protected trees, the damaged roots shall be cleanly cut.
- 7. The Chevy Chase Village office shall be notified of any construction plan changes.

Note: As shown, two crepe myrtle trees cannot be protected if the new patios are installed.



Trees to be removed to install paving, as shown.

Feather and Associates June 18, 2024 revised 7-9-24 1" = 20'

#### Tree Protection

- 1. No super silt fencing shall be installed within 10' of protected trees.
- 2. No storage of materials or equipment within 15' of protected trees.
- 3. Where indicated, excavations shall be done by hand. Any live roots 2" or more in diameter shall be preserved.
- 4. If excavation exposes roots on protected trees, the damaged roots shall be cleanly cut.
- 5. The Chevy Chase Village office shall be notified of any construction plan changes.

Note: As shown, two crepe myrtle trees and one magnolia cannot be protected if the new patios are installed

